

# SMALL-CELL LIGHT POLE PROJECTS

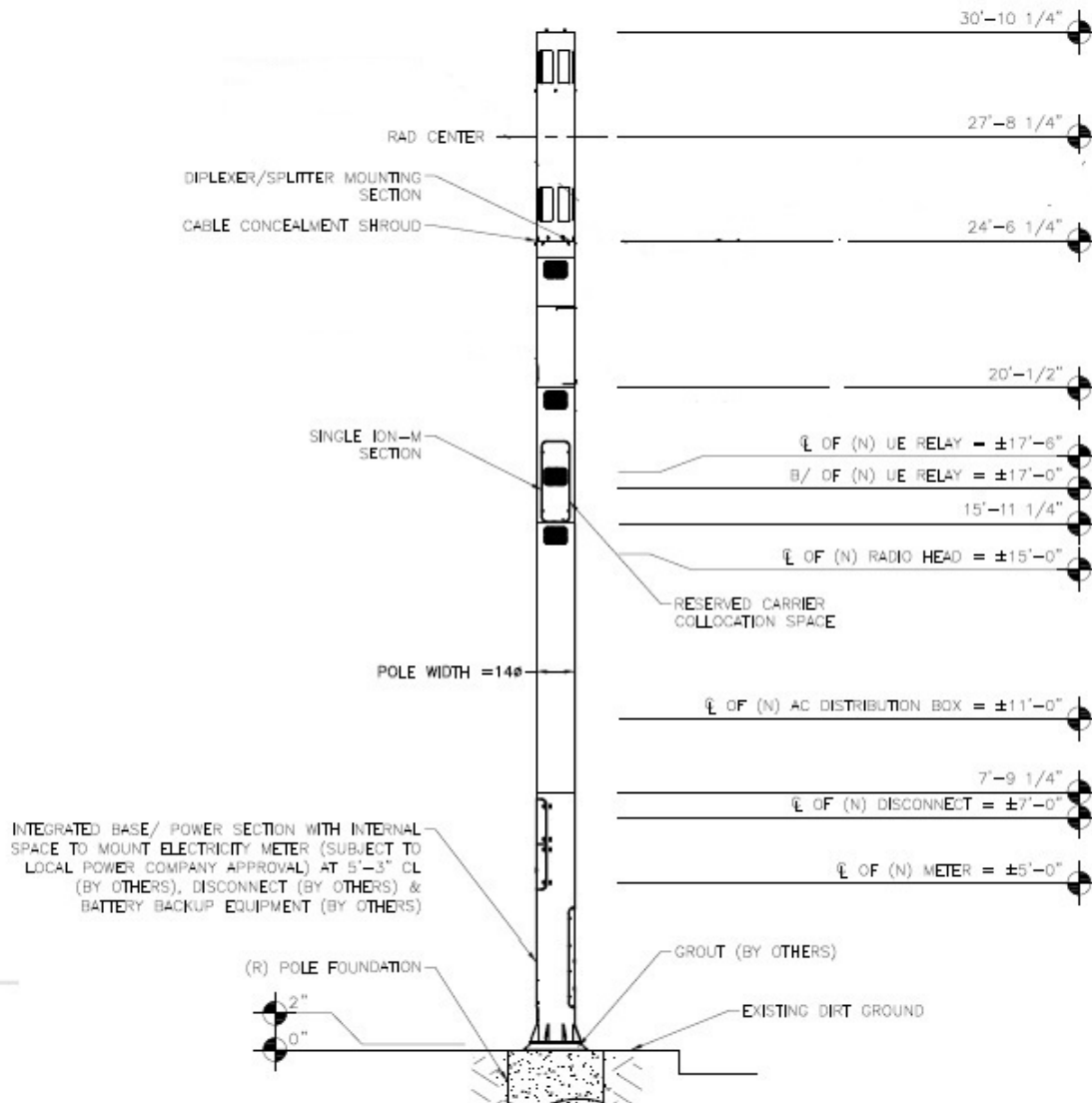
## City of Miami Beach - Board Applications

MOBILITIE CANDIDATE #

9FLB003807E/MI90XSK82E

Approximate Address: 132 74th St, Miami Beach, FL 33141

CAP Address: 7341 Collins Av, Miami Beach, FL 33141





**ITEM # 2—COPY OF SIGNED AND DATED CHECKLIST**

Planning Department, 1700 Convention Center Drive 2<sup>nd</sup> Floor  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

Property address: Das Nodes Board: HPB Date: 01/31/2018

## BOARD APPLICATION CHECK LIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.

Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five(5) business days prior to CAP First submittal.

Applications requiring a traffic study must meet with Planning, Transportation, and peer reviewer sixty (60) days\* prior to First submittal deadline to determine the methodology for the traffic impact study. This meeting is considered the "Pre-Application meeting" and must be scheduled via CAP to obtain a plan case number for review and payment of fees. Thirty (30) days before First submittal, applicant must provide the traffic study via CAP (see Transportation Department's requirements check list). The Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to First submittal. Applicant must address comments and submit revised traffic study/plans for CAP First submittal deadline.

**Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.**

ITEM #	FIRST SUBMITTAL (VIA CAP) ** To be uploaded online (CAP) by the applicant before 5:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. <b>Letter must outline application details and identify hardships if Variances are requested.</b> (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	<b>Architectural Plans and Exhibits (must be 11"x 17")</b>	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. <b>Include copies of previous recorded board orders, if applicable.</b>	✓
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	
g	Proposed FAR Shaded Diagrams(Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓

**\* 60 day lead time for projects including traffic studies is necessary to ensure completion of review and required corrections by Final submittal deadline. Applications cannot be scheduled without evaluated and corrected traffic studies.**

Indicate N/A If Not Applicable

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 305.673.7550

**Property address:** Das Nodes

i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	✓
p	Proposed Section Drawings	
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
<b>10</b>	<b>Landscape Plans and Exhibits (must be 11"x 17")</b>	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. <a href="http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920">http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920</a>	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram	
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	

Indicate N/A If Not Applicable

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**Property address:** Das Nodes

29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review. (See Transportation Department check list for requirements.)	
39	Sound Study report (Hard copy) with 1 CD.	
<b>40</b>	<b>Site Plan (Identify streets and alleys)</b>	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
<b>41</b>	<b>Floor Plan (dimensioned)</b>	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
<b>42</b>	<b>The Letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.</b>	✓
<b>43</b>	<b>The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:</b>	
a	Section 118-53 (d) of the City Code for each Variance.	
<b>44</b>	<b>The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:</b>	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	

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f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	<i>Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A</i>	

**\*\*ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

<b>ITEM #</b>	<b>FINAL SUBMITTAL (via CAP)</b> Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Upload documents online (via CAP) before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper Final submittal or to continue submittal to a future meeting if the application is found incomplete.	
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).	

ITEM #	PAPER FINAL SUBMITTAL:	Required
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

**ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS**

- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.**
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.**
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline**
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.**
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)**

  
 \_\_\_\_\_  
 Applicant's or designee's signature

Date 01/31/2018

Indicate N/A If Not Applicable

Initials: 



## **ITEM # 3—BOARD APPLICATION**

# MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2<sup>ND</sup> FLOOR  
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV  
305-673-7550

## LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- BOARD OF ADJUSTMENT
  - VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
  - APPEAL OF AN ADMINISTRATIVE DECISION
  
- DESIGN REVIEW BOARD
  - DESIGN REVIEW APPROVAL
  - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
  
- HISTORIC PRESERVATION BOARD
  - CERTIFICATE OF APPROPRIATENESS FOR DESIGN
  - CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
  - HISTORIC DISTRICT / SITE DESIGNATION
  - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
  
- PLANNING BOARD
  - CONDITIONAL USE PERMIT
  - LOT SPLIT APPROVAL
  - AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
  - AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
  
- FLOOD PLAIN MANAGEMENT BOARD
  - FLOOD PLAIN WAIVER
  
- OTHER \_\_\_\_\_

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SUBJECT PROPERTY ADDRESS: Proposed wireless small cell infrastructure on the public right of way.

Latitude: 25.859531 Longitude: -80.120623, X:985369.86944 Y: 5657965.02529

Approximate address: 132 74th St, Miami Beach, FL 33141

Nearest Intersection: 74th Street & Ocean Terrace

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) Public Right of Way

---



1. APPLICANT:  OWNER OF THE SUBJECT PROPERTY  TENANT  ARCHITECT  LANDSCAPE ARCHITECT  
 ENGINEER  CONTRACTOR  OTHER (infrastructure owner)

NAME MOBILITIE, LLC  
ADDRESS 3475 Piedmont Rd NE, Suite 1000, Atlanta, GA, 30305  
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309  
E-MAIL ADDRESS Oraez@mobilitie.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME Same as applicant  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

2. AUTHORIZED REPRESENTATIVE(S): N/A

ATTORNEY:

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

AGENT:

NAME Orlando Raez  
ADDRESS 3450 Lakeside Drive, Suite 301, Miramar, FL 33027  
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309  
E-MAIL ADDRESS oraez@mobilitie.com

CONTACT:

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

ARCHITECT  LANDSCAPE ARCHITECT  ENGINEER  CONTRACTOR  OTHER: \_\_\_\_\_  
NAME Stephen Bray  
ADDRESS 1800 Route 34 Wall NJ 07719  
BUSINESS PHONE (732) 280-5623 CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS sbray@kmbcompanies.com

FILE NO. \_\_\_\_\_

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

MOBILITIE, LLC seeks to replace an existing street light with one wireless infrastructure integrated with a streetlight in the public rights of way in the City of Miami Beach in order to improve the capacity and coverage of cellular devices within the City.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE  YES  NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION  YES  NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) n/a SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). \_\_\_\_\_ SQ. FT.

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ \_\_\_\_\_

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. \_\_\_\_\_

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL; (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY:  OWNER OF THE SUBJECT PROPERTY

AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

*Orlando Raez*

FILE NO. \_\_\_\_\_

NOT APPLICABLE

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

\_\_\_\_\_  
SIGNATURE

Sworn to and subscribed before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

\_\_\_\_\_  
NOTARY PUBLIC

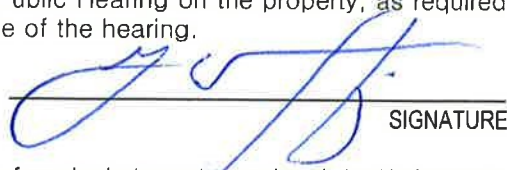
My Commission Expires:

\_\_\_\_\_  
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
(Circle one)

STATE OF Georgia  
COUNTY OF Fulton

I, Gadiel Rosario-Rivera being duly sworn, depose and certify as follows: (1) I am the NRE Manager (print title) of MOBILITIE, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC, on behalf of such entity, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires:



  
Erin E. Scott  
NOTARY PUBLIC  
Gadiel Rosario-Rivera, NRE Manager  
PRINT NAME

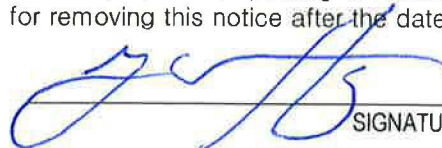
FILE NO. \_\_\_\_\_

POWER OF ATTORNEY AFFIDAVIT

STATE OF Georgia  
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Orlando Ruez to be my representative before the \_\_\_\_\_ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Gadiel Rosario-Rivera, NRE Manager  
PRINT NAME (and Title, if applicable)

  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

**NOTARY SEAL OR STAMP**



  
NOTARY PUBLIC

My Commission Expires

Erin E. Scott  
PRINT NAME

**NOT APPLICABLE**

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME	DATE OF CONTRACT
NAME, ADDRESS, AND OFFICE	% OF STOCK
_____	_____
_____	_____
_____	_____

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_

NOT APPLICABLE

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. \*

_____	
NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

_____	
NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

*IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.*

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

NOT APPLICABLE

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION  
DISCLOSURE OF INTEREST

**2. TRUSTEE**

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

TRUST NAME

NAME AND ADDRESS

% INTEREST

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

**3. COMPENSATED LOBBYIST:**

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	NONE		
b.			
c.			

Additional names can be placed on a separate page attached to this form.

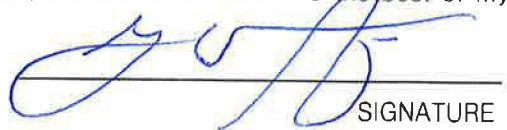
\*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Georgia  
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

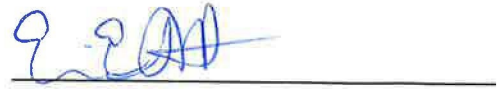
  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:

  
NOTARY PUBLIC

Erin E. Scott  
PRINT NAME

FILE NO. \_\_\_\_\_





## **ITEM # 4—LETTER OF INTENT**

February 09, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

**RE: Board Applications for Light Pole replacements with Small-Cell Stealth Poles on the public right-of-way**

Dear Board Members and City Staff:

This letter intends to serve as Mobilitie, LLC's "Letter of Intent" in regards to our proposed small-cells infrastructure on the public rights-of-way within the City of Miami Beach, FL. Mobilitie is a wireless infrastructure company that develops intelligent infrastructure solutions to densify and optimize wireless carriers services and geographic reach. Mobilitie LLC possesses a Certificate to provide Alternative Access Vendor services from the Florida Public Service Commission. Mobilitie LLC is also registered with the City of Miami Beach, pursuant to City Code Section 104-4, as a communications services provider.

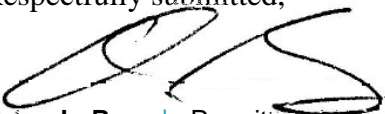
Mobilitie LLC works with all wireless carriers to enhance services throughout the country. Our design optimizes the performance of wireless networks by taking into consideration customer usage behaviors, terrain, obstructions, points-of-interest, and local guidance and ordinances. Mobilitie LLC's small-cell network within the City of Miami Beach will be utilized by Sprint, a wireless carrier, to fill in network deficiencies as a result of high demand for high-speed wireless service in the City.

During pre-application meetings with the City of Miami Beach Planning Department staff, it was expressed that the City of Miami Beach had spent two years developing an acceptable stealth design with a competitor. Although there are additional costs associated with the stealth design for our company, Mobilitie, LLC decided to work cooperatively with the City of Miami Beach and integrated the stealth design for our small-cell equipment installations. Our competitor has already pulled and replaced dozens of street light poles with stealth telecommunication light poles after getting permits from the City. Mobilitie LLC is effectively proposing to do the same. As required during our meetings with Planning Department staff, we have also reserved an area inside each pole should another wireless carrier which to utilize our poles for their equipment (reserved area is marked on plans).

**REQUEST FOR APPROVAL**

Mobilitie respectfully requests that the City review and approve the attached applications supplemented with the enclosed information. Mobilitie values the City's input on our proposal, and will work closely with the City to address any other concerns with our proposal, such as location, height, and pole color. Mobilitie looks forward to working with the City of Miami Beach and values its partnership in order to provide your constituents and visitors with high-speed connectivity. Thank you for your attention to this matter.

Respectfully submitted,



**Orlando Raez** | Permitting Manager  
[oraez@mobilitie.com](mailto:oraez@mobilitie.com)  
786 910 4309 mobile  
[www.mobilitie.com](http://www.mobilitie.com)

**ITEM # 5—MAILING LABELS**

January 25<sup>th</sup>, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

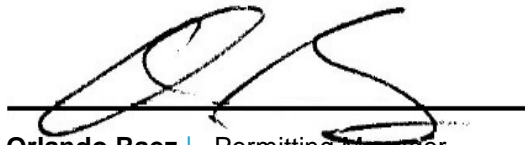
**RE: Property Owners list within 375 feet of:**

Subject: 132 74th Street, Miami Beach, Fl 33141  
Legal Description: Public Right of Way

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Total number of property owners without repetition: 173, including 1 international

Respectfully submitted,



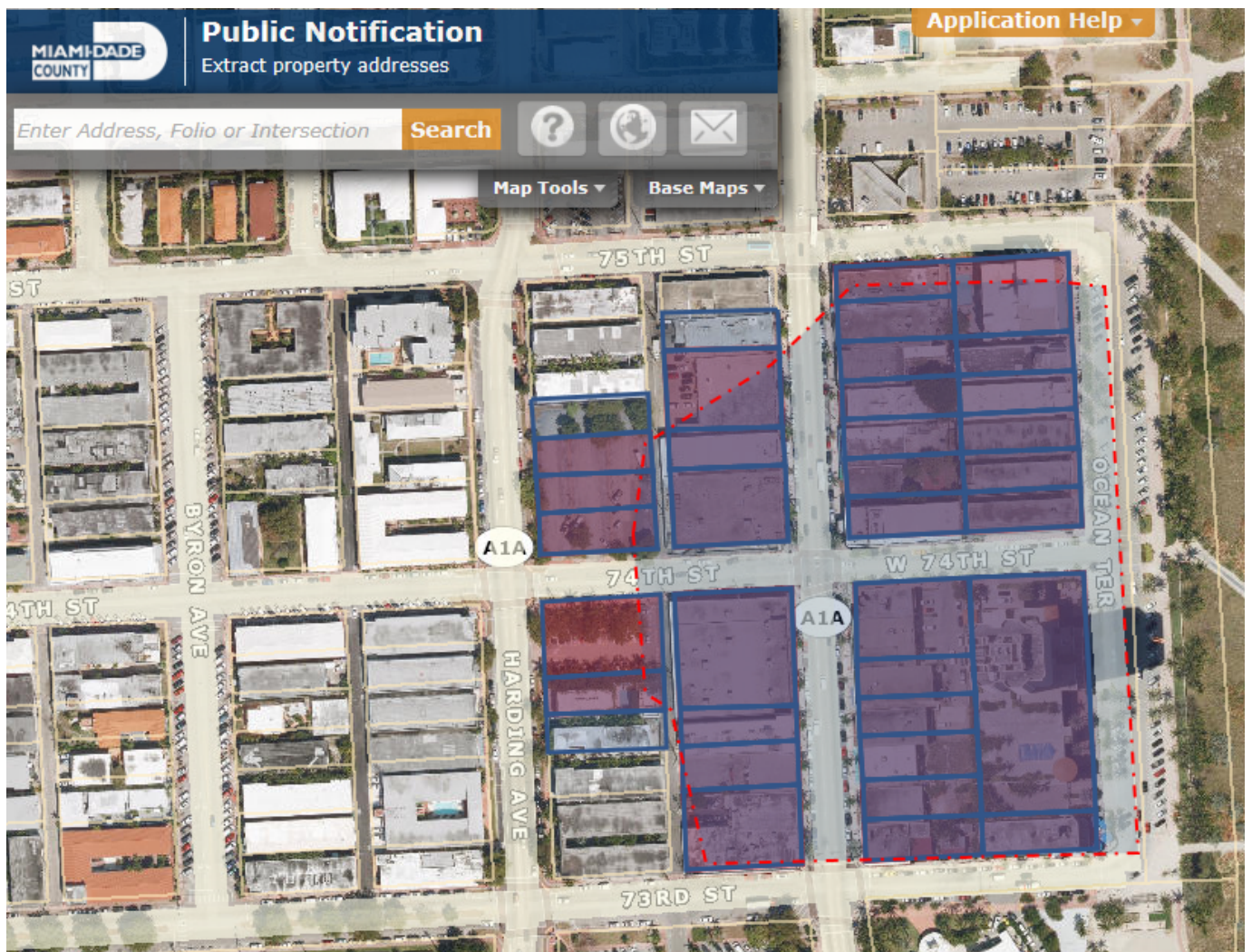
**Orlando Raez** | Permitting Manager  
oraez@mobilitie.com  
**786 910 4309** mobile  
www.mobilitie.com

January 25th, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

Subject: 132 74th St, Miami Beach, FL 33141  
Legal Description: Public Right of Way

### 375-Foot Radius Map



Folio	Property Owner	Address	City	State	Zip Code	Country
02-3202-118-0030	FREDERIC GARCIA	35 RUE DU SEUTIER	PARIS		-	FRANCE
02-3202-003-0010	7450 OCEAN TERRACE LLC	1035 NORTH MIAMI AVE #201	MIAMI	FL	33136	USA
02-3202-003-0020	7436 OCEAN TERRACE LLC	1035 N MIAMI AVE STE 201	MIAMI	FL	33136	USA
02-3202-003-0040	7420 OCEAN TERRACE INVESTMENT LLC	1035 N MIAMI AVE 210	MIAMI	FL	33136	USA
02-3202-003-0050	7410 OCEAN TERRACE LLC	1035 N MIAMI AVE STE 201	MIAMI	FL	33136	USA
02-3202-003-0060	7400 OCEAN TERRACE LLC	1031 N MIAMI AVE 201	MIAMI	FL	33136	USA
02-3202-003-0070	7441 COLLINS AVE INVESTMENT LLC	1035 N MIAMI AVE 201	MIAMI	FL	33136	USA
02-3202-003-0090	7439 COLLINS AVE INVESTMENT LLC	19 NW SOUTH RIVER DR	MIAMI	FL	33128	USA
02-3202-003-0100	7433 COLLINS AVE INVESTMENT LLC	19 NW SOUTH RIVER DRIVE	MIAMI	FL	33128	USA
02-3202-003-0110	7421 COLLINS AVE INVESTMENT LLC	1035 N MIAMI AVE 210	MIAMI	FL	33136	USA
02-3202-003-0120	7409 COLLINS AVE INVESTMENT LLC	19 NW SOUTH RIVER DR	MIAMI	FL	33128	USA
02-3202-003-0130	ADELBERT M TENNEY &W GRACE FEE	17100 COLLINS AVE STE 225	MIAMI BEACH	FL	33160-3675	USA
02-3202-003-0150	KAPLAN-COLLINS INC	PO BOX 560189	MIAMI	FL	33256	USA
02-3202-003-0160	AJS COLLINS LLC	299 BROADWAY SUITE 1504	NEW YORK	NY	10007	USA
02-3202-003-0170	R K ASSOCIATES #3 INCCORP	17100 COLLINS AVE SUITE 225	SUNNY ISLES BEACH	FL	33160-3675	USA
02-3202-003-0180	C CALVIN GAETA &W DOLORES	13055 POND APPLE DR E	NAPLES	FL	34119	USA
02-3202-003-1030	MCBRIDE FAM LTD PARTNERSHIP	PO BOX 1159	DEERFIELD	IL	60015	USA
02-3202-003-1070	ARRP MIAMI LLC	2200 BISCAYNE BLVD	MIAMI	FL	33137	USA
02-3202-003-1080	COLLINS AND 73RD DEVELOPERS LLC	9537 HARDING AVE	SURFSIDE	FL	33154	USA
02-3202-003-1110	83 INVESTS LLC	44 W FLAGLER ST 2300	MIAMI	FL	33130	USA
02-3202-003-1120	ESTELA VALLE JTRS	7000 SW 102 AVE #1	MIAMI	FL	33173	USA
02-3202-003-1200	NORTH COLLINS LLC	210 71 STREET #309	MIAMI BEACH	FL	33141	USA
02-3202-003-1220	7331 COLLINS AVENUE LLC	210 71 ST STE 309	MIAMI BEACH	FL	33141	USA
02-3202-003-1230	JERIKA PROPERTIES INC	5901 NW 151 ST #126	MIAMI LAKES	FL	33014-2447	USA
02-3202-003-1240	7309 COLLINS AVENUE LLC	210 71 ST STE 309	MIAMI BEACH	FL	33141	USA
02-3202-003-1241	COLLINS 73RD INVEST GRP LLC	11555 SW 93 CT	MIAMI	FL	33176-4249	USA
02-3202-101-0010	ALBERTO ALVAREZ GINZO	7045 SW 16TH TER	MIAMI	FL	33155-1668	USA
02-3202-101-0020	MARCELO ADDARIO	8020 EAST DR 315	NORTH BAY VILLAGE	FL	33141	USA
02-3202-101-0030	KENNETH MALCOLM	350 77 ST	MIAMI BEACH	FL	33141	USA
02-3202-101-0040	GASTON VARGAS	700 ORCHID SPRINGS DR	WINTER HAVEN	FL	33884	USA
02-3202-101-0050	MARCELO G ADDARIO	8020 E DRIVE #315	NORTH BAY VILLAGE	FL	33141	USA
02-3202-101-0060	MARE USA INVESTMENT LLC	PO BOX 777	HALLANDALE	FL	33008	USA
02-3202-101-0070	MARIELA S DEPAULI JTRS	7300 OCEAN TER #113	MIAMI BEACH	FL	33141	USA
02-3202-101-0080	OLSEN BEACH LLC	833 86 ST	MIAMI	FL	33141	USA
02-3202-101-0100	LEWIS SEIGEL	7300 OCEAN TER	MIAMI BEACH	FL	33141	USA
02-3202-101-0110	LEWIS J SIEGEL	7300 OCEAN TER UNIT 202	MIAMI BEACH	FL	33141	USA
02-3202-101-0130	GABRIELA ZANGRONIZ	10829 NW 7 ST #21	MIAMI	FL	33172	USA
02-3202-101-0140	MYRIAM FRIDMAN LLC	5750 COLLINS AVE 6E	MIAMI BEACH	FL	33140	USA
02-3202-101-0160	NILO TORRES &W	2770 NW 97 AVE	MIAMI	FL	33172-1405	USA
02-3202-101-0170	NICOLA GOODE & SEAN MCFARLAND TRS	1781 SUNSET AVE	SANTA MONICA	CA	90405	USA
02-3202-101-0180	OLGA REGUZZONI LE	754 NE 90 ST #701	MIAMI	FL	33138	USA
02-3202-101-0190	SEAN MCFARLAND TRS &	1781 SUNSET AVE	SANTA MONICA	CA	90405	USA
02-3202-101-0200	JORGE BARRANCO &W SONIA O	6486 SW 13 ST	MIAMI	FL	33144	USA
02-3202-101-0210	MIRIAM GUTIERREZ	13424 SW 111TH TER	MIAMI	FL	33186-4343	USA
02-3202-101-0220	JM LEON INC	14265 NW 83 PATH	MIAMI LAKES	FL	33016-5725	USA
02-3202-101-0240	MARCELO ADDARIO & MYRIAM FRIDMAN	8020 EAST DR	NORTH BAY VILLAGE	FL	33141	USA
02-3202-101-0250	LY NGUYEN COLLINS	1800 NE 114 ST #909	MIAMI	FL	33181	USA
02-3202-101-0260	LEWIS SIEGEL	7300 OCEAN TERRACE #202	MIAMI BEACH	FL	33141	USA
02-3202-101-0270	PABLO B CANO LE	5921 SW 35 ST	MIAMI	FL	33155	USA
02-3202-101-0290	SBR GEMS LLC	36 NE 1 ST 124	MIAMI	FL	33132	USA
02-3202-101-0300	BRUCE FISH	6640 ALLISON RD	MIAMI BEACH	FL	33141	USA

02-3202-101-0310	STARBEACH 2 LLC	7045 SW 16 TER	MIAMI	FL	33155	USA
02-3202-101-0330	VERONICA HUECK	7300 OCEAN TER #309	MIAMI BEACH	FL	33141	USA
02-3202-101-0340	DOUGLAS C WALKER	225 S 2 ST	WILMINGTON	NC	28401-4403	USA
02-3202-101-0350	SANDRA MILENA BERNAL	7300 OCEAN TER #311	MIAMI	FL	33141	USA
02-3202-101-0360	MARIA DEL PILAR SANTILLANA	PO BOX 4097	HIALEAH	FL	33014	USA
02-3202-101-0370	CARLOS ALBERTO DE PABLO	1015 WEAVER DR	OVIEDO	FL	32765	USA
02-3202-101-0380	KEVIN L RAMOS	870 NE 143 ST	NORTH MIAMI	FL	33161	USA
02-3202-101-0400	OLSEN HOTEL RESTAURANT GROUP LLC	1510 CLEVELAND RD	MIAMI BEACH	FL	33141	USA
02-3202-110-0010	PATRICIA SANTANGELO &	7330 OCEAN TERRACE #5-A (501)	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0020	JOSEPH MICHAEL VAZQUEZ	877 STILLWATER DR	MIAMI BEACH	FL	33141-1019	USA
02-3202-110-0030	SIMON LEVIN	7330 OCEAN TER #7A	MIAMI BEACH	FL	33141	USA
02-3202-110-0040	CBBC REAL EST LLC	7330 OCEAN TERR #8A	MIAMI BEACH	FL	33141	USA
02-3202-110-0050	JORGE SAVLOFF	7330 OCEAN TER 9A	MIAMI BEACH	FL	33141	USA
02-3202-110-0060	MICHAL STEPANEK	7330 OCEAN TERRACE #10A	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0070	FRANCIS MASSABKI	7330 OCEAN TER UNIT 1101	MIAMI BEACH	FL	33141	USA
02-3202-110-0080	DAVID JAY ZUCKERMAN	3410 INVERNESS DR	CHEVY CHASE	MD	20815	USA
02-3202-110-0090	RICHARD BRAND &W HARRIET	7330 OCEAN TERR #14-A	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0100	NICHOLAS MITCHELL &W MARIA D	7330 OCEAN TERR #1501	MIAMI BEACH	FL	33141-7003	USA
02-3202-110-0110	LIBRIS INVESTMENT CORP	7330 OCEAN TER #16A	MIAMI BEACH	FL	33141	USA
02-3202-110-0120	ROGER AMURUZ GALLEGOS	7330 OCEAN TER #17A	MIAMI BEACH	FL	33141	USA
02-3202-110-0130	ROSS D KELSON	7330 OCEAN TERR #18-A	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0140	ROSA TERESA QUERALES DE SUAREZ	7330 OCEAN TERRACE #19-A	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0150	CHARLES HOUSEN &W CAROL	7330 OCEAN TERR #2001	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0160	TIMOTHY J O BRIEN	7330 OCEAN TERRACE #2101	MIAMI BEACH	FL	33141	USA
02-3202-110-0170	ANDREA SCARPA	200 NATCHEZ AVE SOUTH	GOLDEN VALLEY	MN	55416	USA
02-3202-110-0180	ELISABETE L MIRANDA	6050 BOULEVARD EAST 19A	WEST NEW YORK	NY	07093	USA
02-3202-110-0190	WILLIAM L TABAKA II	270 W 19 ST #3A	NEW YORK	NY	10011	USA
02-3202-110-0200	GALINA NORKIN TRS	7330 OCEAN TER 2501	MIAMI BEACH	FL	33141	USA
02-3202-110-0210	BARRY GIDDINS	7330 OCEAN TERRACE # 2601	MIAMI BEACH	FL	33141-2751	USA
02-3202-110-0220	RAMON M SANCHEZ	7330 OCEAN TERR UNIT TS-A	MIAMI BEACH	FL	33141	USA
02-3202-110-0230	HONUS INTERNATIONAL LLC	1000 WEST FRANKLIN AVE	MINNEAPOLIS	MN	55405	USA
02-3202-110-0240	JUDITH M BISHOP TRS	7330 OCEAN TER 502	MIAMI BEACH	FL	33141	USA
02-3202-110-0250	SAID AKAR	333 SANTANA ROW UNIT 236	SAN JOSE	CA	95128	USA
02-3202-110-0270	DOMINIQUE CHERQUI	7330 OCEAN TERRACE #802	MIAMI BEACH	FL	33141-2723	USA
02-3202-110-0280	FARID MASSABKI &W MARIA T	7330 OCEAN TERRACE #902	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0290	GARY EDWARDS	7330 OCEAN TER #10B	MIAMI	FL	33141	USA
02-3202-110-0300	TRACEY PAUL	7330 OCEAN TER APT#1102	MIAMI BEACH	FL	33141	USA
02-3202-110-0310	ANA M ORTIZ-GONZALEZ	7330 OCEAN TERR #1202	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0320	MARIA R GUZMAN PORTELA	7330 OCEAN TERR #14-B	MIAMI	FL	33141-2722	USA
02-3202-110-0330	KARL W MAY &W MARIA &	776 BLACKMOOR GATE LN	SAINT AUGUSTINE	FL	32084	USA
02-3202-110-0340	TROY D TEMPLETON	6250 SW 130 TER	PINECREST	FL	33156	USA
02-3202-110-0350	MIGUEL MANDOKI	7330 OCEAN TER # 17-B	MIAMI	FL	33141	USA
02-3202-110-0360	KNOWLEDGE MANAGEMENT SERVICES LLC	515 E LAS OLAS BLVD 120	FORT LAUDERDALE	FL	33301	USA
02-3202-110-0370	TEODOR M ALECU	7330 OCEAN TER #1902	MIAMI BEACH	FL	33141	USA
02-3202-110-0380	KEITH TINYO	7330 OCEAN TER # 20B	MIAMI BEACH	FL	33141	USA
02-3202-110-0390	DANIEL A SARLENGA TTEE TRS	2380 SW 80 CT	MIAMI	FL	33155	USA
02-3202-110-0410	ORLANDO L AMORIN &	7330 OCEAN TERRACE #23-B	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0420	WILLIAM VITALE &W	7330 OCEAN TERRACE #2402	MIAMI BEACH	FL	33141	USA
02-3202-110-0430	JAMES G NUNEMACHER	2501 MISSION ST	SAN FRANCISCO	CA	94110	USA

02-3202-110-0440	BONNIE SCHWARTZER	7330 OCEAN TERRACE #STE-B	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0450	JAN ROELF BULT	7330 OCEAN TERRACE #2702 (TS-B9)	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0460	DAVID KULEISUS &W ANGELIQUE	7330 OCEAN TERRACE PH-B (2802)	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0470	MARIA ZORAIDA MUELLE KIT	7330 OCEAN TER UNIT 6C	MIAMI BEACH	FL	33141	USA
02-3202-110-0480	KURT WESTERMAN	39 STANWOOD RD	SWAMPSCOTT	MA	01907	USA
02-3202-110-0490	GRAZINA BABUSIS TRS	7330 OCEAN TER 803	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0500	ILIDIO J PEREIRA &W	7330 OCEAN TERR #903	MIAMI BEACH	FL	33141	USA
02-3202-110-0510	EMILIO L MAGNAGHI	7330 OCEAN TER DR #10-C	MIAMI BEACH	FL	33141	USA
02-3202-110-0520	SHAHROKH REZA &W	7330 OCEAN TERR #11C	MIAMI BEACH	FL	33141	USA
02-3202-110-0530	VALHALA LIMITED	7330 OCEAN TERR #12-C	MIAMI BEACH	FL	33141	USA
02-3202-110-0540	LAVI FOREST INC	4770 BISCAYNE BLVD #1400	MIAMI	FL	33137	USA
02-3202-110-0550	SVOLPE LLC	6799 COLLINS AVE #CPH06	MIAMI BEACH	FL	33141	USA
02-3202-110-0560	LUIS F VEGA &W ANA	7330 OCEAN TERR #1603	MIAMI BEACH	FL	33141-7003	USA
02-3202-110-0570	R MICHAEL ERICKSON &W	5818 FOX HOLLOW DR APT E	BOCA RATON	FL	33486	USA
02-3202-110-0580	LOURDES MARIA DE MENA TRS	6100 SW 95 CT	MIAMI	FL	33173	USA
02-3202-110-0590	ROBERT MCCARTHY	7853 MONTEVALE WAY	MC LEAN	VA	22102	USA
02-3202-110-0600	RICARDO LIMA SOARES	7330 OCEAN TERRACE #20C	MIAMI BEACH	FL	33141	USA
02-3202-110-0610	RUDOLF LANG &W ANGELICA	5731 SW 50 ST	MIAMI	FL	33155-6306	USA
02-3202-110-0620	OCEAN TERRACE MIAMI LLC	7330 OCEAN TER #2201	MIAMI BEACH	FL	33141	USA
02-3202-110-0630	NATHANIEL HEDMAN	785 CRANDON BLVD #201	KEY BISCAYNE	FL	33149	USA
02-3202-110-0640	JOSEPH A DE PIRO	7330 OCEAN TERRACE #2403	MIAMI BEACH	FL	33141-2751	USA
02-3202-110-0650	ERIC ALBERT MELLON	7330 OCEAN TER LPH C	MIAMI BEACH	FL	33141	USA
02-3202-110-0660	MARTIN LANDTMAN	7330 OCEAN TER UNIT 2603	MIAMI BEACH	FL	33141	USA
02-3202-110-0670	7330 TS C OCEAN TERRACE LLC	1 WEST EXCHANGE ST 4 FLOOR	PROVIDENCE	RI	02903	USA
02-3202-110-0680	LARS ROLNER TRS	7330 OCEAN TER #PH C	MIAMI BEACH	FL	33141	USA
02-3202-110-0690	YAGIRO LARA	7330 OCEAN TERR #504	MIAMI BEACH	FL	33141-2723	USA
02-3202-110-0700	DORIS AVEDIKIAN TRS	7330 OCEAN TER # 6 D	MIAMI	FL	33141	USA
02-3202-110-0710	AHAVA PROPERTIES CORP	7330 OCEAN TERRACE #704 (7D)	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0720	ANTONIO CARLOS P CARVALHO	7330 OCEAN TER APT# 804	MIAMI BEACH	FL	33141	USA
02-3202-110-0730	MARCIA K DOCTER TRS	801 PENNSYLVANIA AVE NW #1101	WASHINGTON	DC	20004	USA
02-3202-110-0740	GREGORY THOMAS	7330 OCEAN TERR #10-D	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0750	GORDON S SHALEK	180 E END AVE APT 18C	NEW YORK	NY	10128	USA
02-3202-110-0760	MICHAEL S AMEND	7330 OCEAN TERRACE APT 1204	MIAMI	FL	33141	USA
02-3202-110-0770	JUAN C IGLESIAS JTRS	7330 OCEAN TER APT #1404	MIAMI BEACH	FL	33141	USA
02-3202-110-0780	CARMEN MACEYRAS &	7330 OCEAN TERR #15D (1504)	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0790	MARIA SALAS	7330 OCEAN TER 16D	MIAMI BEACH	FL	33141	USA
02-3202-110-0800	CHARLES A VERDI JR	7330 OCEAN TERR APT 1704	MIAMI BEACH	FL	33141-2750	USA
02-3202-110-0810	RODOLFO E BIANCO	2032 EAST JEFFERSON BLVD	SOUTH BEND	IN	46617	USA
02-3202-110-0820	JAYNE LEE IRVIN	542 FRANKLIN AVE	RIVER FOREST	IL	60305	USA
02-3202-110-0830	ROMARI MCDANIEL	7330 OCEAN TERR #2004	MIAMI BEACH	FL	33141	USA
02-3202-110-0840	LAURA A SLAYMAKER	7330 OCEAN TERR #21D	MIAMI BEACH	FL	33141-2722	USA
02-3202-110-0850	CHEN CHI YEH	7330 OCEAN TER #2204	MIAMI BEACH	FL	33141	USA
02-3202-110-0860	AMEET VOHRA &W DENISE	2108 N BAY RD	MIAMI BEACH	FL	33140-4552	USA
02-3202-110-0870	YADIRA GARRIDO	7330 OCEAN TER PPH D	MIAMI BEACH	FL	33141	USA
02-3202-110-0880	ELIZABETH SOBOL	45 GREENFIELD AVE 21	SARATOGA SPRINGS	NY	12866	USA
02-3202-110-0890	LUIS SOMOANO TRS	3250 SW 132 AVE	MAIMI	FL	33175	USA
02-3202-110-0900	TIM O'BRIEN	7330 OCEAN TERR #2704	MIAMI BEACH	FL	33141-7006	USA
02-3202-110-0910	SEASIDE LIVING US LLC	7330 OCEAN TERRACE #PH-D	MIAMI BEACH	FL	33141	USA
02-3202-110-0920	COFERAN LLC	5901 NW 151 ST #126	MIAMI LAKES	FL	33014	USA
02-3202-118-0010	RODOLFO T CABRERA	7502 W 29 LN	HIALEAH	FL	33018	USA
02-3202-118-0020	MATHIEWS PROPERTY LLC	7326 COLLINS AVE 102	MIAMI BEACH	FL	33141	USA



02-3202-118-0040	GERMAN NANDE	7326 COLLINS AVE UNIT 104	MIAMI BEACH	FL	33141	USA
02-3202-118-0050	JAZCHY AND VAL LLC	2944 NW 60 ST	FORT LAUDERDALE	FL	33309	USA
02-3202-118-0060	ELCO BCH LLC	201 S BISCAYNE BLVD STE 850	MIAMI	FL	33131	USA
02-3202-118-0070	DAVID J DE LA ESPRIELLA	14101 OAK RIDGE DR	DAVIE	FL	33325	USA
02-3202-118-0080	NADIA AND FILS LLC	1000 WEST AVE # 602	MIAMI	FL	33139	USA
02-3202-118-0090	MEORA CORP	700 E DANIA BEACH BLVD 202	DANIA	FL	33004	USA
02-3202-118-0100	JOSEPH D HAGEN	7326 COLLINS AVE 202	MIAMI BEACH	FL	33141-7011	USA
02-3202-118-0110	SONIA OJEDA LE	290 174 ST STE 805	SUNNY ISLES BEACH	FL	33160	USA
02-3202-118-0120	KALANIOT LLC	12000 BISCAYNE BLVD #704	N MIAMI	FL	33181	USA
02-3202-118-0130	EDWARD M CONCEPCION	1900 N BAYSHORE DR #4706	MIAMI	FL	33132	USA
02-3202-118-0140	SONIX LLC	20900 NE 30 AVE #200 33	AVENTURA	FL	33131	USA
02-3202-118-0150	ACJ GROUP LLC	555 NW 15 ST #200	MIAMI	FL	33132	USA
02-3202-118-0160	KARL W ALOMAR JTRS	38 WEST 26 ST #5B	NEW YORK	NY	10010	USA
02-3202-118-0170	NOEL MEDINA	7326 COLLINS AVE 209	MIAMI BEACH	FL	33141	USA
02-3202-118-0180	YENISLEYDIS GALBAN &H	8948 NW 121 ST	HIALEAH	FL	33018	USA
02-3202-118-0190	MI CASITA LLC	1166 BAY DR	MIAMI	FL	33141	USA
02-3202-118-0200	LAURA CAMAYD	15963 SW 97TH TER	MIAMI	FL	33196-6609	USA
02-3202-118-0210	OALA 2 CORP	20533 BISCAYNE BLVD STE 777	AVENTURA	FL	33180	USA
02-3202-118-0220	TAN AND LEI 2 LLC	20801 BISCAYNE BLVD 403	AVENTURA	FL	33180	USA
02-3202-118-0230	ALEVITA LLC	2152 BURNS ST	DETROIT	MI	48214	USA
02-3202-118-0240	FERNANDO MAESTRE	2035 AREB CREEK DR	N MIAMI	FL	33181	USA
02-3202-118-0250	JOSE N BARQUERO	7326 COLLINS AVE #308	MIAMI	FL	33141-7011	USA

## **Item # 9—Architectural Plans and Exhibits**

9a: Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.

9d: Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.

9h: Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).

9i: Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)

9n: Specifications of pole and equipment

9o: Proposed elevations , materials, and finishes noted

# SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER: 9FLB003807E/MI90XSK82E

## LATITUDE/LONGITUDE: 25.859531 / -80.120623

## CROSS STREET: 74TH ST & OCEAN TERRACE CITY, STATE, ZIP: MIAMI BEACH, FL 33141



IF YOU DIG IN ANY STATE  
DIAL 811 FOR THE LOCAL  
"ONE CALL CENTER" -  
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS  
CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN  
ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO  
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE  
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES  
WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E)  
UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE  
RESPONSIBILITY OF THE CONTRACTOR.

NOTE:  
GENERAL CONTRACTOR IS REQUIRED TO CROSS CHECK COORDINATES. EXHIBIT PHOTO, AERIAL  
PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND.  
CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO ASSIGNED MOBILITIE CM.

**mobilitie**

Final Submittal  
3/2/2018

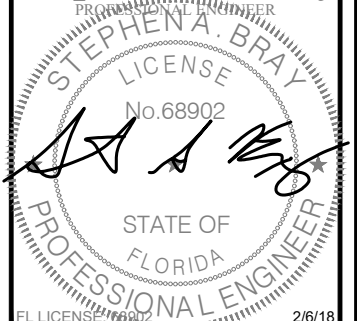
First Submittal:  
2/12/2018

PROJECT NO:	9FLB003807E
DRAWN BY:	RC
CHECKED BY:	SJB

E	02-06-18	REVISION
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KMB DESIGN GROUP, LLC

**Stephen A. Bray**



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ENGINEER, TO ALTER THIS DOCUMENT

### GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A  
TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE  
MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT  
DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER  
SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND  
NO COMMERCIAL SIGNAGE IS (N).

### SITE INFORMATION

SITE ID:	9FLB003807E
CASCADE ID:	MI90XSK82E
LATITUDE:	25.859531
LONGITUDE:	-80.120623
CROSS STREET:	74TH ST & OCEAN TERRACE
CITY, STATE, ZIP:	MIAMI BEACH, FL 33141
COUNTY:	MIAMI-DADE COUNTY
JURISDICTION:	MIAMI BEACH CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITIE, LLC 3475 PIEDMONT ROAD NE, SUITE 1000 ATLANTA, GEORGIA 30305 PHONE: (312) 638-5400

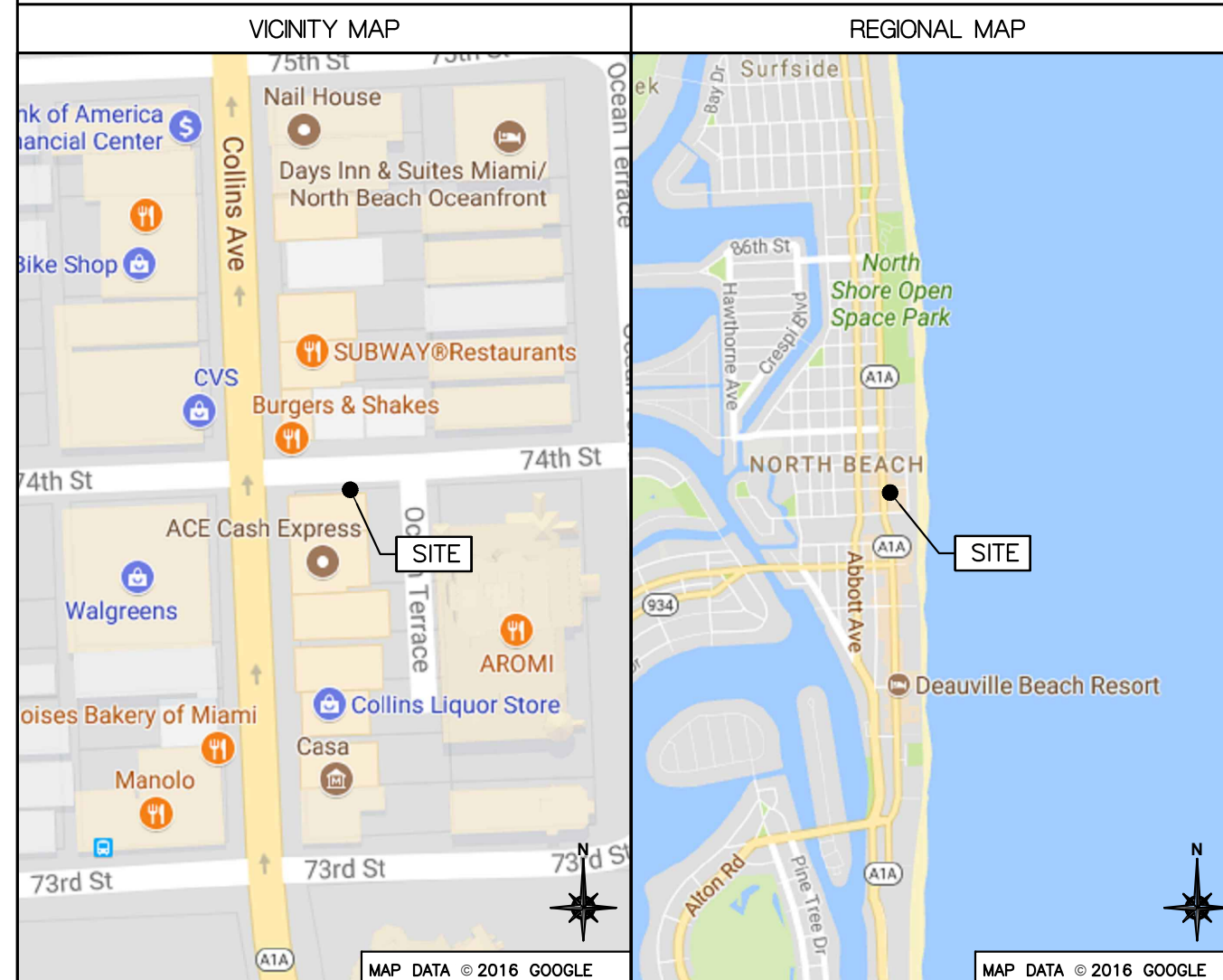
### ENGINEER

KMB DESIGN GROUP, LLC  
1800 ROUTE 34, SUITE 209  
WALL, NJ 07719  
FOR QUESTIONS EMAIL: DESIGNTEAM@KMBDG.COM  
TEL: (732) 280-5623 FAX: (732) 280-3980 www.KMBDG.com

### DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD  
CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE  
ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE  
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

### LOCATION MAPS



### PROJECT DESCRIPTION

END USER PROPOSES TO INSTALL EQUIPMENT ON A NEW  
GALVANIZED STEEL STEALTH POLE WITHIN AN EXISTING  
RIGHT-OF-WAY.  
THE SCOPE WILL CONSIST OF THE FOLLOWING:  
- INSTALL A NEW GALVANIZED STEEL STEALTH UTILITY POLE  
WITH PROPOSED BACKHAUL TRANSPORT EQUIPMENT

### CODES

2017 FLORIDA BUILDING CODE, 6TH EDITION  
NATIONAL ELECTRICAL SAFETY CODE  
TIA/EIA-222-G-2 OR LATEST EDITION  
LOCAL BUILDING/PLANNING CODE

### DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	UTILITY SITE PLAN
SP-3	ENLARGED SITE PLAN
EV-1	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	EMBEDMENT DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
ATTACHED	SITE SURVEY

MI90XSK82E  
MIAMI BEACH, FL 33141  
PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
T-1



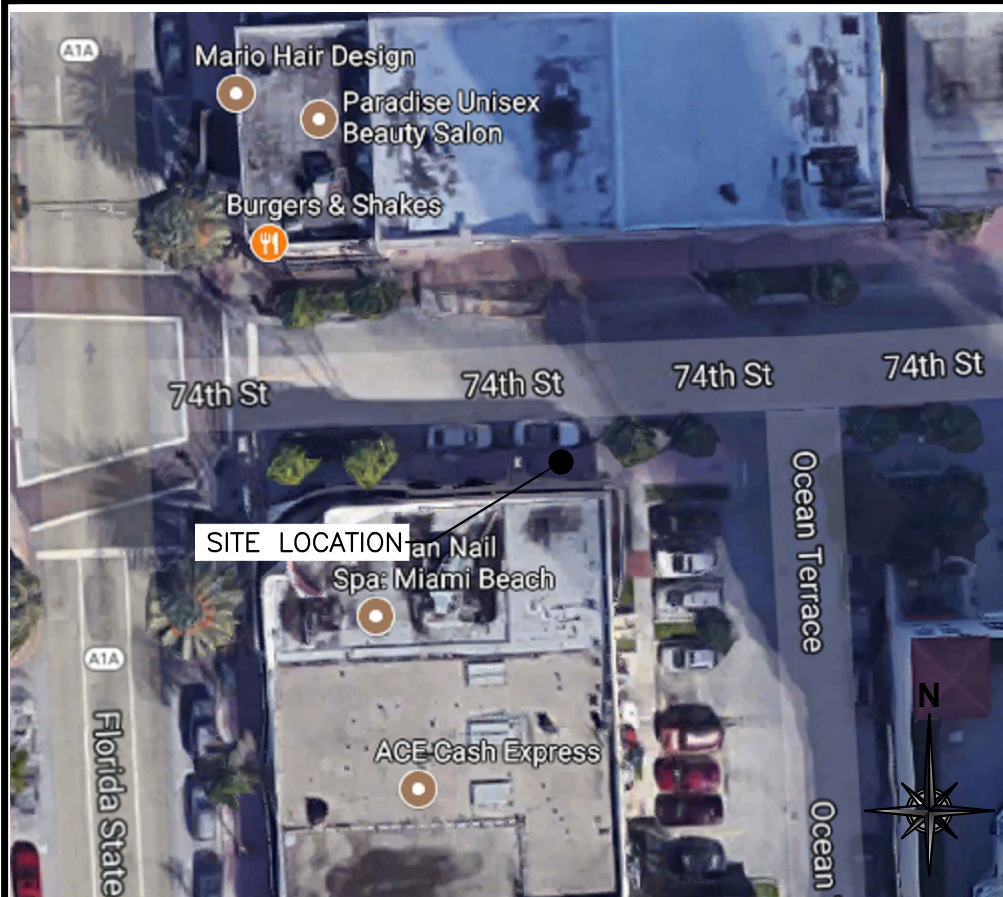
PROPOSED  
SMALL-CELL  
STEALTH POLE

Proposed  
location

**EXHIBIT PHOTO**

SCALE: NOT TO SCALE

1

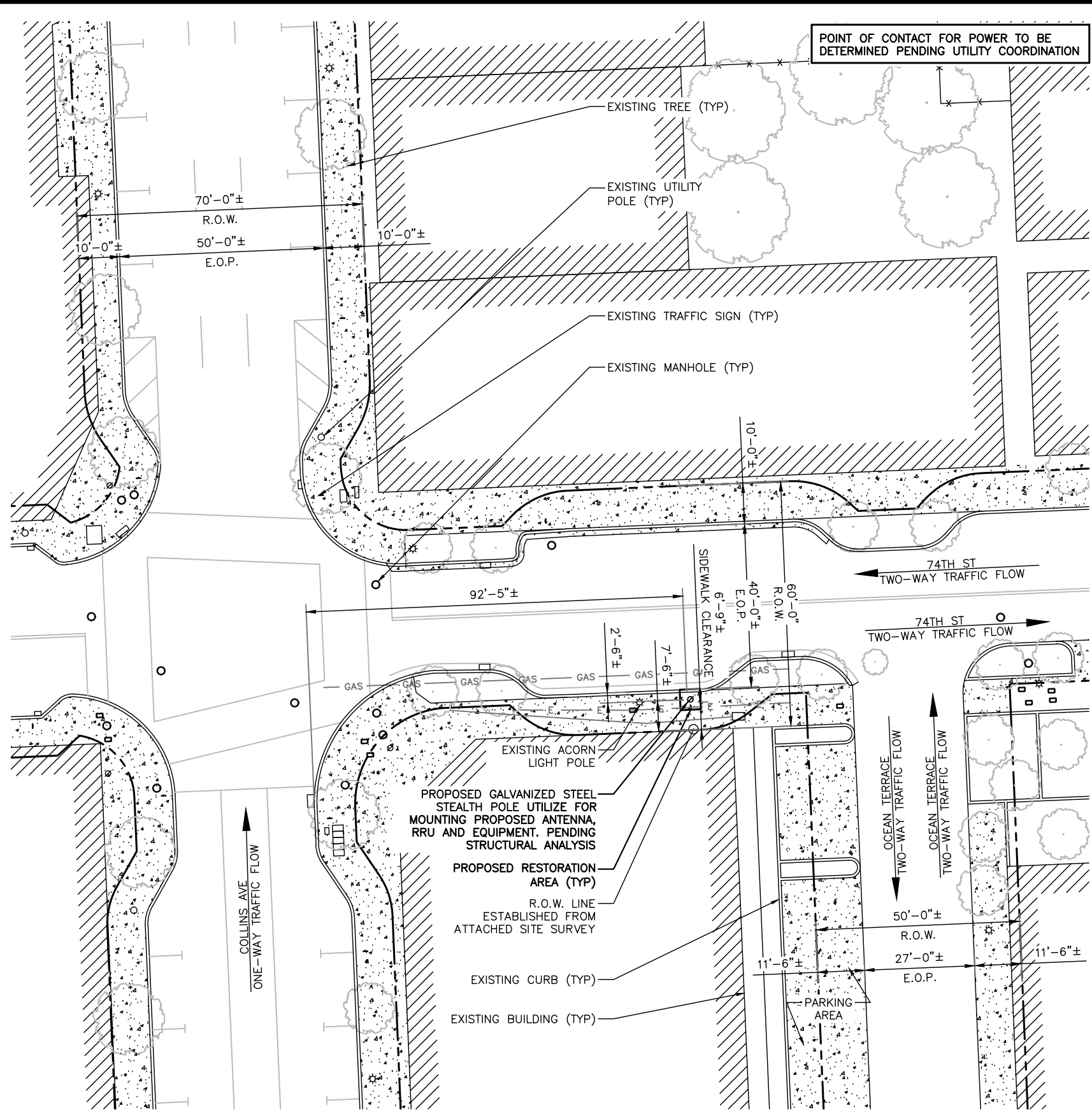


SITE LOCATION

**AERIAL SITE LOCATION**

SCALE: NOT TO SCALE

2



NOTE:  
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.  
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.  
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



**SITE PLAN**

SCALE: 1" = 30'-0" (1" = 15'-0" ON 24"x36" SHEET)

3



PROJECT NO:	9FLB003807E
DRAWN BY:	RC
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B	10-18-17	REVISION

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER

STEPHEN A. BRAY

LICENSE No. 68902

STATE OF FLORIDA

PROFESSIONAL ENGINEER

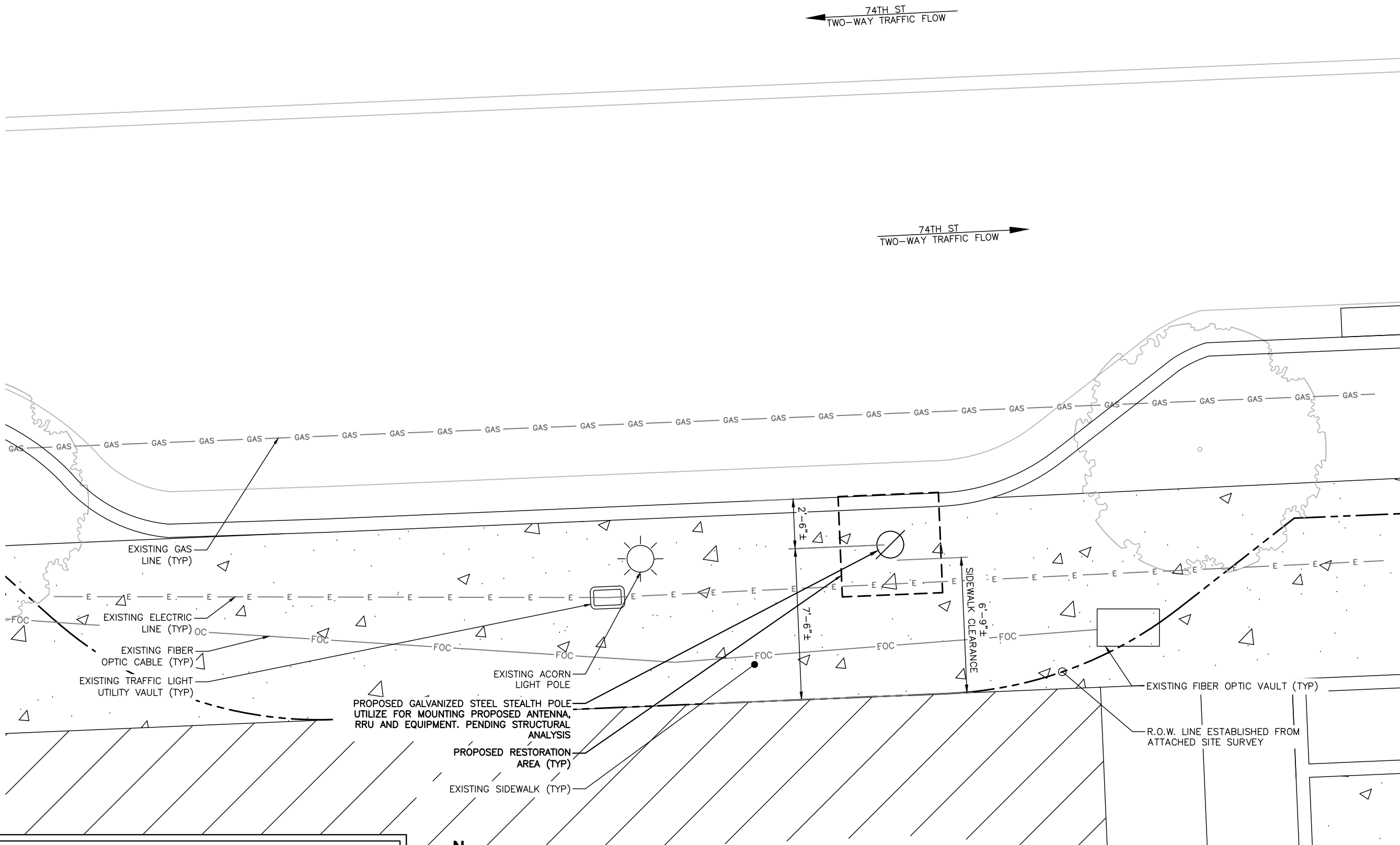
FL LICENSE 2/6/18

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MI90XSK82E  
MIAMI BEACH, FL 33141  
PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
**EXHIBIT PHOTO & SITE PLAN**

SHEET NUMBER  
**SP-1**



**NOTE:**  
 1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.  
 2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.  
 3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



**ENLARGED SITE PLAN**  
 SCALE: 1" = 5'-0"

1

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KMB DESIGN GROUP, LLC  
**Stephen A. Bray**  
 PROFESSIONAL ENGINEER  
 LICENSE No. 68902  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 FL LICENSE 2/6/18

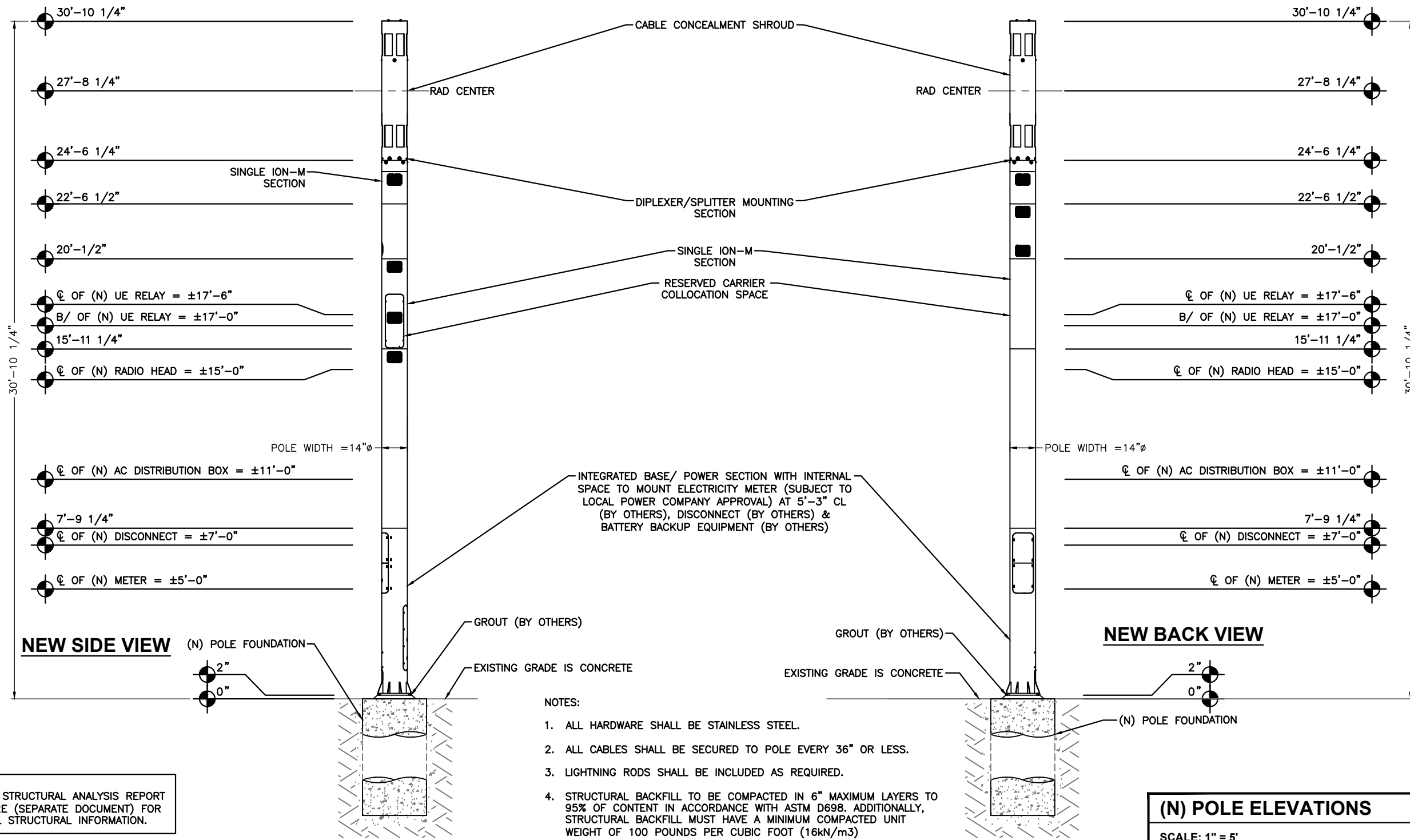
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MI90XSK82E  
 MIAMI BEACH, FL 33141  
 PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
**ENLARGED SITE PLAN**

SHEET NUMBER  
**SP-3**

**NOTE:**  
POLE FINISH: GALVANIZED PER ASTM123  
AND POWDER COATED (COLOR TBD.)



**NOTES:**

1. ALL HARDWARE SHALL BE STAINLESS STEEL.
2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
3. LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.
4. STRUCTURAL BACKFILL TO BE COMPACTED IN 6" MAXIMUM LAYERS TO 95% OF CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 100 POUNDS PER CUBIC FOOT (16kN/m<sup>3</sup>)

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS REPORT  
MI90XSK82E (SEPARATE DOCUMENT) FOR  
ADDITIONAL STRUCTURAL INFORMATION.

**(N) POLE ELEVATIONS**

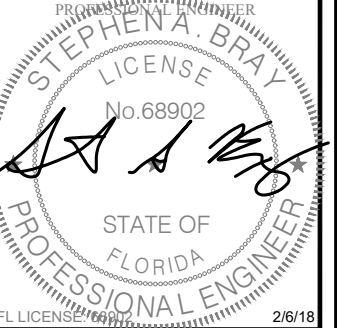
SCALE: 1" = 5'

PROJECT NO:	9FLB003807E
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MI90XSK82E  
MIAMI BEACH, FL 33141  
PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
**POLE ELEVATIONS**

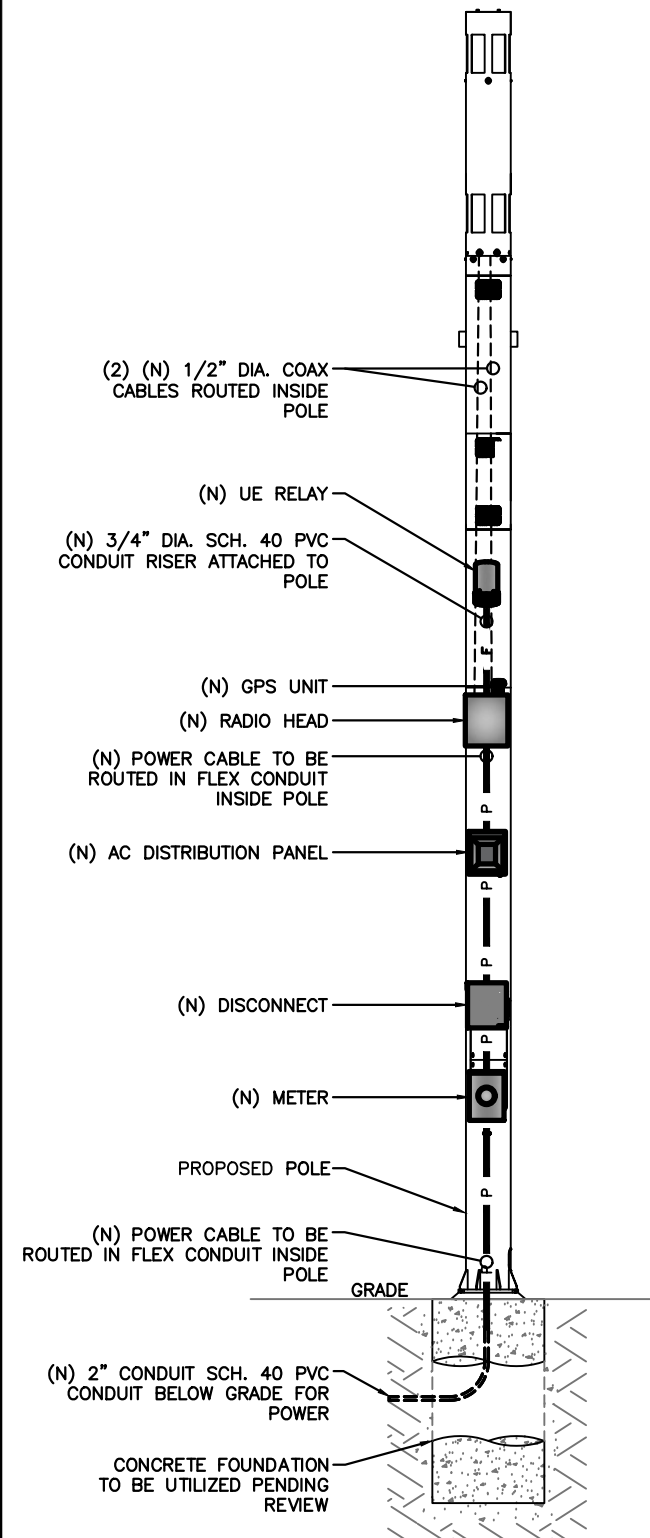
SHEET NUMBER  
**EV-1**

**NOTE:**  
NOTE: ALL CABLING, EQUIPMENT AND APPURTENANCES TO BE INSTALLED INTERNAL TO STEALTH POLE

**NOTE:**  
CABLING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION ONLY. CONTRACTOR SHALL INSTALL CABLES WITH MINIMAL VISUAL IMPACT ON PROPOSED GALVANIZED STEEL STEALTH POLE. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

**CABLING NOTES:**

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
- I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
  - II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
  - III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRADE LINE.
  - IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
    - (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
    - (2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
  - V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
  - VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE. NOT REQUIRED FOR COAX.
- B) NEW METALLIC POLES
- I) PROCURE NEW POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
    - (1) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
  - II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.



**PLUMBING DIAGRAM**

SCALE: NOT TO SCALE

1

BILL OF MATERIALS							
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AZIMUTH	CABLE	DIMENSIONS (HxWxD)	WEIGHT
1	ANTENNA	ALPHA WIRELESS	AW3477-S	TBD	12'-6"±	30.7" X 4.7" DIAMETER	7 LBS
1	UE RELAY	AIRSPAN	iR460-SPB-ST-1-P-0	TBD	3'±	13" X 7" DIAMETER	8.8 LBS
-	-	-	-	-	-	-	-
1	GPS	TALLYSMAN	GPS-ANT-3	-	-	2" X 2.6" DIAMETER	0.3 LBS
1	RADIO	AIRSPAN	AH4000	-	3'±	20.3" X 10.3" X 8.3"	42 LBS
-	-	-	-	-	-	-	-
1	AC DISTRIBUTION PANEL	TRANSECTOR	1101-1207-1012	-	1'±	12" X 12" X 4"	17 LBS
1	NEMA TYPE-3R DISCONNECT	SIEMENS	GF222NR (EXAMPLE)	-	1'±	15.45" X 8.7" X 5.95"	14 LBS
1	METER SOCKET	MILBANK	U4801-XL-5T9 (EXAMPLE)	-	-	19" X 13" X 4.84"	21 LBS

RFDS REVISION TYPE: NOT FINAL  
RFDS REVISION NUMBER: N/A  
RFDS REVISION TIMESTAMP: N/A

**BILL OF MATERIALS**

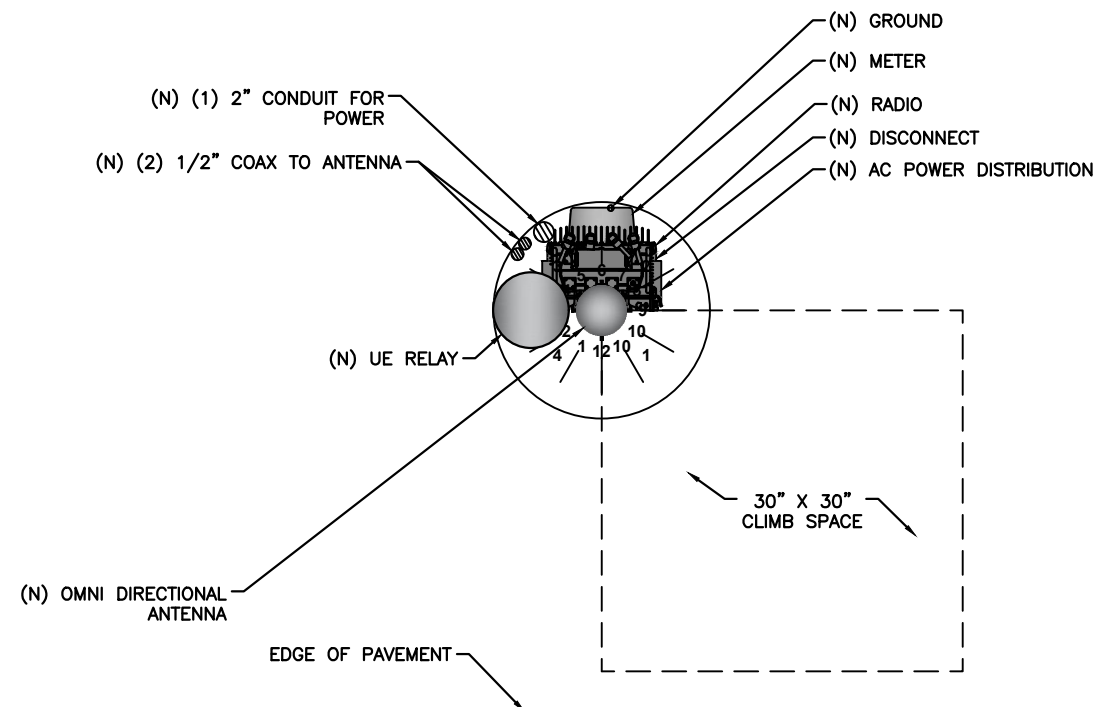
SCALE: NOT TO SCALE

2

PROJECT NO: 9FLB003807E  
DRAWN BY: RC  
CHECKED BY: SJB

REV	DATE	REVISION
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KMB DESIGN GROUP, LLC  
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STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
FL LICENSE # 68902 2/6/18  
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**RISER ORIENTATION DIAGRAM**

SCALE: NOT TO SCALE

3

MI90XSK82E  
MIAMI BEACH, FL 33141  
PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
**PLUMBING & RISER DIAGRAM**

SHEET NUMBER  
**PL-1**



**REINFORCED CONCRETE NOTES:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL SITECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 28 DAYS. CONTINUOUS INSPECTION AND TESTING IS NOT REQUIRED. THE CONTRACTOR MAY SUBSTITUTE 5000 PSI FOR HIGH EARLY STRENGTH.

SLUMP - 4" MIN. / 6" MAX.  
AIR ENTRAINMENT - 2% TO 3% BY VOLUME

**CLASSES OF CONCRETE**

CLASS	28 DAY STRENGTH (PSI)	MAX. WATER/CEMENT RATIO	PLACEMENT LOCATION	NORMAL WEIGHT
TYPE 1	3000	0.55	ALL LOCATIONS	

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL FABRIC UNLESS OTHERWISE NOTED. SPLICES FOR REBAR SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD, UNO. STAGGER SPLICES UNO. LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST TWO FULL MESHES, UNO.

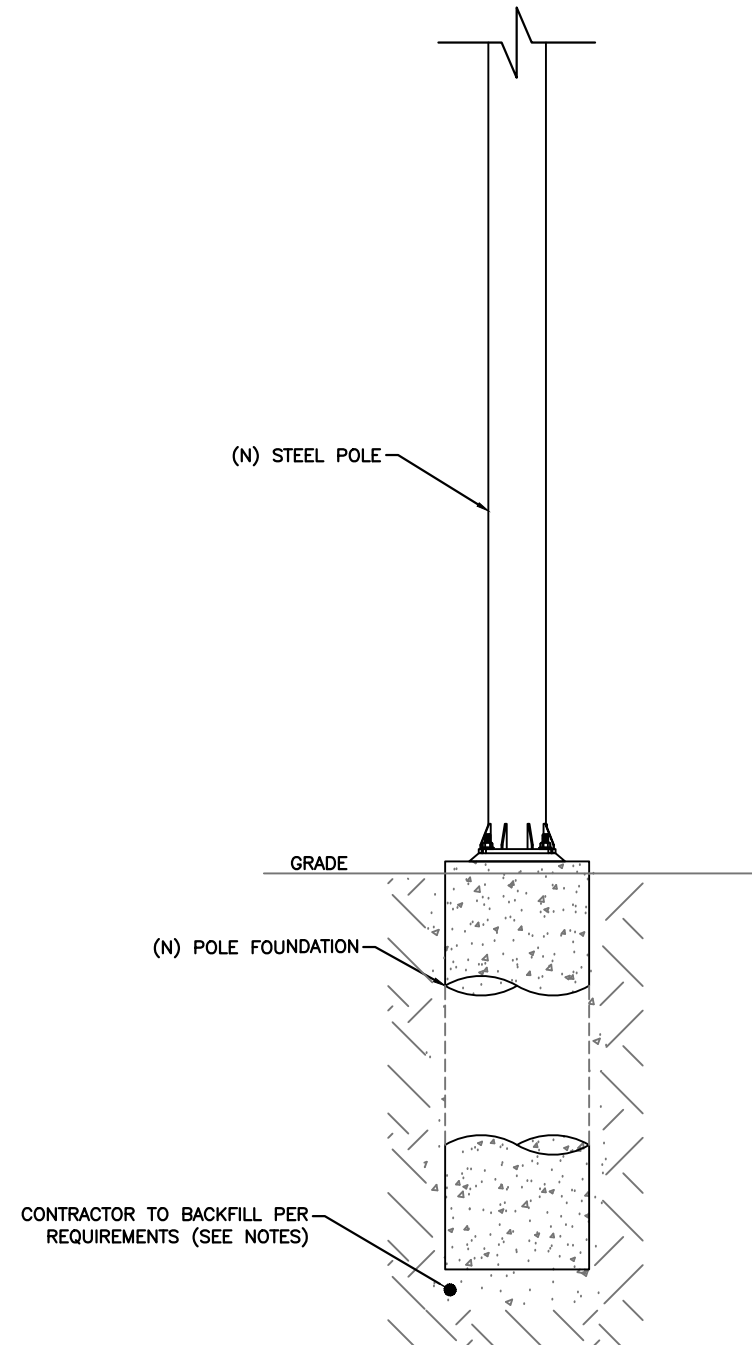
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3"  
CONCRETE EXPOSED TO EARTH OR WEATHER  
#6 AND LARGER.....2"  
#5 AND SMALLER & W.W.F.....1-1/2"

5. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
6. INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE ANCHOR BOLTS, DOWEL, OR RODS SHALL CONFORM TO THE ANCHOR MANUFACTURER'S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL. IF THE MANUFACTURER'S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. MECHANICAL VIBRATION IS REQUIRED ON ALL SLABS TO REDUCE THE HONEYCOMB EFFECT UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDUIT SIZES AND PENETRATION LOCATION PRIOR TO POURING THE SLAB. REFER TO SHELTER MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. ALLOWABLE SOIL PRESSURE = 2500 PSF (ASSUMED).

**NOTE:**  
SEE GN-3 FOUNDATION, EXCAVATION AND BACKFILL FOR ADDITIONAL NOTES.

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



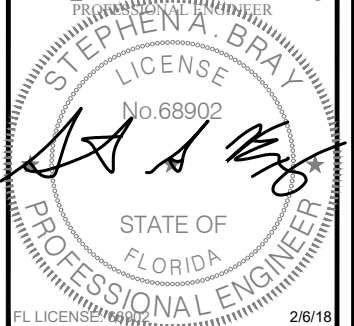
**mobilitie**

PROJECT NO:	9FLB003807E
DRAWN BY:	RC
CHECKED BY:	SJB

E	02-06-18	REVISION
D	01-09-18	REVISION
C	11-28-17	REVISION
B	10-18-17	REVISION

KMB DESIGN GROUP, LLC

**Stephen A. Bray**



FL LICENSE 2/6/18  
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XSK82E  
MIAMI BEACH, FL 33141  
PROPOSED 24'-6" STEEL POLE

SHEET TITLE  
**POLE FOUNDATION DETAILS**

SHEET NUMBER  
**S-1**

**POLE FOUNDATION DETAILS**

SCALE: NOT TO SCALE

1



# SPECIAL PURPOSE SURVEY

SECTION 2, TOWNSHIP 53 SOUTH, RANGE 42 EAST  
MIAMI-DADE COUNTY, FLORIDA  
FOR: KIMLEY-HORN



SUNSHINE STATE ONE CALL  
TICKET: 244705385



VICINITY MAP  
NOT TO SCALE



LOCATION MAP  
NOT TO SCALE

### LEGEND

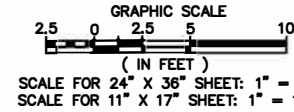
- ▲ INDICATES SET NAIL AND DISK (NO IDENTIFICATION)
- ☆ INDICATES WOOD LIGHT POLE
- PWR— INDICATES UNDERGROUND ELECTRIC LINE
- FOC— INDICATES UNDERGROUND FIBER OPTIC CABLE LINE
- GAS— INDICATES UNDERGROUND GAS LINE
- ✿ INDICATES 12" PALM TREE

TREE NOTE: INDICATED TREE SIZE IS TRUNK  
DIAMETER IN INCHES, 4-5 FOOT ABOVE GROUND

GRID N: 550489.707 INDICATES STATE PLANE COORDINATE SYSTEM PAIR (FEET)  
GRID E: 936922.681 REFERENCED TO THE FLORIDA STATE PLAIN COORDINATE  
SYSTEM, FLORIDA EAST ZONE, NAD83 ADJUSTMENT

NAVD'88 = NORTH AMERICAN VERTICAL DATUM, 1988 ADJUSTMENT.  
NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM, 1929 ADJUSTMENT.  
NAD'83 = INDICATES NORTH AMERICAN DATUM, 1983 ADJUSTMENT.  
NAD'27 = INDICATES NORTH AMERICAN DATUM, 1927 ADJUSTMENT.

N



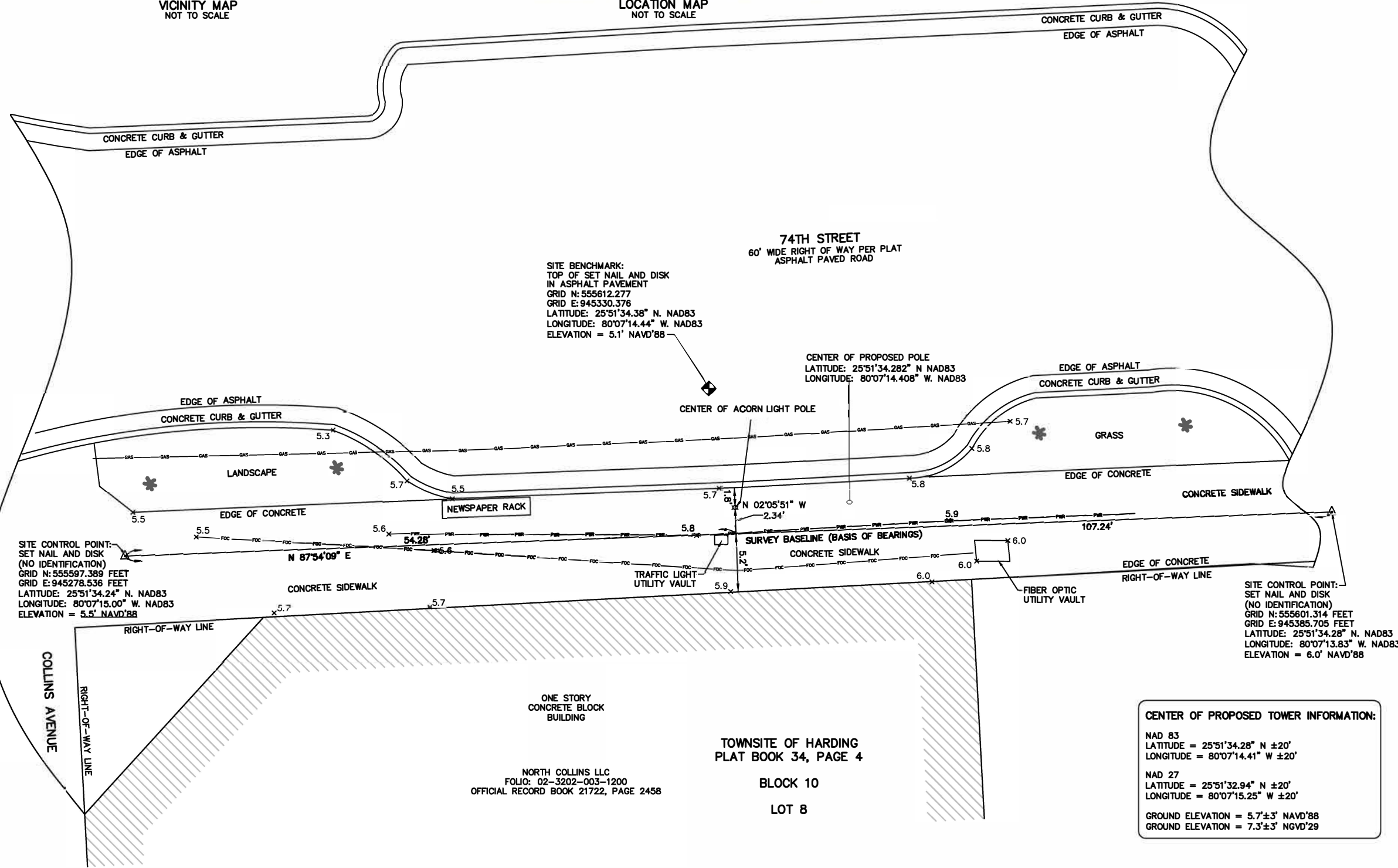
### FLOOD NOTE

ACCORDING TO MY INTERPRETATION OF COMMUNITY PANEL NUMBER 120651 0317 L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA, DATED 9/11/2009, THE SUBJECT PROPERTY IS IN FLOOD ZONE "AE", I.E., "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATIONS DETERMINED".

NOTE: THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL, FOR THE LOCATION OF THE SUBJECT PROPERTY, IS 8.0 FEET NGVD'29, WHICH CORRESPONDS TO 6.4' NAVD'88.

### SURVEYOR'S NOTES

1. BEARINGS HEREON ARE REFERENCED TO GRID NORTH AS ESTABLISHED BY THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NAD'83 ADJUSTMENT, AS EVIDENCED BY THE BEARING OF NORTH 87°54'09" EAST ALONG AN ESTABLISHED BASE LINE.
2. UNDERGROUND UTILITY LINES DEPICTED HEREON ARE BASED UPON OBSERVED DELINEATIONS MADE BY UTILITY LOCATION PERSONNEL RESPONDING TO A UTILITY LOCATION REQUEST MADE BY THIS OFFICE TO THE SUNSHINE STATE ONE-CALL 811 UTILITY LOCATION SERVICE, TICKET # 244705385. ADDITIONAL BURIED UTILITIES MAY EXIST WITHIN THE PROJECT AREA, THAT WERE NOT DELINEATED AS A RESULT OF OUR UTILITY LOCATION REQUEST, AND ARE NOT DEPICTED HEREON. NO ADDITIONAL SUB-SURFACE INVESTIGATIONS WERE MADE BY THIS OFFICE AS A PART OF THIS SURVEY.
3. THE SPECIAL PURPOSE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED SEPTEMBER 20, 2017.
4. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
5. THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE LOCATION OF A PROPOSED POLE.
6. LATITUDE, LONGITUDE AND ELEVATIONS DEPICTED HEREON ARE BASED UPON GPS OBSERVATIONS MADE WITH AN EGPS REAL TIME KINEMATIC GPS SYSTEM INCORPORATING A CHAMPION TKO GPS RECEIVER.
7. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NAVD'88 DATUM.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR AN ABSTRACT. THIS OFFICE HAS NOT PERFORMED A SEARCH OF THE PUBLIC RECORDS FOR EXISTING EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, ZONING, SETBACKS OR DEED RESTRICTIONS.
9. ADDRESS:  
7353 COLLINS AVENUE,  
MIAMI BEACH, FL 33141



NORTH COLLINS LLC  
FOLIO: 02-3202-003-1200  
OFFICIAL RECORD BOOK 21722, PAGE 2458

TOWNSHIP OF HARDING  
PLAT BOOK 34, PAGE 4  
BLOCK 10  
LOT 8

DAVID G. SHORT  
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER  
CERTIFICATE OF REGISTRATION NO. 5022

10/05/2017

**G E O L I N E**  
SURVEYING, INC.

Professional Land Surveyors  
13490 NW 104th Terrace, Suite A  
Alachua, Florida 32815  
(386)418-0500 Fax: (386)462-9988  
geoline@geolineinc.com

DESIGNED: KEITH BARTON	SCALE: AS SHOWN
DRAWN: KEITH BARTON	DATE: SEPTEMBER 20, 2017
CHECKED: DAVE SHORT	PROJECT #: 344-80
<b>MI90XSK82E / 9FLB003807 SITE</b>	
<b>LOCATED IN MIAMI-DADE COUNTY, FLORIDA</b>	
DRAWING # 344-80	SHEET # 1 OF 1



VIEWS FROM  
PROPOSED  
LOCATION



Approximate Address: 132 74th Street, Miami Beach, Fl 33141

Candidate: MI90XSK82E