

# MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2<sup>ND</sup> FLOOR  
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV  
305-673-7550

## LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
  - ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
  - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☐ DESIGN REVIEW BOARD
  - ☐ DESIGN REVIEW APPROVAL
  - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☐ HISTORIC PRESERVATION BOARD
  - ☐ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
  - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
  - ☐ HISTORIC DISTRICT / SITE DESIGNATION
  - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☒ PLANNING BOARD
  - ☒ CONDITIONAL USE PERMIT
  - ☐ LOT SPLIT APPROVAL
  - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
  - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
  - ☐ FLOOD PLAIN WAIVER
- ☐ OTHER \_\_\_\_\_

SUBJECT PROPERTY ADDRESS: 7118, 7124, 7134 and 7140 Collins Avenue; 7121 Harding Avenue and three vacant lots without addresses, see folios below.

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) 02-3211-002-0660; -0650; -0640; -0630; -0600; - 0590; -0580; -0570

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT  
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0600; -0640; -0650; -0660

NAME Collins & 72nd Developers, LLC  
 ADDRESS 9357 Harding Avenue, Surfside, FL 33154  
 BUSINESS PHONE 305-867-6344 CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS silvia@retimiami.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS \_\_\_\_\_

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Neisen O. Kasdin  
 ADDRESS 98 SE 7 Street, Suite 1100, Miami, FL 33131  
 BUSINESS PHONE 305-374-5600 CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS neisen.kasdin@akerman.com

☐ AGENT:

NAME Claro Development, Grace Dillon  
 ADDRESS 1035 N. Miami Ave, Miami, FL 33136  
 BUSINESS PHONE 305-324-4700 CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS grace@clarocorp.com

☐ CONTACT:

NAME \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS \_\_\_\_\_

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☒ ARCHITECT ☐ LANDSCAPE ARCHITECT ☐ ENGINEER ☐ CONTRACTOR ☐ OTHER: \_\_\_\_\_

NAME Revuelta Architecture International, Hernando Marin  
 ADDRESS 2950 SW 27 Street, Miami, FL 33133  
 BUSINESS PHONE 305-590-5000 CELL PHONE \_\_\_\_\_  
 E-MAIL ADDRESS hmarin@revuelta-architecture.com

FILE NO. \_\_\_\_\_

1. APPLICANT: ☒ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT  
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0590; -0580; -0570

NAME Casa Grande Shopping Center, LLC

ADDRESS 10275 Collins Avenue, Apt. 708, Bal Harbour, FL 33154

BUSINESS PHONE 786-334-4728

CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS wichmann@gmail.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

BUSINESS PHONE \_\_\_\_\_

CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS \_\_\_\_\_

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME Neisen O. Kasdin

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CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS \_\_\_\_\_

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CELL PHONE \_\_\_\_\_

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☐ ENGINEER ☐ CONTRACTOR ☐ OTHER owns 02-3211-002-0630

NAME AHM Advisors, LLC

ADDRESS 500 West Cypress Creek Road, #305, Ft. Lauderdale, FL 33309

BUSINESS PHONE 305-864-8885

CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS joel@gkppa.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

BUSINESS PHONE \_\_\_\_\_

CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS \_\_\_\_\_

2. AUTHORIZED REPRESENTATIVE(S):

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CELL PHONE \_\_\_\_\_

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FILE NO. \_\_\_\_\_



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4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

Construction of new hotel and ground floor retail, see letter of intent for details.

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- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☒ YES ☐ NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☒ YES ☐ NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) 169,316 SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). 256,113 SQ. FT.
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5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ \_\_\_\_\_

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- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
  - ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
  - TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).
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PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. \_\_\_\_\_

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☒ OWNER OF THE SUBJECT PROPERTY

☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

*Silvia Coltrane*

PRINT NAME: Collins & 72nd Developers, LLC, by Transacta 72nd, LLC - Manager, by Silvia Coltrane, Manager

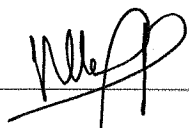
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☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_



PRINT NAME: Pablo Wichmann, Manager of Casa Grande Shopping Center, LLC

FILE NO. \_\_\_\_\_



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THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☐ OWNER OF THE SUBJECT PROPERTY  
☒ AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

PRINT NAME: Erik Yehezkel

FILE NO. \_\_\_\_\_

Prepared by and Return to:  
Susan K. Robin, Esq.  
Akerman LLP  
350 East Las Olas Boulevard, Suite 1600  
Fort Lauderdale, Florida 33301

**LIMITED POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS, that **AHM Advisors, LLC**, a Florida limited liability company (the "Company"), hereby makes, constitutes and appoints EVIK 78492K1 (the "Attorney-In-Fact"), to be its true and lawful attorney-in-fact, for it and in its name, place and stead to act on behalf of the Company for the following purposes:

In connection with the development by Collins and 72<sup>nd</sup> Developers, LLC or its affiliate (the "Developer") of a mixed-use project involving multiple Lots within Block 8 of the Plat known as Normandy Isle South (which Plat is recorded at Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida) (the "Project"), to execute and deliver certain documents, applications, agreements, assignments, consents, indemnities, certificates, affidavits, acknowledgements and other instruments as may be required by the Developer, the City of Miami Beach or any other government agency and non-City agencies (collectively, the "Transaction Documents") including, but not limited to: (i) applications for site plan approval and other land use and zoning approvals for the Project, (ii) applications for building permits and other permits (including permits with non-City agencies) necessary to develop the Project, (iii) a Declaration in Lieu of Unity of Title similar to the draft Declaration in Lieu of Unity of Title attached hereto as Exhibit "A", and an Easement and Operating Agreement, as required in Section 3 of the draft Declaration in Lieu of Unity of Title, both to be recorded against and encumber (among other Lots) the developed Lot the Company is acquiring from the Developer on even date herewith (Lot 9, Block 8 of Normandy Beach South Plat, located at 7118 Collins Ave, Miami Beach, FL 33141, folio #02-3211-002-0630), which developed Lot shall be deemed for land use and zoning purposes to be part of the Project.

The Company hereby grants to the Attorney-In-Fact full power and authority to do and perform any and every act and thing whatsoever requisite, necessary, or proper to be done in the exercise of any of the rights and powers herein granted, with full power of substitution or revocation, hereby ratifying and confirming all that such Attorney-In-Fact, or such Attorney-In-Fact's substitute or substitutes, shall lawfully do or cause to be done by virtue of this Limited Power of Attorney and the rights and powers herein granted.

[Signature and Acknowledgment Follow on Next Page]

IN WITNESS WHEREOF, I have hereunto set my hand and seal on this 1 day of April, 2016.

Sealed and delivered in the presence of:

AHM ADVISORS, LLC,  
a Florida limited liability company

By: Haim Yehezkel  
Name: Haim Yehezkel  
Title: Manager  
Date: 4-1-16

[Signature]  
Witness #1 signature

Jay S. [Signature]  
Witness #1 - printed name

[Signature]  
Witness #2 - signature

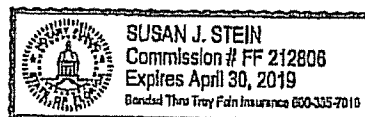
SUSAN J. STEIN  
Witness #2 - printed name

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 1st day of April, 2016, by Haim Yehezkel, as the Manager of AHM Advisors, LLC, a Florida limited liability company, who ☒ is personally known to me, or ☒ who has produced a driver's license as identification and who did take an oath.

Signature of Notary [Signature]  
Commission Expiration Date:                     

[Affix Official Seal]





OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF  
COUNTY OF

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

\_\_\_\_\_  
SIGNATURE

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires:

\_\_\_\_\_  
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR  
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

(Circle one)

STATE OF  
COUNTY OF

I, Silvia Coltrane, being duly sworn, depose and certify as follows: (1) I am the Manager (print title) of Collins & 72nd Developers, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

Silvia Coltrane  
SIGNATURE

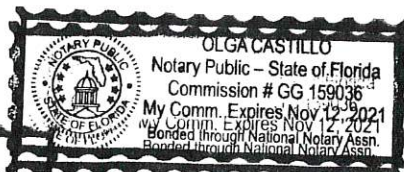
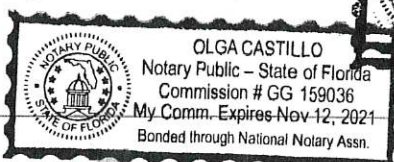
Sworn to and subscribed before me this 5<sup>th</sup> day of March, 2018. The foregoing instrument was acknowledged before me by \_\_\_\_\_ of \_\_\_\_\_, on behalf of such entity, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

Olga Castillo  
NOTARY PUBLIC

My Commission Expires:

OLGA CASTILLO  
PRINT NAME



FILE NO. \_\_\_\_\_

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF  
COUNTY OF

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR  
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
(Circle one)

STATE OF  
COUNTY OF

I, Pablo Wichmann, being duly sworn, depose and certify as follows: (1) I am the Manager (print title) of Casa Grande Shopping Center, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 5 day of MARCH, 2018. The foregoing instrument was acknowledged before me by PABLO WICHMANN, MANAGER of CASA GRANDE SHOPPING CENTER LLC on behalf of such entity, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

NOTARY PUBLIC

My Commission Expires:

JAN 31, 2021



Martha M. Meza  
Commission # GG068141  
Expires: Jan. 31, 2021  
Bonded thru Aaron Notary

MARITHA MEZA

PRINT NAME

FILE NO. \_\_\_\_\_



## OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

I, ERIK YEHEZKEL, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

Sworn to and subscribed before me this 27<sup>th</sup> day of Feb., 2018. The foregoing instrument was acknowledged before me by ERIK YEHEZKEL, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:

SIGNATURE  
\_\_\_\_\_  
NOTARY PUBLIC\_\_\_\_\_  
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR  
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
(Circle one)

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

I, Erik Yehezkel, being duly sworn, depose and certify as follows: (1) I am the Attorney-in-fact (print title) of AHM Advisors, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

Sworn to and subscribed before me this 27<sup>th</sup> day of Feb., 2018. The foregoing instrument was acknowledged before me by ERIK YEHEZKEL of AHM ADVISORS, LLC, on behalf of such entity, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:



My Commission Expires:

SIGNATURE  
\_\_\_\_\_  
NOTARY PUBLIC\_\_\_\_\_  
PRINT NAME

FILE NO. \_\_\_\_\_



POWER OF ATTORNEY AFFIDAVIT

STATE OF  
COUNTY OF

I, Silvia Coltrane, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Neisen Kasdin to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Silvia Coltrane, Manager of Collins & 72nd Developers, LLC

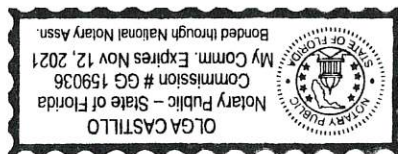
PRINT NAME (and Title, if applicable)

*Silvia Coltrane*  
SIGNATURE

Sworn to and subscribed before me this 5TH day of MARCH, 2018. The foregoing instrument was acknowledged before me by SILVIA COLTRANE of \_\_\_\_\_ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires



*Olga Castillo*  
NOTARY PUBLIC

OLGA CASTILLO  
PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

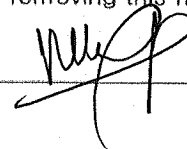
FILE NO. \_\_\_\_\_

POWER OF ATTORNEY AFFIDAVITSTATE OF  
COUNTY OF

I, Pablo Wichmann, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Nelsen Kasdin to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Manager of Casa Grande Shopping Center, LLC

PRINT NAME (and Title, if applicable)



SIGNATURE

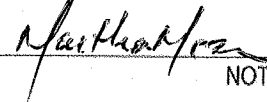
Sworn to and subscribed before me this 5 day of MARCH, 2012. The foregoing instrument was acknowledged before me by PABLO WICHMANN, MANAGER of CASA GRANDE SHOPPING CENTER LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires

JAN 31 2021

Martha M. Meza  
Commission # GG068141  
Expires: Jan. 31, 2021  
Bonded thru Aaron Notary



NOTARY PUBLIC

MARTHA MEZA

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

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In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_



POWER OF ATTORNEY AFFIDAVIT

STATE OF FLORIDA  
 COUNTY OF MIAMI-DADE

I, Erik Yehezkel, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Neisen Kasdin to be my representative before the Planning Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Attorney-in-fact, AHM Advisors, LLC

PRINT NAME (and Title, if applicable)

Erik Yehezkel

SIGNATURE

Sworn to and subscribed before me this 27<sup>th</sup> Feb., 2018. The foregoing instrument was acknowledged before me by ERIK YEHEZKEL of \_\_\_\_\_ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

Susan J. Stein

NOTARY PUBLIC

My Commission Expires



PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_



CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

**1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY**

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

Collins & 72nd Developers, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

see attached list

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

*IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.*

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

**Discolosure of Ownership for Collins and 72nd Developers, LLC**

<b>Member</b>	<b>NAME</b>	<b>% interest of individual Member</b>	<b>% interest of Collins &amp; 72nd Developers LLC</b>
Transacta 72nd, LLC, 9357 Harding Ave, Surfside, FL 33154	Silvia Sabates Coltrane, Manager	100.00%	36.59%
AOMA Investments, LLC (Delaware LLC), 730 5th Avenue, 20th Floor, New York, NY 10019	Alex Blavatnik, Manager	100.00%	4.07%
Collins and 72nd Holdings, LLC, 9357 Harding Ave, Surfside, FL 33154	Silvia Sabates Coltrane, Manager	83.37%	24.44%
	Raquel Bender Rabinovich as Co-Trustee	5.545%	
	Jacob Bender Krayser as Co-Trustee	5.545%	
	Cynthia A. MacPherson	2.77%	
	Derek and Ashley Norred	2.77%	
Contemporary Hotel Partners, LLC. (Delaware LLC), 18305 Biscayne Blvd, Suite 402, Aventura, FL 33160	Jacques Bessoudo, Manager	50.00%	31.51%
	Jordan Kavana, Manager	50.00%	
Gold Bird Road Properties, LLC (Florida LLC), 1177 Kane Concourse, Suite 218, Bay Harbor Islands, FL 33154	Salomon Gold, Manager	50.00%	3.39%
	David Gold, Manager	50.00%	
<b>TOTAL</b>		<b>100%</b>	<b>100%</b>



CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

Casa Grande Shopping Center, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

Marbella International Group Ltd.

50%

10275 Collins Avenue, Apt 708, Bal Harbour FL 33154

Owned 100% by Elias Farrah Massu Ananias (same address)

50%

America Investments Ltd.

10275 Collins Avenue, Apt 708, Bal Harbour FL 33154

Owned 100% by Jaime Massu Ananias (same address)

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

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AHM Advisors, LLC

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

HAIM YEHEZKEL

210 71 St. #309

Miami Beach FL 33141

50%

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

Avi Dishy

210 71 St. #309

Miami Beach FL 33141

50%

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. \_\_\_\_\_



CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION  
DISCLOSURE OF INTEREST

**2. TRUSTEE**

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

TRUST NAME

NAME AND ADDRESS

% INTEREST

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

### 3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

\*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

### APPLICANT AFFIDAVIT

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, Silvia Coltrane, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

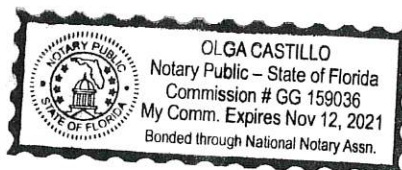
*Silvia Coltrane*  
SIGNATURE

Sworn to and subscribed before me this 5th day of March, 20\_\_\_\_. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

*Olga Castillo*  
NOTARY PUBLIC

My Commission Expires:



*OLGA CASTILLO*  
PRINT NAME

FILE NO. \_\_\_\_\_



**3. COMPENSATED LOBBYIST:**

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

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**APPLICANT AFFIDAVIT**

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

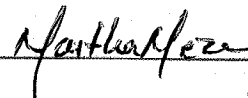
I, Pablo Wichmann, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.



SIGNATURE

Sworn to and subscribed before me this 5 day of MARCH, 20 18. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



NOTARY PUBLIC

My Commission Expires:  
JAN 31 2021



Martha M. Meza  
Commission # GG068141  
Expires: Jan. 31, 2021  
Bonded thru Aaron Notary

MARTHA MEZA

PRINT NAME

FILE NO. \_\_\_\_\_

### 3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

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### APPLICANT AFFIDAVIT

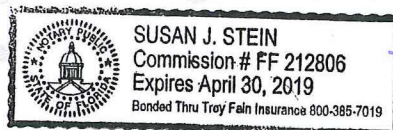
STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

I, Erik Yehezkel, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

SIGNATURE

Sworn to and subscribed before me this 27<sup>th</sup> day of Feb, 2018. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



NOTARY PUBLIC

My Commission Expires:

PRINT NAME

FILE NO. \_\_\_\_\_



## Exhibit "A"

### Legal Description

Lots 1, 2, 3, 4, 9, 10, 11 and 12 in Block 8 of Normandy Beach South, according to the Plat thereof, as recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.



Akerman LLP  
Three Brickell City Centre  
98 Southeast Seventh Street  
Suite 1100  
Miami, FL 33131  
Tel: 305.374.5600  
Fax: 305.374.5095

March 23, 2018

**VIA HAND DELIVERY**

Chair and Members of the Planning Board  
City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

**RE: Collins and 72<sup>nd</sup> Hotel and Retail Development, 7118, 7124, 7134 and 7140 Collins Avenue & 7121 Harding Avenue and three vacant lots without addresses**

Our firm represents Collins & 72<sup>nd</sup> Developers, LLC ("Applicant") who is the owner of four parcels<sup>1</sup> of land and the contract purchaser for three parcels of land<sup>2</sup> that are currently owned by Casa Grande Shopping Center, LLC, located on the block bounded by Collins Avenue on the east, 72<sup>nd</sup> Street on the north, Harding Avenue on the west and 71<sup>st</sup> Street on the south (the "Property"). Also included as part of the Property is the parcel located at 7118 Collins Avenue (02-3211-002-0630) which is owned by AHM Advisors, LLC, who has joined in the application. The Property totals 49,890 square feet (1.145 acres).

The Applicant proposes to develop the Property with a 187-room hotel (173 regular hotel rooms and 14 hotel suites) and the top two floors of the building will contain 24 condominium units. The hotel will have 3,338 sqft of meeting rooms and a 270-seat bar/lounge/restaurant in the hotel and 23,595 sqft of ground floor retail<sup>3</sup> facing Collins Avenue, 72<sup>nd</sup> Street and Harding Avenue (the "Project"). The Project is an amendment to a previously approved project.

On December 20, 2016 the Planning Board approved a similar, prior version of the proposed Project and the Design Review Board approved the same project on January 3, 2017. The previously approved project consisted of 179 hotel rooms with the same amount and configuration of ground floor retail space. The building volume, orientation and location of the previously approved project is the same as it is in the proposed Project – the difference is that with the approval of the referendum to increase the allowable FAR in the TC districts up to 3.5, the Applicant has designed an additional "wing" of the building to accommodate more hotel rooms, one additional floor was added to the main tower within the same height and volume of the previously approved tower and the top two floors of the main tower will now be a

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<sup>1</sup> Folios 02-3211-002-0660 (7140 Collins Avenue), 02-3211-002-0650 (7134 Collins Avenue), 02-3211-002-0640 (7124 Collins Avenue) and 02-3211-002-0600 (7121 Harding Avenue).

<sup>2</sup> Folios 02-3211-002-0570, 02-3211-002-0580 and 02-3211-002-0590 (the parcels have no addresses because they are vacant). The current owner, Casa Grande Shopping Center, LLC, has joined in the application.

<sup>3</sup> Of the 23,595 sqft of ground floor retail, 2,723 sqft is the existing and to remain Denny's restaurant at 7140 Collins Avenue and 5,075 sqft is in the existing and to remain building at 7118 Collins Avenue. So there is 15,797 sqft of new retail.

24-unit residential condominium. Also, the parking garage pedestal is now being extended over the top of the Denny's building whereas in the previously approved project a "false" façade was proposed to be extended above the Denny's building. Below is a numbered list of the changes from the previously approved plans to the proposed Project and the numbers correlate to numbers on the plans so one can easily identify the areas of change.

1. One additional floor (11 total) within the same volume of the previously approved tower.
2. Extension of pool deck to the corner of Collins Avenue and 72 Street over the existing Denny's restaurant, which will remain in place.
3. New 5 story Hotel Annex Tower on top of the 3 story podium.
4. Reconfiguration of amenity deck.
5. Shift of the south edge of the building in the west half of the Project six (6) feet to the north, now there is 16' between the Project and the adjacent building to the south.
6. Placement of additional short-term bicycle racks.
7. Reconfiguration of entrance plaza.
8. Reconfiguration of urban plaza.
9. Continuous planting bed along sidewalk.
10. Placement of additional long-term bicycle racks.
11. Extension of concrete slab for parking over the existing Denny's restaurant.
12. Reconfiguration of parking and driveway layout.
13. Annex Tower, new conference and meeting rooms.
14. Annex Tower with nine (9) hotel rooms per typical floor.
15. Balconies replaced by small eyebrows on hotel floors with the exception of the suites rooms at the west, east and south end of the floorplate.
16. Annex Tower rooftop amenity deck.
17. Balconies on condominium units.
18. Architectural feature.

The required parking for the Project will be provided in a 140-space parking garage located on-site. The entrance and exit to the parking garage is located on Harding Avenue and so is the access to the loading zones and valet drop-off and pick-up driveway. The parking garage uses car elevators instead of ramps and it also uses mechanical parking lifts in some of the spaces. The mechanical parking systems require a conditional use permit. Access to the garage will be by valet only.

The Applicant is proposing to reduce the required vehicular parking as afforded by Sec. 130-40, by providing bicycle parking above and beyond the minimum required bicycle parking. The hotel will have its own branded fleet of bicycles that it will offer to guests staying in the hotel as a means of getting around the City in lieu of using an automobile. Also, short term bicycle parking racks are provided throughout the Property near the front doors of the retail businesses. On-site security for the hotel will patrol the areas where the short-term bicycle parking is located to help ensure the safety of the bikes that are parked on the Property.

The Property currently consists of three vacant lots on Harding Avenue, one lot on Harding Avenue that is improved with a surface parking lot and the parcels that front Collins Avenue are improved with 1-story commercial retail buildings. The two existing retail buildings



at 7124 and 7134 Collins Avenue will be demolished and replaced with new ground floor retail floor area. The building at 7118 Collins that is owned by AHM Advisors, LLC and the Denny's building at 7140 Collins Avenue will remain in place. Although the existing Denny's building will remain, it will receive a new façade with elements matching and extending the vocabulary of the new hotel structure. Also, existing MEP equipment on the roof will be relocated to the new building and the existing roof will be removed and replaced with a slab that will act as both the roof for Denny's and the floor of the parking garage above.

The enclosed traffic study shows that the surrounding road network will operate within the adopted levels of service, with only a minor adjustment to the northbound and eastbound green light left turn movements at the intersection of Indian Creek Drive and 71<sup>st</sup> Street. The traffic study also shows that the valet operations would operate sufficiently so that cars do not queue into the right-of-way on Harding Avenue.

The Project stands to be the first major redevelopment project in the Town Center area of North Beach in many years. The Project has the potential to serve as a catalyst for the North Beach Town Center neighborhood, which has lacked investment. The Project has been designed to be consistent with the North Beach Master Plan prepared by Dover Kohl. In particular, the Project has wide sidewalks (up to 18' on Collins Avenue (10' on the Property and 8' in the right-of-way), up to 19'-6" on 72<sup>nd</sup> Street (8' sidewalk and 2' planting bed on the Property and 6'-6" of sidewalk and 3' of planting bed in the right-of-way) and a 6' sidewalk in the right-of-way on Harding Avenue that expands up to an additional 2' landscape strip and 8' sidewalk on the Property). At the NW corner of the Property the corner of the building is setback 21'-8" from the property line and 33' from the edge of the sidewalk. The west side of the Project, at the entrance to the hotel, has a large urban plaza. The plaza has a 30' wide opening to Harding Avenue and at the north end of the plaza it extends 15' deep and it expands deeper as the building recesses from Harding to a point where the edge of the building is setback 73' from the property line, with landscaped planters and benches.

The TC-1 zoning district regulations require that properties with at least 20,000 square feet of lot size provide at least five percent of the lot size as ground level open space located adjoining the front or side street of the site, or within a central courtyard area that is accessible to the public from the front or street side of the property and the open space shall be designed and maintained according to the urban plaza design standards in the North Beach Town Center design standards. The Project has been designed such that there are two areas, one at the NW corner of the Property and one at the hotel entrance on Harding Avenue, that meet the urban plaza design standards. Also, 9 percent of the lot (4,496 sqft) has been provided as ground level open space that is open to the sky and an additional 8.2 percent is covered open space.

The Project also consolidates all vehicular access points to one of the three sides of the Property, making 72<sup>nd</sup> Street and Collins Avenue a pedestrian-only environment conducive to street level retail, restaurants and cafes. Were the Property to be redeveloped by three separate owners, as the historical ownership pattern dictated, there could have been numerous curb cuts, including on 72<sup>nd</sup> Street, that would have deteriorated the pedestrian environment.

The portion of the building that rises to 125 feet is a slender tower that is situated in a slight NW/SE angle so as to better capture the open views to the NE toward the ocean. The

height up to 125 feet will help frame the City-owned open space on the north side of 72<sup>nd</sup> Street, which is consistent with the widely-held planning principal of allowing greater height adjacent to public open spaces. It is also consistent with the planning principal of allowing greater height in core redevelopment areas such as the TC-1 district. And finally, it is consistent with the recommendations in the North Beach Master Plan for providing greater height in the TC-1 district. The new “wing” of the hotel is 92’ tall and is situated in the SW corner of the Property.

The TC district regulations encourage the provision of alleys for access to parking and service areas. Because the Project consists of platted lots that stretch from Collins Avenue all the way across to Harding Avenue, there isn't a need for an alley running north-south on the Property. Having such an alley would only interrupt the pedestrian environment on 72<sup>nd</sup> Street, which is a pedestrian path of higher importance compared to the Harding Avenue side of the Property. Therefore, access to the parking and service areas is provided on Harding Avenue.

The Applicant is in the process of relocating the existing overhead high voltage electric transmission line to the Harding side of the Property running south to the terminus of the Property, then heading eastward within a new unobstructed 10-foot easement to the middle of the Property where the overhead high voltage electric lines will continue southward in their existing condition. The FPL standard service distribution lines and telecommunication lines will be run underground. The new utility poles will be located just inside of the property line on private property, with no encroachments into the right-of-way as directed by Public Works. The location of the new utility poles, which has not changed since the previously approved Project, requires a setback variance, which was granted for the prior project by the Design Review Board.

#### **A. Conditional Use Review Criteria**

Section 118-192(a) of the City's Land Development Regulations establishes seven (7) criteria by which all conditional use applications are measured against. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

##### **(1) The use is consistent with the comprehensive plan or neighborhood plan if one exists for the area in which the property is located.**

The proposed Project is a hotel and condominium with ground floor retail. All uses are permitted in the TC-1 future land use category.

##### **(2) The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the comprehensive plan.**

The traffic study indicates that the roadway levels of service will not be negatively affected.

##### **(3) Structures and uses associated with the request are consistent with these land development regulations.**

Hotel, multifamily residential and retail are permitted uses in the TC-1 zoning district. The proposed structure is consistent with the land development regulations and one variance for a minor projection into a setback and one variance for the location of the relocated utility poles are requested.

**(4) The public health, safety, morals, and general welfare will not be adversely affected.**

Nothing in the Project will negatively affect the public health, safety, morals and general welfare of the City of Miami Beach. The Project has been designed to meet the standards of the North Beach Town Center design standards and the newly adopted North Beach Master Plan and it will enhance the existing pedestrian environment on Collins Avenue and create a vibrant pedestrian environment on 72<sup>nd</sup> Street and Harding Avenue.

**(5) Adequate off-street parking facilities will be provided.**

The Project will provide adequate parking facilities as required by the Land Development Regulations and the hotel will offer its own branded bicycles to hotel guests as an alternative to using vehicular modes of transportation.

**(6) Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.**

The reason the Project is subject to a conditional use review is because it is greater than 50,000 square feet and because of the incorporation of mechanical parking devices. It does not include any uses that are in and of itself a conditional use. As detailed below, the Project meets all of the conditional use review criteria that are specific to mechanical parking.

**(7) The concentration of similar types of uses will not create a negative impact on the surrounding neighborhood. Geographic concentration of similar types of conditional uses should be discouraged.**

The use of the Project as a hotel, multifamily residential and retail are all permitted uses in the TC-1 zoning district – it is only the size of the Project that triggers the conditional use review. The Project is appropriately sized given its prominent location at the NE corner of the Town Center part of North Beach along Collins and 72<sup>nd</sup> Street.

**B. Conditional Use Review Criteria for Structures Greater than 50,000 square feet**

Section 118-192(b) of the City's Zoning Code establishes eleven (11) criteria by which structures that are greater than 50,000 square feet are measured against. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

**(1) Whether the proposed business operations plan has been provided, including hours of operation, number of employees, goals of business, and other operational characteristics pertinent to the application, and that such plan is compatible with the neighborhood in which it is located.**



The operational plan for the project will be as follows. The ground floor retail will be open from 9:00 AM to 9:00 PM daily. Ground floor restaurants and cafes will be open until 11:00 PM on weekdays and Sundays and until 2:00 AM on Fridays and Saturdays. The hotel front desk and hotel gym will be open 24 hours a day. The hotel kitchen will be open until 12:00 AM, the hotel bar until 2:00 AM and the hotel meeting rooms will be available until 12:00 AM. The two hotel pools will be open until 11:00 PM and the two outdoor decks will be open until 12:00 AM. Valet attendants will be on-site 24 hours a day because no self-parking is allowed. The outdoor bar counters will not be operated between 12:00 AM and 8:00 AM. Ambient background music will be played sometimes on the pool decks and outdoor amenity decks but not past 11:00 PM. There will be approximately 50 to 70 hotel employees. The traffic study shows that there is sufficient driveway length to handle queuing for the valet functions if the requisite number of valet attendants are provided. The trash pick-up location is internalized to the building.

**(2) Whether a plan for the mass delivery of merchandise has been provided, including the hours of operation for delivery trucks to come into and exit from the neighborhood and how such plan will mitigate any adverse impacts to adjoining and nearby properties, and neighborhood.**

A specific flag for the proposed hotel has not been chosen nor have specific tenants been identified for the ground floor retail spaces so specifics regarding loading operations are not known at this time. The location of the loading spaces and trash pick-up area is internal to the building and shielded away from the residential building on the east side of Collins Avenue. Deliveries from the loading spaces can be taken to the hotel and retail stores without needing to use the outside sidewalks. Based on the restrictions in the previously approved CUP, deliveries and waste collection are limited to between the hours of 7:00 AM and 4:00 PM. Delivery trucks will not be allowed to idle in the loading areas.

**(3) Whether the scale of the proposed use is compatible with the urban character of the surrounding area and create adverse impacts on the surrounding area, and how the adverse impacts are proposed to be addressed.**

The Project has been designed so that the bulk of the building at the upper floors, above 50' in height, is setback further than what is required by the TC-1 regulations. The hotel, multifamily residential and retail uses are compatible with both the adjacent multifamily and adjacent commercial uses. The Project is scaled appropriately to frame the open space on the north side of 72<sup>nd</sup> Street.

**(4) Whether the proposed parking plan has been provided, including where and how the parking is located, utilized, and managed, that meets the required parking and operational needs of the structure and proposed uses.**

The Project plans detail the physical layout of the parking garage. The first floor provides the drop-off and pick-up locations and circulation for the valet operation. The first floor also provides access to the loading spaces and trash pick-up location as well as access to the car elevators and handicapped accessible spaces. The second floor is where all of the remaining parking spaces are located.

**(5) Whether an indoor and outdoor customer circulation plan has been provided that facilitates ingress and egress to the site and structure.**

The parking garage is primarily for use by hotel and condominium guests and residents. Patrons of the ground floor retail stores will also be able to use the valet at a cost. Because the parking garage uses car elevators and mechanical parking, access to the parking garage is by valet only. So when a patron drops off their vehicle at the valet stand, the patron can access the hotel lobby directly by walking in towards the hotel front door. If the patron wanted to access the retail shops, they would just walk around the Property in a clockwise manner on the wide sidewalks provided and they could access the retail stores. Persons coming to the Property to only access the retail stores could also park in the public parking lot on the north side of 72<sup>nd</sup> Street and walk across 72<sup>nd</sup> Street at the cross walk located at the intersection of 72<sup>nd</sup> Street and Collins Avenue.

**(6) Whether a security plan for the establishment and supporting parking facility has been provided that addresses the safety of the business and its users and minimizes impacts on the neighborhood.**

A specific flag for the proposed hotel has not been chosen nor have specific tenants been identified for the ground floor retail spaces so specifics regarding security operations are not known at this time.

**(7) Whether a traffic circulation analysis and plan has been provided that details means of ingress and egress into and out of the neighborhood, addresses the impact of projected traffic on the immediate neighborhood, traffic circulation pattern for the neighborhood, traffic flow through immediate intersections and arterials, and how these impacts are to be mitigated.**

A traffic study was prepared by David Plummer & Associates in accordance with the agreed upon traffic methodology. The level of service for all intersections analyzed will not be negatively impacted by the Project. Only a minor adjustment to the northbound and eastbound green light left turn movements at the intersection of Indian Creek Drive and 71<sup>st</sup> Street is necessary to improve traffic conditions at this intersection.

**(8) Whether a noise attenuation plan has been provided that addresses how noise will be controlled in the loading zone, parking structures and delivery and sanitation areas, to minimize adverse impacts to adjoining and nearby properties.**

There are minimal openings from the parking garage to the east where the residential buildings are located, which will minimize noise that escapes the parking garage and travels eastward towards the residential buildings. Signs will be posted in the parking garage saying that the screeching of tires and the unnecessary sounding of horns is not permitted and valet attendants will be trained regarding these restrictions. The noise generated by the mechanical parking systems will generally not exceed 56 db(a)<sup>4</sup>, which is approximately the same noise level as normal ambient background noise. The loading zone/trash pick-up is internal to the parking garage and there is a roll down door, therefore any sounds from loading and trash

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<sup>4</sup> A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.

pick-up functions will be contained within the Project. The trash room is enclosed and air-conditioned.

**(9) Whether a sanitation plan has been provided that addresses on-site facilities as well as off-premises issues resulting from the operation of the structure.**

The trash pick-up location is internal to the building and located behind a roll down door. The trash room is enclosed and air-conditioned. Based on the restrictions in the previously approved CUP, deliveries and waste collection are limited to between the hours of 7:00 AM and 4:00 PM. All trash containers will utilize rubber wheels in order to reduce noise. The roll down door will remain closed and secured when not in use and dumpster covers will be closed when not in use. There are separate garbage systems for the hotel, retail and condominium. All hotel garbage will be brought down using the service elevator to the recycle room or to the large compactor. The condominium waste will use a trash chute with switches and a bi-sort system to divide the recycling materials from the regular waste. There are two rooms for trash to ensure enough storage capacity.

**(10) Whether the proximity of the proposed structure to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated.**

The Project, as a 125-foot tall hotel/condominium project, would serve as an appropriate transition from the taller multifamily uses (200 feet) on the east side of Collins Avenue to the rest of the Town Center district that is currently developed at varying heights between one and five stores.

**(11) Whether a cumulative effect from the proposed structure with adjacent and nearby structures arises, and how such cumulative effect will be addressed.**

There will be no negative cumulative effect from the Project. There are no other hotels in the nearby area and the retail stores are consistent with other Town Center uses.

**C. Conditional Use Review Criteria for Mechanical Parking Systems**

Section 130-38(4) of the City's Zoning Code establishes eleven (11) specific review criteria for the Planning Board to consider in its review of an application to use mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

**(a) Whether the scale of the proposed structure is compatible with the existing urban character of the surrounding neighborhood;**

The proposed structure is proposed to be built at a height of approximately 125', which is compliant with the maximum height regulations of the TC-1 zoning district. It is significantly shorter by approximately 75' than the multifamily residential building to the east. It is taller than the existing structures in the Town Center area because it is the first project to come forward for approval since the height of the TC-1 regulations were raised from 75' to 125'.



**(b) Whether the proposed use of mechanical parking results in an improvement of design characteristics and compatibility with the surrounding neighborhood;**

The use of mechanical parking results in a vertical "footprint" for the proposed parking garage that is one story less than what would otherwise be required without the use of mechanical parking systems.

**(c) Whether the proposed use of mechanical parking does not result in an increase in density or intensity over what could be constructed with conventional parking;**

As shown on the submitted schematic parking plans, the proposed development program could be achieved through the use of a traditional, non-mechanical parking garage.

**(d) Whether parking lifts or mechanisms are located inside, within a fully enclosed building, and not visible from exterior view;**

The parking lifts and mechanisms for the parking garage are located on the second floor and are screened from view from the exterior by decorative screening.

**(e) In cases where mechanical parking lifts are used for self-parking in multifamily residential buildings; whether approval is conditioned upon the proper restrictive covenant being provided limiting the use of each lift to the same unit owner;**

The Project contains 24 multifamily units, however, no self-parking will be allowed.

**(f) In cases where mechanical parking lifts are used for valet parking; whether approval is conditioned upon the proper restrictive covenant being provided stipulating that a valet service or operator must be provided for such parking for so long as the use continues;**

The proper restrictive covenant will be provided prior to the issuance of a building permit.

**(g) Whether a traffic study has been provided that details the ingress, egress and circulation within the mechanical parking facility, and the technical and staffing requirements necessary to ensure that the proposed mechanical parking system does not cause excessive stacking, waiting, or backups onto the public right-of-way;**

A traffic study that shows the required information has been provided by David Plummer and Associates.

**(h) Whether a proposed operations plan, including hours of operation, number of employees, maintenance requirements, noise specifications, and emergency procedures, has been provided;**

The operational plan for the project will be as follows. The ground floor retail will be open from 9:00 AM to 9:00 PM daily. Ground floor restaurants and cafes will be open until 11:00 PM on weekdays and Sundays and until 2:00 AM on Fridays and Saturdays. The hotel

front desk and hotel gym will be open 24 hours a day. The hotel kitchen will be open until 10:00 PM, the hotel bar until 2:00 AM and the hotel meeting rooms will be available until 12:00 AM. The hotel pool will be open until sundown and the outdoor deck will be open until 12:00 AM. Valet attendants will be on-site 24 hours a day because no self-parking is allowed. There will be approximately 50 to 70 hotel employees.

In addition to the following information, please see **Exhibit A** for specifications on the mechanical parking systems. A 600 KW generator will be provided in the room labeled E.G. on the second floor (the parking garage floor) and the room is 14' x 25'-8" x 14' tall. The generator is for the operation of the car elevators and life safety systems in the event of a loss of power. The mechanical parking lifts are able to be operated by hand in the event of a loss of power. Double stacked parking spaces will be 8.5' wide x 18' deep x 12'-6" high. As detailed in the traffic study, the car elevators are expected to go up or down in 35 seconds and the mechanical parking lifts are expected to complete an operation in 60 seconds. The noise generated by the mechanical parking systems will generally not exceed 56 db(a)<sup>5</sup>, which is approximately the same noise level as normal ambient background noise. Maintenance specifications are provided by the specific manufacturer in Exhibit A and the mechanical parking systems will be inspected and certified as safe and in good working condition by a licensed mechanical engineer at least once a year and a written report certifying the same shall be provided to the Planning Director and Building Official. Regarding emergency procedures, each mechanical lift is equipped with a security key on the push button board so authorized personnel only can operate the equipment, an emergency stop button on top of the push button board and mechanical locking stopper devices on the platform to ensure the platform stops within the same 1-inch level every time.

**(i) In cases where the proposed facility includes accessory uses in addition to the parking garage, whether the accessory uses are in proportion to the facility as a whole, and delivery of merchandise and removal of refuse, and any additional impacts upon the surrounding neighborhood created by the scale and intensity of the proposed accessory uses, are adequately addressed;**

The main use of the Project is a 187-room hotel, 24 residential condominium units and 23,595 sqft of ground floor retail. The hotel has 3,338 sqft of meeting rooms and a 270-seat bar/lounge as accessory uses, which are in proportion to the scale of the hotel. The delivery of merchandise and trash removal for all components of the Project will be handled via loading docks and trash rooms that are internal to the building.

**(j) Whether the proximity of the proposed facility to similar size structures and to residential uses creates adverse impacts and how such impacts are mitigated;**

The proposed mechanical parking facilities are not located in close proximity to other mechanical parking facilities. There will be no adverse impacts, e.g. noise externalities, from the proposed mechanical parking facilities because the Owner agrees (in the form of a condition of approval) to choose a manufacturer that is able to meet the specific performance criteria the City has for mechanical parking devices in Section 130-38(5) of the Zoning Code.

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<sup>5</sup> A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.

**(k) Whether a cumulative effect from the proposed facility with adjacent and nearby structures arises, and how such cumulative effect will be addressed;**

There are no adjacent and nearby mechanical parking facilities.

Section 130-38(3)(c)(i) of the City Code requires that projects with mechanical parking prepare schematic floor plans that show that a project of the same intensity could be achieved without mechanical parking using traditional ramping and parking systems and without variances, in order to show that the proposed mechanical parking systems are not being used to increase the achievable intensity on the property and that the resulting physical form using mechanical parking is preferable when compared to the non-mechanical parking schematic plans. Such plans have been prepared and are included within the proposed plans package. The plans shows that the same intensity can be achieved with a traditional parking garage structure. However, using non-mechanical parking systems increases the number of stories of the parking deck by one story and the functionality of the ground floor is impacted detrimentally without using car elevators.

**D. Additional mechanical parking criteria**

Section 130-38(5) of the City's Zoning Code establishes seven (7) specific criteria for mechanical parking systems. These criteria are listed below in bold and underline text, with our response following each criteria in plain text.

**(a) The noise or vibration from the operation of mechanical parking lifts, car elevators, or robotic parking systems shall not be plainly audible to or felt by any individual standing outside an apartment or hotel unit at any adjacent or nearby property. In addition, noise and vibration barriers shall be utilized to ensure that surrounding walls decrease sound and vibration emissions outside of the parking garage;**

The noise generated by the mechanical parking systems will generally not exceed 56 db(a)<sup>6</sup>, which is approximately the same noise level as normal ambient background noise.

**(b) For mechanical lifts, the parking lift platform must be sealed and of a sufficient width and length (minimum of eight feet by 16 feet) to completely cover the bottom of the vehicle on the platform to prevent dripping liquids or debris onto the vehicle below;**

The parking lift platforms meet this standard.

**(c) All free-standing mechanical parking lifts must be designed so that power is required to lift the car, but that no power is required to lower the car, in order to ensure that the lift can be lowered and the top vehicle can be accessed in the event of a power outage; robotic garages and vehicle elevators must have backup generators sufficient to power the system;**

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<sup>6</sup> A-weighted decibels, an expression of the relative loudness of sounds in air as perceived by the human ear.



A 600 KW generator will be provided in the room labeled E.G. on the second floor (the parking garage floor) and the room is 14' x 25'-8" x 14' tall. The generator is for the operation of the car elevators and life safety systems in the event of a loss of power. The mechanical parking lifts are able to be operated by hand in the event of a loss of power.

**(d) All mechanical lifts must be designed to prevent lowering of the lift when a vehicle is parked below the lift;**

The parking lifts meet this standard.

**(e) The ceiling heights of any parking level with parking lifts within the parking garage shall be a minimum of 11 feet by six inches;**

The proposed plans meet this standard.

**(f) All mechanical parking systems, including lifts, elevators and robotic systems, must be inspected and certified as safe and in good working order by a licensed mechanical engineer at least once per year and the findings of the inspection shall be summarized in a report signed by the same licensed mechanical engineer or firm. Such report shall be furnished to the planning director and the building official;**

The parking lifts will meet this standard.

**(g) All parking lifts shall be maintained and kept in good working order;**

The Owner agrees to maintain the parking lifts in good working order.

**E. Sea Level Rise Criteria**

In order to ensure that the Project is resilient in light of the effects of sea level rise, the sea level rise and resiliency review criteria from Section 133-50 of the LDRs is addressed below:

**1) A recycling or salvage plan for partial or total demolition shall be provided.**

A recycling plan will be provided as part of the submittal for a demolition permit to the building department.

**2) Windows that are proposed to be replaced shall be hurricane proof impact windows.**

All windows in the proposed building will be hurricane proof impact windows.

**3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.**

The windows for hotel and residential units will be operable.

**4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.**

All new landscaping will consist of Florida friendly plants.

**5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.**

The Southeast Florida Regional Climate Action Plan projects that sea level will rise 6 to 10 inches by 2030, 14 to 26 inches by 2060, and 31 to 61 inches by 2100 above the 1992 mean sea level. This represents NGVD elevations of 1.10' to 1.43' by 2030, 1.77' to 2.77' by 2060, and 3.18' to 5.68' by 2100 at Mean Sea Level. At Mean High Water this represents NGVD elevations of 2.31' to 2.64' by 2030, 2.98' to 3.98' by 2060, and 4.39' to 6.89' by 2100.

According to the survey, the ground varies in elevation from approximately 5' NGVD along Harding Avenue to 6' NGVD along Collins Avenue. The first floor of the building is proposed to be at an elevation of 6' NGVD and the building is designed such that the first floor has a 15' clear height from the base flood elevation plus the minimum freeboard, which is 9' NGVD, and an overall height of 18'. This will allow for the raising of the finished floor of the ground floor retail uses in the future if the surrounding roads are raised. The Project is therefore not anticipated to be excessively impacted by Sea Level Rise in the timeframe included in the Sea Level Rise projection.

**6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.**

There are no ramps in the parking garage because it uses car elevators instead. The configuration of the driveways with the streets allows for the raising of the streets and the driveways will still work with slight ramps downward into the vehicular use areas if necessary.

**7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.**

All critical mechanical and electrical systems will be located above base flood elevation and on roofs when available.

**8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.**

The only existing building to remain, the Denny's building at 7140 Collins Avenue, will remain with its first floor elevation at 6.2' NGVD. However, as with the rest of the first floor retail, the first floor will be 18' tall, which allows for the future raising of the first floor retail if the surrounding streets are raised.

**9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.**

The building will provide dry flood proofing systems for the habitable spaces located below the base flood elevation.

**10) Where feasible and appropriate, water retention systems shall be provided.**

The Project site's stormwater management system has been designed to retain all runoff (i.e., stormwater) generated from the site in accordance with the design criteria set forth by the FDEP/South Florida Water Management District and Miami-Dade County. The runoff will be retained for treatment, as applicable, and then discharged into deep injection drainage wells. It is not necessary or appropriate for water retention systems to be installed on this site, as the stormwater runoff generated from the design rainfall event is being managed within the boundaries of the property using the deep injection wells and trench drains.

We submit to the Planning Board that the proposed Project meets all of the conditional use review criteria as detailed herein. We respectfully request the Planning Board's favorable review of the Project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Neisen O. Kasdin', written over the printed name.

Neisen O. Kasdin



## Exhibit A

## **SECTION 14452 MECHANICAL PARKING EQUIPMENT**

### **Part 1 – General**

#### **1.01 WORK INCLUDED**

- A. Provide mechanical car stackers at locations shown on contract drawings.
- B. This section specifies equipment to be furnished and installed that will provide non-automatic vertically stacked automobile parking. The Mechanical Parking Equipment (MPE) subcontractor shall provide multiple two-level, two post automobile parking machines in the locations shown on the Contract drawings. The MPE Subcontractor shall provide electro-hydraulic power units and control systems. The MEP Subcontractor shall provide all necessary electrical piping and wiring (beyond power supply to power units at locations shown on contract electrical drawings as being provided by electrical subcontractor) and provide all hydraulic piping and hydraulic fluid for proper installation of the equipment.
- C. Stacked Parking System operation must be in accordance with manufacturer's requirements and must be operated by trained attendants. Self-parking is not permitted.
- D. Related Work Specified Elsewhere:
  - 1. Section 0330 – Cast-in-Place Concrete
  - 2. Division 15 – Plumbing
  - 3. Division 16 – Electrical

#### **1.02 RELATED WORK**

- A. Requirements for electrical equipment installation.
- B. Related Work by Others:
  - 1. 3 Phase 208 volts and 30 amp Fused disconnects on wall at locations indicated on electrical drawings.

#### **1.03 CODES AND PERMITS**

- A. Work shall be in accordance with Local Building Codes, National Electric Code and electrical parts are listed and labeled by UL.
- B. Pump motors and control panels shall be UL listed for wet locations. Alternatively UL listed motors may be housed in US listed for wet location enclosures.

#### **1.04 SUBMITTALS**

- A. Product Data. Submit manufacturer's product specifications, standard details, lifting capacities power requirements, installation instructions and general recommendations for stacked parking system installation.
- B. Shop Drawings: Submit shop drawings clearly detailing layout of stacked parking system bays showing actual clearances and dimensions. Show required piping, and wiring connections and conduit runs for wiring. Coordinate with architect's drawings with details.
- C. Operating and Maintenance documents/manuals for stacked parking system lifts, including operation and maintenance instructions, parts listing with sources indicated, recommended parts inventory listing, emergency instructions, and similar information. Include all diagnostic and

repair information available to manufacturer and installer's maintenance personnel. Submit for Owner's information at project closeout as specified in the Contract Documents.

- D. Schedule: Contractor shall submit schedule of fabrication, delivery, installation, and testing within 30 days after award of contract. Update schedules at 30-day intervals.
- E. Samples: Submit samples if required to be selected by Contracting Officer within 30 days after approval of the contract. Approval/selections will be returned to Contractor within 30 days of submittal.
- F. Operating Documentation: Prior to the initiation of the field testing and training, the Contractor shall deliver operations manuals and maintenance manuals: minimum of eight (8) copies of each.
- G. Record Drawings: Provide the Contracting Officer with a reproducible set of drawings and a CAD file in AutoCAD format showing any modifications for clarifications not present on original Contract Drawings including electrical circuitry and service schematics.

## QUALITY ASSURANCE

### A. Minimum qualifications:

#### 1. Manufacturer Qualifications:

A minimum of TEN (10) years experience manufacturing with model proposed for installation on this project.

Installer Qualifications: shall have a minimum of FIVE (5) years experience installing and maintaining car stackers in Florida.

- B. Allow Contracting Officer free access to the facility at any time to observe the installation process.
- C. Comply with the following
  - 1. City of Miami Beach Parking Lift Ordinance.
- D. Provide 7 days notice to the Contracting Officer to review completed installation prior to acceptance testing.
- E. Provide equipment incorporating features which minimize maintenance and meet the following requirements:
  - 1. Provide for ease of performance verification and failure detection while minimizing effort required for adjustment.
  - 2. Provide unobstructed access to equipment components.
  - 3. Minimize requirements for special tools and test equipment.
  - 4. Provide for easy removal and replacement of components.
- F. Provide a system and components, which have a minimum service life of 25 years and specify periodic maintenance requirements in the maintenance manual to meet that life expectancy. Minimum life based upon minimum twenty five (25) lift cycles per day.
- G. If the Contractor elects to integrate components from different manufacturers, the Contractor shall be responsible for insuring that all specified features are provided and full operating when system is turned over to Contracting Officer for testing and acceptance.



#### 1.05 PROJECT CONDITIONS

- A. Do not deliver stacked parking system equipment until building is enclosed, other construction within spaces where equipment will be installed is substantially complete, and installation of equipment is ready to take place.
- B. Protect equipment from damage during delivery, handling, storage, and installation.
- C. Store equipment from damage during delivery, handling storage, and installation.
- D. Equipment Storage:
  - 1. On site storage of lifts and accessories will not be permitted without written approval of the Owner. Lifts and accessories delivered to the site and not immediately installed shall be protected from the weather. Provide a well vented, waterproof covering over the equipment.

#### 1.06 TIME OF COMPLETION

- A. Contractor shall coordinate the time required by the parking lift representative for installation and testing of equipment so that parking lift representative may begin operation of equipment at time parking facility is opened for use.

#### 1.07 WARRANTY

- A. General: Contractor shall warrant equipment and installation (100% parts and labor) in each phase for period of 1 year from date of final acceptance and shall provide extension warranty for twenty four (24) additional years. Contractor shall warrant structural frame including lift platform for period of twenty five (25) years from date official acceptance of that phase by Contracting Officer. Contractor shall repair or replace, at his expense, including parts and labor, any component that fails due to defect or normal wear and tear during this warrant period. Contractor is not responsible for repair caused by vehicle damage, vandalism, fire or flood. The system shall be maintained and serviced under contract against any and all malfunctions due to manufacturing or installation defects during warranty period. Maintenance shall include preventive maintenance per manufacturer's recommendations, or as necessary to keep equipment in good working order. Lift contractor shall be responsible for performing all maintenance and repair during the warranty period, including all preventive maintenance and minor repair task. Lift Contractor shall keep a log of all maintenance, preventive maintenance and repair work performed under warranty to be given to contracting officer at the end of the warranty period.
- B. Lift contractor shall provide two preventative maintenance and safety inspections concurrently with the warrant period. These inspections shall include checking for proper cooperation of the lifts, checking all safety devices, lubricating any components requiring lubrication and making any necessary repairs or adjustments. Also inspect hydraulic pump units.
- C. Warranty Period: Warranty period shall begin after lift contractor has demonstrated satisfactory performance of car stackers without breakdowns or repair for 10 days of operation use.
- D. Initial Maintenance Service: Beginning at Final Completion, provide 12 months full maintenance service by skilled, competent contractor of the car stacker installer. Include semi-annually preventive maintenance repair or replacement of worn or defective components, lubrications, cleaning, and adjusting as required for proper operation and capacity. Use parts and supplies as used in the manufacturer and installation of original equipment.

- E. Continuing Maintenance Service: Provide a continuing maintenance proposal from installer to Owner, in the form of a standard yearly (or other period) maintenance agreement, starting on date initial maintenance service is concluded. State services, obligations, conditions, and terms for warranty period and for future renewal options.

## 2.1 MANUFACTURER

- A. In order to establish design intent the manufacturer named has been approved for use as minimum standards; manufacturers that may be substituted where products proposed are in compliance with the requirements and equal to or better than the approved product.

Klaus Parking Equipment or  
Wohr Parking Equipment

## 2.2 PARKING LIFT UNIT (CAR STACKER):

- A. Basic Equipment Design: Provide non-automatic “car stacker” parking equipment that provides additional “dependent” parking spaces by lifting one car on a platform vertically so that a second car can park underneath the first. In order to retrieve a car from the lifted platform that car that is parked beneath that platform must be moved.
- B. Lift shall meet or exceed the features of Klaus Model G61 car stacker.
- C. Shall be commercial duty, designed to meet international building code requirements for wind loadings, meet the specification as applicable, of City of Miami Beach .
- D. Shall be designed for installation in exterior locations which could be subject to rain, snow, wind and salt air.
- E. Shall be galvanized steel. Components that are not galvanized may be painted with a high quality powder-coat finish. Lifts whose steel components are not either galvanized steel or painted with a high quality powder coat finish are not acceptable.
- F. Have a minimum rated lift capacity of 4,400 pounds. The platform shall be designed to safely lift and hold up to 6,600 pounds.
- G. Utilize a hydraulic lift mechanism with a shared power supply. Lift mechanism may not use cables as part of the lift mechanism. Lifting mechanism shall utilize one or more hydraulic cylinders which are directly attached to the lifting platform. The lifting mechanism shall be designed to safety lift at least 6,600 pounds.
- H. Safety Device: Each unit shall have redundant mechanical locking mechanism to prevent lowering of the upper vehicle due to loss of power or loss of hydraulic fluid. Provide a redundant mechanical or electromechanical safety device that shall mechanically lock the platform in the raised position. This device shall prevent any un-commended downward movement of the lift in the event of partial or complete hydraulic system failure. The safety device shall automatically engage as the lift nears the top of its upward travel, and shall disengage only when an operator specifically signals for downward travel.
- I. Hydraulic fluid shall be non-flammable and bio-degradable.
- J. Platform must be at least 8 feet 0 inches wide and 16 feet 0 inches long and fully sealed to prevent dripping on car below. Lift car by solid, antiskid lifting platform mechanism under

vehicles tires. Lifting platform shall be solid and continuously load bearing without gaps or holes in the platform. The platform shall be designed to catch any rain, melting snow, or other fluids dripping off a car on the platform so that these fluids do not drip on the car below. Minimum platform support length = 16 feet. Minimum usable platform width = 8 feet 0 inches. Designs which lift vehicles by their frame in lieu of under their tires are unacceptable. **NO BOLT ON DRIP PANS ALLOWED.**

- K. Level Platform: Provide design that will ensure that the platform stays level from side to side and front to back during the entire lifting travel.
- L. Car stacker shall have wheel stop mechanism to alert valet before driving too far onto lift mechanism
- M. The machine shall be a two-leg design with the legs located toward the rear of the machine allowing easy egress from a car parked on or below that platform. A four post configuration is not acceptable.
- N. Legs. Provide substantial steel legs that support and guide the platform as it is being lifted. Legs shall be made of galvanized steel. Legs shall have suitable bases for mounting on the floors and shall be securely bolted to the floor. Heavy duty-guides shall be nylon or roller and shall not require external grease or oil lubrication that might provide a problem by rubbing off on users or falling on to the floor or platform.
- O. Units shall have an overall width of 9 feet maximum.
- P. Units shall have a minimum drive through width of 7 feet 6 inches.
- Q. Be constructed in multi-units of at least four stackers where the parking layout will allow such construction.
- R. Be capable of operating with a minimum vertical clearance of 10'-6".
- S. Be capable of increasing stored height of upper platform in areas with additional vertical clearance. Units shall be capable of providing lifted platform storage heights at 60" to 84" above grade.
- T. Lifting Chains shall be designed with a factor of safety of at least eight.
- U. Chain Pulleys and Sprockets. Chain pulleys or sprockets shall be steel and have heavy-duty bushings or bearings with provisions for grease-gun lubrication.
- V. Pivot points shall utilize heavy duty bushings or bearing with provisions for lubrication, if required, during the service life of the bushing or bearing.

## 2.3 POWER UNIT

- A. Provide a heavy-duty hydraulic power unit. The power unit shall contain a heavy-duty electric motor, a hydraulic pump, a pressure gauge, an adjustable automatic pressure relief valve, a steel hydraulic fluid reservoir, and a return fitting. The pump shall be contained inside the reservoir to reduce noise. The units shall be wall mounted with a rubber bonded-to-metal mounting. Utilize 5.0 to 7.5 horsepower, 208 Volt, three phase motors. The unit shall be touch-safe: no gears, pulleys, belts or fans shall be accessible when covers are in place.
- B. UL approved for Wet Location installation.
- C. Shall be capable of running a minimum of 10 car stackers.

- D. Shall be capable of lifting and lowering a vehicle in less than 30 seconds.

## 2.4 CONTROL SYSTEM:

- A. Provide an electrical control system in a wall-mounted NEMA 12 cabinet. The system shall include a motor starter, motor overload, transformer, and clearly marked terminal blocks for all field connections. The system shall provide control signals for the safety-devices and operators stations. The system shall be UL listed as an "Industrial Control Panel". Provide a clear electrical and hydraulic schematic in a pocket on the door of the control enclosure.
- B. Hydraulic Piping or Tubing: Provide suitable hydraulic piping, tubing, or hose from the power unit to each machine. Piping, tubing or hose must be rated for the maximum operating and relief pressure of the system. Install the piping in a manner that eliminates, as much as practical, the possibility of damage from persons, automobiles, or other normal operations of the garage.
- C. Controls for Individuals Car Stacker shall be located at the drive aisles end of the stacker and be located such that attendant does not have to go between moving platforms to activate the lift. Key switch type is required, No push button allowed.
- D. Operator's Station. Provide an electrically operated control station on an arm or pedestal or mounted on a building column. Mount the operator control station in a location that shall allow complete unobstructed view of the machine during operation. The operator's station shall contain an up/down key-switch and an emergency stop switch with a red mushroom head. Provide key-switches that are identically keyed. The intent of the key is to prevent unauthorized operation during hours when the stackers are not in use.
- E. Provide engraved or laminated operating instructions adjacent to each operator's station. Provide clear numbering or identification of the machines and operator's station so that there can be no confusion as to what station operators which machine.
- F. Electrical Piping and Wiring. Providing suitable electrical piping and wiring for the car stackers. Wiring to the machines and to the operator's stations shall be enclosed in conduit. Install the wiring in a manner that eliminates, as much as practical, the possibility of damage from persons, automobiles, or other normal operations of the garage.

## 2.5 ANCHOR BOLTS OR BASE PLATES:

- A. Comply with car stackers manufacturer's instructions and recommendations. Install lifts on a concrete pad or level slab and anchored securely with sufficient anchorages to withstand load stresses.
- B. Anchor bolts shall be zinc coated or stainless steel for outdoor use.

## PART 3 – EXECUTION

### 3.1 PROJECT COORDINATION

- A. General: Meet with Contracting Officer, and General Contractor within 30 days of contract Award to confirm all details of car stacker installation. Schedule, as related to work done Under General Contract must be achieved with adequate time for hookup, testing, and trial Period as specified herein.



- B. Submittals: Provide those responsible for related work with:

### 3.2 INSPECTION OF WORK BY OTHERS

- A. Upon written notice from car stacker representative that the entire work or an agreed portion There is complete, Contracting Officer and/or its representative(s) and car stacker Representatives shall make the final inspection of Work. The Contracting Officer and/or Contracting Officer's representative will then notify the car stacker representative in writing of all particulars in which the Work has been found incomplete or defective. The car stacker representative shall immediately take such measures as are necessary to remedy such deficiencies.

### 3.3 INSTALLATION OF CAR STACKERS

- a. Install Car Stacker in accordance with manufacturer's recommendations and approved Shop Drawing.
- b. Inspect the jobsite before delivery of the equipment. Advise the Contracting Officer of any deficiencies in the work required prior to the installation. Perform the installation with trained personnel. Advise the Contracting Officer two days prior to completion. Inspect the equipment with the Contracting Officer and receive his approval prior to putting the car stacker into service. Provide a minimum of two hours training to the Contracting officer's representative at the time of commissioning.
- c. Installation and Start-up: Car Stacker Representative shall be responsible for installation of all control and communication wiring and Contractor supplied equipment and its interfacing and interconnection with Contracting Officer supplied equipment. The car stacker representative shall authorize and accept responsibility for application of power to the equipment and initiation of operation, by responsible for running all initial diagnostic and system generation programs necessary to provide complete working system.

- 3.4 Training Provide minimum four hours training for Operators personnel, up to eight staff members. Training shall include proper operation of equipment and performance of any routine or preventative maintenance.

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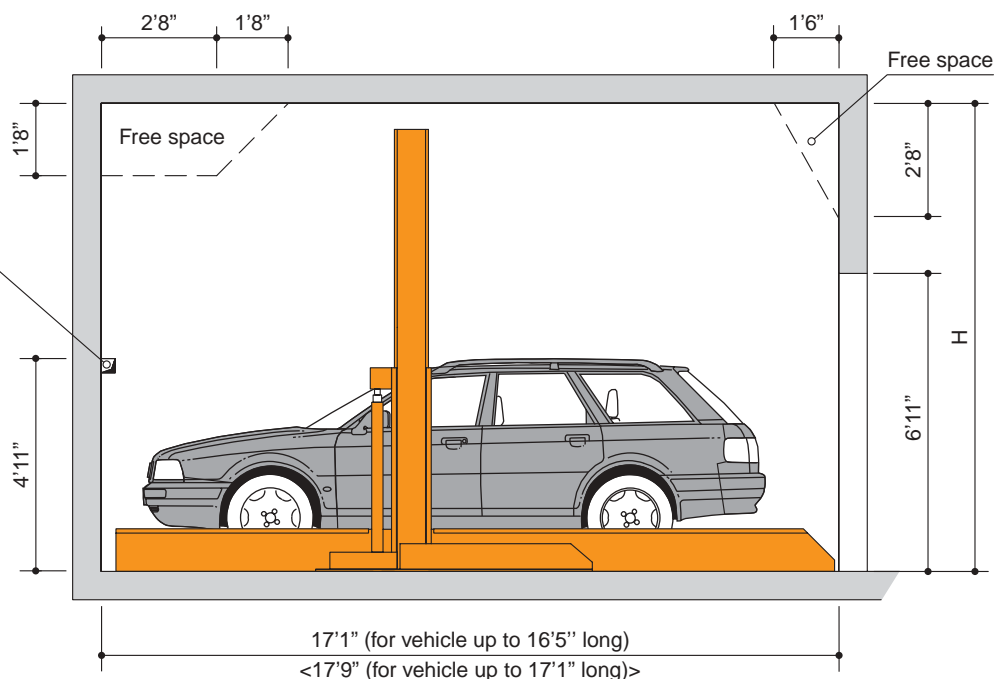
## Basement garage

Space requirements are minimum finished dimensions in inch

for dividing walls:

cutting through 10 x 10 (for ducts for cables, pipes etc.) of dividing wall

**PLEASE NOTE:** Before lowering the platform the lower vehicle must be removed.



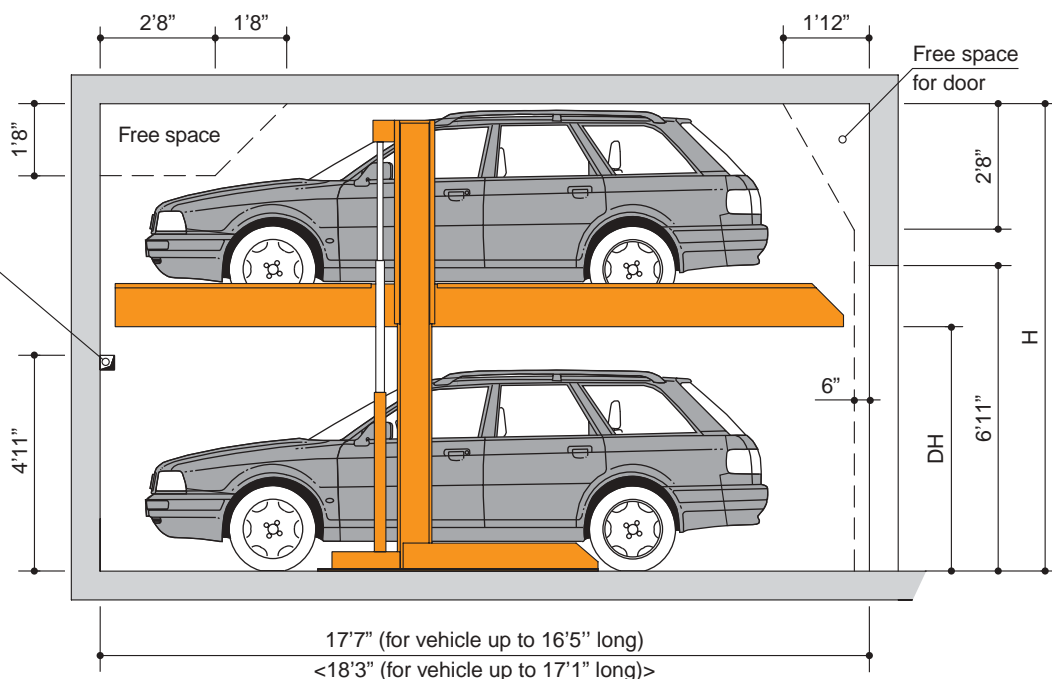
## Garage with door in front of the car parking system

Space requirements are minimum finished dimensions in inch

for dividing walls:

cutting through 10 x 10 (for ducts for cables, pipes etc.) of dividing wall

**PLEASE NOTE:** Before lowering the platform the lower vehicle must be removed.




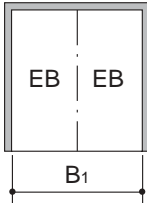
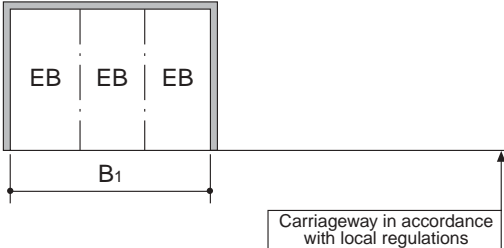
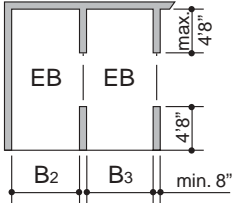
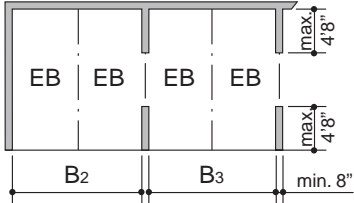
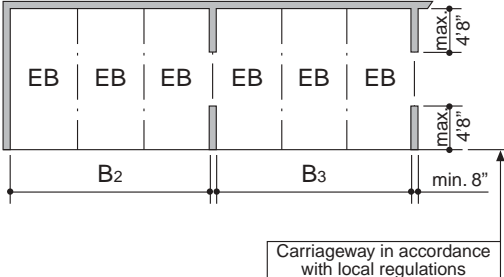
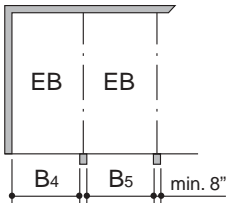
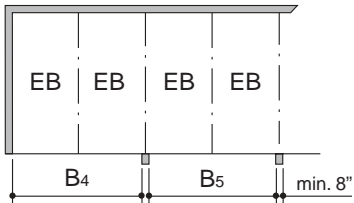
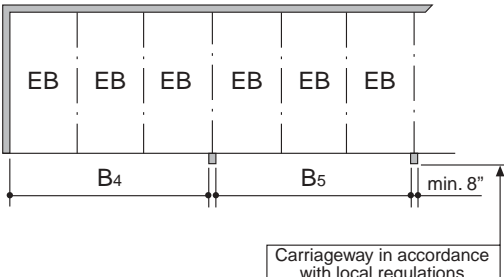
Type	H	DH	Suitable for	Maximum vehicle dimensions
<b>G 61-160</b>	<b>10'6"</b>	<b>5'3"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 4'11"	Length 16'5" <17'1"> Height see "Suitable for" Width 6'3" Weight 2,000 kg Wheel load 500 kg
<b>G 61-170</b>	<b>10'10"</b>	<b>5'7"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'3"	
<b>G 61-180</b>	<b>11'2"</b>	<b>5'11"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'8"	
<b>G 61-190</b>	<b>11'6"</b>	<b>6'3"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 5'12"	
<b>G 61-200</b>	<b>11'10"</b>	<b>6'7"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 6'3"	
<b>G 61-210</b>	<b>12'2"</b>	<b>6'11"</b>	upper: standard passenger cars & station wagons, max. veh. height 4'11" lower: standard passenger cars & station wagons, max. veh. height 6'7"	

If dimension height "H" is increased by customer, correspondingly higher vehicles may be parked on the upper platform(s).

## Widths – Basement Garage

## Series G 61 (Horizontal)

All space requirements are minimum finished dimensions in cm

	Single Platform (EB)	Twin Unit (2 x EB)	Triple Unit (3 x EB)
Dividing Walls			
Internal Columns			
External Columns			

	Usable Platform Width	Dividing Walls B <sub>1</sub>	Internal Columns B <sub>2</sub> B <sub>3</sub>		External Columns B <sub>4</sub> B <sub>5</sub>	
EB	7'7"	8'7"	8'5"	8'3"	8'3"	7'11"
	7'11"	8'11"	8'9"	8'7"	8'7"	8'3"
	8'3"	9'3"	9'1"	8'11"	8'11"	8'7"
2 x EB	7'7"	17'1"	16'11"	16'9"	16'9"	16'6"
	7'11"	17'9"	17'7"	17'5"	17'5"	17'1"
	8'3"	18'5"	18'3"	18'1"	18'1"	17'9"
3 x EB	7'7"	25'8"	25'6"	25'4"	25'4"	24'12"
	7'11"	26'7"	26'5"	26'3"	26'3"	25'12"
	8'3"	27'7"	27'5"	27'3"	27'3"	26'11"

 Standard width = parking space width 7'7"

### PLEASE NOTE:

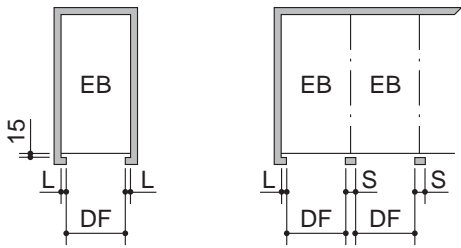
- End parking spaces are generally more difficult to drive into. Therefore we recommend for end parking spaces our wider platforms.
- Parking on standard width platforms with larger vehicles may make getting into and out of the vehicle difficult. This depends on type of vehicle, approach and above all on the individual driver's skill.

Widths – Garage with door in front of the car parking system

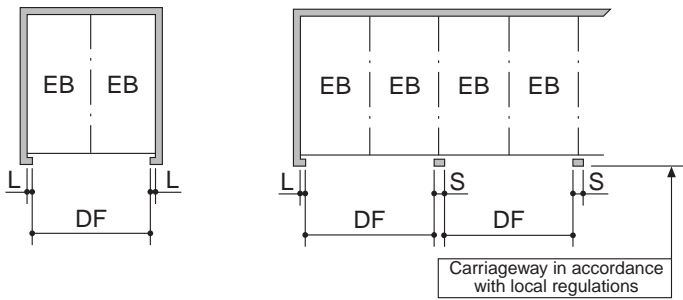
Series G 61  
(Horizontal)

All space requirements are minimum finished dimensions in inch

Single Platform (EB)



Twin Unit (2 x EB)

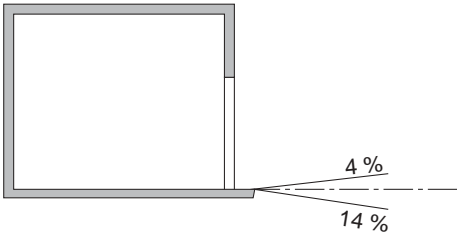


	Usable Platform Width	DF	L	S
EB	7'7"	7'10"	5"	10"
	7'11"	8'3"	5"	10"
	8'3"	8'3"	6"	12"
2 x EB	7'7"	15'7"	9"	1'6"
	7'11"	16'6"	8"	1'4"
	8'3"	17'1"	8"	1'4"

DF = door entrance width

Door dimensions require coordination with door supplier.

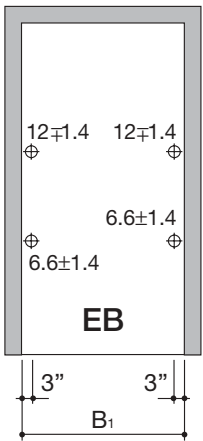
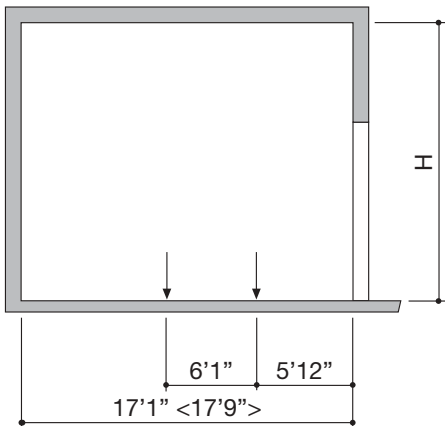
Approach



These illustrated maximum approach angles must **NOT** be exceeded. Incorrect approach angles will cause **SERIOUS MANOEUVRING & POSITIONING PROBLEMS** on the parking system for which the local agency of Klaus accepts no responsibility.

Load plan

forces in kN  
dimensions in inch



Units are bolted to the floor. Drilling depth approx. 6"



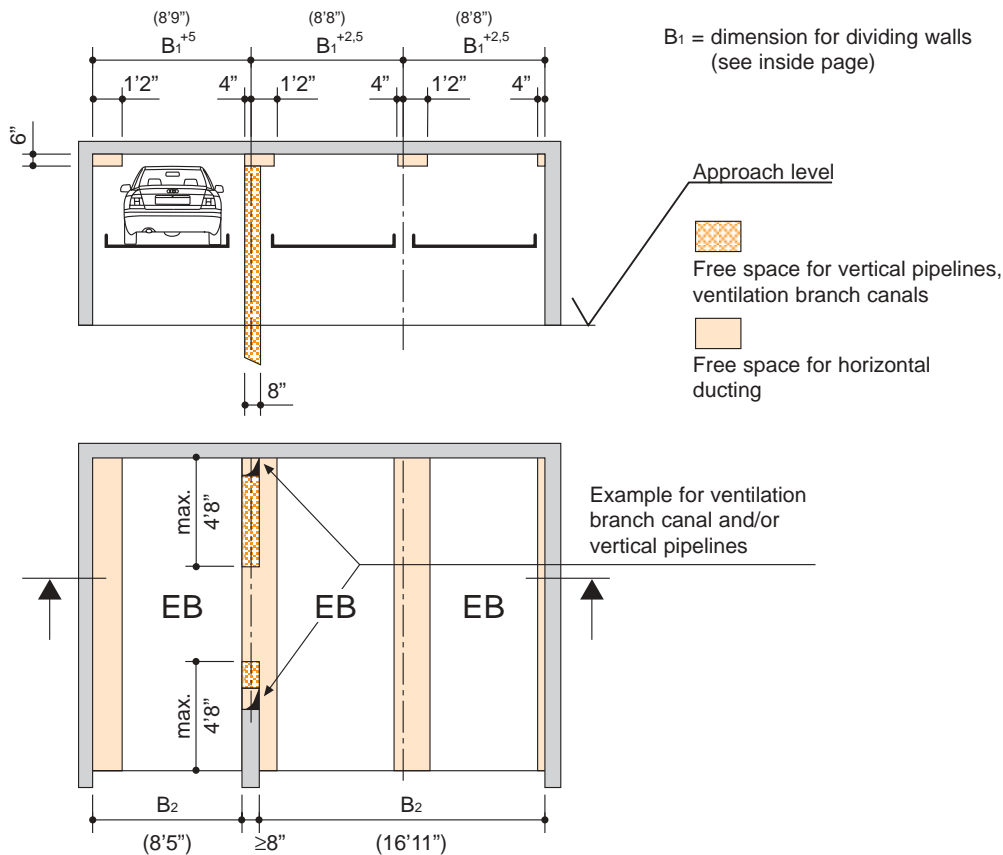
## Installation Data

Garage ventilation, drainage, heating, electrical wiring

## Series G 61 (Horizontal)

### Free space for longitudinal and vertical ducts (e.g. ventilation)

dimensions in inch



## Electrical Data

dimensions in inch

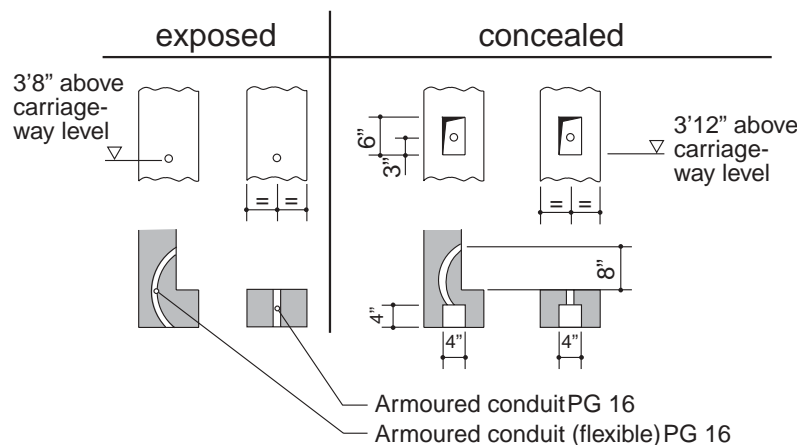
### Generally to be effected by customer:

- electrical wiring 5 x 2.5 mm<sup>2</sup> per unit
- delayed-action mains fuse 3 x 16 A per unit
- "EMERGENCY-OFF"/main power supply switch, lockable, per unit

### Electrical wiring:

Electrical wiring is carried out by the customer or by the local agency of Klaus in accordance with our circuit diagram/s. (Please see the respective quotation at hand)

### Cable conduits and recesses for operating element



### Technical Data as of issue 06/98:

We reserve the right to change this specification without further notice.

Stamp

### Units

Low-noise power units mounted to rubber-bonded-to-metal mountings are installed. Nevertheless we recommend to build the parking system's garage separately from the dwelling house.

### Safety railings

Any safety railings which become necessary due to the installation of the system at access points, walkways, traffic lanes etc. will have to be provided/paid for by customer.

### The following documents can be supplied upon request:

wall recess plans  
test sheet on airborne and solid-borne sound



*Parking Systems Atlantic, Inc.*

## **Service Overview**

- **Preventive Maintenance:**
  - Lubricate Chain
  - Lubricate Locking Mechanism
  - Remove contaminated grease on vertical rails
  - Apply new grease on vertical rails
  - Spray conditioner on lift hydraulic hoses
  - Spray conditioner on hydraulic pump hoses
  - Clean lift platform
  
- **Inspection of main components:**
  - Inspect chain for stretch or abnormalities
  - Inspect and adjusted locking mechanism for proper operation
  - Inspect locking mechanism for damage or excessive wear
  - Inspect hydraulic hoses for cracks or excessive wear
  - Inspect hydraulic lines for leaks, damage, and rust
  - Inspect hydraulic fittings for leaks, damage, and rust
  - Inspect hydraulic pump for leaks and proper function
  - Inspect telescoping pistons for leaks or damage
  - Inspect protective piston cover
  - Inspect electrical platines and rail boxes for damage
  - Inspect electrical conduit for damage and/or rust
  - Inspect key switch for damage and proper function
  - Inspect horizontal side rails for damage
  - Inspect orange end protector for damage
  - Inspect structural concrete anchors
  - Inspect structural hardware



*Parking Systems Atlantic, Inc.*

**Project Name**

**Owner's Name**

**Owner's Address**

**City, State Zip Code**

**WARRANTY- QTY (00) G61 Vehicle Lifts & (00) Power Pack**

Seller warrants its equipment and all of the parts or components thereof to be free from defects in materials and workmanship for a period of twenty-five (25) years while FULL annual service is provided by KLAUS. The first year of annual service is provided by KLAUS Parking Systems Atlantic, Inc., free of cost during time period through **End Date**.

During the 25 years of this Warranty Period Seller's Warranty includes the replacement cost of parts or components and the expense of labor, and all other expenses required for such replacement pursuant to the terms and conditions set forth herein and in the Agreement between the parties and in the Schedules annexed hereto. Annual service provided by KLAUS Parking Systems Atlantic, Inc. keeps this warranty in effect. If service is discontinued with KLAUS Parking Systems Atlantic, Inc. then warranty is null and void.

Notwithstanding the foregoing, no liability or responsibility whatsoever shall be attached to Seller under this Warranty until the equipment, in its entirety, is installed at the Location of Installation and is paid for in accordance with the Agreement. No extension as to the period or periods of Warranty or terms of the within Warranty will be effective and binding upon Seller unless said Extension is made in writing by Seller and duly executed by an Officer of Seller or by an authorized Agent of Seller.

THIS WARRANTY IS EXPRESSLY MADE BY SELLER AND ACCEPTED BY THE PURCHASER IN LIEU OF ALL OTHER WARRANTIES, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, WHETHER WRITTEN, ORAL, EXPRESSED, IMPLIED OR STATUTORY.

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Klaus Parking Systems Atlantic, Inc.  
Bruce E. Roden, Sr.  
Mechanical Engineer, President

Toll Free Service: 1-844-552-8775

## **TRAINING CHECKLIST FOR PARKLIFT SYSTEM OPERATOR**

### **1. System Familiarization for System Operator:**

- a) Review function of motor, tank, pump, hydraulic lines/fluid, cylinders, solenoids, key switch, red emergency button.
- b) Review emergency lowering procedure.

### **2. System Maintenance for System Operator:**

- a) Review specific servicing requirements for model of lift installed.
- b) Review troubleshooting guide.
- c) Review warranty. Warranty void if system not serviced properly.
- d) Review Klaus service policy.

### **3. System Management for System Operators:**

- a) Always assign spaces to users.
- b) Train individual Users with *Training Checklist for Individual Parklift System Users*.
- c) Always assist a User on the first drive-in. Ride the platform to verify that there is at least 2 inches clearance at all locations, e.g. ceiling, front of car, rear of car.
- d) Adjust wheel stop to fit car.
- e) Keep platforms clean. Platforms will be damaged if lowered onto debris.
- f) Have User sign liability release.
- g) Advise Users of any conflicts with HVAC ducts, etc.

### **4. Basic System Cautions:**

- a) Keep people, especially children, away from Parklift gears, movable parts.
- b) Do not use platforms for storage.
- c) Do not use lifts as a hoist for car repairs.
- d) Do not let untrained persons use the systems.
- e) Be alert for oil leaks, unusual noises and/or lift malfunction.
- f) Maximum weight is 4,400 pounds per car.

Above items above reviewed with System Operator/Owner on \_\_\_\_\_.

Klaus Representative: \_\_\_\_\_.

Owner/Operator Representative: \_\_\_\_\_.



## **TRAINING CHECKLIST FOR INDIVIDUAL PARKLIFT SYSTEM USERS**

**1. The undersigned Parklift User acknowledges that he/she has been trained in the use of the Parklift system and is aware of the following items:**

- a) All Parklifts use must be in accordance with the factory Operating Instructions.
- b) Maximum vehicle weight is 4,400 pounds; maximum wheel load is 1,100 pounds.
- c) Use only the assigned parking space. Review allowable auto dimensions and particular conflicts for individual spaces.
- d) To operate platform: Observe surroundings. Keep all persons well back from the lift. If all clear, step back, watch feet and insert key into key switch, turn and hold key to bring platform into proper position for parking.
- e) Parking: Before driving onto the platform, verify that the platform is at the proper height. Platforms sometimes lower slightly over time. If platform is not at proper height, do not use lift and notify System Operator. Unload baggage, groceries, children, and pets prior to driving on to platform. Watch for antennas, racks on top of cars, etc. Drive forward to wheel stop and set brake. Walk out and watch for limited headroom.
- f) Driving out: Drive out slowly, watch for obstructions or people.
- g) Advise User who to call for problems.

### **2. Basic System Cautions:**

- a) Keep people, especially children, away from Parklift gears, movable parts.
- b) Do not use platforms for storage.
- c) Do not use lifts as a hoist for car repairs.
- d) Do not let a stranger or guest use a parking stall
- e) Be alert for oil leaks, unusual noises and/or lift malfunction.
- f) Be aware of varying heights of lifts and conflicts at individual lifts.
- g) Maximum weight is 4,400 pounds per car.

### **3. Liability Release:**

**I hereby confirm that I have been fully instructed and understand the Operating Instructions and the above checklist for the safe operation of the Klaus Parklift.**

**I agree to indemnify and hold harmless the building owner and Klaus Parking Systems Atlantic, Inc. from any and all claims, actions, suits, procedures, costs, expenses, damages and liabilities, including attorney's fees brought as a result of use of the Klaus Parklifts.**

\_\_\_\_\_  
Parklift User                      Apartment # \_\_\_\_\_  
Date

Vehicle: Make \_\_\_\_\_ Model \_\_\_\_\_ Year \_\_\_\_\_



Industrie Service

## Certificate concerning the examination of conformity

**Certificate no:** KP 005/1

**Certification body:** TÜV SÜD Industrie Service GmbH  
Zertifizierungsstelle für Produkte der Fördertechnik  
Gottlieb-Daimler-Str. 7  
70794 Filderstadt - Germany

**Applicant / Certification holder:** KLAUS Multiparking GmbH  
Hermann-Krum-Str. 2  
88319 Aitrach - Germany

**Date of application:** 2014-09-30

**Manufacturer:** KLAUS Multiparking GmbH  
Hermann-Krum-Str. 2  
88319 Aitrach - Germany

**Product:** Equipment for power driven parking of motor vehicles

**Type:** SingleVario 2061 EB 2.000 kg  
SingleVario 2061 EB 2.500 kg

**Test laboratory:** TÜV SÜD Industrie Service GmbH  
Prüflaboratorium für Produkte der Fördertechnik  
Prüfbereich Maschinen der Fördertechnik  
Gottlieb-Daimler-Str. 7  
70794 Filderstadt – Germany

**Date and number of the test report / mark of conformity:** 2014-11-20  
KP 005/1

**Test specifications:** - 2006 / 42 / EC, Annex I  
- DIN EN 14010

**Validity:** **This Certificate is valid until 2019-11-30**

**Result:** The equipment fulfills the requirements of the test specifications for the respective scope of application stated in the annex (page 1) of this certificate, keeping the mentioned conditions.

**Date of issue:** 2014-12-01

Certification body for lifts and cranes

  
Chadi Nouredine



TUV®

**Annex to the certificate concerning the examination of conformity**  
**No. KP 005/1 dated 2014-12-01, mark of conformity KP 005/1**

**1. Scope of application**

Two parking levels, each with one parking space in (EB).

Max. load carrying capacity / parking space      EB: 2.500 kg

Set value pressure control valve                      24,0 MPa

Max. operating speed                                      0,15 m/s

**2. Conditions**

2.1 Access is only possible from the entrance side.

2.2 In case of outdoor installation the site of installation is protected against wind according to DIN EN 1991-1-4.

2.3 In case of outdoor installation snow depth of more than 20 cm do not occur or this snow is cleared constantly according to DIN EN 1991-1-3.

2.4 The performance data as well as the project-relevant operating instructions are adhered.

2.5 Before initial commissioning an inspection by the official expert is necessary. In addition, the expert has to determine to what extent local danger areas need to be safeguarded. The following documents are required for this inspection:

Overview drawing:

EB 2,0to / 2,5to

No. 58512910

dated 2012-07-16

Access to the drawings administration of the spare part program EtPro

Load diagram:

No. 58660520-001

dated 2014-10-28

Hydraulic circuit diagram:

No. 58511940

dated 2008-05-15

Electric circuit diagram:

No. 58503340

dated 2009-11-24

No. 58551840

dated 2009-11-24

Short operating instructions:

SingleVario 2061

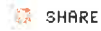
**3. Remarks**

3.1 A sign with particulars for identification of the safety component, containing the name of the manufacturer, the sign of the EC type-examination and the type specification must be attached at the product.

3.2 The certificate concerning the examination of conformity may be used only in connection with the pertinent Annex.



## OSHA



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Office of Technical Programs and Coordination Activities / Nationally Recognized Testing Laboratory Program

## Nationally Recognized Testing Laboratory Program

Welcome to the Nationally Recognized Testing Laboratory (NRTL) Program. Workplace product safety is a critical component of workplace safety and both the construction and general industry OSHA electrical standards contain requirements for certain products to be tested and certified by an NRTL. NRTLs are private sector organizations that are recognized by OSHA to perform this certification. Each NRTL has a scope of test standards that they are recognized for, and each NRTL uses its own unique registered certification mark(s) to designate product conformance to the applicable product safety test standards. After certifying a product, the NRTL authorizes the manufacturer to apply a registered certification mark to the product. If the certification is done under the NRTL program, this mark signifies that the NRTL tested and certified the product, and that the product complies with the requirements of one or more appropriate product safety test standards. Users of the product can generally rely on the mark as evidence that the product complies with the applicable OSHA approval requirement(s) and is safe for use in the workplace.

### Program Resources

- [Nationally Recognized Testing Laboratory Program Improvement Project](#)
- [Frequently Asked Questions \(FAQs\)](#)
- [Information on Submitting an Application](#)
- [NRTL Program Regulations](#)
- [NRTL Program Policies, Procedures, and Guidelines \(NRTL Directive - CPL 01-00-003 - CPL 1-0.3\) \(PDF\)](#)
- [Fee Payment Instructions and Information \(PDF\)](#)
- [Current List of Appropriate Test Standards Under the NRTL Program](#)
- [Current List of Removed Test Standards](#)
- [Type of Products Requiring NRTL Approval](#)
- [Specific References to OSHA Standards Requiring NRTL Approval](#)
- [Typical Registered Certification Marks](#)
- [Organizations or Sites No Longer Recognized](#)

### Organizations Currently Recognized by OSHA as NRTLs

The pages below include information about the NRTL (such as the list of standards, sites, and programs that OSHA has recognized for the NRTL).

- [Canadian Standards Association \(CSA\)](#)
- [Curtis-Straus LLC \(CSL\)](#)
- [FM Approvals LLC \(FM\)](#)
- [Intertek Testing Services NA, Inc. \(ITSNA\)](#)
- [MET Laboratories, Inc. \(MET\)](#)
- [Nemko-CCL \(CCL\)](#)
- [NSF International \(NSF\)](#)
- [QPS Evaluation Services Inc. \(QPS\)](#)
- [SGS North America, Inc. \(SGS\)](#)
- [Southwest Research Institute \(SWRI\)](#)
- [TUV Rheinland of North America, Inc. \(TUV\)](#)
- [TUV Rheinland PTL, LLC \(TUVPTL\)](#)
- [TÜV SÜD America, Inc. \(TUVAM\)](#)
- [TÜV SÜD Product Services GmbH \(TUVPSG\)](#)
- [Underwriters Laboratories Inc. \(UL\)](#)



needed with reading, reviewing or accessing these documents or any figures and illustrations, please also contact OSHA's Directorate of Technical Support and Emergency Management at (202) 693-2300.

\*eBooks - EPUB is the most common format for e-Books. If you use a Sony Reader, a Nook, or an iPad you can download the EPUB file format. If you use a Kindle, you can download the MOBI file format.

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U.S. Department of Labor | Occupational Safety & Health Administration | 200 Constitution Ave., NW, Washington, DC 20210

Telephone: 800-321-OSHA (6742) | TTY

[www.OSHA.gov](http://www.OSHA.gov)

# INVOICE (00103202)

**BILLING CONTACT**

Mathew Barnes  
Akerman LLP  
98 Se 7  
Miami, FL 33131

**MIAMIBEACH**

1700 Convention Center Drive  
Miami Beach, Florida 33139  
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00103202	02/20/2018	02/20/2018	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB18-0192	Review and Report by Outside Source (Planning)	\$5,800.00
7140 Collins Ave Miami Beach, FL -331413212		<b>SUB TOTAL</b> \$5,800.00

**TOTAL** **\$5,800.00**

**Any refund associated with this invoice will only be issued to the billing contact listed herein.**

# INVOICE (00103199)

**BILLING CONTACT**

Mathew Barnes  
Akerman LLP  
98 Se 7  
Miami, FL 33131

**MIAMIBEACH**

1700 Convention Center Drive  
Miami Beach, Florida 33139  
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00103199	02/20/2018	02/20/2018	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB18-0192	New Application	\$2,500.00
7140 Collins Ave Miami Beach, FL -331413212		<b>SUB TOTAL</b> \$2,500.00

**TOTAL** **\$2,500.00**

**Any refund associated with this invoice will only be issued to the billing contact listed herein.**

# INVOICE (00106902)

**BILLING CONTACT**

Mathew Barnes  
Akerman LLP  
98 Se 7  
Miami, FL 33131

**MIAMIBEACH**

1700 Convention Center Drive  
Miami Beach, Florida 33139  
305.673.7000

INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
00106902	03/16/2018	03/16/2018	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
PB18-0192	Advertisement	\$1,500.00
	Board Order Recording	\$100.00
	Courier (per package)	\$70.00
	Mail Notice Per Label	\$2,272.00
	Posting (per site)	\$100.00
7140 Collins Ave Miami Beach, FL -331413212		<b>SUB TOTAL</b> \$4,042.00

**TOTAL** **\$4,042.00**

**Any refund associated with this invoice will only be issued to the billing contact listed herein.**



**rdr miami** | rio development resources

public hearing notification packages: lists of property owners within a specific radius + radius maps + mailing labels  
mailouts + site posting

**rdrmiami.com | diana@rdrmiami.com | 305.498.1614**

February 15, 2018

City of Miami Beach  
Planning Department  
1700 Convention Center Dr.  
Miami Beach, FL 33139

**Re: Property Owners List within 375 feet of:**

**SUBJECT:** 7140 Collins Avenue, Miami Beach, FL 33141

**FOLIO NUMBER:** 02-3211-002-0660

**LEGAL DESCRIPTION:** NORMANDY BEACH S PB 21-54 LOT 12 BLK 8

**SUBJECT:** 7134 Collins Avenue, Miami Beach, FL 33141

**FOLIO NUMBER:** 02-3211-002-0650

**LEGAL DESCRIPTION:** NORMANDY BEACHSOUTH PB 21-54 LOT 11 BLK 8

**SUBJECT:** 7124 Collins Avenue, Miami Beach, FL 33141

**FOLIO NUMBER:** 02-3211-002-0640

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 10 BLK 8

**SUBJECT:** 7118 Collins Avenue, Miami Beach, FL 33141

**FOLIO NUMBER:** 02-3211-002-0630

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 9 BLK 8

**SUBJECT:** 7121 Harding Avenue, Miami Beach, FL 33141

**FOLIO NUMBER:** 02-3211-002-0600

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 4 BLK 8

**FOLIO NUMBER:** 02-3211-002-0590

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 3 BLK 8

**FOLIO NUMBER:** 02-3211-002-0580

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 2 BLK 8

**FOLIO NUMBER:** 02-3211-002-0570

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 1 BLK 8

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above, including the subject property. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Sincerely,

Diana B. Rio

Total number of property owners without repetition: **568, including 15 international**

*Rio Development Resources, LLC ("RDR") has used its best efforts in collecting the information published in this report and the findings contained in the report are based solely and exclusively on information provided by you and information gathered from public records and that local government. By acceptance of this report, you agree to hold RDR harmless and indemnify RDR from any and all losses, damages, liabilities and expenses which can be claimed against RDR caused by or related to this report.*



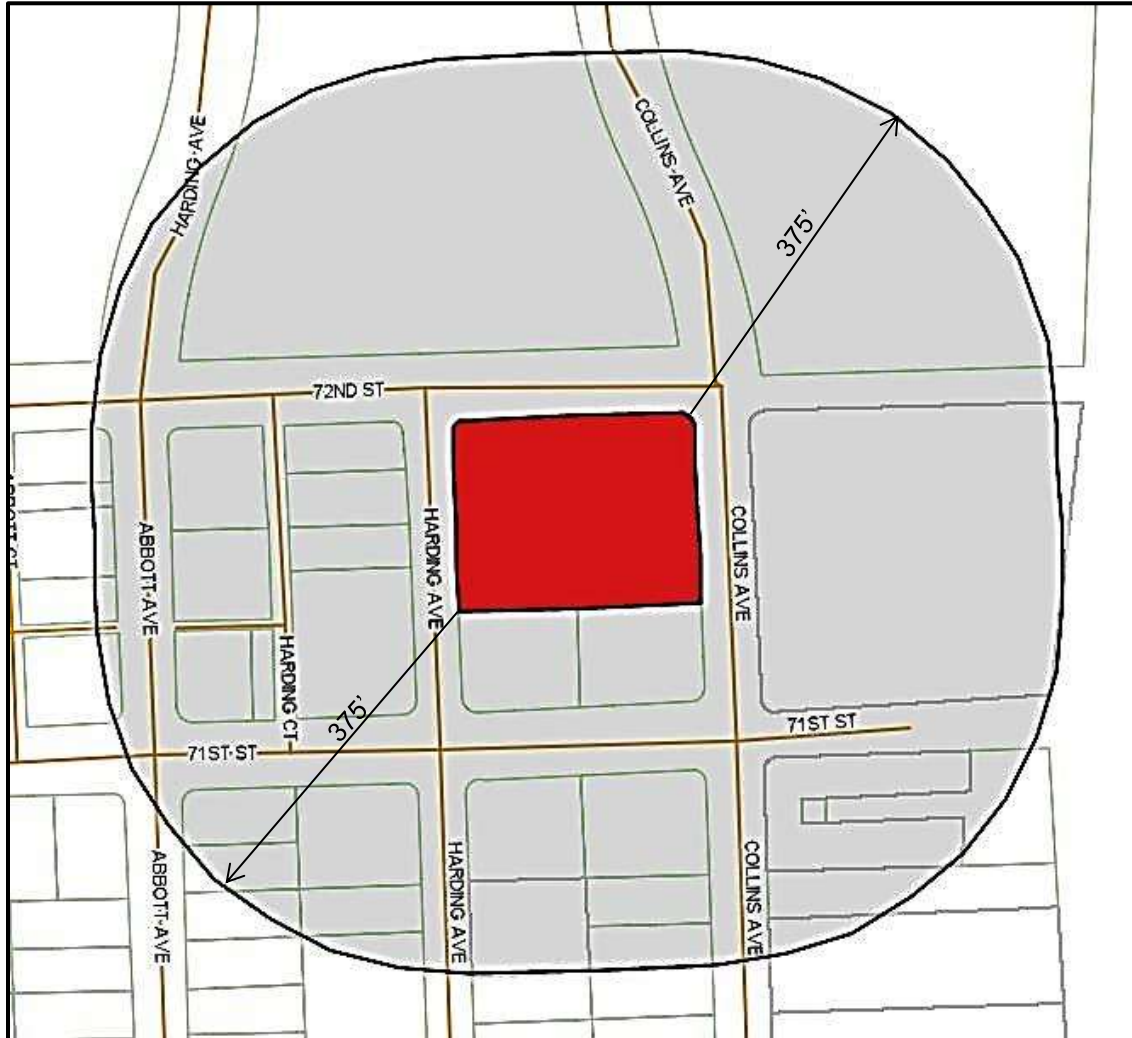


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public hearing notification packages: lists of property owners within a specific radius + radius maps + mailing labels  
mailouts + site posting

**rdrmiami.com** | **diana@rdrmiami.com** | **305.498.1614**

## 375' RADIUS MAP



**SUBJECT:** 7140 Collins Avenue, Miami Beach, FL 33141

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**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 2 BLK 8

**FOLIO NUMBER:** 02-3211-002-0570

**LEGAL DESCRIPTION:** NORMANDY BEACH SOUTH PB 21-54 LOT 1 BLK 8

Name	Address	City	State	Zip	Country
ALBERTO LOPEZ TRS ALBERTO ENRIQUE LOPEZ REV TR	1513 BOLIVA PISO1 DEPTO 6	BUENOS AIRES 1416			ARGENTINA
APAPACHO LLC	MONTEVIDEO 2253 BOULOGNE 1609 SAN ISIDRO	BUENOS AIRES			ARGENTINA
BEACH PIT LLC	CORONEL MORA 588 #701	MONTEVIDEO 11300			URUGUAY
BEMCM LLC	SALTA 3454	LA LUCILA			ARGENTINA
BERNARD ROSS &W AYALA	10 RIDERWOOD DR	TORONTO ONT M2L2X3			CANADA
BRIGITTA MAIER & DOMINIQUE M TOST JTRS	MARIANA DE JESUS #228 Y	PRADERA QUITO			ECUADOR
CLAUDIA A ROMAGNA DE MIREAULT TRS CLAUDIA A ROMAGNA DE MIREAULT & PIERRE MIREAULT REV TRUST	4775 MELOCHE	PIERREFONDS QUEBEC H9J 1Y9			CANADA
DENYSE LAMBIN TRS THE DENYSE LAMBIN REV TRUST	2024-7 ST HUBERT ST	MONTREAL QC H2L 3Z6			CANADA
EDUARDO JORGE ORESTE GRACIELA I C DE ORESTE	CALLE 20 #389 ENTRE 39 Y 40	LA PLATA BUENOS AIRES			ARGENTINA
HAROLD SABOVICH TRS HAROLD SABOVICH FAM TR SHIRLEY MARDER TRS	99 DALEMOUNT AVE	TORONTO M6B 4J7			CANADA
JULIE ANN SCHICK RAPHAEL SCHICK	228 COLDSTREAM AVE	TORONTO ONT M5N 1Y3			CANADA
MARIA WINDMAN (LE) REM LILI SCHON & SAUL WINDMAN	285 WINDING LN	THORNHILL ONTARIO L4J 5K7			CANADA
RACHEL BENSABOT MARIE BENSABOT	7565 WESTOVER AVE 33	MONTREAL QC H4W3K7			CANADA
RICHARD MISLOV ANASTASIA GROUMBOS	369 CLINTON ST	TORONTO ONTARIO M6G2Z1			CANADA
SUSANA PALLICER MARTINEZ	CALLE JOAN COROMINAS #6	PROVINCIA BARCELONA ESPANA 08370			SPAIN
231-233 MARSHALL REALTY LLC	400 TRUMBULL ST	ELIZABETH	NJ	07206	USA
26 BOND STREET MANAGEMENT LLC	7135 COLLINS AVE 1036	MIAMI BEACH	FL	33141	USA
7130 HARDING AVE LLC	6000 COLLINS AVE #348	MIAMI BEACH	FL	33140	USA
9484 HARDING INVESTMENT LLC	210 71 ST 309	MIAMI BEACH	FL	33141	USA
ABBOTT 72 LLC	130 MINORCA AVENUE	CORAL GABLES	FL	33134	USA
ABBOTT AVENUE PARTNERS LLC	1065 KANE CONCOURSE 201	BAY HARBOR ISLANDS	FL	33154	USA
ABDEL FIGUEREDO	1430 SW 91 AVE	MIAMI	FL	33174	USA
ABDELFATTAH ARAFAT & HOSAM ARAFAT	202 SIENA GARDENS CIR	GOTHA	FL	34734-5000	USA
ADALBERTO PUELLO &W SARA	2910 SW 92 PL	MIAMI	FL	33165-3140	USA
ADEL SALAMA &W GLADYS	7135 COLLINS AVE #503	MIAMI BEACH	FL	33141-3272	USA
ADRIAN VICTORES	4536 W 6 AVE	HIALEAH	FL	33012	USA
AHM ADVISORS LLC	210 71 STREET #309	MIAMI BEACH	FL	33141	USA
AIDA AWAD	17 7 STREET	RIDGEFIELD PARK	NJ	07660	USA
AIMEE & TIFFANY STYLER TRS	1105 BROMLEY AVE	TEANECK	NJ	07666	USA
ALANAXELTATI LLC	7135 COLLINS AVE #1511	MIAMI BEACH	FL	33141	USA
ALBERTO ALEMAN VANESSA CUBA	6969 COLLINS AVE # 1210	MIAMI BEACH	FL	33141	USA
ALBERTO MESA ALFREDO MESA	2721 SW 33 AVE	MIAMI	FL	33133	USA
ALEIDA RODRIGUEZ	6969 COLLINS AVE #1003	MIAMI BEACH	FL	33141-3223	USA
ALEJANDRA SLATAPOLSKY	6969 COLLINS AVENUE #507	MIAMI BEACH	FL	33141	USA
ALEJANDRO BUCHANCOW	2853 N NEVA	CHG	IL	60634	USA
ALEJANDRO MARCARIAN	7135 COLLINS AVENUE #436	MIAMI BEACH	FL	33141	USA
ALEJANDRO NERGUIZIAN	2925 PRAIRIE AVE	MIAMI BEACH	FL	33140	USA
ALEX S RUIZ	4200 VIA MARISOL UNIT 731	LOS ANGELES	CA	90042-3497	USA
ALEXANDER BEREZIN	6000 COLLINS AVE 308	MIAMI BEACH	FL	33140	USA
ALEXANDRA FRIDMAN	7135 COLLINS AVE UNIT 1213	MIAMI BEACH	FL	33141-3230	USA
ALFONSO FERNANDEZ MARIA BEATRIZ FERNANDEZ	630 SAN ANTONIO AVE	CORAL GABLES	FL	33146	USA
ALFREDO CAGGIANO	7135 COLLINS AVE UNIT 1525	MIAMI BEACH	FL	33141-3251	USA
ALFREDO GONZALEZ EDILIA GONZALEZ	7135 COLLINS AVE #1401	MIAMI BEACH	FL	33141-3257	USA
ALLA GRANOVSKY & ANGELA GRANOV	702 BRIDGEVIEW RD	LANGHORNE	PA	90053	USA
ALOIS CATHALINA	7135 COLLINS AVE #604	MIAMI BEACH	FL	33141-3228	USA
ALUVIAR LLC	11930 N BAYSHORE DRIVE #1409	NORTH MIAMI BEACH	FL	33181	USA
AMALIO P RODRIGUEZ	6969 COLLINS AVE #1106	MIAMI BEACH	FL	33141-3223	USA
AMARLETTE RIVERO & NERY TOLEDO	6969 COLLINS AVE #1408	MIAMI BEACH	FL	33141-3224	USA
AMITA KUMARI	7135 COLLINS AVE 1406	MIAMI BEACH	FL	33141	USA
ANA BRADLEY BRAY LE REM JULIO R MARTINEZ REM JOSE J MARTINEZ	695 NW 126 CT	MIAMI	FL	33182	USA
ANA CECILIA TEIXEIRA	6969 COLLINS AVE #603	MIAMI BEACH	FL	33141	USA
ANA G HERRERA	7135 COLLINS AVE #1116	MIAMI BEACH	FL	33141	USA
ANA R BASADRE JOLIE R TURNER	6969 COLLINS AVE 1406	MIAMI BEACH	FL	33141	USA
ANDRES G LOPEZ	6969 COLLINS AVE #1204	MIAMI BEACH	FL	33141-3224	USA

ANDRES PEREZ MIRELLA PEREZ	6 PINE STREET	CARTERET	NJ	07008	USA
ANGEL AMENDOLA SILVIA AMENDOLA	7135 COLLINS AVE #526	MIAMI BEACH	FL	33141	USA
ANGEL CABRERA &W MIGDALIA	7135 COLLINS AVE #1222	MIAMI BEACH	FL	33141-3257	USA
ANGEL R DE ARMAS SILVIA L DIAZ	7135 COLLINS AVE UNIT #521	MIAMI BEACH	FL	33141	USA
ANGELINA RODRIGUEZ REV LIV TR ANGELINA RODRIGUEZ	1 GLIMPSEWOOD LN	MORRISTOWN	NJ	07960	USA
ANIBAL D OLIU &W AMARILYS	890 NE 78 ST	MIAMI	FL	33138	USA
ANN CHRISTINA BRADY	5895 SW 74TH AVE	MIAMI	FL	33143-1736	USA
ANTONIO PEREZ &W MIREYA A	254 TORTOISE LN	FRANKLIN LAKE	NJ	07417	USA
ANTONIO RIVAS ANTONIO VIRGINIA RIVAS FAMILY TR VIRGINIA RIVAS	3230 SW 133 AVE	MIAMI	FL	33175	USA
ANTONIO RUIZ &W MARIA TERESA	6969 COLLINS AVE #1504	MIAMI BEACH	FL	33141-3224	USA
ANTONIO VILLANUEVA JR &W ELIA M	6969 COLLINS AVE STE 1411	MIAMI BEACH	FL	33141-3224	USA
ARACELY JUEZ CAROLINA SALGADO	6969 COLLINS AVE 605	MIAMI BEACH	FL	33141	USA
ARISTIDES F HERNANDEZ SUSAN HERNANDEZ	140 SYLVA STREET	RUTHERFORD	NJ	07070	USA
ARMANDO A RODRIGUEZ &W NORMA &	5700 SW 97TH ST	PINECREST	FL	33156	USA
ARMANDO R RODRIGUEZ &W NORMA G	5700 SW 97TH ST	PINECREST	FL	33156	USA
ARMANDO SOUTO ISOLINA SOUTO	1812 SW 124 PL	MIAMI	FL	33175	USA
ARMANDO Z BORREGO &W CORONA BORREGO	7135 COLLINS AVE #602	MIAMI BEACH	FL	33141-3228	USA
ARNALDO RAMIREZ &W ESTHER P	2150 SANS SOUCI BLVD APT B1005	N MIAMI	FL	33181-3045	USA
ARTHUR COYLE &W KATIE	7135 COLLINS AVE UNIT 1504	MIAMI BEACH	FL	33141-3269	USA
ARTHUR WONG HUEI SHYANG AARON WONG HUEI SHYIN	PO BOX 1141	CUMMING	GA	30028	USA
BEACH LEGAL PROPERTIES INC	317 - 71 ST	MIAMI BEACH	FL	33141-3013	USA
BECO MIAMI LLC	1444 BISCAYNE BLVD STE 306	MIAMI	FL	33132	USA
BELKIS LAGO	7135 COLLINS AVE #1611	MIAMI BEACH	FL	33141-3251	USA
BELRENI LLC	3600 MYSTIC POINT DR LP 6	AVENTURA	FL	33180	USA
BEMCM LLC	7135 COLLINS AVE #613	MIAMI BEACH	FL	33141	USA
BERTO SIXTO ECHEVARRIA	2030 SW 61 AVE	MIAMI	FL	33155	USA
BESSIE E PEASE &H ROBERT B & MARY CARASOULAS	4601 5TH AVE APT#423	PITTSBURGH	PA	15213	USA
BHARAT LAKHKAR LEENA LAKHKAR	7135 COLLINS AVE UNIT #505	MIAMI BEACH	FL	33141	USA
BISMARCK COTTA LLC	1300 SW 67 AV	MIAMI	FL	33144	USA
BLANCA C HERRERA-TORRES	6969 COLLINS AVE UNIT 715	MIAMI BEACH	FL	33141-3222	USA
BOMBINHAS LLC	7135 COLLINS AVE 1016	MIAMI BEACH	FL	33141-3211	USA
BORIS PILCH	7135 COLLINS AVE UNIT 1004	MIAMI BEACH	FL	33141-3256	USA
BORIS VOLEGOV	5051 SW 149TH AVE	DAVIE	FL	33331-2861	USA
BRIAN ACWORTH	280 HARRISON AVE	CENTERPORT	NY	11721	USA
BRIENDY MELNICKE MICHAEL MELNICKE	1637 50 ST	BROOKLYN	NY	11204	USA
BRIXHAM CORPORATION	1110 BRICKELL AVENUE #310	MIAMI	FL	33131	USA
BURLEIGH 801 CORP	20900 NE 30 AVE #200-27	AVENTURA	FL	33180	USA
BURLEIGH HOUSE CONDO INC	7135 COLLINS AVE	MIAMI BEACH	FL	33141-3238	USA
BURLEIGH LLC	16178 NW 1 ST	PEMBROKE PINES	FL	33028	USA
CANDRES INVESTMENTS 2 LLC	2631 PARRISH STREET	PHILADELPHIA	PA	19130	USA
CARIDAD A OLIVER LE REM SUSANA D MAYOBRE	7135 COLLINS AVE 834	MIAMI BEACH	FL	33141-3237	USA
CARLA FEIGENBAUM REV TR CARLA FEIGENBAUM	7135 COLLINS AVE #1106	MIAMI BEACH	FL	33141	USA
CARLO SERVITO	6965 HARDING AVE #507	MIAMI BEACH	FL	33141-3250	USA
CARLOS A MILANES ALINA M MILANES	7135 COLLINS AVE 1613	MIAMI BEACH	FL	33141	USA
CARLOS COLON EDWIN AYALA	6969 COLLINS AVE UNIT 401	MIAMI BEACH	FL	07276	USA
CARLOS CUENCA CELIDA CUENCA	371 NE 168 ST APT 303	MIAMI BEACH	FL	33160	USA
CARLOS J WEBER MARIA V LASKOWSKI	7135 COLLINS AVE #1404	MIAMI BEACH	FL	33141	USA
CARLOS JACINTO &W NORMA JACINTO	7135 COLLINS AVE #932	MIAMI BEACH	FL	33141	USA
CARLOS R ACOSTA &W DULCE MIJARES	6969 COLLINS AVE #703	MIAMI BEACH	FL	33141-3222	USA
CARLOS SALVADOR RAMUNDO ANDREA HILDA CASTRO RAMUNDO	401 OCEAN DR APT 902	MIAMI BEACH	FL	33139	USA
CARLOS SUAREZ MARTHA DONATE	7135 COLLINS AVE # 502	MIAMI BEACH	FL	33141	USA
CARMELO SARLI TRS SARLI REVOCABLE LIVING TRUST	10855 NW 88 TER #103	DORAL	FL	33178	USA
CARMEN R MONTANO	6965 HARDING AVE UNIT 203	MIAMI BEACH	FL	33141-3247	USA
CASA GRANDE SHOPPING CENTER LLC	10275 COLLINS AVE #708	BAL HARBOUR	FL	33154	USA
CATALINA ATEHORTUA	6969 COLLINS AVE APT 906	MIAMI BEACH	FL	33141	USA

CC7135 LLC	7135 COLLINS AVE 625	MIAMI BEACH	FL	33141	USA
CECILIA SALAS	6965 HARDING AVE 405	MIAMI BEACH	FL	33141	USA
CELESTE E CEPERO ABAD	5321 SW 162 PLACE	MIAMI	FL	33156	USA
CELIA TORRES	6420 SW 88 PATH	MIAMI	FL	33173	USA
CESAR ANDRADE &W MARILDA & JAIME ANDRADE	7135 COLLINS AVE #1225	MIAMI BEACH	FL	33141-3257	USA
CESAR KUDJA TRS	8253 WEST 14 CT	HIALEAH	FL	33014	USA
CHARLES A SCHWARTZ LE REM CHARLES A SCHWARTZ TRS CHARLES A SCHWARTZ 2010 REV TR	7135 COLLINS AVE 626	MIAMI BEACH	FL	33141-3211	USA
CHARLES AKSELRAD TRS ALINE AKSELRAD TRS	960 LAWRENCE RD	PRINCETON	NJ	08540	USA
CHARLES AKSELRAD TRS ALINE AKSELRAD TRS	7135 COLLINS AVE #PH-6	MIAMI BEACH	FL	33140	USA
CHARLES CATALANO TRS MICHAEL D'ANNUNZIO TRS	149 JERICHO TURNPIKE	OLD WESTBURY	NY	11568	USA
CHARLES HASPEL &W BARBARA	7135 COLLINS AVE UNIT 1023	MIAMI BEACH	FL	33141-3256	USA
CHARLES MARKS	7135 COLLINS AVE #1102	MIAMI BEACH	FL	33141-3230	USA
CHARLES W MORALES ALMONACID & STELLA ALMONACID DE MORALES ETALS	7135 COLLINS AVE #1515	MIAMI BEACH	FL	33141-3269	USA
CHRISTIAN MULLER EDALIRA MARIA CARLOS MULLER	6969 COLLINS AVE #710	MIAMI BEACH	FL	33141	USA
CITY OF MIAMI BEACH CITY HALL	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139	USA
CLAMALU GROUP LLC	2370 NE 184 TER	N MIAMI BEACH	FL	33160	USA
CLAUDIA I GARCIA	521 LES JARDIN DR	PALM BEACH GARDENS	FL	33410	USA
COBE MIAMI LLC	150 SE 2 AVE STE PH1	MIAMI	FL	33131	USA
COLLINS AND 72ND DEVELOPERS LLC	9537 HARDING AVE	SURFSIDE	FL	33154	USA
CONSTANTIN TSIMPOUKLIS &W LYDIA	7135 COLLINS AVE UNIT 1006	MIAMI BEACH	FL	33141-3256	USA
CORAL 1533 LLC	1331 BRICKELL BAY DR CU2	MIAMI BEACH	FL	33131	USA
CRAIG T TRESTER MARY D UZCATEGUI TRESTER	24 NURSERY RD	MELVILLE	NY	11747	USA
CRISMA 623 LLC	7135 COLLINS AVE #623	MIAMI BEACH	FL	33141	USA
CRYSTAL BCH CLUB CONDO ASSOC	PO BOX 422247	KISSIMMEE	FL	34742	USA
CRYSTAL BEACH CLUB CONDO ASSN INC	PO BOX 422247	KISSIMMEE	FL	34742	USA
CRYSTAL BEACH DEVELOPMENT CORP	PO BOX 422247	KISSIMMEE	FL	34742	USA
CRYSTAL BEACH INC	PO BOX 421704	KISSIMMEE	FL	34742	USA
CRYSTAL BEACH INC	PO BOX 422247	KISSIMMEE	FL	34742	USA
CRYSTAL BEACH INC	5000 AVE OF THE STARS	KISSIMMEE	FL	34746	USA
CURRENT PROPERTY OWNER	6969 COLLINS AVE #305	MIAMI BEACH	FL	33141	USA
CURRENT PROPERTY OWNER	7135 COLLINS AVE #1622	MIAMI BEACH	FL	33141	USA
CURRENT PROPERTY OWNER	7135 COLLINS AVE #633	MIAMI BEACH	FL	33141	USA
CURRENT PROPERTY OWNER	7135 COLLINS AVE #822	MIAMI BEACH	FL	33141	USA
DAMAJU LLC	7135 COLLINS AVE #1016	MIAMI BEACH	FL	33141	USA
DANIA LOPEZ LE REM ROBERTO GARCIA TRS ROBERTO GARCIA LE	3329 SE 1 AVE	CAPE CORAL	FL	33904	USA
DANIA TRASOBARES LLOPIZ LE REM ALBERTO O TOMEU REM TIANA T OLCESE	7135 COLLINS AVE #1532	MIAMI BEACH	FL	33141	USA
DANIEL ACOSTA &W OLIVIA	7135 COLLINS AVE #723	MIAMI BEACH	FL	33141-3229	USA
DANIEL MARSHALL GOLDMAN MARGARITA OSSORIO GOLDMAN	7135 COLLINS AVE APT 1402	MIAMI BEACH	FL	33141	USA
DANIEL R GARCIA AIDA I GARCIA	270 SW 58 AVE	MIAMI	FL	33144	USA
DAVID M MURRAY ELISABETH A MURRAY	7135 COLLINS AVENUE #1526	MIAMI BEACH	FL	33141	USA
DEBRA SNYDER ELLEN HULL	8 OVERLOOK CT	BAYVILLE	NJ	08721	USA
DIANA M CASADEVALL	7135 COLLINS AVE APT 1403	MIAMI BEACH	FL	33141	USA
DIANA MAE SILVERMAN GORE	7135 COLLINS AVE # 1405	MIAMI BEACH	FL	33141	USA
DIEGO D GARCIA	7135 COLLINS AVE #833	MIAMI BEACH	FL	33141	USA
DINORAH ROMAN	6969 COLLINS AVE #315	MIAMI BEACH	FL	33141-3221	USA
DONNA & THOMAS METLICKA & RUTH & JOSEPH BARBARO	2612 SWEETBROOM	NAPERVILLE	IL	60564	USA
DONNA HELENE MUELLER	2132 MT VERNON ST	PHILADELPHIA	PA	19130	USA
DORA A NOCERA TERESITA B TELKAS	7135 COLLINS AVE #1015	MIAMI BEACH	FL	33141	USA
DORA BRITO LE REM TERESITA TZIKAS REM DORA NOCERA	7135 COLLINS AVE # 1824	MIAMI BEACH	FL	33141	USA
DORIS PARKER FAMILY TRS DORIS PARKER (BEN)	7135 COLLINS AVE #1024	MIAMI BEACH	FL	33141-3256	USA
DOROTHY WEST	6969 COLLINS AVE #1510	MIAMI BEACH	FL	33141-3224	USA
EDGARDO INSIGNARES &W MARINA A	6969 COLLINS AVE #804	MIAMI BEACH	FL	33141-3222	USA
EDNA & MARTIN ROTHSTEIN	7135 COLLINS AVE UNIT 803	MIAMI BEACH	FL	33141-3229	USA
EDUARDO CABANAS	1020 SW 88 AVE	MIAMI	FL	33174-3217	USA
EDUARDO J PADRON TRS EDUARDO J PADRON LIVING TRUST	2004 SW 7 AVE	MIAMI	FL	33129	USA



EDUARDO SAENZ ROVNER	6801 HARDING AVE # 319	MIAMI BEACH	FL	33141	USA
ELA WAGNERMAN TRS ELA WAGNERMAN LIVING TRUST	9454 SW 4 TER	MIAMI	FL	33174	USA
ELENA VELOSO LE REM MARY ANN SURI REM JULIANNE SURI	7135 COLLINS AVE 1205	MIAMI BEACH	FL	33141	USA
ELIDA GUERRA LE REM RICARDO FERNANDEZ REM ERNESTO FERNANDEZ	7135 COLLINS AVE #1713	MIAMI BEACH	FL	33140	USA
ELIZABETH CARRIL TRS	PO BOX 547176	SURFSIDE	FL	33154	USA
ELIZABETH O'DARE (TR)	700 INDIAN LILAC RD	VERO BEACH	FL	32963-1301	USA
ELLIOTT COWAN &W KARINA P COWAN	6050 LOGANS WAY	ELLCOTT CITY	MD	21043	USA
ELSA & EVA PANG	41-81 DENMAN ST	ELMHURST	NY	11373	USA
ELYSEE INVEST CO MIAMI BEACH INC	210 71 STREET #309	MIAMI BEACH	FL	33141	USA
ELYSEE INVESTMENT ENTERPRISES	45 NW 21ST ST	MIAMI	FL	33127-4928	USA
EMMA FERNANDEZ	6969 COLLINS AVE UNIT 1205	MIAMI BEACH	FL	33141-3224	USA
ENEIDA MENA JANET MENA	6965 HARDING AVE 303	MIAMI BEACH	FL	33141	USA
ENRIQUE J VENTURA SR &W EMMA	6969 COLLINS AVE #415	MIAMI BEACH	FL	33141-3221	USA
ENRIQUE SIERRA &W MARIA	10700 FAIRHAVEN WAY	ORLANDO	FL	32825	USA
ERIC M BERAZA TRS	1315 SW 78 PL	MIAMI	FL	33144-5257	USA
ERNEST R PEREZ	2 TUDOR CITY PLACE #6LS	NEW YORK	NY	10017	USA
ERNESTO BERNAL	7135 COLLINS AVE #1103	MIAMI BEACH	FL	33141-3230	USA
ERNESTO REGO &W ARACELI B	2031 SW 106 CT	MIAMI	FL	33165-7942	USA
ERNESTO RODRIGUEZ	2118 FIELDSTONE DR	BETHLEHEM	PA	18015	USA
ESTELA SOTO LE REM MARTA ESTELA SOTO JTRS	7135 COLLINS AVE 622	MIAMI BEACH	FL	33141	USA
ESTRELLA PANG &H RAY COLON	7135 COLLINS AVE #1815	MIAMI BEACH	FL	33141-3232	USA
EVA CUSNIER	6969 COLLINS AVE #914	MIAMI BEACH	FL	33141-3223	USA
EVE R SPROTZER TRS SAMUEL P SPROTZER REV TRUST	31 LINDEN LANE	MADISON	CT	06443	USA
EVELYN GONZALEZ TRS NILDA GARCIA TRUST	820 CATON AVE	BROOKLYN	NY	11218	USA
EZPELETA INC	2801 NE 183 ST #904	AVENTURA	FL	33160	USA
EZRA D ESKANDRY LE REM RAQUEL L ESKANDRY	401 SE 11 AVE	HIALEAH	FL	33010-5737	USA
FABIO CASCUDO	6969 COLLINS AVE #807	MIAMI BEACH	FL	33141-3222	USA
FAISAL H AL JIBOORI	7135 COLLINS AVE #1711	MIAMI BEACH	FL	33141-3231	USA
FAUSTINO GARCIA &W CLARA	11271 SW 26 ST	MIAMI	FL	33165-2233	USA
FEDERAL NATIONAL MORTGAGE ASSN	3900 WISCONSIN AVE NW	WASHINGTON	DC	20016	USA
FELIX R RODRIGUEZ &W MARTA R	417 NE 27 ST #1	MIAMI	FL	33137-4603	USA
FELIX R RODRIGUEZ MARTA R RODRIGUEZ	9451 SW 67 AVE	MIAMI	FL	33156	USA
FERLAZ REALTY CORP INC	8819 FROUDE AVE	SURFSIDE	FL	33154-3321	USA
FERNANDO DANIEL FERREYRA CINTIA DANIELA CAIN DELICIA SUSANA FLORES	6969 COLLINS AVE 312	MIAMI BEACH	FL	33141	USA
FERNANDO FUENTES	7135 COLLINS AVE #PH3	MIAMI BEACH	FL	33141	USA
FERNANDO GANDLAZ	7135 COLLINS AVE # 1016	MIAMI BEACH	FL	33141	USA
FERNANDO J ALVAREZ &W SILVIA A	6940 SEAGRAPE TERR	MIAMI LAKE	FL	33014-2930	USA
FERRA MAR LLC	6969 COLLINS AVE # 1402	MIAMI BEACH	FL	33141	USA
FERRA MAR LLC	2370 NE 184 TER	MIAMI	FL	33160	USA
FIRST LEISURE CORP	6985 COLLINS AVE UNIT 415	MIAMI BEACH	FL	33141	USA
FIRST LEISURE CORP	6985 COLLINS AVE 410	MIAMI BEACH	FL	33141	USA
FIRST LEISURE CORP	6985 COLLINS AVE 413	MIAMI BEACH	FL	33141	USA
FIRST LEISURE CORP	6985 COLLINS AVE STE 412	MIAMI BEACH	FL	33141	USA
FIRST LEISURE CORP	PO BOX 421704	KISSIMMEE	FL	34742	USA
FIRST LEISURE CORP	PO BOX 422247	KISSIMMEE	FL	34746	USA
FLORENTIA C VALDES EST OF	7135 COLLINS AVE UNIT 1835	MIAMI BEACH	FL	33141-3252	USA
FRANCISCO HOYOS &W MARIA AMELIA	7135 COLLINS AVE UNIT 734	MIAMI BEACH	FL	33141-3229	USA
FRANCISCO M CRESPO &W ELIA	7135 COLLINS AVE #1833	MIAMI BEACH	FL	33141-3252	USA
FRANCISCO M CRESPO ELIA CRESPO	7135 COLLINS AVE #1536	MIAMI BEACH	FL	33141-3251	USA
FRANISA LLC	3600 MYSTIC POINTE DR LP6	AVENTURA	FL	33180	USA
FRANISA LLC	3600 MYSTIC POINTE DR UNIT LPH-6	AVENTURA	FL	33180	USA
FRANK F RAPOSO	1021 SW 99 PL	MIAMI	FL	33174-2833	USA
FRANK M MENA LAURA L MENA	7135 COLLINS AVE #1226	MIAMI BEACH	FL	33141-3257	USA
FREDERICK J LITWIN TRS FREDERICK JOEL LITWIN AND ELAINE CATHERINE LITWIN REVOCABLE TRUST	7135 COLLINS AVE PH36	MIAMI BEACH	FL	33141	USA
FRIEDA ALUTIN TRS ALUTIN PREMISES TRUST MICHELE T ALUTIN TRS	323 E 89 ST #3C	NEW YORK	NY	10128	USA

GAIL FRANK	7135 COLLINS AVE # 1624	MIAMI BEACH	FL	33141-3231	USA
GARPRANA LLC	3600 MYSTIC POINTE DR LP6	AVENTURA	FL	33180	USA
GARY ELLIOT EISENBERG SHARON BARBARA EISENBERG WIGAL	5 LISA COURT	NEW CITY	NY	10956	USA
GEORGE JARP &W MARY	6969 COLLINS AVE UNIT 1005	MIAMI BEACH	FL	33141-3223	USA
GEORGE TY SIMPSON	1229 PENNSYLVANIA AVE SE	WASHINGTON	DC	20003	USA
GERARDO CABRERA TSUNAMI PEREZ ECHEMENDIA (JTRS)	7135 COLLINS AVE #1626	MIAMI BEACH	FL	33141	USA
GERMAN FILGUEIRA LISA BOGUSKI FILGUEIRA	7135 COLLINS AVE 615	MIAMI BEACH	FL	33141	USA
GESTIONAR CORP	1687 NE 123 ST	NORTH MIAMI	FL	33181	USA
GIANLUCA PEDRAZZINI C/O JOSEPH VICTOR BEHAR GIOVANNA ANGELI	6767 COLLINS AVENUE #2205	MIAMI BEACH	FL	33141	USA
GILDA POMARES	6969 COLLINS AVE #510	MIAMI BEACH	FL	33141	USA
GILLES MATHIEU	7135 COLLINS AVE UNIT #422	MIAMI BEACH	FL	33141	USA
GISELA FERRER LE REM JACQUELINE MENSES REM ANTONIO E FERRER	PO BOX 565337	MIAMI	FL	33256	USA
GLENN SALZMAN	7135 COLLINS AVE 1703	MIAMI BEACH	FL	33141	USA
GLORIA E CRUZ & NELSON J DELGADO	6969 COLLINS AVE #1004	MIAMI BEACH	FL	33141-3223	USA
GLORIA VENCE ANTHONY VENCE	7711 35 AVE #5R	JACKSON HEIGHTS	NY	11372	USA
GOLDSTONE INVESTMENTS INC	14077 SW 48 LN	MIAMI	FL	33175-4830	USA
GONZALO PLANAS TRS PLANAS FAMILY REVOCABLE TRUST MARIA T PLANAS TRS	7195 WEST 4 CT	HIALEAH	FL	33014	USA
GORAN G ANTIC	7135 COLLINS AVE #1234	MIAMI BEACH	FL	33141	USA
GRACE MIRO	7135 COLLINS AVE UNIT 934	MIAMI BEACH	FL	33141-3256	USA
GRADY A SEE TRS GRADY A SEE 2013 REVOC TRUST MERCEDES SEE TRS	801 BRICKELL BAY DR UNIT 1768	MIAMI	FL	33131	USA
GREG KALIMAN	7135 COLLINS AVE #1606	MIAMI BEACH	FL	33141	USA
GREGORY COYLE	7135 COLLINS AVE UNIT 1521	MIAMI BEACH	FL	33029	USA
GREGORY PILLON	7135 COLLINS AVE #1705	MIAMI BEACH	FL	33141-3231	USA
GRUPO MONTERO CORP	635 NE 193 ST	MIAMI	FL	33179	USA
GUILLERMO GARCIA &W MARICELA	1710 S TREASURE DR	NO BAY VILLAGE	FL	33141-4335	USA
GUILLERMO GLEIZER	1508 BAY RD 1227	MIAMI	FL	33139	USA
GUN GIL GIM &W STEFANIA B	7135 COLLINS AVE #926	MIAMI BEACH	FL	33141-3256	USA
GUSTAVO GARCIARENA	271 OAK STREET	RIDGEWOOD	NJ	07450	USA
GUSTAVO NERGUIZIAN	7135 COLLINS AVE #735	MIAMI BEACH	FL	33141	USA
HARRIET KUTELL	7135 COLLINS AVE # 805	MIAMI BEACH	FL	33140	USA
HARRIETT IKENSON BRIAN OKELLEY	8581 SANTA MONICA BLVD 445	LOS ANGELES	CA	90069	USA
HENRY ROCHEL & DAVID TARQUINO (JTRS)	7135 COLLINS AVE #531	MIAMI BEACH	FL	33141-3228	USA
HENRY W CANFIELD	7135 COLLINS AVE #816	MIAMI BEACH	FL	33141-3237	USA
HERMINIA LAURETI LE REM FEDERICO LAURETI	7135 COLLINS AVE # 1425	MIAMI BEACH	FL	33141	USA
HILLS OF TRUST HOLDINGS LLC	1840 SW 22 ST 4 992	MIAMI BEACH	FL	33141	USA
HUGO INVERNIZZI	7135 COLLINS AVE 1121	MIAMI BEACH	FL	33141	USA
IAROSLAV SOLODCHENKO	7135 COLLINS AVENUE #1113	MIAMI BEACH	FL	33141	USA
IDOLIDIA RODRIGUEZ	7135 COLLINS AVE APT 535	MIAMI BEACH	FL	33141-3228	USA
ILEANA JACOBSON & PERLA FERNANDEZ	9121 SW 45 ST	MIAMI	FL	33165-5945	USA
INA FELIZ LLC	7135 COLLINS AVE 632	MIAMI BEACH	FL	33141	USA
INTEGRATED ART DESIGN LLC	31 E HOPKINS RD	GILBERT	AZ	85295	USA
IRA MILLMAN	6969 COLLINS AVE #514	MIAMI BEACH	FL	33141	USA
ISAAC OLEMBERG C/O OLEM SHOE CORP ISAAC OLEMBERG TRUST	800 NW 21 ST	MIAMI	FL	33127	USA
ISABEL VITERI	7135 COLLINS AVE #402	MIAMI BEACH	FL	33141	USA
IVAN R CABALLERO &W ISABEL V	6969 COLLINS AVE UNIT 1114	MIAMI BEACH	FL	33141-3223	USA
IVONNE & HANA WEINER	7135 COLLINS AVE UNIT 1236	MIAMI BEACH	FL	33141-3257	USA
JACKIE OLANIEL ANNETTE M DIAZ	12523 SW 119 PL	MIAMI	FL	33186	USA
JAF 7135 LLC	7135 COLLINS AVE 736	MIAMI BEACH	FL	33141	USA
JAIME CRUANYAS TRS JAIME CRUANYAS AND VIRGINIA MARIA GARCIA LIVING TRUST	285 DEER RUN	MIAMI SPRINGS	FL	33166	USA
JAMES OLEKSA &W HELEN OLEKSA	7135 COLLINS AVE #1716	MIAMI BEACH	FL	33141-3231	USA
JANET J KESSEN LE REM ROBERT A KESSIN & ETALS	99 NORUMBEGA ROAD APT 103	WESTON	MA	02493-2485	USA
JAVIER ABREU &W HORTENSIA	4821 SW 129 AVE	MIAMI	FL	33175-4535	USA
JAVIER ESTRADA CAROLINA ESTRADA	6969 COLLINS AVE #1010	MIAMI BEACH	FL	33141	USA
JEAN M COLTON TRS JEAN M COLTON AND KATHRYN L KLINGERMAN TRUST	3013 46 AVE SOUTH	ST PETERSBURG	FL	33712	USA
JEGO VENTURES LLC	13747 SW 31 TERR	MIAMI	FL	33175	USA

JESUS A PENA	5 RICK RD	SHILLINGTON	PA	19607	USA
JOAQUIN VIEGA	6965 HARDING AVD #503	MIAMI BEACH	FL	33141	USA
JOCHE P LLC	8004 NW 154 ST #208	MIAMI LAKES	FL	33016	USA
JOE VENCIUS	6969 COLLINS AVE 515	MIAMI BEACH	FL	33141	USA
JOHANNES LANGE LE MARIA LUIS MONTERIO LIRA LANGE LE REM JOHANNA KATHARINA LANGE	6969 COLLINS AVE 1110	MIAMI BEACH	FL	33141	USA
JOHN CHERETIS TR	701 DIPLOMAT PARKWAY	HALLANDALE	FL	33009	USA
JOHN HUGYECZ OLGA HUGYECZ	7135 COLLINS AVE #524	MIAMI BEACH	FL	33141	USA
JOHN PAUL FIORENTINO	7135 COLLINS AVE #912	MIAMI BEACH	FL	33141-3237	USA
JON SCOTT SNIDER LOURDES ALONSO SNIDER JOSE R ALONSO PUJOL	7135 COLLINS AVE #1025	MIAMI BEACH	FL	33141	USA
JORGE A QUINTANA MERCEDES QUINTANA	6965 HARIDNG AVE # 506	MIAMI BEACH	FL	33141	USA
JORGE A VELAZQUEZ &W NOEMI	8431 NW 163 TERR	HIALEAH	FL	33016-6634	USA
JORGE E PADRON YAQUELINE PADRON	3541 SW 105 CT	MIAMI	FL	33165	USA
JORGE GARCIA &W MAGDALENA	12235 SW 31 ST	MIAMI	FL	33175	USA
JORGE J SOLARES GARCIA	6969 COLLINS AVE 407	MIAMI BEACH	FL	33141	USA
JORGE JOSE PIVIDAL PEREZ	6969 COLLINS AVE # 508	MIAMI BEACH	FL	33141	USA
JORGE PADRON	6969 COLLINS AVE # 1001	MIAMI BEACH	FL	33141	USA
JORGE PADRON	6969 COLLINS AVE # 601	MIAMI BEACH	FL	33141	USA
JORGE ROWINSKY GLADYS QUINTIAN	7135 COLLINS AVE #1825	MIAMI BEACH	FL	33141	USA
JOSE A LORENZO &W MARIA E	7135 COLLINS AVE #1801	MIAMI BEACH	FL	33141-3232	USA
JOSE C IBARRA &W ANA M CORDERO	6965 HARDING AVE #306	MIAMI BEACH	FL	33141-3248	USA
JOSE CARLOS LEIVA	7135 COLLINS AVE APT PH2	MIAMI BEACH	FL	33141	USA
JOSE E MENENDEZ &W ELIZABETH ALVAREZ MENENDEZ	6969 COLLINS AVE #1509	MIAMI BEACH	FL	33141	USA
JOSE H RAMUDO &W DORA	6145 W 12 AVE	HIALEAH	FL	33012-6410	USA
JOSE HEREDIA	7135 COLLINS AVE 1836	MIAMI BEACH	FL	33141	USA
JOSE L RODRIGUEZ &W ALICIA C	2640 RINCONIA AVE	LOS ANGELES	CA	90068	USA
JOSE L RUEDA &W AIXA	6969 COLLINS AVE #905	MIAMI BEACH	FL	33141-3223	USA
JOSE L TOLEDO ANA M TOLEDO	7135 COLLINS AVE UNIT 1125	MIAMI BEACH	FL	33141	USA
JOSE LUIS CASTRO	7135 COLLINS AVE #PH4	MIAMI BEACH	FL	33141	USA
JOSE M SUSBIELLES	7135 COLLINS AVE 631	MIAMI BEACH	FL	33141	USA
JOSE N FERNANDEZ MIRIAM FERNANDEZ MARIA GARCIA CASALS	7135 COLLINS AVE 1416	MIAMI BEACH	FL	33141	USA
JOSE PRIGOSHIN &W MONICA QUIROGA	7135 COLLINS AVE #1435	MIAMI BEACH	FL	33141-3269	USA
JOSE SU PETRA NUNEZ BEATRIZ SARDINAS	6969 COLLINS AVE 1006	MIAMI BEACH	FL	33141	USA
JOSE T RODRIGUEZ	7135 COLLINS AVE #423	MIAMI BEACH	FL	33141-3272	USA
JOSEFINA M CRUANYAS TRS JOSEFINA M CRUANYAS TRUST	6969 COLLINS AVE 506	MIAMI BEACH	FL	33141	USA
JOSEFINA Q DE VALDES	6969 COLLINS AVE #405	MIAMI BEACH	FL	33141	USA
JOSEPH MOHAN	7135 COLLINS AVE #605	MIAMI BEACH	FL	33141	USA
JOSEPH P BURKE &W JUDITH Z	4230 ABERDEEN CIR	ROCKLEDGE	FL	32955	USA
JUAN ARHANCET GRACIELA INES BARBIERI ARHANCET	7135 COLLINS AVE #1012	MIAMI BEACH	FL	33141	USA
JUAN C DOMINGUEZ	144 KIMBERLY RD	COLONIA	NJ	07067	USA
JUAN C TEJERA	7135 COLLINS AVE 1115	MIAMI BEACH	FL	33141	USA
JUAN DE DIOS PEREZ TRS JUAN DE DIOS PEREZ REVOC TRUST JUAN DE DIOS PEREZ	7135 COLLINS AVE APT 1216	MIAMI BEACH	FL	33141	USA
JUAN DOMINGUEZ	16 ACME PLACE	COLONIA	NJ	07067	USA
JUAN J LANA &W DIGNA S	13941 SW 30 ST	MIAMI	FL	33175-6522	USA
JUAN M DOMINGUEZ &W DOLORES M	16 ACME PL	COLONIA	NJ	07067	USA
JUAN MANUEL PENA MARIA RECALDE DE PENA	7135 COLLINS AVENUE	MIAMI BEACH	FL	33141	USA
JUAN RAPOSO	7135 COLLINS AVE #523	MIAMI BEACH	FL	33141-3228	USA
JUAN SOTO	7135 COLLINS AVE APT 1131	MIAMI BEACH	FL	33141-3275	USA
JULIA ANASTASIO	6965 HARDING AVE APT 407	MIAMI BEACH	FL	33141-3249	USA
JULIO C MARTINEZ &W CANDIDA	101 E 50 PL	HIALEAH	FL	33013-1446	USA
JULIO STRATTER	6969 COLLINS AVE #1101	MIAMI BEACH	FL	33141-3223	USA
JUMAHE INVESTMENTS LLC	7135 COLLINS AVE #1513	MIAMI BEACH	FL	33141	USA
JUSTO E CARDENAS ALZA	299 NW 52 TER #119	BOCA RATON	FL	33487	USA
KATHY MAHON KEVIN MAHON	1140 ANDERSON AVE	FORT LEE	NJ	07024	USA
KELLY MIYAMOTO TRS	3524 HENNEPIN AVE SOUTH #2	MINNEAPOLIS	MN	55408	USA
KERSHI PARAKH &W MARGARITA	6965 HARDING AVE UNIT 504	MIAMI BEACH	FL	33141-3250	USA

KEVINBLACKIE LLC	7135 COLLINS AVE #1731	MIAMI BEACH	FL	33141	USA
KFG PROPERTIES LLC	7135 COLLINS AVE #1214	MIAMI BEACH	FL	33141	USA
KIMBERLY C KOURY JAIME RODRIGUEZ AZZA	7135 COLLINS AVE 1423	MIAMI BEACH	FL	33141	USA
KONRAD GEORGE	27 N MARION AVE	VENTNOR CITY	NJ	08406	USA
KRASNOVANE LLC	11930 N BAYSHORE DR 1409	MIAMI	FL	33181	USA
LA PATAIA CORP	2875 NE 19 ST #801	AVENTURE	FL	33180	USA
LAGLU LLC	2370 NE 184 TERRACE	NORTH MIAMI BEACH	FL	33160	USA
LAMBETH USA CORP	540 SOUTH SHORE DR	MIAMI BEACH	FL	33141	USA
LARISA KRASNER FRIMA KOMITO	7135 COLLINS AVE APT 1516	MIAMI BEACH	FL	33141	USA
LAS VEGAS BEACH INC	6015 GARFIELD ST	HOLLYWOOD	FL	33021	USA
LAURA VEITIA	1900 SUNSET HARBOUR DR #1701	MIAMI BEACH	FL	33139-1491	USA
LAZARO A RAMIREZ ROSE E RAMIREZ	17972 SW 33 ST	MIRAMAR	FL	33029	USA
LAZARO URRUTIA	7135 COLLINS AVE APT 1805	MIAMI BEACH	FL	33141	USA
LCJL GROUP LLC	3551 NE 169 ST NO 106	NORTH MIAMI BEACH	FL	33160	USA
LEONA KRASNER	440 NEPTUNE AVENUE #8D	BROOKLYN	NY	11224	USA
LIANA MIFTAKHOVA JOSE MERA	7135 COLLINS AVE PH31	MIAMI BEACH	FL	33141	USA
LIANNY TRUJILLO	6965 HARDING AVE #201	MIAMI BEACH	FL	33141	USA
LILIA V ZAYAS	7135 COLLINS AVE #1603	MIAMI BEACH	FL	33141-3251	USA
LILIAN PLANAS	7135 COLLINS AVE UNIT 1803	MIAMI BEACH	FL	33141-3232	USA
LISARDO ESTEBAN AUGUSTIN	7135 COLLINS AVE 1026	MIAMI BEACH	FL	33141	USA
LORETA SANCHEZ	PO BOX 015862	MIAMI	FL	33101	USA
LOUIS LAPIETRA TRS ROSA LAPIETRA IRREVOCABLE TRUST	77 JOYCE RD	HARTSDALE	NY	10530	USA
LUCAS FOLSE	7135 COLLINS AVE 1725	MIAMI BEACH	FL	33141	USA
LUCIO ZAHOU	7135 COLLINS AVENUE #1215	MIAMI BEACH	FL	33141	USA
LUIS D REY	7135 COLLINS AVE #331	MIAMI BEACH	FL	33141-3227	USA
LUIS FELIPE BENTANCOURT ESTHER BETANCOURT	430 W 33 PL	HIALEAH	FL	33012	USA
LUIS QUINONES	6969 COLLINS AVE #606	MIAMI BEACH	FL	33141	USA
LUIS R RIVERA AMPARO M RIVERA	9332 NW 48TH DORAL TER	DORAL	FL	33178-2016	USA
LUKE METHOT	3904 ESTEL RD	FAIRFAX	VA	22031	USA
LUZ P JARAMILLO	2470 SW 26 LN	MIAMI	FL	33133	USA
MABEL & MARCOS MORALES &W DELIA R	7135 COLLINS AVE #1531	MIAMI BEACH	FL	33141-3251	USA
MABEL E GIORGETTA & JOAQUIN VIEGA	6965 HARDING AVE #403	MIAMI BEACH	FL	33141-3249	USA
MADUNKLE LLC	5210 SW 201 TER	SW RANCHES	FL	33332	USA
MAGALY DE GONGORA RUBIO TRS	13910 LAKE SUCCESS PL	MIAMI LAKES	FL	33014	USA
MANUEL COSME PERNAS	6969 COLLINS AVE UNIT 1414	MIAMI BEACH	FL	33141-3224	USA
MANUEL FERNANDEZ &W JUANA	7135 COLLINS AVE #431	MIAMI BEACH	FL	33141-3272	USA
MANUEL GONZALEZ	7135 COLLINS AVE	MIAMI BEACH	FL	33141-3238	USA
MANUEL HERRERIA &W LUPE	8034 SW 133 CT	MIAMI	FL	33183-4130	USA
MARASH MARKAJ	300 W 53 ST APT 6G	NEW YORK	NY	10019	USA
MARGUND R IVENS LE REM HARMUT & PATRICIA IVENS	6965 HARDING AVE APT 505	MIAMI BEACH	FL	33141-3250	USA
MARIA E GARCIA TRS MARIA E GARCIA	8220 CRESTWOOD HEIGHTS DR #1113	MCLEAN	VA	22102	USA
MARIA EUGENIA CARIONI	7135 COLLINS AVE 533	MIAMI BEACH	FL	33141	USA
MARIA LESCAILLE CESPEDES TRS ANA LESCAILLE COLON 2015 IRREV TR MARIA LESCAILLE CESPEDES TRS	2455 DELANOY AVE	BRONX	NY	10469	USA
MARIA LIVEIKIS KARIN LIVEIKIS EDWARD LIVEIKIS	837 W PARK AVE #733	LONG BEACH	NY	11561	USA
MARIA P RUIZ MARIA C KABATH	7135 COLLINS AVE #1616	MIAMI BEACH	FL	33141	USA
MARIA PAVICH DENIS PAVICH	52 HIGH STREET	WILLISTON PARK	FL	11596	USA
MARIA R CHAVEZ JTRS & ALEX O CHAVEZ JTRS	6969 COLLINS AVE #1008	MIAMI BEACH	FL	33141	USA
MARIA TERESA GOMEZ	7135 COLLINS AVE #713	MIAMI BEACH	FL	33141	USA
MARIANNE SANTAMERA	7135 COLLINS AVE # 522	MIAMI BEACH	FL	33141	USA
MARIANO LUIS FREIXAS	7135 COLLINS AVE #PH11	MIAMI BEACH	FL	33141-3252	USA
MARIBEL GARCIA	7135 COLLINS AVE #1434	MIAMI BEACH	FL	33141-3269	USA
MARINA INES MARIANO RAUL MURIAS	10185 COLLINS AVE #711	BAL HARBOUR	FL	38154	USA
MARINA TANTALEAN & GRACE SIERALTA	7135 COLLINS AVE #935	MIAMI BEACH	FL	33141-3256	USA
MARIO CASADEVAL &W MARIA	7135 COLLINS AVE # 425	MIAMI BEACH	FL	33141-3272	USA
MARIO LECOUR &W HAYDEE	7135 COLLINS AVE UNIT 1413	MIAMI BEACH	FL	33141-3257	USA

MARIO RIVERO &W ELENA	7135 COLLINS AVE UNIT 1523	MIAMI BEACH	FL	33141-3251	USA
MARK RUTKOWSKI	7135 COLLINS AVE #904	MIAMI BEACH	FL	33141-3237	USA
MARLENE A VILLANUEVA LE REM WILLIAM A VILANUEVA REM DEREK J VILLANUEVA	1840 SW 87 PL	MIAMI	FL	33165-7845	USA
MARLENE FISKEY TRS MARLENE FISKEY TRUST	12354 SW 10 ST	MIAMI	FL	33184	USA
MARSAN REAL ESTATE LLC	1390 BRICKELL AVE #200	MIAMI	FL	33131	USA
MARTHA L LLERA-LUIS	7135 COLLINS AVE #715	MIAMI BEACH	FL	33141-3229	USA
MARTHA SANTIAGO	7100 BLVD EAST APT 5E	GUTTENBERG	NJ	07093	USA
MARTIN T LENK JTRS JANE ROBICEK LENK JTRS SONIA LENK JTRS	3628 SUMMER BREEZE CT	BOWLING GREEN	KY	42104	USA
MARVIN FRIEDMAN &W JILL	6969 COLLINS AVE UNIT 801	MIAMI BEACH	FL	33141-3222	USA
MARY KIROU (TRUST)	7135 COLLINS AVE UNIT 1135	MIAMI BEACH	FL	33141-3230	USA
MARY PENNER & ROSALIND & CHARLES NEUSTEIN	1883 CABERNET DR	CHULA VISTA	CA	91913	USA
MAURICE J KAFATI BATARSE	6969 COLLINS AVE #709	MIAMI BEACH	FL	33141	USA
MAURICE KAFATI BATARSE	6969 COLLINS AVE #709	MIAMI BEACH	FL	33141	USA
MAXIM J NIETO	1100 NE 91 ST	MIAMI	FL	33138	USA
MCS MANAGEMENT INC	7135 COLLINS AVE #1202	MIAMI BEACH	FL	33141-3211	USA
MELANIE LYNN HANN	683 MASSACHUSETTS AVE	BOSTON	MA	02118	USA
MELODY LARDIZABAL	7135 COLLINS AVE #1432	MIAMI BEACH	FL	33141	USA
MELQUIADES TORRES &W LANDY	581 SW 44 PL	MIAMI	FL	33134-1936	USA
MERCEDES E PADRON	165 AVE HOSTOS APT A339	SAN JUAN	PR	00918-4279	PUERTO RICO
MICHAEL D ANNUNZIO TRS & CHARLES R CATALANO TRS & ETALS	149 JERICHO TPKE	OLD WESTBURY	NY	11568	USA
MICHAEL D ANNUNZIO TRS CHARLES R CATALANO TRS	149 JERICHO TURNPIKE	OLD WESTBURY	NY	11568	USA
MICHAEL D COLLINS CONSTANCE A COLLINS	7135 COLLINS AVE 806	MIAMI BEACH	FL	33141	USA
MICHAEL D'ANNUNZIO & CHARLES CATALANO TRS	149 JERICHO TURNPIKE	OLD WESTBURY	NY	11568	USA
MICHAEL DANNUNZIO &W ELINA DANNUNZIO	149 JERICHO TURNPIKE	OLD WESTBURY	NY	11568	USA
MICHAEL MEYER	PO BOX 531262	MIAMI	FL	33153	USA
MICHELLE MARIE LOPEZ TORRES JTRS NICOLE LOPEZ JTRS	7135 COLLINS AVE # 1132	MIAMI BEACH	FL	33141	USA
MIGDALIA MACHADO	PO BOX 700595	SAN ANTONIO	TX	78270	USA
MIGUEL GUTIERREZ &W NANCY GUTIERREZ	6767 COLLINS AVENUE #1502	MIAMI BEACH	FL	33141	USA
MIGUEL H NERGUIZIAN	7135 COLLINS AVE #1623	MIAMI BEACH	FL	33141	USA
MIGUEL MARTINEZ LISETTE A MARTINEZ	15206 SW 21 LN	MIAMI	FL	33185	USA
MIGUEL MARTINEZ LISETTE MARTINEZ	15206 SW 21 LN	MIAMI	FL	33185	USA
MIMITA C LUACES	39-89 50 ST APT 6B	WOODSIDE	NY	11377	USA
MIRAN VUCIC SNEZANA VUCIC	9911 BELHAVEN RD	BETHESDA	MD	20817	USA
MIRIAM BENITO LE REM ELENA D GONZALEZ & ETAL	6969 COLLINS AVE #303	MIAMI BEACH	FL	33141-3221	USA
MIRTA MASVIDAL	1 ISLAND DRIVE #21	NORWALK	CT	06855	USA
MITCHELL RUBIN	9800 COBBLESTONE LAKES CT	BOYTON BEACH	FL	33472-0000	USA
MOHAMMED ALI GAURI &W FARIEDA BEAGUM GAURI	7135 COLLINS AVE #PH15	MIAMI BEACH	FL	33141-3252	USA
MOISES & LUIS KOSS	9048 GARLAND AVE	SURFSIDE	FL	33154	USA
MONICA G CASOLA	7135 COLLINS AVE #711	MIAMI BEACH	FL	33141-3229	USA
MURIEL KADIN RICHARD KADIN	6969 COLLINS AVE #903	MIAMI BEACH	FL	33141	USA
MYRTA MARTINEZ JTRS ANDREA N DELEON JTRS	8 FIRETHORN CT	EDISON	NJ	08820	USA
NANCY BROWNING	5000 AVE OF THE STARS	KISSIMMEE	FL	34746	USA
NANCY FALCO TRS NANCY FALCO INTERVIVOS REV TR	7135 COLLINS AVE 925	MIAMI BEACH	FL	33141-3211	USA
NANCY GROSS	12 W LOUDOUN ST	ROUND HILL	VA	20141	USA
NANSI SAMUEL MANKARYOUS	7135 COLLINS AVE 1033	MIAMI BEACH	FL	33141	USA
NAPOLITTANA LLC	8500 WEST FLAGLER ST STE B-208	MIAMI	FL	33144	USA
NARCISO LOPEZ &W FELISA	78-06 JAMAICA AVE 2FL	WOODHAVEN	NY	11421	USA
NATALIA MARIA SUSANA PEDRAZA	7135 COLLINS AVE 901	MIAMI BEACH	FL	33141	USA
NATIONSTAR MORTGAGE LLC	2501 S HWY 121 BLDG 1	LEWISVILLE	TX	75067	USA
NEIL MIYAMOTO	3524 HENNEPIN AVE S 2	MINNEAPOLIS	MN	55408	USA
NELSON PADRON &W RITA T TOLEDO	6965 HARDING AVE #305	MIAMI BEACH	FL	33141-3248	USA
NESTOR VALERON &W YANET	6969 COLLINS AVE #707	MIAMI BEACH	FL	33141-3222	USA
NG VENTURE INC & ALJOSA CONST CO INC	325 71 ST	MIAMI BEACH	FL	33141-3013	USA
NICHOLAS COCKSHUTT JEAN H COCKSHUTT	6366 SW 85 ST	MIAMI	FL	33143	USA
NICHOLAS KATTWINKEL WALTER KATTWINKEL ASTRID KATTWINKEL	7135 COLLINS AVE 1221	MIAMI BEACH	FL	33141	USA

NICHOLAS R COCKSHUTT JEAN H COCKSHUTT	6366 SW 85 STREET	MIAMI	FL	33143	USA
NILDA MARIA URQUIZA ROGELIO MAZAEDA ECHEVARRIA	6969 COLLINS AVE 1503	MIAMI BEACH	FL	33141	USA
NORMA OCHOA	7135 COLLINS AVE UNIT 1734	MIAMI BEACH	FL	33141-3232	USA
NORMA U RODRIGUEZ RAMON J GUTIERREZ	7135 COLLINS AVE PH32	MIAMI BEACH	FL	33141	USA
OGG INVESTMENTS LLC	12727 SW 63 CIRCLE TER	MIAMI	FL	33183	USA
OLIVEIRA PLAZA ASSOCIATES LLC	20533 BISCAYNE BLVD 372	MIAMI	FL	33180	USA
OMaida ACHANG & YVONNE ACHANG	6969 COLLINS AVENUE UNIT 1002	MIAMI BEACH	FL	33141-3223	USA
OMAR JUEZ DUNIA PATRICIA JUEZ	7135 COLLINS AVE UNIT 336	MIAMI BEACH	FL	33141	USA
OMAR R GARCIA	14431 GREENBRIER MANOR	DAVIE	FL	33325	USA
OREN PENN	7135 COLLINS AVE #1112	MIAMI BEACH	FL	33141-3230	USA
ORLANDO ALVAREZ	6969 COLLINS AVE #1203	MIAMI BEACH	FL	33141-3224	USA
ORLANDO C GONZALEZ &W ENGRACIA & ISABEL A GONZALEZ	6969 COLLINS AVE #607	MIAMI BEACH	FL	33141-3222	USA
ORLANDO J BASADRE &W ANA R	11730 SW 83 CT	MIAMI	FL	33156	USA
ORLANDO PENA & OLGA P PENA	16407 SW 81 TER	MIAMI	FL	33193	USA
OSVALDO ORTEGA TRS ORTEGA FAMILY REVOCABLE TRUST MARIA LUISA ORTEGA TRS	940 HILLCREST CR 105	HOLLYWOOD	FL	33021	USA
PADIGRAFF LLC	2370 NE 184 TER	NORTH MIAMI BEACH	FL	33160	USA
PALOMA REALTY CORP INC	8819 FROUDE AVE	MIAMI BEACH	FL	33154-3321	USA
PANAGIOTIS BINIORIS WENDY M BINIORIS	163 SAINT NICHOLAS AVE APT 2C	NEW YORK	NY	10026-1216	USA
PATRICK LIMA MAGDA LIMA	7135 COLLINS AVE PH 14	MIAMI BEACH	FL	33141	USA
PAUL S THATCHER	7135 COLLINS AVENUE #1412	MIAMI BEACH	FL	33141	USA
PAULINE KOSSAR & GLORIA SCHEININ & SANDRA BLAU	73-31 244 ST	LITTLENECK	NY	11362	USA
PAULINE M & ERNEST SIEBENBURGER % BARNEY B AVCHEN	1840 W 49 ST	HIALEAH	FL	33012-2942	USA
PAULO RENATO BRINO REY CRISTINA MARIA TEIXEIRA REY	7135 COLLINS AVE 1126	MIAMI BEACH	FL	33141	USA
PEDRO A CUNI	6969 COLLINS AVE #815	MIAMI BEACH	FL	33141-3222	USA
PEDRO A ERRO MARCO A ERRO JTRS	165 HABISCUS DR	MIAMI BEACH	FL	33139	USA
PEDRO CORDOVA &W MIRIAM	46 WILSON ST	LITTLE FERRY	NJ	07643	USA
PLACERES LLC	7135 COLLINS AVE 802	MIAMI BEACH	FL	33141	USA
POA INTERNATIONAL GROUP	7135 COLLINS AVE 1031	MIAMI BEACH	FL	33141	USA
PORT ROYALE CONDO INC (LESSEE)	6969 COLLINS AVE	MIAMI BEACH	FL	33141-3201	USA
PORTO MORENO ADOGADOS ASOCIADOS	7135 COLLINS AVE UNIT 712	MIAMI BEACH	FL	33141	USA
PRADEEP CHUGANI &W MEENA	PO BOX 524281	MIAMI	FL	33152	USA
PUMPS AT 71 LLC 7433 COLLINS AVE CORP	555 NE 185 ST #201	MIAMI	FL	33179	USA
PUNTO ESTE INC	2847 S GILBERT RD # 106 258	GILBERT	AZ	85295	USA
PW GLOBAL SERVICES INC	337 71 ST	MIAMI BEACH	FL	33141-3013	USA
R & H REALTY INVESTMENTS INC	210 71 STREET #309	MIAMI BEACH	FL	33141	USA
RACHEL ORBELINA HEREDIA	6969 COLLINS AVE 1104	MIAMI BEACH	FL	33141	USA
RACHELLE R COHEN JTRS MARVIN W COHEN JTRS	6 THE HILLS DR	UTICA	NY	13501	USA
RAFAEL F FERNANDEZ	7135 COLLINS AVE UNIT PH13	MIAMI BEACH	FL	33141	USA
RAFAEL LLANES &W MAGALY	6969 COLLINS AVE #811	MIAMI BEACH	FL	33141	USA
RAMON L DE GUZMAN	6969 COLLINS AVE APT 814	MIAMI BEACH	FL	33141	USA
RAMON YERO &W OLGA E LE REM OLGA L YERO & MABEL C VIDAL	7135 COLLINS AVE #922	MIAMI BEACH	FL	33141-3237	USA
RANDALL MOOR &W YONGHONG CHEN	1141 NW 78 AVE	MIAMI	FL	33322-5116	USA
RAQUEL SOUTUYO	7135 COLLINS AVE APT 1621	MIAMI BEACH	FL	33141	USA
RAUL GIAI LEVRA MARIA ELENA DONZINO	7950 NW 53 ST #118	MIAMI	FL	33166	USA
RAUL H FERNANDEZ LE SONIA G FERNANDEZ LE REM RAUL FERNANDEZ	4256 SW 134 PL	MIAMI	FL	33175	USA
RAY T AZCUY MIGUEL A HERRERA	7135 COLLINS AVE #1733	MIAMI BEACH	FL	33141	USA
RAYMOND G KATTOURA	7135 COLLINS AVE #905	MIAMI BEACH	FL	33141-3237	USA
RICARDO MARIA ROQUE DE ESCOBAR & STEVEN R ESCOBAR	11929 ODEN COURT	ROCKVILLE	MD	20852	USA
RICHARD BERRY ANA MARIA BERRY	3225 GLENSIDE DR	LAFAYETTE	CA	94549-5140	USA
RICHARD GROSSBERG &W TOBIE STEIN	181 BEACH 134 ST	BELLE HARBOR	NY	11694	USA
RICK DIAZ MARGARET DIAZ JEFFREY ROSENTHAL	7135 COLLINS AVE 1114	MIAMI BEACH	FL	33141	USA
RIS ABRAHAM KAFITI BUITRON	146 ARLINGTON ST	WEST HAVEN	CT	06516	USA
ROBERT & LOUISE FREEMAN (CO-TRS)	820 OAKTON ST #2-A	EVANSTON	IL	60202	USA
ROBERT W SHELDON TRS THE ROBERT W SHELDON REV TRUST	500 E 77 ST #726	NEW YORK	NY	10162	USA
ROBERTO GARCIA TRS DANIA LOPEZ TRS	3329 SE 1 AVE	CAPE CORAL	FL	33904	USA



ROBERTO GARCIA TRS ROBERTO GARCIA REVOCABLE TRUST DANIA LOPEZ TRS	3329 SE 1 AVE	CAPE CORAL	FL	33904	USA
ROBERTO PUIG &W FANNY M	PO BOX 360215	SAN JUAN	PR	00936-0215	PUERTO RICO
ROBERTO VARGA JUDIT WOHLRAB	7135 COLLINS AVE 1232	MIAMI BEACH	FL	33141	USA
RODOLFO BARREDO TRS RODOLFO BARREDO AND ROSA MARGARITA BARREDO LIVING TR	2525 SW 105 CT	MIAMI	FL	33165	USA
RODOLFO BARREDO TRS RODOLFO BARREDO AND ROSA MARGARITA BARREDO PEREZ LIVING TR	2525 SW 105 CT	MIAMI	FL	33165	USA
RODOLFO MIRANDA &W IVONNE	733 CLEVELAND AVE	ELIZABETH	NJ	07208	USA
ROLAND M PENA &W ROSA M	7135 COLLINS AVE 1123	MIAMI BEACH	FL	33140-	USA
ROLANDO GARCIA JR &W MARIA C GARCIA	9020 NW 166 TERR	MIAMI	FL	33018	USA
ROMAN LUGO JEANNETTE LUGO	4451 SW 72ND TERR	DAVIE	FL	33314	USA
ROMERO AND HEREDIA RENOVATIONS LLC	7135 COLLINS AVE 1535	MIAMI BEACH	FL	33141	USA
RONALD M & VERA DREIFUSS (JTRS)	401 E 65 ST APT 11D	NEW YORK	NY	10021	USA
ROSA DELGADO	7135 COLLINS AVE #1032	MIAMI BEACH	FL	33141-3256	USA
ROSA M & FAUSTINO GARCIA	7135 COLLINS AVE UNIT 412	MIAMI BEACH	FL	33141-3227	USA
ROSARIO NARDO	7135 COLLINS AVE #1101	MIAMI BEACH	FL	33134	USA
RUBEN KATZ FLORA PHYLLIS KATZ LUIS KATZ RABINOVICH	5800 SW LE JEUNE RD	MIAMI	FL	33146-2817	USA
RUTH E HIRSCH	7135 COLLINS AVE UNIT 1436	MIAMI BEACH	FL	33141-3269	USA
SABEH F SAMAHA TRS SABEH F SAMAHA REVOCABLE TRUST	7135 COLLINS AVE 415	MIAMI BEACH	FL	33141	USA
SACHIN THAKUR	7135 COLLINS AVE 1136	MIAMI BEACH	FL	33141	USA
SALLY FAUST	7135 COLLINS AVE #716	MIAMI BEACH	FL	33141	USA
SAM NAGAR RONI NAGAR	6969 COLLINS AVE #1505	MIAMI BEACH	FL	33141	USA
SAMUEL MANKARYOUS JTRS GEORGE MANKARYOUS JTRS	7135 COLLINS AVE #725	MIAMI BEACH	FL	33141	USA
SAMUEL RODRIGUEZ TRS SAMUEL RODRIGUEZ REVOCABLE TRUST MAGDA RODRIGUEZ TRS	7135 COLLINS AVE UNIT 1823	MIAMI BEACH	FL	33141	USA
SANDRA R PASTRANA	7135 COLLINS AVE #704	MIAMI BEACH	FL	33141-3229	USA
SAPARI I INC	221 SW 28 RD	MIAMI	FL	33129	USA
SARA GOSER	6969 COLLINS AVE UNIT 409	MIAMI BEACH	FL	33141-3221	USA
SEBANALISA BONAIRE LLC	1535 DORADO AVE	CORAL GABLES	FL	33146	USA
SERGIO BELLO &W ELSA H	5903 NW 40 TERR	VIRGINIA GARDENS	FL	33166-5763	USA
SERGIO DEBESA JTRS FERNANDA DEBESA JTRS FRANK DEBESA JTRS	4135 SW 97 AVE	MIAMI	FL	33165	USA
SERGIO MORENO	7135 COLLINS AVE #1816	MIAMI BEACH	FL	33141-3232	USA
SEYMOR LANDSMAN & ERNESTO FUENTES	7135 COLLINS AVE # 1415	MIAMI BEACH	FL	33141-3257	USA
SEYMOUR HAYDEN CAMERON CHESSON	7135 COLLINS AVE #1812	MIAMI BEACH	FL	33141	USA
SHANE BRYAN PFEIFFER	6969 COLLINS AVE 505	MIAMI BEACH	FL	33141	USA
SHEILA BUCKLEY	6965 HARDING AVE # 502	MIAMI BEACH	FL	33141	USA
SHIRLEY GELLER	7135 COLLINS AVE # 916	MIAMI BEACH	FL	33141-3237	USA
SHIRLEY M YATES &H SOL (TRS)	18424 S KEDZIE #B	HOMEWOOD	IL	60430	USA
SILFREDO CARRAZANA ILIANA CARRAZANA	25 SW 136 CT	MIAMI	FL	33184	USA
SILVANA R CASERMEIRO	7135 COLLINS AVE #1202	MIAMI BEACH	FL	33141-3230	USA
SILVIA OBEID SOCHA JACEK SOCHA	7135 COLLINS AVE #614	MIAMI BEACH	FL	33141	USA
SILVIO GARBARZ	20900 NE 30 AVE 200 27	AVENTURA	FL	33180	USA
SIMONE GRAMS WILLRICH	7135 COLLINS AVE 1802	MIAMI BEACH	FL	33141	USA
SOLID LINES K AND B LLC	11930 N BAYSHORE DR 1409	MIAMI	FL	33181	USA
SR REAL PROPERTIES LLC	4522 CHEVAL BLVD	LUTZ	FL	33558	USA
STEPHANIE PEREZ	6284 SW 26 ST	MIAMI	FL	33155	USA
STEVEN BONNEN &W ROCIO	87 PARKWAY DR	ROSLYN HEIGHTS	NY	11577	USA
STUART L TOCKMAN &W YOLANDA V	5120 SW 156 PL	MIAMI	FL	33185-4169	USA
SUKAN LLC	15807 BISCAYNE BLVD #113	AVENTURA	FL	33160	USA
SUN & SUCCES LLC	2370 NE 184 TER	NORTH MIAMI BEACH	FL	33160	USA
SURIS ACELA	6969 COLLINS AVE #306	MIAMI BEACH	FL	33141-3221	USA
SUSANA KUSSEROW	7135 COLLINS AVE 923	MIAMI BEACH	FL	33141	USA
SUZANNE HUGYECZ	7135 COLLINS AVE UNIT #1834	MIAMI BEACH	FL	33141	USA
TANIA J LEON & MARTHA R MOOKE	36 FOREST RIDGE RD	NYACK	NY	10960	USA
TCR MANAGEMENT COMPANY LLC	10811 SW 30 ST	MIAMI	FL	33165	USA
TERESITA BARCELO &H COLLAZO & JACQUELINE RODRIGUEZ	7135 COLLINS AVE #1111	MIAMI BEACH	FL	33141	USA
TERESITA BARTELOMEO &H RAMON TOYOS	7135 COLLINS AVE #PH1	MIAMI BEACH	FL	33141-3252	USA
TERESITA TZIKAS DORA NOCERA	10 DEMOND R	MALDEN	MA	02148	USA

THOMAS K YAZDGERDI	111 N PAYNE ST	ALEXANDRIA	VA	22314-2905	USA
TRINIDAD ALVAREZ	12709 SW 28 TERR	MIAMI	FL	33175-2147	USA
TRINOLOGIC LLC	6965 HARDING AVE # 207	MIAMI BEACH	FL	33141	USA
TUTTI BIANKI CORP	2030 S DOUGLAS RD STE 212	CORAL GABLES	FL	33134	USA
URSULA M BROWN TRS JAMES M BROWN TRS	2 CLARIDGE DRIVE 8WH	VERONA	NJ	07044	USA
UZI PARNES JTRS CHARLES S RICHARD JTRS	120 AVE C #2	NEW YORK	NY	10009	USA
VALENTIN MEDINA SR LE REM ELEUT HERNANDEZ REM VALENTIN MEDINA JR	7135 COLLINS AVE UNIT 1231	MIAMI BEACH	FL	33141	USA
VENANCIO ABDUL-CHANI &W ANDREA	7135 COLLINS AVE #812	MIAMI BEACH	FL	33141	USA
VERONICA ANDREA LOPEZ	7135 COLLINS AVE #832	MIAMI BEACH	FL	33141	USA
VICKI GLINER MARKS	75 WOODLAKE DRIVE WEST	WOODBURY	NY	11797	USA
VICTORIA T KRANE TRS	110-11 QUEENS BLVD APT 28K	FOREST HILLS	NY	11375	USA
VILARINO PROPERTY GROUP INC	6015 GARFIELD ST	HOLLYWOOD	FL	33024	USA
VILLA MELILLA INVESTMENTS LLC	6965 HARDING AVE UNIT #406	MIAMI BEACH	FL	33141	USA
VIVIAN ALONSO & DAYNELISA HERNANDEZ	6965 HARDING AVE #404	MIAMI BEACH	FL	33141-3249	USA
WENDY BURNEY TRS WENDY BURNEY REVOCABLE LIVING TR JOHN MICHAEL BURNEY TRS	7135 COLLINS AVE 504	MIAMI BEACH	FL	33141	USA
WILFREDO MARTI &W ISABEL M	9240 SW 45 TERR	MIAMI	FL	33165-5808	USA
WIRELESS BOUTIQUE INC	15540 SW 156 AVE	MIAMI	FL	33187-0705	USA
WOLF INVESTMENTS LLC	710 LANDSDOWNE CT	ELIZABETHTOWN	KY	42701	USA
XIAN FRANCE GROUP LLC	7135 COLLINS AVE 731	MIAMI BEACH	FL	33141	USA

ALBERTO LOPEZ TRS  
ALBERTO ENRIQUE LOPEZ REV TR  
1513 BOLIVA PISO1 DEPTO 6  
BUENOS AIRES 1416  
ARGENTINA

APAPACHO LLC  
MONTEVIDEO 2253  
BOULOGNE 1609 SAN ISIDRO  
BUENOS AIRES  
ARGENTINA

BEACH PIT LLC  
CORONEL MORA 588 #701  
MONTEVIDEO 11300  
URUGUAY

BEMCM LLC  
SALTA 3454  
LA LUCILA  
ARGENTINA

BERNARD ROSS &W AYALA  
10 RIDERWOOD DR  
TORONTO ONT M2L2X3  
CANADA

BRIGITTA MAIER & DOMINIQUE M TOST JTRS  
MARIANA DE JESUS #228 Y  
PRADERA QUITO  
ECUADOR

CLAUDIA A ROMAGNA DE MIREAULT TRS  
CLAUDIA A ROMAGNA DE MIREAULT &  
PIERRE MIREAULT REV TRUST  
4775 MELOCHE  
PIERREFONDS QUEBEC H9J 1Y9  
CANADA

DENYSE LAMBIN TRS  
THE DENYSE LAMBIN REV TRUST  
2024-7 ST HUBERT ST  
MONTREAL QC H2L 3Z6  
CANADA

EDUARDO JORGE ORESTE  
GRACIELA I C DE ORESTE  
CALLE 20 #389 ENTRE 39 Y 40  
LA PLATA BUENOS AIRES  
ARGENTINA

HAROLD SABOVICH TRS  
HAROLD SABOVICH FAM TR  
SHIRLEY MARDER TRS  
99 DALEMOUNT AVE  
TORONTO M6B 4J7  
CANADA

JULIE ANN SCHICK  
RAPHAEL SCHICK  
228 COLDSTREAM AVE  
TORONTO ONT M5N 1Y3  
CANADA

MARIA WINDMAN (LE)  
REM LILI SCHON & SAUL WINDMAN  
285 WINDING LN  
THORNHILL ONTARIO L4J 5K7  
CANADA

RACHEL BENSABOT  
MARIE BENSABOT  
7565 WESTOVER AVE 33  
MONTREAL QC H4W3K7  
CANADA

RICHARD MISLOV  
ANASTASIA GROUMBOS  
369 CLINTON ST  
TORONTO ONTARIO M6G2Z1  
CANADA

SUSANA PALLICER MARTINEZ  
CALLE JOAN COROMINAS #6  
PROVINCIA BARCELONA ESPANA 08370  
SPAIN

231-233 MARSHALL REALTY LLC  
400 TRUMBULL ST  
ELIZABETH, NJ 07206

26 BOND STREET MANAGEMENT LLC  
7135 COLLINS AVE 1036  
MIAMI BEACH, FL 33141

7130 HARDING AVE LLC  
6000 COLLINS AVE #348  
MIAMI BEACH, FL 33140

9484 HARDING INVESTMENT LLC  
210 71 ST 309  
MIAMI BEACH, FL 33141

ABBOTT 72 LLC  
130 MINORCA AVENUE  
CORAL GABLES, FL 33134

ABBOTT AVENUE PARTNERS LLC  
1065 KANE CONCOURSE 201  
BAY HARBOR ISLANDS, FL 33154

ABDEL FIGUEREDO  
1430 SW 91 AVE  
MIAMI, FL 33174

ABDELFATTAH ARAFAT & HOSAM ARAFAT  
202 SIENA GARDENS CIR  
GOTHA, FL 34734-5000

ADALBERTO PUELLO &W SARA  
2910 SW 92 PL  
MIAMI, FL 33165-3140

ADEL SALAMA &W GLADYS  
7135 COLLINS AVE #503  
MIAMI BEACH, FL 33141-3272

ADRIAN VICTORES  
4536 W 6 AVE  
HIALEAH, FL 33012

AHM ADVISORS LLC  
210 71 STREET #309  
MIAMI BEACH, FL 33141

AIDA AWAD  
17 7 STREET  
RIDGEFIELD PARK, NJ 07660

AIMEE & TIFFANY STYLER TRS  
1105 BROMLEY AVE  
TEANECK, NJ 07666

ALANAXELTATI LLC  
7135 COLLINS AVE #1511  
MIAMI BEACH, FL 33141

ALBERTO ALEMAN  
VANESSA CUBA  
6969 COLLINS AVE # 1210  
MIAMI BEACH, FL 33141

ALBERTO MESA  
ALFREDO MESA  
2721 SW 33 AVE  
MIAMI, FL 33133

ALEIDA RODRIGUEZ  
6969 COLLINS AVE #1003  
MIAMI BEACH, FL 33141-3223

ALEJANDRA SLATAPOLSKY  
6969 COLLINS AVENUE #507  
MIAMI BEACH, FL 33141

ALEJANDRO BUCHANCOW  
2853 N NEVA  
CHG, IL 60634

ALEJANDRO MARCARIAN  
7135 COLLINS AVENUE #436  
MIAMI BEACH, FL 33141

ALEJANDRO NERGUIZIAN  
2925 PRAIRIE AVE  
MIAMI BEACH, FL 33140

ALEX S RUIZ  
4200 VIA MARISOL UNIT 731  
LOS ANGELES, CA 90042-3497

ALEXANDER BEREZIN  
6000 COLLINS AVE 308  
MIAMI BEACH, FL 33140

ALEXANDRA FRIDMAN  
7135 COLLINS AVE UNIT 1213  
MIAMI BEACH, FL 33141-3230

ALFONSO FERNANDEZ  
MARIA BEATRIZ FERNANDEZ  
630 SAN ANTONIO AVE  
CORAL GABLES, FL 33146

ALFREDO CAGGIANO  
7135 COLLINS AVE UNIT 1525  
MIAMI BEACH, FL 33141-3251

ALFREDO GONZALEZ  
EDILIA GONZALEZ  
7135 COLLINS AVE #1401  
MIAMI BEACH, FL 33141-3257

ALLA GRANOVSKY & ANGELA GRANOV  
702 BRIDGEVIEW RD  
LANGHORNE, PA 90053

ALOIS CATHALINA  
7135 COLLINS AVE #604  
MIAMI BEACH, FL 33141-3228

ALUVIAR LLC  
11930 N BAYSHORE DRIVE #1409  
NORTH MIAMI BEACH, FL 33181

AMALIO P RODRIGUEZ  
6969 COLLINS AVE #1106  
MIAMI BEACH, FL 33141-3223

AMARLETTE RIVERO & NERY TOLEDO  
6969 COLLINS AVE #1408  
MIAMI BEACH, FL 33141-3224

AMITA KUMARI  
7135 COLLINS AVE 1406  
MIAMI BEACH, FL 33141

ANA BRADLEY BRAY LE  
REM JULIO R MARTINEZ  
REM JOSE J MARTINEZ  
695 NW 126 CT  
MIAMI, FL 33182

ANA CECILIA TEIXEIRA  
6969 COLLINS AVE #603  
MIAMI BEACH, FL 33141

ANA G HERRERA  
7135 COLLINS AVE #1116  
MIAMI BEACH, FL 33141

ANA R BASADRE JOLIE R TURNER  
6969 COLLINS AVE 1406  
MIAMI BEACH, FL 33141

ANDRES G LOPEZ  
6969 COLLINS AVE #1204  
MIAMI BEACH, FL 33141-3224

ANDRES PEREZ  
MIRELLA PEREZ  
6 PINE STREET  
CARTERET, NJ 07008

ANGEL AMENDOLA  
SILVIA AMENDOLA  
7135 COLLINS AVE #526  
MIAMI BEACH, FL 33141

ANGEL CABRERA & W MIGDALIA  
7135 COLLINS AVE #1222  
MIAMI BEACH, FL 33141-3257

ANGEL R DE ARMAS  
SILVIA L DIAZ  
7135 COLLINS AVE UNIT #521  
MIAMI BEACH, FL 33141

ANGELINA RODRIGUEZ REV LIV TR  
ANGELINA RODRIGUEZ  
1 GLIMPSEWOOD LN  
MORRISTOWN, NJ 07960

ANIBAL D OLIU & W AMARILYS  
890 NE 78 ST  
MIAMI, FL 33138

ANN CHRISTINA BRADY  
5895 SW 74TH AVE  
MIAMI, FL 33143-1736

ANTONIO PEREZ &W MIREYA A  
254 TORTOISE LN  
FRANKLIN LAKE, NJ 07417

ANTONIO RIVAS  
ANTONIO VIRGINIA RIVAS FAMILY TR  
VIRGINIA RIVAS  
3230 SW 133 AVE  
MIAMI, FL 33175

ANTONIO RUIZ &W MARIA TERESA  
6969 COLLINS AVE #1504  
MIAMI BEACH, FL 33141-3224

ANTONIO VILLANUEVA JR &W ELIA M  
6969 COLLINS AVE STE 1411  
MIAMI BEACH, FL 33141-3224

ARACELY JUEZ  
CAROLINA SALGADO  
6969 COLLINS AVE 605  
MIAMI BEACH, FL 33141

ARISTIDES F HERNANDEZ  
SUSAN HERNANDEZ  
140 SYLVA STREET  
RUTHERFORD, NJ 07070

ARMANDO A RODRIGUEZ &W NORMA  
5700 SW 97TH ST  
PINECREST, FL 33156

ARMANDO R RODRIGUEZ &W NORMA G  
5700 SW 97TH ST  
PINECREST, FL 33156

ARMANDO SOUTO  
ISOLINA SOUTO  
1812 SW 124 PL  
MIAMI, FL 33175

ARMANDO Z BORREGO &W  
CORONA BORREGO  
7135 COLLINS AVE #602  
MIAMI BEACH, FL 33141-3228

ARNALDO RAMIREZ &W ESTHER P  
2150 SANS SOUCI BLVD APT B1005  
N MIAMI, FL 33181-3045

ARTHUR COYLE &W KATIE  
7135 COLLINS AVE UNIT 1504  
MIAMI BEACH, FL 33141-3269

ARTHUR WONG HUEI SHYANG AARON WONG  
HUEI SHYIN  
PO BOX 1141  
CUMMING, GA 30028

BEACH LEGAL PROPERTIES INC  
317 - 71 ST  
MIAMI BEACH, FL 33141-3013

BECO MIAMI LLC  
1444 BISCAYNE BLVD STE 306  
MIAMI, FL 33132

BELKIS LAGO  
7135 COLLINS AVE #1611  
MIAMI BEACH, FL 33141-3251

BELRENI LLC  
3600 MYSTIC POINT DR LP 6  
AVENTURA, FL 33180

BEMCM LLC  
7135 COLLINS AVE #613  
MIAMI BEACH, FL 33141

BERTO SIXTO ECHEVARRIA  
2030 SW 61 AVE  
MIAMI, FL 33155

BESSIE E PEASE &H ROBERT B &  
MARY CARASOULAS  
4601 5TH AVE APT#423  
PITTSBURGH, PA 15213

BHARAT LAKHKAR  
LEENA LAKHKAR  
7135 COLLINS AVE UNIT #505  
MIAMI BEACH, FL 33141

BISMARCK COTTA LLC  
1300 SW 67 AV  
MIAMI, FL 33144

BLANCA C HERRERA-TORRES  
6969 COLLINS AVE UNIT 715  
MIAMI BEACH, FL 33141-3222

BOMBINHAS LLC  
7135 COLLINS AVE 1016  
MIAMI BEACH, FL 33141-3211

BORIS PILCH  
7135 COLLINS AVE UNIT 1004  
MIAMI BEACH, FL 33141-3256

BORIS VOLEGOV  
5051 SW 149TH AVE  
DAVIE, FL 33331-2861

BRIAN ACWORTH  
280 HARRISON AVE  
CENTERPORT, NY 11721

BRIENDY MELNICKE  
MICHAEL MELNICKE  
1637 50 ST  
BROOKLYN, NY 11204

BRIXHAM CORPORATION  
1110 BRICKELL AVENUE #310  
MIAMI, FL 33131

BURLEIGH 801 CORP  
20900 NE 30 AVE #200-27  
AVENTURA, FL 33180

BURLEIGH HOUSE CONDO INC  
7135 COLLINS AVE  
MIAMI BEACH, FL 33141-3238

BURLEIGH LLC  
16178 NW 1 ST  
PEMBROKE PINES, FL 33028

CANDRES INVESTMENTS 2 LLC  
2631 PARRISH STREET  
PHILADELPHIA, PA 19130

CARIDAD A OLIVER LE  
REM SUSANA D MAYOBRE  
7135 COLLINS AVE 834  
MIAMI BEACH, FL 33141-3237

CARLA FEIGENBAUM REV TR  
CARLA FEIGENBAUM  
7135 COLLINS AVE #1106  
MIAMI BEACH, FL 33141

CARLO SERVITO  
6965 HARDING AVE #507  
MIAMI BEACH, FL 33141-3250

CARLOS A MILANES ALINA M MILANES  
7135 COLLINS AVE 1613  
MIAMI BEACH, FL 33141

CARLOS COLON EDWIN AYALA  
6969 COLLINS AVE UNIT 401  
MIAMI BEACH, FL 07276

CARLOS CUENCA  
CELIDA CUENCA  
371 NE 168 ST APT 303  
MIAMI BEACH, FL 33160

CARLOS J WEBER MARIA V LASKOWSKI  
7135 COLLINS AVE #1404  
MIAMI BEACH, FL 33141

CARLOS JACINTO &W NORMA JACINTO  
7135 COLLINS AVE #932  
MIAMI BEACH, FL 33141

CARLOS R ACOSTA &W DULCE MIJARES  
6969 COLLINS AVE #703  
MIAMI BEACH, FL 33141-3222

CARLOS SALVADOR RAMUNDO  
ANDREA HILDA CASTRO RAMUNDO  
401 OCEAN DR APT 902  
MIAMI BEACH, FL 33139

CARLOS SUAREZ MARTHA DONATE  
7135 COLLINS AVE # 502  
MIAMI BEACH, FL 33141

CARMELO SARLI TRS  
SARLI REVOCABLE LIVING TRUST  
10855 NW 88 TER #103  
DORAL, FL 33178

CARMEN R MONTANO  
6965 HARDING AVE UNIT 203  
MIAMI BEACH, FL 33141-3247

CASA GRANDE SHOPPING CENTER LLC  
10275 COLLINS AVE #708  
BAL HARBOUR, FL 33154

CATALINA ATEHORTUA  
6969 COLLINS AVE APT 906  
MIAMI BEACH, FL 33141

CC7135 LLC  
7135 COLLINS AVE 625  
MIAMI BEACH, FL 33141

CECILIA SALAS  
6965 HARDING AVE 405  
MIAMI BEACH, FL 33141

CELESTE E CEPERO ABAD  
5321 SW 162 PLACE  
MIAMI, FL 33156

CELIA TORRES  
6420 SW 88 PATH  
MIAMI, FL 33173

CESAR ANDRADE &W MARILDA &  
JAIME ANDRADE  
7135 COLLINS AVE #1225  
MIAMI BEACH, FL 33141-3257

CESAR KUDJA TRS  
8253 WEST 14 CT  
HIALEAH, FL 33014

CHARLES A SCHWARTZ LE  
REM CHARLES A SCHWARTZ TRS  
CHARLES A SCHWARTZ 2010 REV TR  
7135 COLLINS AVE 626  
MIAMI BEACH, FL 33141-3211

CHARLES AKSELRAD TRS  
ALINE AKSELRAD TRS  
960 LAWRENCE RD  
PRINCETON, NJ 08540

CHARLES AKSELRAD TRS  
ALINE AKSELRAD TRS  
7135 COLLINS AVE #PH-6  
MIAMI BEACH, FL 33140

CHARLES CATALANO TRS  
MICHAEL D'ANNUNZIO TRS  
149 JERICHO TURNPIKE  
OLD WESTBURY, NY 11568

CHARLES HASPEL &W BARBARA  
7135 COLLINS AVE UNIT 1023  
MIAMI BEACH, FL 33141-3256



CHARLES MARKS  
7135 COLLINS AVE #1102  
MIAMI BEACH, FL 33141-3230

CHARLES W MORALES ALMONACID & STELLA  
ALMONACID DE MORALES ETALS  
7135 COLLINS AVE #1515  
MIAMI BEACH, FL 33141-3269

CHRISTIAN MULLER EDALIRA MARIA  
CARLOS MULLER  
6969 COLLINS AVE #710  
MIAMI BEACH, FL 33141

CITY OF MIAMI BEACH CITY HALL  
1700 CONVENTION CENTER DR  
MIAMI BEACH, FL 33139

CLAMALU GROUP LLC  
2370 NE 184 TER  
N MIAMI BEACH, FL 33160

CLAUDIA I GARCIA  
521 LES JARDIN DR  
PALM BEACH GARDENS, FL 33410

COBE MIAMI LLC  
150 SE 2 AVE STE PH1  
MIAMI, FL 33131

COLLINS AND 72ND DEVELOPERS LLC  
9537 HARDING AVE  
SURFSIDE, FL 33154

CONSTANTIN TSIMPOUKLIS & W LYDIA  
7135 COLLINS AVE UNIT 1006  
MIAMI BEACH, FL 33141-3256

CORAL 1533 LLC  
1331 BRICKELL BAY DR CU2  
MIAMI BEACH, FL 33131

CRAIG T TRESTER  
MARY D UZCATEGUI TRESTER  
24 NURSERY RD  
MELVILLE, NY 11747

CRISMA 623 LLC  
7135 COLLINS AVE #623  
MIAMI BEACH, FL 33141

CRYSTAL BCH CLUB CONDO ASSOC  
PO BOX 422247  
KISSIMMEE, FL 34742

CRYSTAL BEACH CLUB CONDO ASSN INC  
PO BOX 422247  
KISSIMMEE, FL 34742

CRYSTAL BEACH DEVELOPMENT CORP  
PO BOX 422247  
KISSIMMEE, FL 34742

CRYSTAL BEACH INC  
PO BOX 421704  
KISSIMMEE, FL 34742

CRYSTAL BEACH INC  
PO BOX 422247  
KISSIMMEE, FL 34742

CRYSTAL BEACH INC  
5000 AVE OF THE STARS  
KISSIMMEE, FL 34746

CURRENT PROPERTY OWNER  
6969 COLLINS AVE #305  
MIAMI BEACH, FL 33141

CURRENT PROPERTY OWNER  
7135 COLLINS AVE #1622  
MIAMI BEACH, FL 33141

CURRENT PROPERTY OWNER  
7135 COLLINS AVE #633  
MIAMI BEACH, FL 33141

CURRENT PROPERTY OWNER  
7135 COLLINS AVE #822  
MIAMI BEACH, FL 33141

DAMAJU LLC  
7135 COLLINS AVE #1016  
MIAMI BEACH, FL 33141

DANIA LOPEZ LE REM ROBERTO GARCIA TRS  
ROBERTO GARCIA LE  
3329 SE 1 AVE  
CAPE CORAL, FL 33904

DANIA TRASOBARES LLOPIZ LE  
REM ALBERTO O TOMEU  
REM TIANA T OLCESE  
7135 COLLINS AVE #1532  
MIAMI BEACH, FL 33141

DANIEL ACOSTA & W OLIVIA  
7135 COLLINS AVE #723  
MIAMI BEACH, FL 33141-3229

DANIEL MARSHALL GOLDMAN  
MARGARITA OSSORIO GOLDMAN  
7135 COLLINS AVE APT 1402  
MIAMI BEACH, FL 33141

DANIEL R GARCIA AIDA I GARCIA  
270 SW 58 AVE  
MIAMI, FL 33144

DAVID M MURRAY ELISABETH A MURRAY  
7135 COLLINS AVENUE #1526  
MIAMI BEACH, FL 33141

DEBRA SNYDER ELLEN HULL  
8 OVERLOOK CT  
BAYVILLE, NJ 08721

DIANA M CASADEVALL  
7135 COLLINS AVE APT 1403  
MIAMI BEACH, FL 33141

DIANA MAE SILVERMAN GORE  
7135 COLLINS AVE # 1405  
MIAMI BEACH, FL 33141

DIEGO D GARCIA  
7135 COLLINS AVE #833  
MIAMI BEACH, FL 33141

DINORAH ROMAN  
6969 COLLINS AVE #315  
MIAMI BEACH, FL 33141-3221

DONNA & THOMAS METLICKA & RUTH &  
JOSEPH BARBARO  
2612 SWEETBROOM  
NAPERVILLE, IL 60564

DONNA HELENE MUELLER  
2132 MT VERNON ST  
PHILADELPHIA, PA 19130

DORA A NOCERA TERESITA B TELKAS  
7135 COLLINS AVE #1015  
MIAMI BEACH, FL 33141

DORA BRITO LE REM TERESITA TZIKAS  
REM DORA NOCERA  
7135 COLLINS AVE # 1824  
MIAMI BEACH, FL 33141

DORIS PARKER FAMILY TRS  
DORIS PARKER (BEN)  
7135 COLLINS AVE #1024  
MIAMI BEACH, FL 33141-3256

DOROTHY WEST  
6969 COLLINS AVE #1510  
MIAMI BEACH, FL 33141-3224

EDGARDO INSIGNARES &W MARINA A  
6969 COLLINS AVE #804  
MIAMI BEACH, FL 33141-3222

EDNA & MARTIN ROTHSTEIN  
7135 COLLINS AVE UNIT 803  
MIAMI BEACH, FL 33141-3229

EDUARDO CABANAS  
1020 SW 88 AVE  
MIAMI, FL 33174-3217

EDUARDO J PADRON TRS  
EDUARDO J PADRON LIVING TRUST  
2004 SW 7 AVE  
MIAMI, FL 33129

EDUARDO SAENZ ROVNER  
6801 HARDING AVE # 319  
MIAMI BEACH, FL 33141

ELA WAGNERMAN TRS  
ELA WAGNERMAN LIVING TRUST  
9454 SW 4 TER  
MIAMI, FL 33174

ELENA VELOSO LE REM MARY ANN SURI  
REM JULIANNE SURI  
7135 COLLINS AVE 1205  
MIAMI BEACH, FL 33141

ELIDA GUERRA LE  
REM RICARDO FERNANDEZ  
REM ERNESTO FERNANDEZ  
7135 COLLINS AVE #1713  
MIAMI BEACH, FL 33140

ELIZABETH CARRIL TRS  
PO BOX 547176  
SURFSIDE, FL 33154

ELIZABETH O'DARE (TR)  
700 INDIAN LILAC RD  
VERO BEACH, FL 32963-1301

ELLIOTT COWAN &W KARINA P COWAN  
6050 LOGANS WAY  
ELLCOTT CITY, MD 21043

ELSA & EVA PANG  
41-81 DENMAN ST  
ELMHURST, NY 11373

ELYSEE INVEST CO MIAMI BEACH INC  
210 71 STREET #309  
MIAMI BEACH, FL 33141

ELYSEE INVESTMENT ENTERPRISES  
45 NW 21ST ST  
MIAMI, FL 33127-4928

EMMA FERNANDEZ  
6969 COLLINS AVE UNIT 1205  
MIAMI BEACH, FL 33141-3224

ENEIDA MENA JANET MENA  
6965 HARDING AVE 303  
MIAMI BEACH, FL 33141

ENRIQUE J VENTURA SR &W EMMA  
6969 COLLINS AVE #415  
MIAMI BEACH, FL 33141-3221

ENRIQUE SIERRA &W MARIA  
10700 FAIRHAVEN WAY  
ORLANDO, FL 32825

ERIC M BERAZA TRS  
1315 SW 78 PL  
MIAMI, FL 33144-5257

ERNEST R PEREZ  
2 TUDOR CITY PLACE #6LS  
NEW YORK, NY 10017

ERNESTO BERNAL  
7135 COLLINS AVE #1103  
MIAMI BEACH, FL 33141-3230

ERNESTO REGO &W ARACELI B  
2031 SW 106 CT  
MIAMI, FL 33165-7942

ERNESTO RODRIGUEZ  
2118 FIELDSTONE DR  
BETHLEHEM, PA 18015

ESTELA SOTO LE  
REM MARTA ESTELA SOTO JTRS  
7135 COLLINS AVE 622  
MIAMI BEACH, FL 33141

ESTRELLA PANG &H RAY COLON  
7135 COLLINS AVE #1815  
MIAMI BEACH, FL 33141-3232

EVA CUSNIER  
6969 COLLINS AVE #914  
MIAMI BEACH, FL 33141-3223

EVE R SPROTZER TRS  
SAMUEL P SPROTZER REV TRUST  
31 LINDEN LANE  
MADISON, CT 06443

EVELYN GONZALEZ TRS  
NILDA GARCIA TRUST  
820 CATON AVE  
BROOKLYN, NY 11218

EZPELETA INC  
2801 NE 183 ST #904  
AVENTURA, FL 33160

EZRA D ESKANDRY LE  
REM RAQUEL L ESKANDRY  
401 SE 11 AVE  
HIALEAH, FL 33010-5737

FABIO CASCUDO  
6969 COLLINS AVE #807  
MIAMI BEACH, FL 33141-3222

FAISAL H AL JIBOORI  
7135 COLLINS AVE #1711  
MIAMI BEACH, FL 33141-3231

FAUSTINO GARCIA &W CLARA  
11271 SW 26 ST  
MIAMI, FL 33165-2233

FEDERAL NATIONAL MORTGAGE ASSN  
3900 WISCONSIN AVE NW  
WASHINGTON, DC 20016

FELIX R RODRIGUEZ &W MARTA R  
417 NE 27 ST #1  
MIAMI, FL 33137-4603

FELIX R RODRIGUEZ  
MARTA R RODRIGUEZ  
9451 SW 67 AVE  
MIAMI, FL 33156

FERLAZ REALTY CORP INC  
8819 FROUDE AVE  
SURFSIDE, FL 33154-3321

FERNANDO DANIEL FERREYRA CINTIA  
DANIELA CAIN DELICIA SUSANA FLORES  
6969 COLLINS AVE 312  
MIAMI BEACH, FL 33141

FERNANDO FUENTES  
7135 COLLINS AVE #PH3  
MIAMI BEACH, FL 33141

FERNANDO GANDLAZ  
7135 COLLINS AVE # 1016  
MIAMI BEACH, FL 33141

FERNANDO J ALVAREZ &W SILVIA A  
6940 SEAGRAPE TERR  
MIAMI LAKE, FL 33014-2930

FERRA MAR LLC  
6969 COLLINS AVE # 1402  
MIAMI BEACH, FL 33141

FERRA MAR LLC  
2370 NE 184 TER  
MIAMI, FL 33160

FIRST LEISURE CORP  
6985 COLLINS AVE UNIT 415  
MIAMI BEACH, FL 33141

FIRST LEISURE CORP  
6985 COLLINS AVE 410  
MIAMI BEACH, FL 33141

FIRST LEISURE CORP  
6985 COLLINS AVE 413  
MIAMI BEACH, FL 33141

FIRST LEISURE CORP  
6985 COLLINS AVE STE 412  
MIAMI BEACH, FL 33141

FIRST LEISURE CORP  
PO BOX 421704  
KISSIMMEE, FL 34742

FIRST LEISURE CORP  
PO BOX 422247  
KISSIMMEE, FL 34746

FLORENTIA C VALDES EST OF  
7135 COLLINS AVE UNIT 1835  
MIAMI BEACH, FL 33141-3252

FRANCISCO HOYOS &W MARIA AMELIA  
7135 COLLINS AVE UNIT 734  
MIAMI BEACH, FL 33141-3229

FRANCISCO M CRESPO &W ELIA  
7135 COLLINS AVE #1833  
MIAMI BEACH, FL 33141-3252

FRANCISCO M CRESPO ELIA CRESPO  
7135 COLLINS AVE #1536  
MIAMI BEACH, FL 33141-3251

FRANISA LLC  
3600 MYSTIC POINTE DR LP6  
AVENTURA, FL 33180

FRANISA LLC  
3600 MYSTIC POINTE DR UNIT LPH-6  
AVENTURA, FL 33180

FRANK F RAPOSO  
1021 SW 99 PL  
MIAMI, FL 33174-2833

FRANK M MENA LAURA L MENA  
7135 COLLINS AVE #1226  
MIAMI BEACH, FL 33141-3257

FREDERICK J LITWIN TRS  
FREDERICK JOEL LITWIN AND ELAINE  
CATHERINE LITWIN REVOCABLE TRUST  
7135 COLLINS AVE PH36  
MIAMI BEACH, FL 33141

FRIEDA ALUTIN TRS  
ALUTIN PREMISES TRUST  
MICHELE T ALUTIN TRS  
323 E 89 ST #3C  
NEW YORK, NY 10128

GAIL FRANK  
7135 COLLINS AVE # 1624  
MIAMI BEACH, FL 33141-3231

GARPRANA LLC  
3600 MYSTIC POINTE DR LP6  
AVENTURA, FL 33180

GARY ELLIOT EISENBERG  
SHARON BARBARA EISENBERG WIGAL  
5 LISA COURT  
NEW CITY, NY 10956

GEORGE JARP &W MARY  
6969 COLLINS AVE UNIT 1005  
MIAMI BEACH, FL 33141-3223

GEORGE TY SIMPSON  
1229 PENNSYLVANIA AVE SE  
WASHINGTON, DC 20003

GERARDO CABRERA  
TSUNAMI PEREZ ECHEMENDIA (JTRS)  
7135 COLLINS AVE #1626  
MIAMI BEACH, FL 33141

GERMAN FILGUEIRA  
LISA BOGUSKI FILGUEIRA  
7135 COLLINS AVE 615  
MIAMI BEACH, FL 33141

GESTIONAR CORP  
1687 NE 123 ST  
NORTH MIAMI, FL 33181

GIANLUCA PEDRAZZINI  
C/O JOSEPH VICTOR BEHAR  
GIOVANNA ANGELI  
6767 COLLINS AVENUE #2205  
MIAMI BEACH, FL 33141

GILDA POMARES  
6969 COLLINS AVE #510  
MIAMI BEACH, FL 33141

GILLES MATHIEU  
7135 COLLINS AVE UNIT #422  
MIAMI BEACH, FL 33141

GISELA FERRER LE  
REM JACQUELINE MENSES  
REM ANTONIO E FERRER  
PO BOX 565337  
MIAMI, FL 33256

GLENN SALZMAN  
7135 COLLINS AVE 1703  
MIAMI BEACH, FL 33141

GLORIA E CRUZ & NELSON J DELGADO  
6969 COLLINS AVE #1004  
MIAMI BEACH, FL 33141-3223

GLORIA VENCE  
ANTHONY VENCE  
7711 35 AVE #5R  
JACKSON HEIGHTS, NY 11372

GOLDSTONE INVESTMENTS INC  
14077 SW 48 LN  
MIAMI, FL 33175-4830

GONZALO PLANAS TRS  
PLANAS FAMILY REVOCABLE TRUST  
MARIA T PLANAS TRS  
7195 WEST 4 CT  
HIALEAH, FL 33014

GORAN G ANTIC  
7135 COLLINS AVE #1234  
MIAMI BEACH, FL 33141

GRACE MIRO  
7135 COLLINS AVE UNIT 934  
MIAMI BEACH, FL 33141-3256

GRADY A SEE TRS  
GRADY A SEE 2013 REVOC TRUST  
MERCEDES SEE TRS  
801 BRICKELL BAY DR UNIT 1768  
MIAMI, FL 33131

GREG KALIMAN  
7135 COLLINS AVE #1606  
MIAMI BEACH, FL 33141

GREGORY COYLE  
7135 COLLINS AVE UNIT 1521  
MIAMI BEACH, FL 33029

GREGORY PILLON  
7135 COLLINS AVE #1705  
MIAMI BEACH, FL 33141-3231

GRUPO MONTERO CORP  
635 NE 193 ST  
MIAMI, FL 33179

GUILLERMO GARCIA &W MARICELA  
1710 S TREASURE DR  
NO BAY VILLAGE, FL 33141-4335

GUILLERMO GLEIZER  
1508 BAY RD 1227  
MIAMI, FL 33139

GUN GIL GIM &W STEFANIA B  
7135 COLLINS AVE #926  
MIAMI BEACH, FL 33141-3256

GUSTAVO GARCIARENA  
271 OAK STREET  
RIDGEWOOD, NJ 07450

GUSTAVO NERGUIZIAN  
7135 COLLINS AVE #735  
MIAMI BEACH, FL 33141

HARRIET KUTELL  
7135 COLLINS AVE # 805  
MIAMI BEACH, FL 33140

HARRIETT IKENSON  
BRIAN OKELLEY  
8581 SANTA MONICA BLVD 445  
LOS ANGELES, CA 90069

HENRY ROCHEL & DAVID TARQUINO (JTRS)  
7135 COLLINS AVE #531  
MIAMI BEACH, FL 33141-3228

HENRY W CANFIELD  
7135 COLLINS AVE #816  
MIAMI BEACH, FL 33141-3237

HERMINIA LAURETI LE  
REM FEDERICO LAURETI  
7135 COLLINS AVE # 1425  
MIAMI BEACH, FL 33141

HILLS OF TRUST HOLDINGS LLC  
1840 SW 22 ST 4 992  
MIAMI BEACH, FL 33141

HUGO INVERNIZZI  
7135 COLLINS AVE 1121  
MIAMI BEACH, FL 33141

IAROSLAV SOLODCHENKO  
7135 COLLINS AVENUE #1113  
MIAMI BEACH, FL 33141

IDOLIDIA RODRIGUEZ  
7135 COLLINS AVE APT 535  
MIAMI BEACH, FL 33141-3228

ILEANA JACOBSON & PERLA FERNANDEZ  
9121 SW 45 ST  
MIAMI, FL 33165-5945

INA FELIZ LLC  
7135 COLLINS AVE 632  
MIAMI BEACH, FL 33141

INTEGRATED ART DESIGN LLC  
31 E HOPKINS RD  
GILBERT, AZ 85295

IRA MILLMAN  
6969 COLLINS AVE #514  
MIAMI BEACH, FL 33141

ISAAC OLEMBERG C/O OLEM SHOE CORP  
ISAAC OLEMBERG TRUST  
800 NW 21 ST  
MIAMI, FL 33127

ISABEL VITERI  
7135 COLLINS AVE #402  
MIAMI BEACH, FL 33141

IVAN R CABALLERO &W ISABEL V  
6969 COLLINS AVE UNIT 1114  
MIAMI BEACH, FL 33141-3223

IVONNE & HANA WEINER  
7135 COLLINS AVE UNIT 1236  
MIAMI BEACH, FL 33141-3257

JACKIE OLANIEL ANNETTE M DIAZ  
12523 SW 119 PL  
MIAMI, FL 33186

JAF 7135 LLC  
7135 COLLINS AVE 736  
MIAMI BEACH, FL 33141

JAIME CRUANYAS TRS JAIME CRUANYAS  
AND VIRGINIA MARIA GARCIA LIVING TRUST  
285 DEER RUN  
MIAMI SPRINGS, FL 33166

JAMES OLEKSA &W HELEN OLEKSA  
7135 COLLINS AVE #1716  
MIAMI BEACH, FL 33141-3231

JANET J KESSEN LE  
REM ROBERT A KESSIN & ETALS  
99 NORUMBEGA ROAD APT 103  
WESTON, MA 02493-2485

JAVIER ABREU &W HORTENSIA  
4821 SW 129 AVE  
MIAMI, FL 33175-4535

JAVIER ESTRADA  
CAROLINA ESTRADA  
6969 COLLINS AVE #1010  
MIAMI BEACH, FL 33141

JEAN M COLTON TRS JEAN M COLTON AND  
KATHRYN L KLINGERMAN TRUST  
3013 46 AVE SOUTH  
ST PETERSBURG, FL 33712

JEGO VENTURES LLC  
13747 SW 31 TERR  
MIAMI, FL 33175

JESUS A PENIA  
5 RICK RD  
SHILLINGTON, PA 19607

JOAQUIN VIEGA  
6965 HARDING AVD #503  
MIAMI BEACH, FL 33141

JOCHE P LLC  
8004 NW 154 ST #208  
MIAMI LAKES, FL 33016

JOE VENCIOUS  
6969 COLLINS AVE 515  
MIAMI BEACH, FL 33141

JOHANNES LANGE LE  
MARIA LUIS MONTERIO LIRA LANGE LE  
REM JOHANNA KATHARINA LANGE  
6969 COLLINS AVE 1110  
MIAMI BEACH, FL 33141

JOHN CHERETIS TR  
701 DIPLOMAT PARKWAY  
HALLANDALE, FL 33009

JOHN HUGYECZ OLGA HUGYECZ  
7135 COLLINS AVE #524  
MIAMI BEACH, FL 33141

JOHN PAUL FIORENTINO  
7135 COLLINS AVE #912  
MIAMI BEACH, FL 33141-3237

JON SCOTT SNIDER  
LOURDES ALONSO SNIDER  
JOSE R ALONSO PUJOL  
7135 COLLINS AVE #1025  
MIAMI BEACH, FL 33141

JORGE A QUINTANA  
MERCEDES QUINTANA  
6965 HARIDNG AVE # 506  
MIAMI BEACH, FL 33141

JORGE A VELAZQUEZ &W NOEMI  
8431 NW 163 TERR  
HIALEAH, FL 33016-6634

JORGE E PADRON  
YAQUELINE PADRON  
3541 SW 105 CT  
MIAMI, FL 33165

JORGE GARCIA &W MAGDALENA  
12235 SW 31 ST  
MIAMI, FL 33175

JORGE J SOLARES GARCIA  
6969 COLLINS AVE 407  
MIAMI BEACH, FL 33141

JORGE JOSE PIVIDAL PEREZ  
6969 COLLINS AVE # 508  
MIAMI BEACH, FL 33141

JORGE PADRON  
6969 COLLINS AVE # 1001  
MIAMI BEACH, FL 33141

JORGE PADRON  
6969 COLLINS AVE # 601  
MIAMI BEACH, FL 33141

JORGE ROWINSKY  
GLADYS QUINTIAN  
7135 COLLINS AVE #1825  
MIAMI BEACH, FL 33141

JOSE A LORENZO &W MARIA E  
7135 COLLINS AVE #1801  
MIAMI BEACH, FL 33141-3232

JOSE C IBARRA &W ANA M CORDERO  
6965 HARDING AVE #306  
MIAMI BEACH, FL 33141-3248

JOSE CARLOS LEIVA  
7135 COLLINS AVE APT PH2  
MIAMI BEACH, FL 33141

JOSE E MENENDEZ &W  
ELIZABETH ALVAREZ MENENDEZ  
6969 COLLINS AVE #1509  
MIAMI BEACH, FL 33141

JOSE H RAMUDO &W DORA  
6145 W 12 AVE  
HIALEAH, FL 33012-6410

JOSE HEREDIA  
7135 COLLINS AVE 1836  
MIAMI BEACH, FL 33141

JOSE L RODRIGUEZ &W ALICIA C  
2640 RINCONIA AVE  
LOS ANGELES, CA 90068

JOSE L RUEDA &W AIXA  
6969 COLLINS AVE #905  
MIAMI BEACH, FL 33141-3223



JOSE L TOLEDO  
ANA M TOLEDO  
7135 COLLINS AVE UNIT 1125  
MIAMI BEACH, FL 33141

JOSE LUIS CASTRO  
7135 COLLINS AVE #PH4  
MIAMI BEACH, FL 33141

JOSE M SUSBIELLES  
7135 COLLINS AVE 631  
MIAMI BEACH, FL 33141

JOSE N FERNANDEZ MIRIAM FERNANDEZ  
MARIA GARCIA CASALS  
7135 COLLINS AVE 1416  
MIAMI BEACH, FL 33141

JOSE PRIGOSHIN &W MONICA QUIROGA  
7135 COLLINS AVE #1435  
MIAMI BEACH, FL 33141-3269

JOSE SU PETRA NUNEZ  
BEATRIZ SARDINAS  
6969 COLLINS AVE 1006  
MIAMI BEACH, FL 33141

JOSE T RODRIGUEZ  
7135 COLLINS AVE #423  
MIAMI BEACH, FL 33141-3272

JOSEFINA M CRUANYAS TRS  
JOSEFINA M CRUANYAS TRUST  
6969 COLLINS AVE 506  
MIAMI BEACH, FL 33141

JOSEFINA Q DE VALDES  
6969 COLLINS AVE #405  
MIAMI BEACH, FL 33141

JOSEPH MOHAN  
7135 COLLINS AVE #605  
MIAMI BEACH, FL 33141

JOSEPH P BURKE &W JUDITH Z  
4230 ABERDEEN CIR  
ROCKLEDGE, FL 32955

JUAN ARHANCET  
GRACIELA INES BARBIERI ARHANCET  
7135 COLLINS AVE #1012  
MIAMI BEACH, FL 33141

JUAN C DOMINGUEZ  
144 KIMBERLY RD  
COLONIA, NJ 07067

JUAN C TEJERA  
7135 COLLINS AVE 1115  
MIAMI BEACH, FL 33141

JUAN DE DIOS PEREZ TRS  
JUAN DE DIOS PEREZ REVOC TRUST  
JUAN DE DIOS PEREZ  
7135 COLLINS AVE APT 1216  
MIAMI BEACH, FL 33141

JUAN DOMINGUEZ  
16 ACME PLACE  
COLONIA, NJ 07067

JUAN J LANA &W DIGNA S  
13941 SW 30 ST  
MIAMI, FL 33175-6522

JUAN M DOMINGUEZ &W DOLORES M  
16 ACME PL  
COLONIA, NJ 07067

JUAN MANUEL PENA  
MARIA RECALDE DE PENA  
7135 COLLINS AVENUE  
MIAMI BEACH, FL 33141

JUAN RAPOSO  
7135 COLLINS AVE #523  
MIAMI BEACH, FL 33141-3228

JUAN SOTO  
7135 COLLINS AVE APT 1131  
MIAMI BEACH, FL 33141-3275

JULIA ANASTASIO  
6965 HARDING AVE APT 407  
MIAMI BEACH, FL 33141-3249

JULIO C MARTINEZ &W CANDIDA  
101 E 50 PL  
HIALEAH, FL 33013-1446

JULIO STRATTER  
6969 COLLINS AVE #1101  
MIAMI BEACH, FL 33141-3223

JUMAHE INVESTMENTS LLC  
7135 COLLINS AVE #1513  
MIAMI BEACH, FL 33141

JUSTO E CARDENAS ALZA  
299 NW 52 TER #119  
BOCA RATON, FL 33487

KATHY MAHON KEVIN MAHON  
1140 ANDERSON AVE  
FORT LEE, NJ 07024

KELLY MIYAMOTO TRS  
3524 HENNEPIN AVE SOUTH #2  
MINNEAPOLIS, MN 55408

KERSHI PARAKH &W MARGARITA  
6965 HARDING AVE UNIT 504  
MIAMI BEACH, FL 33141-3250

KEVINBLACKIE LLC  
7135 COLLINS AVE #1731  
MIAMI BEACH, FL 33141

KFG PROPERTIES LLC  
7135 COLLINS AVE #1214  
MIAMI BEACH, FL 33141

KIMBERLY C KOURY  
JAIME RODRIGUEZ AZZA  
7135 COLLINS AVE 1423  
MIAMI BEACH, FL 33141

KONRAD GEORGE  
27 N MARION AVE  
VENTNOR CITY, NJ 08406

KRASNOVANE LLC  
11930 N BAYSHORE DR 1409  
MIAMI, FL 33181

LA PATAIA CORP  
2875 NE 19 ST #801  
AVENTURE, FL 33180

LAGLU LLC  
2370 NE 184 TERRACE  
NORTH MIAMI BEACH, FL 33160

LAMBETH USA CORP  
540 SOUTH SHORE DR  
MIAMI BEACH, FL 33141

LARISA KRASNER FRIMA KOMITO  
7135 COLLINS AVE APT 1516  
MIAMI BEACH, FL 33141

LAS VEGAS BEACH INC  
6015 GARFIELD ST  
HOLLYWOOD, FL 33021

LAURA VEITIA  
1900 SUNSET HARBOUR DR #1701  
MIAMI BEACH, FL 33139-1491

LAZARO A RAMIREZ ROSE E RAMIREZ  
17972 SW 33 ST  
MIRAMAR, FL 33029

LAZARO URRUTIA  
7135 COLLINS AVE APT 1805  
MIAMI BEACH, FL 33141

LCJL GROUP LLC  
3551 NE 169 ST NO 106  
NORTH MIAMI BEACH, FL 33160

LEONA KRASNER  
440 NEPTUNE AVENUE #8D  
BROOKLYN, NY 11224

LIANA MIFTAKHOVA  
JOSE MERA  
7135 COLLINS AVE PH31  
MIAMI BEACH, FL 33141

LIANNY TRUJILLO  
6965 HARDING AVE #201  
MIAMI BEACH, FL 33141

LILIA V ZAYAS  
7135 COLLINS AVE #1603  
MIAMI BEACH, FL 33141-3251

LILIAN PLANAS  
7135 COLLINS AVE UNIT 1803  
MIAMI BEACH, FL 33141-3232

LISARDO ESTEBAN AUGUSTIN  
7135 COLLINS AVE 1026  
MIAMI BEACH, FL 33141

LORETA SANCHEZ  
PO BOX 015862  
MIAMI, FL 33101

LOUIS LAPIETRA TRS  
ROSA LAPIETRA IRREVOCABLE TRUST  
77 JOYCE RD  
HARTSDALE, NY 10530

LUCAS FOLSE  
7135 COLLINS AVE 1725  
MIAMI BEACH, FL 33141

LUCIO ZAHOU  
7135 COLLINS AVENUE #1215  
MIAMI BEACH, FL 33141

LUIS D REY  
7135 COLLINS AVE #331  
MIAMI BEACH, FL 33141-3227

LUIS FELIPE BENTANCOURT  
ESTHER BETANCOURT  
430 W 33 PL  
HIALEAH, FL 33012

LUIS QUINONES  
6969 COLLINS AVE #606  
MIAMI BEACH, FL 33141

LUIS R RIVERA  
AMPARO M RIVERA  
9332 NW 48TH DORAL TER  
DORAL, FL 33178-2016

LUKE METHOT  
3904 ESTEL RD  
FAIRFAX, VA 22031

LUZ P JARAMILLO  
2470 SW 26 LN  
MIAMI, FL 33133

MABEL & MARCOS MORALES & W DELIA R  
7135 COLLINS AVE #1531  
MIAMI BEACH, FL 33141-3251

MABEL E GIORGETTA & JOAQUIN VIEGA  
6965 HARDING AVE #403  
MIAMI BEACH, FL 33141-3249

MADUNKLE LLC  
5210 SW 201 TER  
SW RANCHES, FL 33332

MAGALY DE GONGORA RUBIO TRS  
13910 LAKE SUCCESS PL  
MIAMI LAKES, FL 33014

MANUEL COSME PERNAS  
6969 COLLINS AVE UNIT 1414  
MIAMI BEACH, FL 33141-3224

MANUEL FERNANDEZ &W JUANA  
7135 COLLINS AVE #431  
MIAMI BEACH, FL 33141-3272

MANUEL GONZALEZ  
7135 COLLINS AVE  
MIAMI BEACH, FL 33141-3238

MANUEL HERRERIA &W LUPE  
8034 SW 133 CT  
MIAMI, FL 33183-4130

MARASH MARKAJ  
300 W 53 ST APT 6G  
NEW YORK, NY 10019

MARGUND R IVENS LE  
REM HARMUT & PATRICIA IVENS  
6965 HARDING AVE APT 505  
MIAMI BEACH, FL 33141-3250

MARIA E GARCIA TRS MARIA E GARCIA  
8220 CRESTWOOD HEIGHTS DR #1113  
MCLEAN, VA 22102

MARIA EUGENIA CARIONI  
7135 COLLINS AVE 533  
MIAMI BEACH, FL 33141

MARIA LESCAILLE CESPEDES TRS  
ANA LESCAILLE COLON 2015 IRREV TR  
MARIA LESCAILLE CESPEDES TRS  
2455 DELANOY AVE  
BRONX, NY 10469

MARIA LIVEIKIS KARIN LIVEIKIS  
EDWARD LIVEIKIS  
837 W PARK AVE #733  
LONG BEACH, NY 11561

MARIA P RUIZ MARIA C KABATH  
7135 COLLINS AVE #1616  
MIAMI BEACH, FL 33141

MARIA PAVICH DENIS PAVICH  
52 HIGH STREET  
WILLISTON PARK, FL 11596

MARIA R CHAVEZ JTRS &  
ALEX O CHAVEZ JTRS  
6969 COLLINS AVE #1008  
MIAMI BEACH, FL 33141

MARIA TERESA GOMEZ  
7135 COLLINS AVE #713  
MIAMI BEACH, FL 33141

MARIANNE SANTAMERA  
7135 COLLINS AVE # 522  
MIAMI BEACH, FL 33141

MARIANO LUIS FREIXAS  
7135 COLLINS AVE #PH11  
MIAMI BEACH, FL 33141-3252

MARIBEL GARCIA  
7135 COLLINS AVE #1434  
MIAMI BEACH, FL 33141-3269

MARINA INES MARIANO RAUL MURIAS  
10185 COLLINS AVE #711  
BAL HARBOUR, FL 38154

MARINA TANTALEAN & GRACE SIERALTA  
7135 COLLINS AVE #935  
MIAMI BEACH, FL 33141-3256

MARIO CASADEVAL &W MARIA  
7135 COLLINS AVE # 425  
MIAMI BEACH, FL 33141-3272

MARIO LECOUR &W HAYDEE  
7135 COLLINS AVE UNIT 1413  
MIAMI BEACH, FL 33141-3257

MARIO RIVERO &W ELENA  
7135 COLLINS AVE UNIT 1523  
MIAMI BEACH, FL 33141-3251

MARK RUTKOWSKI  
7135 COLLINS AVE #904  
MIAMI BEACH, FL 33141-3237

MARLENE A VILLANUEVA LE  
REM WILLIAM A VILANUEVA  
REM DEREK J VILLANUEVA  
1840 SW 87 PL  
MIAMI, FL 33165-7845

MARLENE FISKEY TRS  
MARLENE FISKEY TRUST  
12354 SW 10 ST  
MIAMI, FL 33184

MARSAN REAL ESTATE LLC  
1390 BRICKELL AVE #200  
MIAMI, FL 33131

MARTHA L LLERA-LUIS  
7135 COLLINS AVE #715  
MIAMI BEACH, FL 33141-3229

MARTHA SANTIAGO  
7100 BLVD EAST APT 5E  
GUTTENBERG, NJ 07093

MARTIN T LENK JTRS  
JANE ROBICEK LENK JTRS  
SONIA LENK JTRS  
3628 SUMMER BREEZE CT  
BOWLING GREEN, KY 42104

MARVIN FRIEDMAN &W JILL  
6969 COLLINS AVE UNIT 801  
MIAMI BEACH, FL 33141-3222

MARY KIROU (TRUST)  
7135 COLLINS AVE UNIT 1135  
MIAMI BEACH, FL 33141-3230

MARY PENNER & ROSALIND &  
CHARLES NEUSTEIN  
1883 CABERNET DR  
CHULA VISTA, CA 91913

MAURICE J KAFATI BATARSE  
6969 COLLINS AVE #709  
MIAMI BEACH, FL 33141

MAURICE KAFATI BATARSE  
6969 COLLINS AVE #709  
MIAMI BEACH, FL 33141

MAXIM J NIETO  
1100 NE 91 ST  
MIAMI, FL 33138

MCS MANAGEMENT INC  
7135 COLLINS AVE #1202  
MIAMI BEACH, FL 33141-3211

MELANIE LYNN HANN  
683 MASSACHUSETTS AVE  
BOSTON, MA 02118

MELODY LARDIZABAL  
7135 COLLINS AVE #1432  
MIAMI BEACH, FL 33141

MELQUIADES TORRES &W LANDY  
581 SW 44 PL  
MIAMI, FL 33134-1936

MERCEDES E PADRON  
165 AVE HOSTOS APT A339  
SAN JUAN, PR 00918-4279  
PUERTO RICO

MICHAEL D ANNUNZIO TRS &  
CHARLES R CATALANO TRS & ETALS  
149 JERICHO TPKE  
OLD WESTBURY, NY 11568

MICHAEL D ANNUNZIO TRS  
CHARLES R CATALANO TRS  
149 JERICHO TURNPIKE  
OLD WESTBURY, NY 11568

MICHAEL D COLLINS  
CONSTANCE A COLLINS  
7135 COLLINS AVE 806  
MIAMI BEACH, FL 33141

MICHAEL D'ANNUNZIO &  
CHARLES CATALANO TRS  
149 JERICHO TURNPIKE  
OLD WESTBURY, NY 11568

MICHAEL DANNUNZIO &W ELINA DANNUNZIO  
149 JERICHO TURNPIKE  
OLD WESTBURY, NY 11568

MICHAEL MEYER  
PO BOX 531262  
MIAMI, FL 33153

MICHELLE MARIE LOPEZ TORRES JTRS  
NICOLE LOPEZ JTRS  
7135 COLLINS AVE # 1132  
MIAMI BEACH, FL 33141

MIGDALIA MACHADO  
PO BOX 700595  
SAN ANTONIO, TX 78270

MIGUEL GUTIERREZ &W NANCY GUTIERREZ  
6767 COLLINS AVENUE #1502  
MIAMI BEACH, FL 33141

MIGUEL H NERGUIZIAN  
7135 COLLINS AVE #1623  
MIAMI BEACH, FL 33141

MIGUEL MARTINEZ LISETTE A MARTINEZ  
15206 SW 21 LN  
MIAMI, FL 33185

MIGUEL MARTINEZ LISETTE MARTINEZ  
15206 SW 21 LN  
MIAMI, FL 33185

MIMITA C LUACES  
39-89 50 ST APT 6B  
WOODSIDE, NY 11377

MIRAN VUCIC SNEZANA VUCIC  
9911 BELHAVEN RD  
BETHESDA, MD 20817

MIRIAM BENITO LE  
REM ELENA D GONZALEZ & ETAL  
6969 COLLINS AVE #303  
MIAMI BEACH, FL 33141-3221

MIRTA MASVIDAL  
1 ISLAND DRIVE #21  
NORWALK, CT 06855

MITCHELL RUBIN  
9800 COBBLESTONE LAKES CT  
BOYTON BEACH, FL 33472-0000

MOHAMMED ALI GAURI &W  
FARIEDA BEAGUM GAURI  
7135 COLLINS AVE #PH15  
MIAMI BEACH, FL 33141-3252

MOISES & LUIS KOSS  
9048 GARLAND AVE  
SURFSIDE, FL 33154

MONICA G CASOLA  
7135 COLLINS AVE #711  
MIAMI BEACH, FL 33141-3229

MURIEL KADIN RICHARD KADIN  
6969 COLLINS AVE #903  
MIAMI BEACH, FL 33141

MYRTA MARTINEZ JTRS  
ANDREA N DELEON JTRS  
8 FIRETHORN CT  
EDISON, NJ 08820

NANCY BROWNING  
5000 AVE OF THE STARS  
KISSIMMEE, FL 34746

NANCY FALCO TRS  
NANCY FALCO INTERVIVOS REV TR  
7135 COLLINS AVE 925  
MIAMI BEACH, FL 33141-3211

NANCY GROSS  
12 W LOUDOUN ST  
ROUND HILL, VA 20141

NANSI SAMUEL MANKARYOUS  
7135 COLLINS AVE 1033  
MIAMI BEACH, FL 33141

NAPOLITTANA LLC  
8500 WEST FLAGLER ST STE B-208  
MIAMI, FL 33144

NARCISO LOPEZ &W FELISA  
78-06 JAMAICA AVE 2FL  
WOODHAVEN, NY 11421

NATALIA MARIA SUSANA PEDRAZA  
7135 COLLINS AVE 901  
MIAMI BEACH, FL 33141

NATIONSTAR MORTGAGE LLC  
2501 S HWY 121 BLDG 1  
LEWISVILLE, TX 75067

NEIL MIYAMOTO  
3524 HENNEPIN AVE S 2  
MINNEAPOLIS, MN 55408

NELSON PADRON &W RITA T TOLEDO  
6965 HARDING AVE #305  
MIAMI BEACH, FL 33141-3248

NESTOR VALERON &W YANET  
6969 COLLINS AVE #707  
MIAMI BEACH, FL 33141-3222

NG VENTURE INC & ALJOSA CONST CO INC  
325 71 ST  
MIAMI BEACH, FL 33141-3013

NICHOLAS COCKSHUTT  
JEAN H COCKSHUTT  
6366 SW 85 ST  
MIAMI, FL 33143

NICHOLAS KATTWINKEL  
WALTER KATTWINKEL ASTRID KATTWINKEL  
7135 COLLINS AVE 1221  
MIAMI BEACH, FL 33141

NICHOLAS R COCKSHUTT  
JEAN H COCKSHUTT  
6366 SW 85 STREET  
MIAMI, FL 33143

NILDA MARIA URQUIZA  
ROGELIO MAZAEDA ECHEVARRIA  
6969 COLLINS AVE 1503  
MIAMI BEACH, FL 33141

NORMA OCHOA  
7135 COLLINS AVE UNIT 1734  
MIAMI BEACH, FL 33141-3232

NORMA U RODRIGUEZ  
RAMON J GUTIERREZ  
7135 COLLINS AVE PH32  
MIAMI BEACH, FL 33141

OGG INVESTMENTS LLC  
12727 SW 63 CIRCLE TER  
MIAMI, FL 33183

OLIVEIRA PLAZA ASSOCIATES LLC  
20533 BISCAYNE BLVD 372  
MIAMI, FL 33180

OMAILDA ACHANG & YVONNE ACHANG  
6969 COLLINS AVENUE UNIT 1002  
MIAMI BEACH, FL 33141-3223

OMAR JUEZ  
DUNIA PATRICIA JUEZ  
7135 COLLINS AVE UNIT 336  
MIAMI BEACH, FL 33141

OMAR R GARCIA  
14431 GREENBRIER MANOR  
DAVIE, FL 33325

OREN PENN  
7135 COLLINS AVE #1112  
MIAMI BEACH, FL 33141-3230

ORLANDO ALVAREZ  
6969 COLLINS AVE #1203  
MIAMI BEACH, FL 33141-3224

ORLANDO C GONZALEZ &W  
ENGRACIA & ISABEL A GONZALEZ  
6969 COLLINS AVE #607  
MIAMI BEACH, FL 33141-3222

ORLANDO J BASADRE &W ANA R  
11730 SW 83 CT  
MIAMI, FL 33156

ORLANDO PENA & OLGA P PENA  
16407 SW 81 TER  
MIAMI, FL 33193

OSVALDO ORTEGA TRS  
ORTEGA FAMILY REVOCABLE TRUST  
MARIA LUISA ORTEGA TRS  
940 HILLCREST CR 105  
HOLLYWOOD, FL 33021

PADIGRAFF LLC  
2370 NE 184 TER  
NORTH MIAMI BEACH, FL 33160

PALOMA REALTY CORP INC  
8819 FROUDE AVE  
MIAMI BEACH, FL 33154-3321

PANAGIOTIS BINIORIS  
WENDY M BINIORIS  
163 SAINT NICHOLAS AVE APT 2C  
NEW YORK, NY 10026-1216

PATRICK LIMA  
MAGDA LIMA  
7135 COLLINS AVE PH 14  
MIAMI BEACH, FL 33141

PAUL S THATCHER  
7135 COLLINS AVENUE #1412  
MIAMI BEACH, FL 33141

PAULINE KOSSAR &  
GLORIA SCHEININ & SANDRA BLAU  
73-31 244 ST  
LITTLENECK, NY 11362

PAULINE M & ERNEST SIEBENBURGER  
% BARNEY B AVCHEN  
1840 W 49 ST  
HIALEAH, FL 33012-2942

PAULO RENATO BRINO REY  
CRISTINA MARIA TEIXEIRA REY  
7135 COLLINS AVE 1126  
MIAMI BEACH, FL 33141

PEDRO A CUNI  
6969 COLLINS AVE #815  
MIAMI BEACH, FL 33141-3222

PEDRO A ERRO  
MARCO A ERRO JTRS  
165 HABISCUS DR  
MIAMI BEACH, FL 33139

PEDRO CORDOVA &W MIRIAM  
46 WILSON ST  
LITTLE FERRY, NJ 07643

PLACERES LLC  
7135 COLLINS AVE 802  
MIAMI BEACH, FL 33141

POA INTERNATIONAL GROUP  
7135 COLLINS AVE 1031  
MIAMI BEACH, FL 33141

PORT ROYALE CONDO INC (LESSEE)  
6969 COLLINS AVE  
MIAMI BEACH, FL 33141-3201

PORTO MORENO ABOGADOS ASOCIADOS  
7135 COLLINS AVE UNIT 712  
MIAMI BEACH, FL 33141

PRADEEP CHUGANI &W MEENA  
PO BOX 524281  
MIAMI, FL 33152

PUMPS AT 71 LLC  
7433 COLLINS AVE CORP  
555 NE 185 ST #201  
MIAMI, FL 33179

PUNTO ESTE INC  
2847 S GILBERT RD # 106 258  
GILBERT, AZ 85295

PW GLOBAL SERVICES INC  
337 71 ST  
MIAMI BEACH, FL 33141-3013

R & H REALTY INVESTMENTS INC  
210 71 STREET #309  
MIAMI BEACH, FL 33141

RACHEL ORBELINA HEREDIA  
6969 COLLINS AVE 1104  
MIAMI BEACH, FL 33141

RACHELLE R COHEN JTRS  
MARVIN W COHEN JTRS  
6 THE HILLS DR  
UTICA, NY 13501

RAFAEL F FERNANDEZ  
7135 COLLINS AVE UNIT PH13  
MIAMI BEACH, FL 33141

RAFAEL LLANES &W MAGALY  
6969 COLLINS AVE #811  
MIAMI BEACH, FL 33141

RAMON L DE GUZMAN  
6969 COLLINS AVE APT 814  
MIAMI BEACH, FL 33141

RAMON YERO &W OLGA E LE  
REM OLGA L YERO & MABEL C VIDAL  
7135 COLLINS AVE #922  
MIAMI BEACH, FL 33141-3237

RANDALL MOOR &W YONGHONG CHEN  
1141 NW 78 AVE  
MIAMI, FL 33322-5116

RAQUEL SOUTUYO  
7135 COLLINS AVE APT 1621  
MIAMI BEACH, FL 33141

RAUL GIAI LEVRA  
MARIA ELENA DONZINO  
7950 NW 53 ST #118  
MIAMI, FL 33166

RAUL H FERNANDEZ LE  
SONIA G FERNANDEZ LE  
REM RAUL FERNANDEZ  
4256 SW 134 PL  
MIAMI, FL 33175

RAY T AZCUY MIGUEL A HERRERA  
7135 COLLINS AVE #1733  
MIAMI BEACH, FL 33141

RAYMOND G KATTOURA  
7135 COLLINS AVE #905  
MIAMI BEACH, FL 33141-3237

RICARDO MARIA ROQUE DE ESCOBAR &  
STEVEN R ESCOBAR  
11929 ODEN COURT  
ROCKVILLE, MD 20852

RICHARD BERRY  
ANA MARIA BERRY  
3225 GLENSIDE DR  
LAFAYETTE, CA 94549-5140

RICHARD GROSSBERG &W TOBIE STEIN  
181 BEACH 134 ST  
BELLE HARBOR, NY 11694

RICK DIAZ MARGARET DIAZ  
JEFFREY ROSENTHAL  
7135 COLLINS AVE 1114  
MIAMI BEACH, FL 33141

RIS ABRAHAM KAFITI BUITRON  
146 ARLINGTON ST  
WEST HAVEN, CT 06516

ROBERT & LOUISE FREEMAN (CO-TRS)  
820 OAKTON ST #2-A  
EVANSTON, IL 60202

ROBERT W SHELDON TRS  
THE ROBERT W SHELDON REV TRUST  
500 E 77 ST #726  
NEW YORK, NY 10162

ROBERTO GARCIA TRS  
DANIA LOPEZ TRS  
3329 SE 1 AVE  
CAPE CORAL, FL 33904

ROBERTO GARCIA TRS  
ROBERTO GARCIA REVOCABLE TRUST  
DANIA LOPEZ TRS  
3329 SE 1 AVE  
CAPE CORAL, FL 33904

ROBERTO PUIG &W FANNY M  
PO BOX 360215  
SAN JUAN, PR 00936-0215  
PUERTO RICO

ROBERTO VARGA  
JUDIT WOHLRAB  
7135 COLLINS AVE 1232  
MIAMI BEACH, FL 33141

RODOLFO BARREDO TRS  
RODOLFO BARREDO AND ROSA MARGARITA  
BARREDO LIVING TR  
2525 SW 105 CT  
MIAMI, FL 33165

RODOLFO BARREDO TRS  
RODOLFO BARREDO AND ROSA MARGARITA  
BARREDO PEREZ LIVING TR  
2525 SW 105 CT  
MIAMI, FL 33165

RODOLFO MIRANDA &W IVONNE  
733 CLEVELAND AVE  
ELIZABETH, NJ 07208

ROLAND M PENA &W ROSA M  
7135 COLLINS AVE 1123  
MIAMI BEACH, FL 33140-

ROLANDO GARCIA JR &W MARIA C GARCIA  
9020 NW 166 TERR  
MIAMI, FL 33018

ROMAN LUGO  
JEANNETTE LUGO  
4451 SW 72ND TERR  
DAVIE, FL 33314

ROMERO AND HEREDIA RENOVATIONS LLC  
7135 COLLINS AVE 1535  
MIAMI BEACH, FL 33141

RONALD M & VERA DREIFUSS (JTRS)  
401 E 65 ST APT 11D  
NEW YORK, NY 10021

ROSA DELGADO  
7135 COLLINS AVE #1032  
MIAMI BEACH, FL 33141-3256

ROSA M & FAUSTINO GARCIA  
7135 COLLINS AVE UNIT 412  
MIAMI BEACH, FL 33141-3227

ROSARIO NARDO  
7135 COLLINS AVE #1101  
MIAMI BEACH, FL 33134

RUBEN KATZ FLORA PHYLLIS KATZ  
LUIS KATZ RABINOVICH  
5800 SW LE JEUNE RD  
MIAMI, FL 33146-2817

RUTH E HIRSCH  
7135 COLLINS AVE UNIT 1436  
MIAMI BEACH, FL 33141-3269



SABEH F SAMAHA TRS  
SABEH F SAMAHA REVOCABLE TRUST  
7135 COLLINS AVE 415  
MIAMI BEACH, FL 33141

SACHIN THAKUR  
7135 COLLINS AVE 1136  
MIAMI BEACH, FL 33141

SALLY FAUST  
7135 COLLINS AVE #716  
MIAMI BEACH, FL 33141

SAM NAGAR  
RONI NAGAR  
6969 COLLINS AVE #1505  
MIAMI BEACH, FL 33141

SAMUEL MANKARYOUS JTRS  
GEORGE MANKARYOUS JTRS  
7135 COLLINS AVE #725  
MIAMI BEACH, FL 33141

SAMUEL RODRIGUEZ TRS  
SAMUEL RODRIGUEZ REVOCABLE TRUST  
MAGDA RODDRIGUEZ TRS  
7135 COLLINS AVE UNIT 1823  
MIAMI BEACH, FL 33141

SANDRA R PASTRANA  
7135 COLLINS AVE #704  
MIAMI BEACH, FL 33141-3229

SAPARI I INC  
221 SW 28 RD  
MIAMI, FL 33129

SARA GOSER  
6969 COLLINS AVE UNIT 409  
MIAMI BEACH, FL 33141-3221

SEBANALISA BONAIRE LLC  
1535 DORADO AVE  
CORAL GABLES, FL 33146

SERGIO BELLO &W ELSA H  
5903 NW 40 TERR  
VIRGINIA GARDENS, FL 33166-5763

SERGIO DEBESA JTRS  
FERNANDA DEBESA JTRS  
FRANK DEBESA JTRS  
4135 SW 97 AVE  
MIAMI, FL 33165

SERGIO MORENO  
7135 COLLINS AVE #1816  
MIAMI BEACH, FL 33141-3232

SEYMOR LANDSMAN & ERNESTO FUENTES  
7135 COLLINS AVE # 1415  
MIAMI BEACH, FL 33141-3257

SEYMOUR HAYDEN CAMERON CHESSON  
7135 COLLINS AVE #1812  
MIAMI BEACH, FL 33141

SHANE BRYAN PFEIFFER  
6969 COLLINS AVE 505  
MIAMI BEACH, FL 33141

SHEILA BUCKLEY  
6965 HARDING AVE # 502  
MIAMI BEACH, FL 33141

SHIRLEY GELLER  
7135 COLLINS AVE # 916  
MIAMI BEACH, FL 33141-3237

SHIRLEY M YATES &H SOL (TRS)  
18424 S KEDZIE #B  
HOMewood, IL 60430

SILFREDO CARRAZANA  
ILIANA CARRAZANA  
25 SW 136 CT  
MIAMI, FL 33184

SILVANA R CASERMEIRO  
7135 COLLINS AVE #1202  
MIAMI BEACH, FL 33141-3230

SILVIA OBEID SOCHA  
JACEK SOCHA  
7135 COLLINS AVE #614  
MIAMI BEACH, FL 33141

SILVIO GARBARZ  
20900 NE 30 AVE 200 27  
AVENTURA, FL 33180

SIMONE GRAMS WILLRICH  
7135 COLLINS AVE 1802  
MIAMI BEACH, FL 33141

SOLID LINES K AND B LLC  
11930 N BAYSHORE DR 1409  
MIAMI, FL 33181

SR REAL PROPERTIES LLC  
4522 CHEVAL BLVD  
LUTZ, FL 33558

STEPHANIE PEREZ  
6284 SW 26 ST  
MIAMI, FL 33155

STEVEN BONNEN &W ROCIO  
87 PARKWAY DR  
ROSLYN HEIGHTS, NY 11577

STUART L TOCKMAN &W YOLANDA V  
5120 SW 156 PL  
MIAMI, FL 33185-4169

SUKAN LLC  
15807 BISCAYNE BLVD #113  
AVENTURA, FL 33160

SUN & SUCCES LLC  
2370 NE 184 TER  
NORTH MIAMI BEACH, FL 33160

SURIS ACELA  
6969 COLLINS AVE #306  
MIAMI BEACH, FL 33141-3221

SUSANA KUSSEROW  
7135 COLLINS AVE 923  
MIAMI BEACH, FL 33141

SUZANNE HUGYECZ  
7135 COLLINS AVE UNIT #1834  
MIAMI BEACH, FL 33141

TANIA J LEON & MARTHA R MOOKE  
36 FOREST RIDGE RD  
NYACK, NY 10960

TCR MANAGEMENT COMPANY LLC  
10811 SW 30 ST  
MIAMI, FL 33165

TERESITA BARCELO & H COLLAZO &  
JACQUELINE RODRIGUEZ  
7135 COLLINS AVE #1111  
MIAMI BEACH, FL 33141

TERESITA BARTELOMEO & H RAMON TOYOS  
7135 COLLINS AVE #PH1  
MIAMI BEACH, FL 33141-3252

TERESITA TZIKAS DORA NOCERA  
10 DEMOND R  
MALDEN, MA 02148

THOMAS K YAZDGERDI  
111 N PAYNE ST  
ALEXANDRIA, VA 22314-2905

TRINIDAD ALVAREZ  
12709 SW 28 TERR  
MIAMI, FL 33175-2147

TRINOLOGIC LLC  
6965 HARDING AVE # 207  
MIAMI BEACH, FL 33141

TUTTI BIANKI CORP  
2030 S DOUGLAS RD STE 212  
CORAL GABLES, FL 33134

URSULA M BROWN TRS  
JAMES M BROWN TRS  
2 CLARIDGE DRIVE 8WH  
VERONA, NJ 07044

UZI PARNES JTRS  
CHARLES S RICHARD JTRS  
120 AVE C #2  
NEW YORK, NY 10009

VALENTIN MEDINA SR LE  
REM ELEUT HERNANDEZ  
REM VALENTIN MEDINA JR  
7135 COLLINS AVE UNIT 1231  
MIAMI BEACH, FL 33141

VENANCIO ABDUL-CHANI & W ANDREA  
7135 COLLINS AVE #812  
MIAMI BEACH, FL 33141

VERONICA ANDREA LOPEZ  
7135 COLLINS AVE #832  
MIAMI BEACH, FL 33141

VICKI GLINER MARKS  
75 WOODLAKE DRIVE WEST  
WOODBURY, NY 11797

VICTORIA T KRANE TRS  
110-11 QUEENS BLVD APT 28K  
FOREST HILLS, NY 11375

VILARINO PROPERTY GROUP INC  
6015 GARFIELD ST  
HOLLYWOOD, FL 33024

VILLA MELILLA INVESTMENTS LLC  
6965 HARDING AVE UNIT #406  
MIAMI BEACH, FL 33141

VIVIAN ALONSO & DAYNELISA HERNANDEZ  
6965 HARDING AVE #404  
MIAMI BEACH, FL 33141-3249

WENDY BURNEY TRS  
WENDY BURNEY REVOCABLE LIVING TR  
JOHN MICHAEL BURNEY TRS  
7135 COLLINS AVE 504  
MIAMI BEACH, FL 33141

WILFREDO MARTI & W ISABEL M  
9240 SW 45 TERR  
MIAMI, FL 33165-5808

WIRELESS BOUTIQUE INC  
15540 SW 156 AVE  
MIAMI, FL 33187-0705

WOLF INVESTMENTS LLC  
710 LANDSDOWNE CT  
ELIZABETHTOWN, KY 42701

XIAN FRANCE GROUP LLC  
7135 COLLINS AVE 731  
MIAMI BEACH, FL 33141

## MIAMI DADE - SCHOOL CONCURRENCY LIST

**Below is the established process for the Planning Department's review of applications where new residential units are proposed.**

Whenever a building permit application or Land Use Board application is reviewed which involves new residential units (not individual single family homes), the below information is transmitted to Miami-Dade County Schools through their online portal system. (including building permits where a school concurrency evaluation was previously done as part of a land use board application).

**Please provide the following information:**

Applicant Name (owners):	<b>Collins &amp; 72nd Developers, LLC</b>
Applicant Phone (owners):	<b>305-324-4700</b>
Applicant Email(owners):	<a href="mailto:edward@clarocorp.com">edward@clarocorp.com</a>
Project Address :	<b>7118-7140 Collins Ave &amp; 7121-7145 Harding Ave</b>
Contact Name:	<b>Matthew Barnes</b>
Contact Phone:	<b>305-755-5825</b>
Contact Email:	<a href="mailto:matthew.barnes@akerman.com">matthew.barnes@akerman.com</a>
Local Government Application Number (Board Number or Permit number):	<b>PB18-0192</b>
Master Folio Number:	<b>02-3211-002-0660</b>
Additional Folio Numbers:	<b>02-3211-002-0650; -0640; -0630; -0600; -0590; -0580; -0570</b>
Total Acreage:	<b>1.145 acres</b>
Proposed Use (number of units)*:	<b>24 multifamily units</b>
SFH (Existing/Proposed):	<b>0 / 0</b>
TH (Existing/Proposed):	<b>0 / 0</b>
Multifamily (Existing/Proposed):	<b>0 / 24</b>

**The Planning Department will not approve building permits involving an increase in residential units unless the County School Board has issued a school concurrency determination and concludes that the development satisfies the school concurrency requirements. Without this, a building permit cannot be issued.**

\*The number of units is the ADDITIONAL number of residential units proposed vs. the number of current existing units on the site. For example, if an existing building contains 8 residential units, and is being replaced with a 20 unit project, the number of units would be 12.

**PLANNING BOARD  
CITY OF MIAMI BEACH, FLORIDA**

**PROPERTY:** 7116-7140 Collins Avenue and 7117-7145 Harding Avenue.

**FILE NO.** PB16-0062

**IN RE:** The applicants, Collins and 72nd Developers, LLC, Casa Grande Shopping Center, LLC, and AHM Advisors, LLC, requested Conditional Use Approval for the construction of a new 10-story mixed-use development exceeding 50,000 square feet including a mechanical parking garage pursuant to Section 118, Article IV and Section 130, Article II of the City Code.

**LEGAL DESCRIPTION:** Lots 1, 2, 3, 4, 9, 10, 11 and 12 in Block 8 of Normandy Beach South, according to the Plat thereof, as recorded in Plat Book 21, Page 54, of the Public Records of Miami- Dade County, Florida.

**MEETING DATE:** December 20, 2016

**CONDITIONAL USE PERMIT**

The applicant, Collins and 72nd Developers, LLC, Casa Grande Shopping Center, LLC, and AHM Advisors, LLC, requested a Conditional Use approval for the construction of a new ten-story hotel development exceeding 50,000 square feet including a mechanical parking garage, pursuant to Section 118, Article IV, and 130, Article II of the City Code. Notice of the request was given as required by law and mailed out to owners of property within a distance of 375 feet of the exterior limits of the property upon which the application was made.

The Planning Board of the City of Miami Beach makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the of the record for this matter:

The property in question is located in the TC-1 – Commercial, Medium Intensity Zoning District.

The use is consistent with the Comprehensive Plan for the area in which the property is located;

The intended use or construction will not result in an impact that will exceed the thresholds for the levels of service as set forth in the Comprehensive Plan;

The structures and uses associated with the request are consistent with the Land Development Regulations;

The public health, safety, morals, and general welfare will not be adversely affected;

Necessary safeguards will be provided for the protection of surrounding property, persons, and neighborhood values.

**IT IS THEREFORE ORDERED**, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record

*MB*

for this matter, and the staff report and analysis, which is adopted herein, including the staff recommendations, that the Conditional Use Permit be GRANTED, as provided below:

1. This Conditional Use Permit is issued to Collins and 72nd Developers, LLC, Casa Grande Shopping Center, LLC, and AHM Advisors, LLC, to construct a ten (10) story mixed-use hotel project, with retail space on the first floor, parking on the 2<sup>nd</sup> floor, and food and beverage areas located on the roof of the second floor (3<sup>rd</sup> level). Any proposed change to the uses approved in this Conditional Use shall require the review and approval of the Planning Board.
2. The Planning Board shall maintain jurisdiction of this Conditional Use Permit. The applicant shall appear before the Planning Board for a progress report within 180 days from the issuance of the business tax receipt (BTR) for the hotel. When BTR's are issued for at least 75% of the building area, but no later than one (1) year from the issuance of the BTR for the proposed hotel use, the applicant shall appear before the Planning Board for a progress report specific to traffic, including providing a full revised traffic study outlining the actual transportation operations on-site and in the surrounding initial study area, and including valet operations and loading/servicing of the building.

The Board reserves the right to modify the Conditional Use approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports. This Conditional Use is also subject to modification or revocation under City Code Sec. 118-194 (c).

3. ~~The conditions of approval for this Conditional Use Permit are binding on the applicant,~~ the property applicants, operators, and all successors in interest and assigns. Any change of operator or 50% (fifty percent) or more stock ownership, partnership interest or equivalent, shall require review and approval by the Planning Board as a modification to this Conditional Use Permit. Subsequent owners and operators shall be required to appear before the Board, in advance, to affirm their understanding of the conditions listed herein.
4. The Planning Board shall retain the right to call the owner or operator back before them and make modifications to this Conditional Use Permit should there be valid complaints about loud, excessive, unnecessary, or unusual noise. Nothing in this provision shall be deemed to limit the right of the Planning Board to call back the owner or operator for other reasons and for other modifications of this Conditional Use Permit.
5. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval.
6. The applicant, now and in the future, shall abide by all the documents and statements submitted with this application.
7. All existing overhead utilities, excluding the high voltage transmission line, shall be placed underground at the sole expense of the applicant.

8. The following shall apply to the operation of the proposed parking garage:
- a. There shall be security personnel of at least one person, on-site, monitoring the garage during all hours of operation.
  - b. Signs prohibiting tire-screeching and unnecessary horn-honking shall be posted at the garage entrance.
  - c. Signs to minimize vehicle conflict in the driveways in and out of the property shall be posted in appropriate locations.
  - d. The parking lift platforms must be fully load bearing, and must be sealed and of a sufficient width and length to prevent dripping liquids or debris onto the vehicle below.
  - e. All free-standing mechanical parking lifts must be designed so that power is required to lift the car, but that no power is required to lower the car, in order to ensure that the lift can be lowered and the top vehicle can be accessed in the event of a power outage.
  - f. All mechanical lifts must be designed to prevent lowering of the lift when a vehicle is parked below the lift.
  - g. The ceiling heights of any parking level with parking lifts within the parking garage shall be a minimum of 11 feet by six inches.
  - h. All mechanical parking lifts must be inspected and certified as safe and in good working order by a licensed mechanical engineer at least once per year and the findings of the inspection shall be summarized in a report signed by the same licensed mechanical engineer or firm. Such report shall be furnished to the Planning Director and the Building Official.
  - i. All parking lifts shall be maintained and kept in good working order.
  - j. Parking operation shall be by valet attendants only. A contract with a valet operator shall be submitted to staff for review and approval prior to a final Certificate of Occupancy or Business Tax Receipt, whichever occurs first.
  - k. A permanent generator sufficient to power the vehicular elevators shall be required, in a manner to be reviewed and approved by staff.
9. The Applicant agrees to the following operational conditions for all permitted and accessory uses and shall bind itself, lessees, permittees, concessionaires, renters, guests, users, and successors and assigns and all successors in interest in whole or in part to comply with the following operational and noise attenuation requirements and/or limitations. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced and the applicant agrees to include the rules and regulations set forth in these conditions in any contract or assignment:



- a. As proposed by the applicant, the project authorized by this Conditional Use Permit includes the creation and operation of the proposed outdoor bar and pool areas located on the roof of the second floor (3<sup>rd</sup> level) with the criteria listed below:
  - i. The outdoor rooftop venue shall close by 10:00 pm Sunday through Thursday and 12:00 am Friday and Saturday nights. The outdoor bar counter shall close by 8:00pm daily.
  - ii. Ground floor restaurants and cafes shall close by 2:00 am daily.
- b. Delivery trucks shall only be permitted to make deliveries from the designated loading spaces contained within the property.
- c. Delivery trucks shall not be allowed to idle in the loading areas.
- d. Equipment and supplies shall not be stored in areas visible from streets, alleys or nearby buildings.
- e. Deliveries and waste collections may occur daily between 7:00 AM and 4:00 PM.
- f. All trash containers shall utilize rubber wheels, or the path for the trash containers shall consist of a surface finish that reduces noise, in a manner to be reviewed and approved by staff.
- g. Adequate trash room space, air conditioned and noise baffled, shall be provided, in a manner to be approved by the Planning and Public Works Departments. Sufficient interior space must be provided so that doors can remain closed while trash and trash bags are being deposited in dumpsters. Doors shall remain closed and secured when not in active use.
- h. Trash room(s)/garbage room(s) shall be large enough, or sufficient in number to accommodate enough dumpsters so that more than one pick up of garbage per day will not be necessary. A high-level trash/garbage compacting device shall be located in an air-conditioned trash/garbage holding room within the facility.
- i. Garbage dumpster covers shall be closed at all times except when in active use.
- j. Restaurant personnel shall take measures to enforce the Patron Age Restriction of the City Code during the hours of operation of all alcoholic beverage establishments.
- k. No patrons shall be allowed to queue on public rights-of-way, or anywhere on the exterior premises of the subject property.
- l. The owner/operator shall be responsible for maintaining the areas adjacent to the facility, including the sidewalk, and all areas around the perimeter of the property. These areas shall be kept free of trash, debris and odor, and shall be swept and hosed down at the end of each business day



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- m. Street flyers and handouts shall not be permitted, including handbills from third-party promotions.
  - n. Special Events are limited to six (6), one day events per year on the premises, subject to City Ordinances, rules or regulations existing at the time, and may exceed the occupancy loads specified herein, if permitted by the Fire Marshal, subject to the review and approval of staff.
- 
10. The applicant shall address the following Concurrency and Traffic requirements, as applicable:
- a. A Method of Transportation (MOT) shall be submitted to Public Works Department staff for review and approval prior to the issuance of a building permit. The MOT shall address any traffic flow disruption due to construction activity on the site.
  - b. Prior to the issuance of a building permit, the applicant shall participate in a Transportation Concurrency Management Area Plan (TCMA Plan), if deemed necessary, by paying its fair share cost, as may be determined as determined by the Concurrency Management Division.
  - c. A final concurrency determination shall be conducted prior to the issuance of a Building Permit. Mitigation fees and concurrency administrative costs, if required, shall be paid prior to the issuance of any Building Permit.
  - d. A bicycle parking plan shall be submitted for staff review and approval prior to the issuance of a Business Tax Receipt.
  - e. Valet or loading activities shall not block Harding Avenue at any time.
  - f. A Signal Warrant Analysis and an All-Way Stop Warrant Analysis for the intersection at Harding Avenue/72nd Street shall be conducted by the applicant. The warrant analyses shall include pedestrian warrants. Based on the findings and recommendations of the warrant analyses, the recommended intersection control for this intersection shall be funded by the Developer for implementation by the City of Miami Beach or Miami-Dade County Department of Transportation and Public Works. If the warrant studies determine that neither of the two intersection controls is warranted, the developer shall, at a minimum, fund the installation of an enhanced north-south crosswalk at this intersection to improve pedestrian safety and connectivity consistent with the goals and objectives of the City's Adopted Transportation Master Plan.
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11. The applicant shall satisfy outstanding liens and past due City bills, if any, to the satisfaction of the City prior to the issuance of a Building permit.
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12. The applicant shall obtain a full building permit within 18 months from the date of approval of this Conditional Use Permit, and the work shall proceed in accordance with the Florida Building Code. Extensions of time for good cause, not to exceed a total of one year for all extensions, may be granted by the Planning Board.
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13. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
15. The establishment and operation of this Conditional Use shall comply with all the aforementioned conditions of approval; non-compliance shall constitute a violation of the Code of the City of Miami Beach, Florida, and shall be subject to enforcement procedures set forth in Section 114-8 of said Code and such enforcement procedures as are otherwise available. Any failure by the applicant to comply with the conditions of this Order shall also constitute a basis for consideration by the Planning Board for a revocation of this Conditional Use.
16. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

Dated this 19<sup>th</sup> day of JANUARY, 2017.

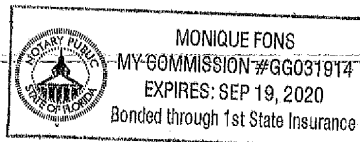
PLANNING BOARD OF THE  
CITY OF MIAMI BEACH, FLORIDA

BY: Michael Belush

Michael Belush,  
Planning and Zoning Manager  
For Chairman

STATE OF FLORIDA       )  
COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me this 19<sup>th</sup> day of January, 2017, by Michael Belush, Planning and Zoning Manager of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.



{NOTARIAL SEAL}

Notary: [Signature]

Print Name MONIQUE FONS

Notary Public, State of Florida

My Commission Expires: SEP 19 - 2020

Commission Number:

Approved As To Form:  
Legal Department [Signature] 11/18/17

Filed with the Clerk of the Planning Board on 1/19/2017 [Signature]

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**DESIGN REVIEW BOARD**  
**City of Miami Beach, Florida**

MEETING DATE: January 03, 2017

FILE NO: DRB16-0054

PROPERTY: 7118-7140 Collins Avenue and 7117-7121 Harding Avenue

APPLICANTS: Collins & 72nd Developers LLC, Casa Grande Shopping Center LLC, and AHM Advisors LLC

LEGAL: Lots 1, 2, 3, 4, 9, 10, 11 and 12 in Block 8 of Normandy Beach South, according to the Plat thereof, as recorded in Plat Book 21, Page 54, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for the construction of a new 10-story hotel to replace three vacant parcels of land, a surface parking lot and three one-story retail buildings while two one-story retail buildings will remain, one of which will be altered with exterior design changes. Additionally, the applicants are also requesting Design Review Board approval for variances to reduce the required setback for new FPL power lines.

**ORDER**

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

**I. Design Review**

- A. The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2, 3, 5, 6, 7, 8, 9, 12, 14, 15, and 16 in Section 118-251 of the Miami Beach Code.
- C. The project would remain consistent with the criteria and requirements of Section 118-251 if the following conditions are met:
  1. Prior to the issuance of any Building Permit relative to the approval herein, the applicant shall obtain approval from the City Commission for the vacation of the existing utility easement.



2. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
  - a. The interior walls of the first level of the parking garage entrance and ramps shall be fully detailed on revised plans. Such interior areas shall consist of high quality, non-stucco surface materials which have a well finished appearance commensurate with the primary façade of the building, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - b. All interior fixtures, including, but not limited to, shelving, partitions, and checkout counters, shall be setback a minimum of ten (10') feet from the east and north walls of the building on the first and second levels, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. This shall not prohibit substantially transparent fixtures for display purposes only.
  - c. The final details of all proposed storefront systems and associated details shall be provided for all of the structures on the project site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - d. All window frames shall be composed of brushed anodized aluminum frames. All windows shall consist of clear glass, incorporate the minimum tint required by the energy code, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - e. The final details of all exterior surface finishes and materials, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - f. All kitchen ventilation shall be chased through the interior of the building to the roof. No exhaust ducts or vents shall be permitted on any building street facing elevations.
  - g. All internal garage lighting shall be shielded to buffer views of all direct light sources from outside of the structure, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - h. The final design details of the proposed aluminum grill material, including color, shall be submitted in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - i. All building signage shall require a separate permit. A uniform sign plan for the overall project shall be required. Such sign plan shall be consistent in materials, method of illumination and sign location, in a manner to be



- reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- j. All exterior handrails and support posts shall incorporate a flat profile. The final design details, dimensions material and color of all exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff consistent with the Design Review Criteria and/or the directions from the Board
  - k. An artistic super graphic mural shall be installed along a portion of the south side elevations, location and design to be reviewed at a future Design Review Board meeting date as a separate application.
  - l. The final design and placement and model/type of all street furniture and fixtures, shall be reviewed by the Planning Department. A minimum of one (1) bench shall be provided for every 100 linear feet of street frontage and a minimum of one (1) waste bin shall be provided at each block corner and at intervals of no more than 300 feet
  - m. The final design and details, including materials, exterior finishes, glazing, railings, and any architectural projections and features, shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - n. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
  - o. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
  - p. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
3. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- a. Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.



- b. In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
- c. Any tree identified to be in good overall condition shall be retained, and protected in its current location if it is not in conflict with the proposed development, or it shall be relocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.
- d. Pavers and concrete banding shall be utilized for the entire entry drive and loading area and hotel drop off area (along Harding Avenue), including alternate colors of concrete banding in place of painted striping in order to visually guide pedestrians of vehicle entrances and drives, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- e. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- f. The utilization of root barriers and/or Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
- g. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.
- h. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right of wall shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- i. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is

consistent with the site and landscape plans approved by the Planning Department for Building Permit.

**In accordance with Section 118-262, the applicant, or the city manager on behalf of the City Administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.**

## **II. Variance(s)**

- A. The applicant filed an application with the Planning Department for the following variance(s):
1. A variance from the minimum required front setback of 5'-0" in order to construct FPL power lines and poles up to the front property line facing Harding Avenue.
- B. The applicants have submitted plans and documents with the application that **DO** satisfy Article 1, Section 2 of the Related Special Acts, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.

The applicants have submitted plans and documents with the application that the Board has concluded **DO** comply with the following hardship criteria, as they relate to the requirements of Section 118-353(d), Miami Beach City Code:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

That the granting of this request is consistent with the comprehensive plan and does not



reduce the levels of service as set forth in the plan.

- C. The Board hereby **Approves** the Variance request(s), and imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:
1. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.
  2. The vacation of the utility easement shall require the review and approval of the Public Works Department.

**The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.**

**III. General Terms and Conditions applying to both 'I. Design Review Approval and 'II. Variances' noted above.**

- A. All new construction over 7,000 square feet shall be required to be, at a minimum, certified as LEED Gold by USGBC. In lieu of achieving LEED Gold certification, properties can elect to pay a sustainability fee, pursuant to Chapter 133 of the City Code. This fee is set as a percentage of the cost of construction.
- B. Where one or more parcels are unified for a single development, the property owner shall execute and record a unity of title or a covenant in lieu of unity of title, as may be applicable, in a form acceptable to the City Attorney.
- C. In the event Code Compliance receives complaints of unreasonably loud noise from mechanical and/or electrical equipment, and determines the complaints to be valid, even if the equipment is operating pursuant to manufacturer specifications, the applicant shall take such steps to mitigate the noise with noise attenuating materials as reviewed and verified by an acoustic engineer, subject to the review and approval of staff based upon the design review or appropriateness criteria, and/or directions received from the Board.
- D. A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.
- E. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- F. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- G. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.



- H. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- I. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- J. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, as modified at the Board hearing, that the Application for Design Review approval is GRANTED and the application for a variance is APPROVED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Findings of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "72+ Collins Hotel", as prepared by **Revuelta Architecture International**, dated November 7, 2016, modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review Approval will expire and become null and void.

Dated this 03 day of January, 20 17.

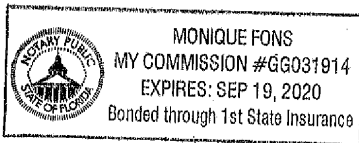


DESIGN REVIEW BOARD  
THE CITY OF MIAMI BEACH, FLORIDA

BY: *James G. Murphy*  
 JAMES G. MURPHY  
 CHIEF OF URBAN DESIGN  
 FOR THE CHAIR

STATE OF FLORIDA )  
 )SS  
 COUNTY OF MIAMI-DADE )

The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of January 2017 by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



*Monique Fons*  
 NOTARY PUBLIC  
 Miami-Dade County, Florida  
 My commission expires: Sept 19, 2020

Approved As To Form:

City Attorney's Office:

*Nick Stalleger* (1/6/2017)

Filed with the Clerk of the Design Review Board on:

*James G. Murphy* 1/6/17

*[Handwritten signature]*

Planning Department, 1700 Convention Center Drive 2<sup>nd</sup> Floor  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

Property address: 72 and Collins Hotel Board: DRB Date: 2/1/18

## BOARD APPLICATION CHECK LIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.
Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five(5) business days prior to CAP First submittal.
Applications requiring a traffic study must meet with Planning, Transportation, and peer reviewer sixty (60) days* prior to First submittal deadline to determine the methodology for the traffic impact study. This meeting is considered the "Pre-Application meeting" and must be scheduled via CAP to obtain a plan case number for review and payment of fees. Thirty (30) days before First submittal, applicant must provide the traffic study via CAP (see Transportation Department's requirements check list). The Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to First submittal. Applicant must address comments and submit revised traffic study/plans for CAP First submittal deadline.
<b>Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.</b>

ITEM #	FIRST SUBMITTAL (VIA CAP) ** To be uploaded online (CAP) by the applicant before 5:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. <b>Letter must outline application details and identify hardships if Variances are requested.</b> (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	<b>Architectural Plans and Exhibits (must be 11"x 17")</b>	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. <b>Include copies of previous recorded board orders, if applicable.</b>	✓
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	✓
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	✓
g	Proposed FAR Shaded Diagrams(Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	✓
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓

\* 60 day lead time for projects including traffic studies is necessary to ensure completion of review and required corrections by Final submittal deadline. Applications cannot be scheduled without evaluated and corrected traffic studies.

Indicate N/A If Not Applicable

Initials: FSL

Planning Department, 1700 Convention Center Drive 2<sup>nd</sup> Floor  
Miami Beach, Florida 33139, [www.miamibeachfl.gov](http://www.miamibeachfl.gov)  
305.673.7550

**Property address:** 72 and Collins Hotel

i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	✓
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	
m	Demolition Plans (Floor Plans & Elevations with dimensions)	
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks. Show previously approved along with modifications	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable) Show previously approved along with modifications	✓
p	Proposed Section Drawings Show previously approved along with modifications	✓
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
10	<b>Landscape Plans and Exhibits (must be 11"x 17")</b> Show previously approved along with modifications	✓
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required. Show previously approved along with modifications	✓
b	Hardscape Plan, i.e. paving materials, pattern, etc. Show previously approved along with modifications	✓
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved <del>building permits</del> . (provide building permit number). Previously approved DRB Order	✓
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. <a href="http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920">http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920</a>	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram , if applicable	✓
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	

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29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review. (See Transportation Department check list for requirements.) Revised, FOR PLANNING BOARD	✓
39	Sound Study report (Hard copy) with 1 CD.	
<b>40</b>	<b>Site Plan (Identify streets and alleys)</b>	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
<b>41</b>	<b>Floor Plan (dimensioned)</b>	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
<b>42</b>	<b>The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.</b>	✓
<b>43</b>	<b>The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:</b>	✓
a	Section 118-353 (d) of the City Code for each Variance.	✓
<b>44</b>	<b>The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:</b>	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c )(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	

Indicate N/A If Not Applicable

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f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	<i>Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A</i>	

**\*\*ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

<b>ITEM #</b>	<b>FINAL SUBMITTAL (via CAP)</b> Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Upload documents online (via CAP) before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper Final submittal or to continue submittal to a future meeting if the application is found incomplete.	
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).	✓

ITEM #	PAPER FINAL SUBMITTAL:	Required
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	✓
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

**ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS**

- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)



Applicant's or designee's signature

2/1/18

Date

Indicate N/A If Not Applicable

Initials: FSC

### **COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA**

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) A recycling or salvage plan for partial or total demolition shall be provided.
- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.
- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.
- (4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.
- (5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.
- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.
- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
- (8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.
- (9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.
- (10) Where feasible and appropriate, water retention systems shall be provided.



# MIAMIBEACH

## PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: [www.miamibeachfl.gov/planning](http://www.miamibeachfl.gov/planning)

### DESIGN REVIEW BOARD CAP SUBMITTAL FILE NAMING

All PDF files must be named with the submittal deadline date and the type of document in the following format 'MM-DD-YYYY Document Name'. For example, if the deadline for first submittal is October 29, 2017 the file name would be '10-29-2017 Application'. Use this naming format for first and final CAP submittals. The uploaded file retains the name as it has been saved on your computer. The file name cannot be changed and the file cannot be deleted once it is uploaded.

Please use names for the most common types of files. If the document type is not listed below, please use a document name that clearly identifies the file.

Document Name	Description
Application	Completed Land Use Board Application form including Exhibit A
LOI	Letter of Intent
Checklist	Pre-application Checklist
Labels	Mailing Labels, List of Property Owners, Certified Letter and Map
BTR	Copies of Previous Business Tax Receipts
Survey	Recent Signed and Sealed Survey
Plans	Architectural Plans and Exhibits
Landscape	Landscaping Plans and Exhibits
Microfilm	Building Card and Microfilm
Traffic	Traffic Study
Sound	Sound Study

**All pages of a document must be uploaded in one PDF file. Do not upload individual pages of a document. Documents that have not been revised from first to final submittal do not have to be re-uploaded.**

## 2018 SCHEDULE OF LAND USE BOARD MEETINGS

All meetings are held in the Commission Chambers, Third Floor, Miami Beach City Hall unless otherwise noticed. Please note that only complete applications are scheduled for consideration by Land Use Boards and the number of applications placed on an agenda may not exceed 15 in order to allow sufficient time for the applicants to present, and the board to duly consider each item during the scheduled meeting. Complete applications will be scheduled for the next available agenda on a first come – first serve basis unless the applicant requests to be scheduled on a future agenda. The timeline represented herein may be extended if application is incomplete or submittals not made on a timely manner.

### DESIGN REVIEW BOARD, BOARD OF ADJUSTMENT & HISTORIC PRESERVATION BOARD

PRE-APP MEETING NO LATER THAN	NEW FILE FEE PAY-BY DATE	CAP FIRST SUBMITTAL	COMMENTS ISSUED	FINAL SUBMITTAL (CAP & PAPER)	NOTICE TO PROCEED ISSUED	AGENDA FINALIZED & ALL FEES MUST BE PAID BY	MEETING DATE		
							DRB	BOA	HPB
10/19/17	10/23/17	10/24/17	11/02/17	11/09/17	11/16/17	11/18/17	01/02/18	01/05/18	01/09/18
11/13/17	11/17/17	11/20/17	12/01/17	12/08/17	12/18/17	12/20/17	02/06	02/02	02/13
12/11/17	12/15/17	12/18/17	12/29/17	01/05/18	01/15/18	01/17/18	03/06	03/02	03/12
01/08/18	01/12/18	01/15/18	01/26/18	02/02	02/12	02/14	04/03	04/06	04/10
02/05	02/09	02/12	02/23	03/02	03/12	03/14	05/01	05/04	05/08
03/12	03/16	03/19	03/30	04/06	04/16	04/18	06/05	06/01	06/11
04/09	04/13	04/16	04/27	05/04	05/14	05/16	07/03	07/06	07/10
<b>AUGUST RECESS</b>									
06/11	06/15	06/18	06/29	07/06	07/16	07/18	09/04	09/07	09/17
07/09	07/13	07/16	07/27	08/03	08/13	08/15	10/02	10/05	10/09
08/13	08/17	08/20	08/31	09/07	09/17	09/19	11/06	11/02	11/09
09/10	09/14	09/17	09/28	10/05	10/15	10/17	12/04	12/07	12/11

### PLANNING BOARD

PRE-APP MEETING NO LATER THAN	NEW FILE FEE PAY-BY DATE	CAP FIRST SUBMITTAL	COMMENTS ISSUED	FINAL SUBMITTAL (CAP & PAPER)	NOTICE TO PROCEED ISSUED	AGENDA FINALIZED & ALL FEES MUST BE PAID BY	MEETING DATE
11/09/17	11/13/17	11/14/17	11/23/17	11/30/17	12/07/17	12/11/17	01/23/18
12/01/17	12/08/17	12/11/17	12/22/17	12/29/17	01/08/18	01/10/18	02/27
12/29/17	01/05/18	01/08/18	01/19/18	01/26/18	02/05/18	02/07/18	03/27
01/19	01/26	01/29	02/09	02/16	02/26	02/28	04/17
02/23	03/02	03/05	03/16	03/23	04/02	04/04	05/22
03/30	04/06	04/09	04/20	04/27	05/07	05/09	06/26
04/27	05/04	05/07	05/18	05/25	06/04	06/06	07/24
<b>AUGUST RECESS</b>							
06/29	07/06	07/09	07/20	07/27	08/06	08/08	09/25
07/27	08/03	08/06	08/17	08/24	09/03	09/05	10/23
08/31	09/07	09/10	09/21	09/28	10/08	10/10	11/27
09/21	09/28	10/01	10/12	10/19	10/29	10/31	12/18