

81st Street

82nd Street

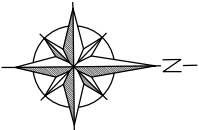
Collins Court (Alley)

Collins Avenue

USES' CHART

USE	SEATS		AREA NOT UTILIZED FOR SEATING (SF)	TOTAL USE AREA (SF)	
	INDOOR	OUTDOOR			
MAIN USES					
ASSEMBLY		94.0	40.0	3,033.8	4,132.1
TOTAL		134.0			4,132.1
COMMERCIAL					
• Bar		--	147.0	2,835.1	5,593.4
• Restaurant		54.0	104.0	1,600.0	3,960.0
• Retail					
- Fresh Fruit Sales		--	--	160.0	160.0
- Store Sales		--	--	2,255.8	2,255.8
TOTAL		305.0			11,969.2
ENTERTAINMENT					
• Outdoor Entertainment		--	43.0	4,343.7	4,679.7
TOTAL		43.0			4,679.7
CONDITIONAL USES					
OUTDOOR CAFE		26.0	36.0	60.0	916.0
TOTAL		62.0			916.0

NOTE: TOTAL USE AREAS INCLUDE OUTDOOR SEATING AREAS WHERE APPLICABLE



PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 03.02.2018

JOB No: 17004

REVISIONS:

USE PLAN

SCALE: AS SHOWN

A-105

SHEET:

SEAL & SIGNATURE

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CONSENT OF THE ARCHITECT.

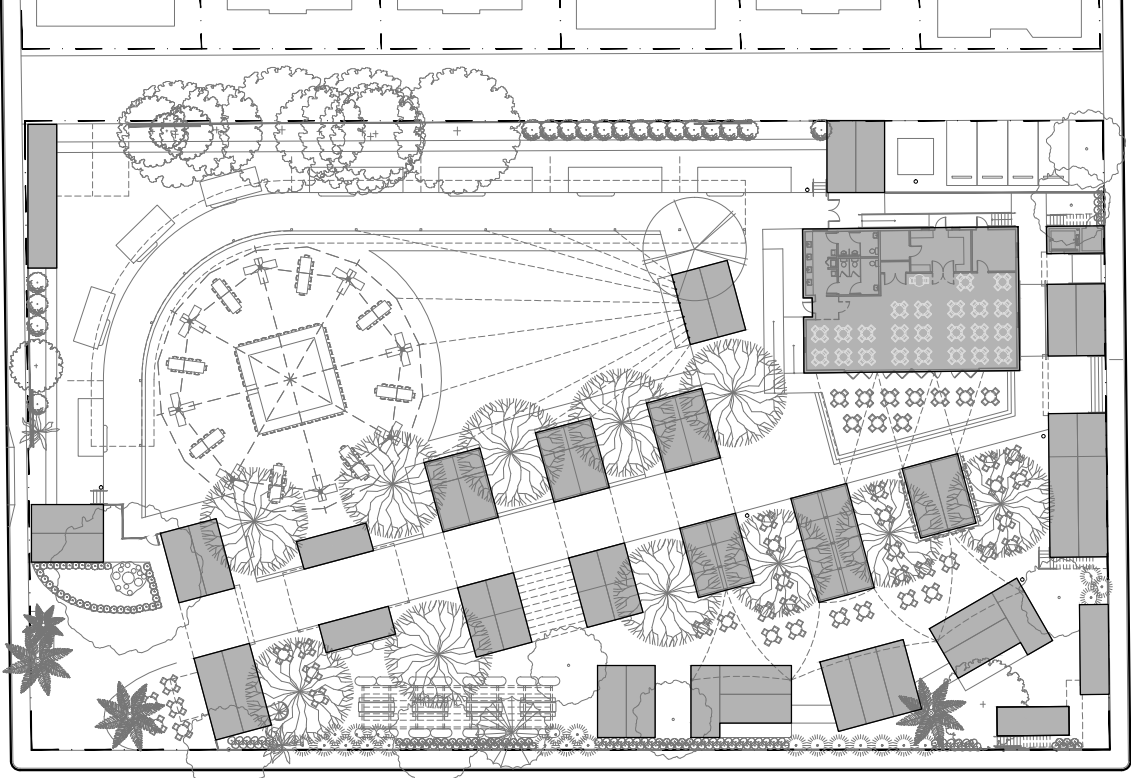
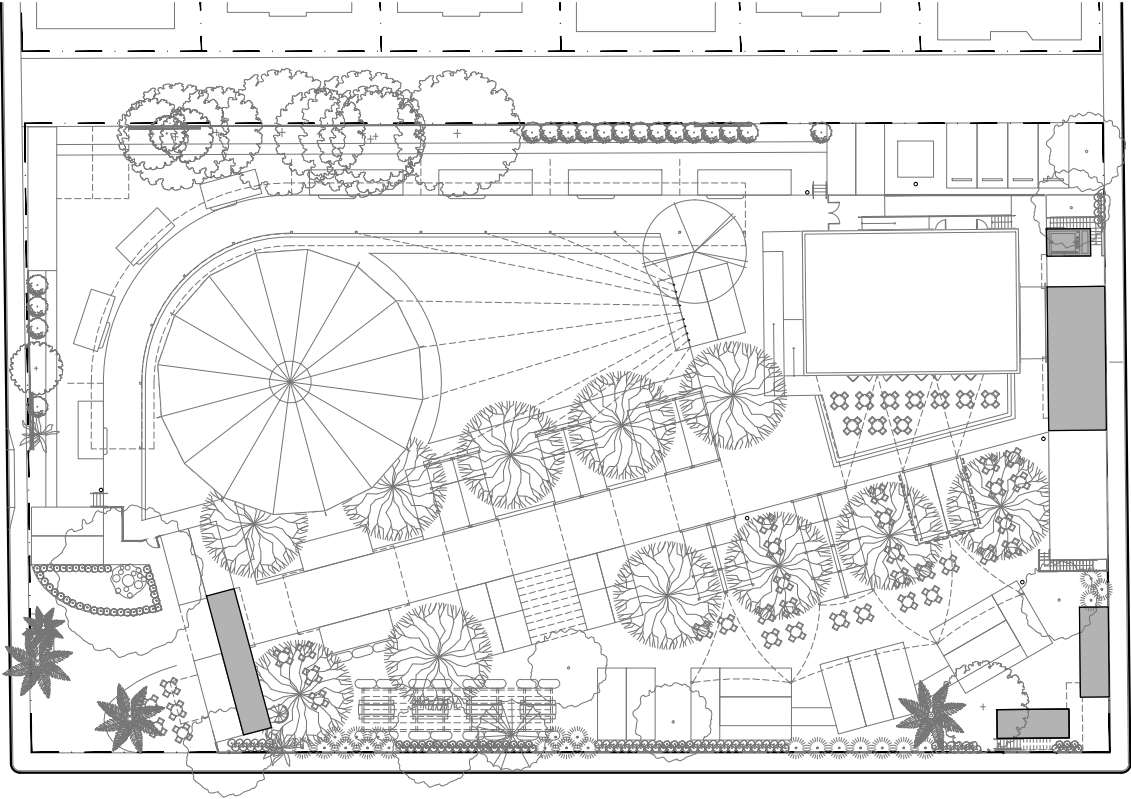
EDUARDO A. PARRA-REINOLDO, AIA
ARCHITECT

CDS

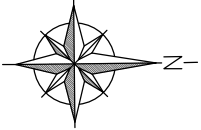
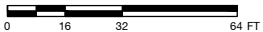
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING
2110 CORAL WAY, SUITE 722
MIAMI, FL 33145
eduardo@cds-ny.com

SECOND LEVEL FLOOR AREA : 1,412.3 SF

GROUND LEVEL FLOOR AREA : 10,603.9 SF



TOTAL UNIT SIZE: 12,016.2 SF



TITLE: FAR CALCULATION PLAN

REVISIONS:

PROJECT: NOBE YARD

SCALE: AS SHOWN

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 03.02.2018

SHEET: A-106

JOB No: 17004

SEAL & SIGNATURE

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CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



EDUARDO A. PARRON PERANEZ, AIA
ARCHITECT

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



COLLINS AVE (EAST) ELEVATION



81st STREET (SOUTH) ELEVATION



COLLINS COURT (WEST) ELEVATION



82st STREET (NORTH) ELEVATION



SITE ELEVATIONS

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
info@cdsdesign.com

EDUARDO A. PARRA-BERNARDEZ, AIA
ARCHITECT

SEAL & SIGNATURE

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CONSENT OF THE ARCHITECT.

JOB No: 17004

PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140, COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 03.02.2018

REVISIONS:

SITE
ELEVATIONS

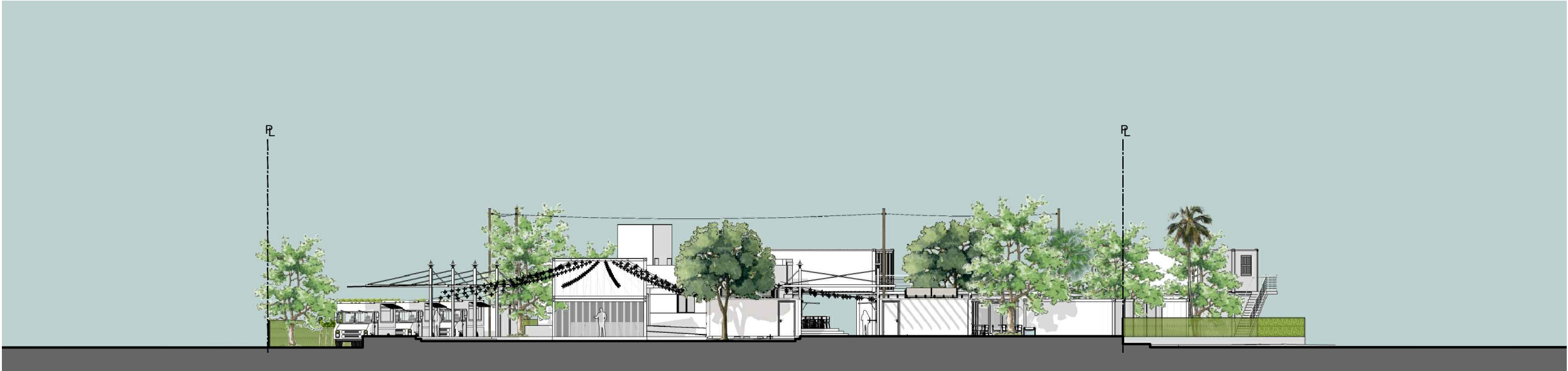
SCALE: AS SHOWN

A-107

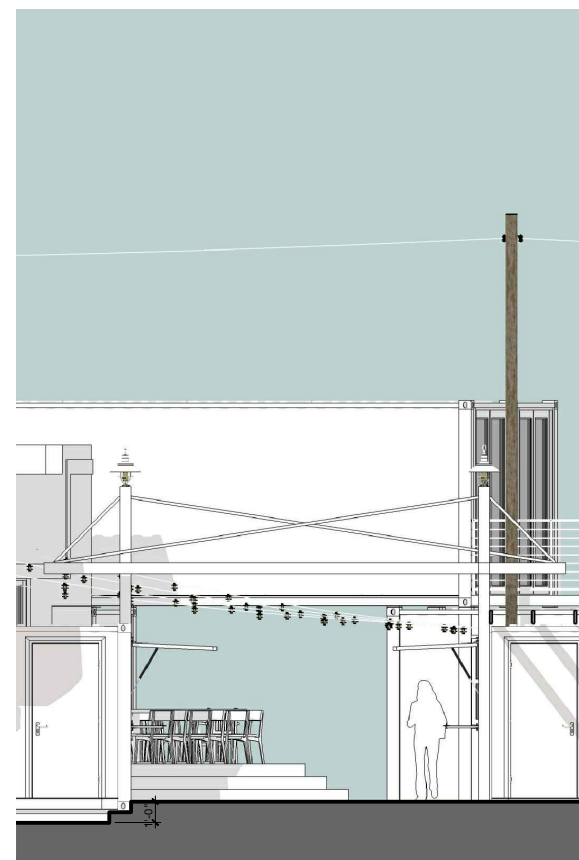
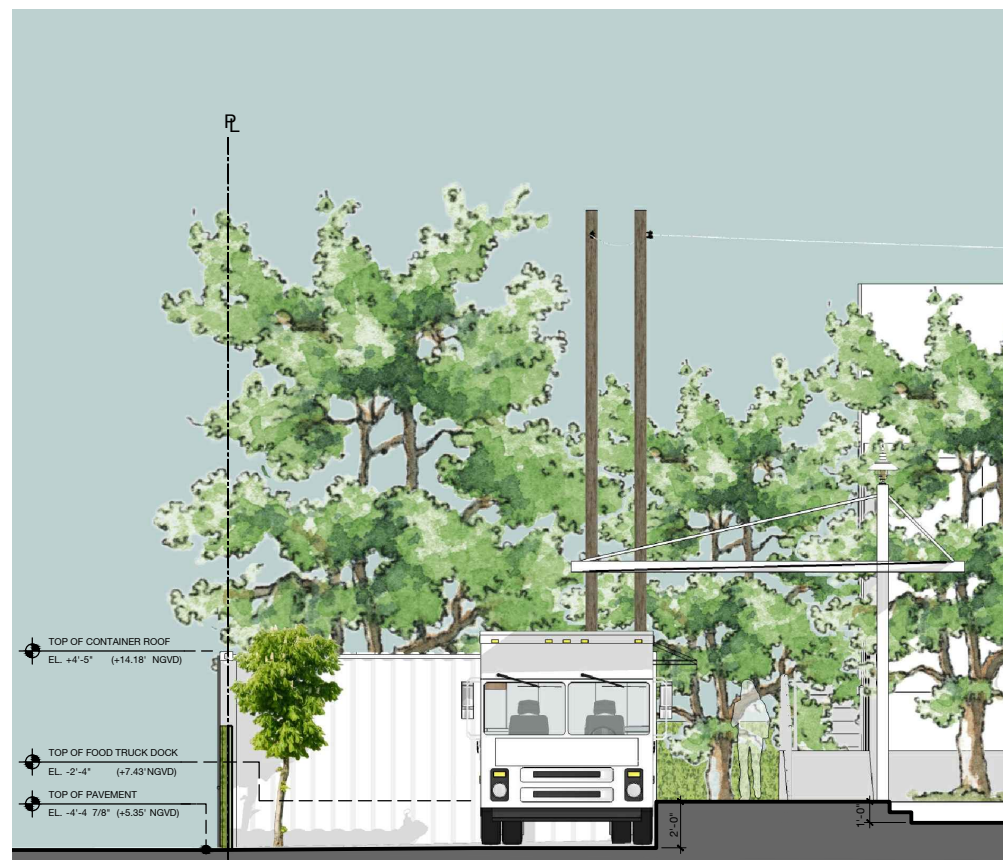
SHEET:



SECTION 1-1



SECTION 2-2



1
A-108 SITE SECTIONS

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2103 CORAL WAY, SUITE 722
MIAMI, FL 33145
305.300.7438
eduardo@eds-ep.com

SEAL & SIGNATURE

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EDUARDO A. PARDO-FERNANDEZ, AIA
APR 24/2002

JOB No: 17004

PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH , FL 33141

ISSUED ON: 03.02.2018

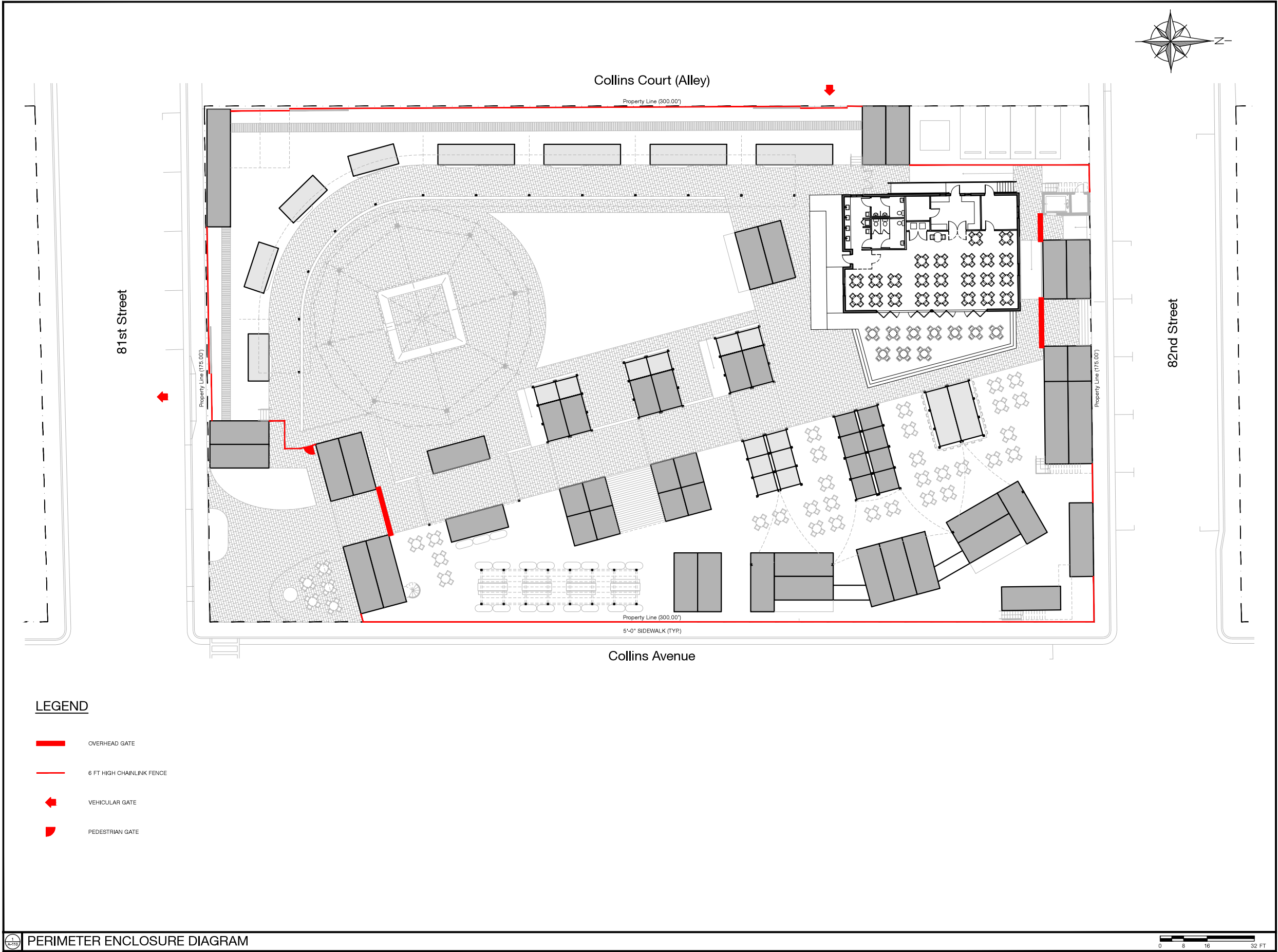
REVISIONS:

PARTIAL SITE
SECTIONS

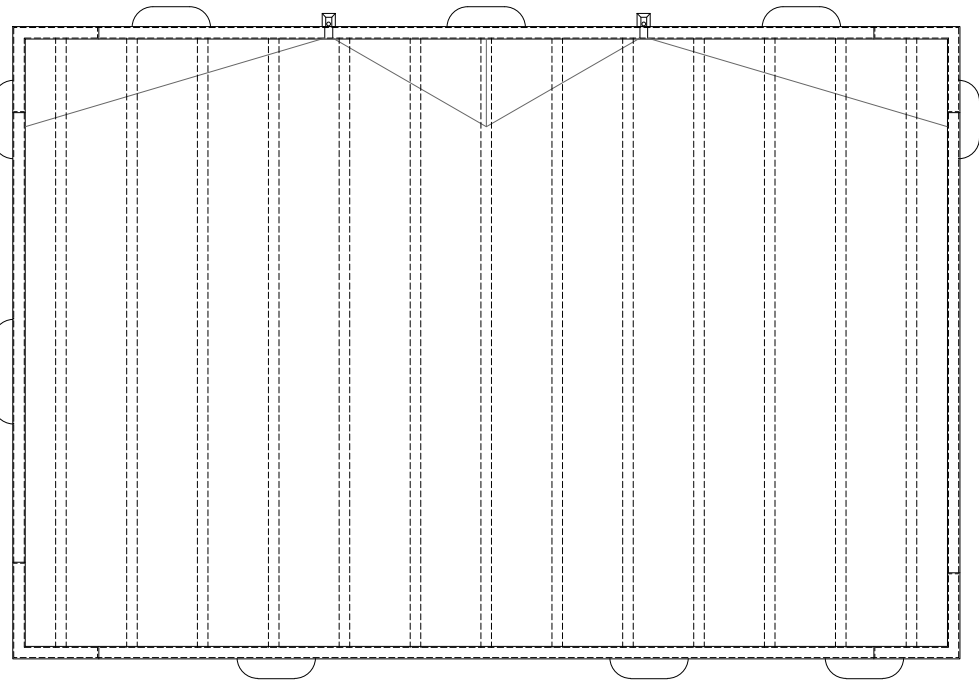
SCALE: AS SHOWN

A-109

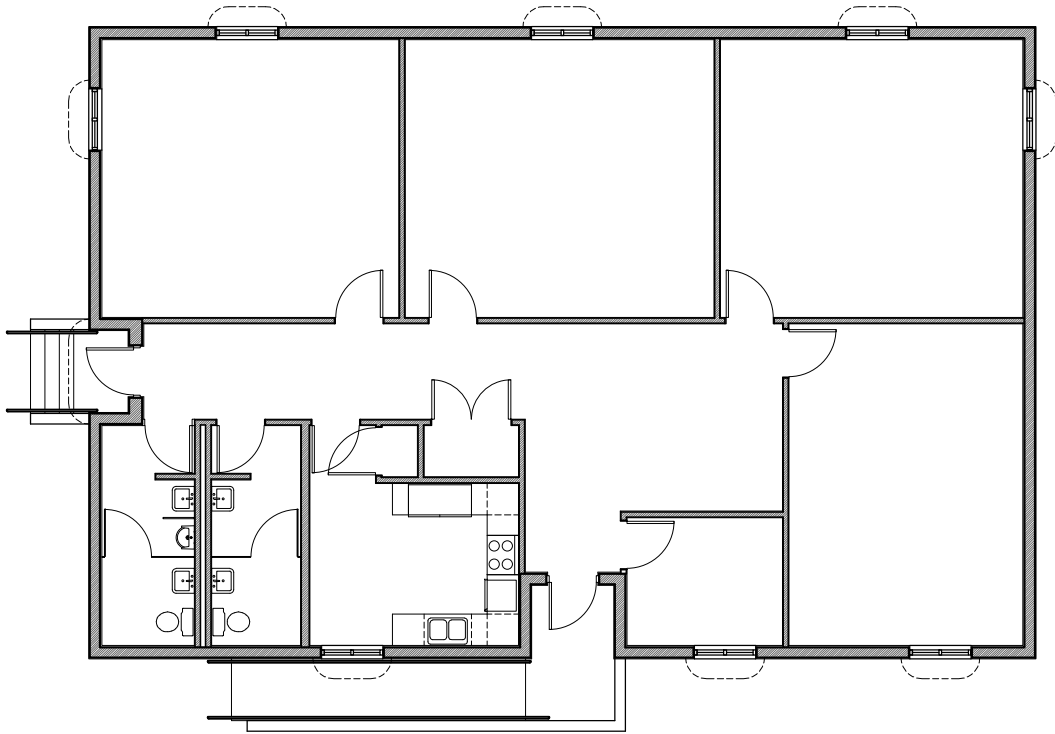
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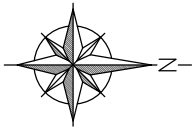
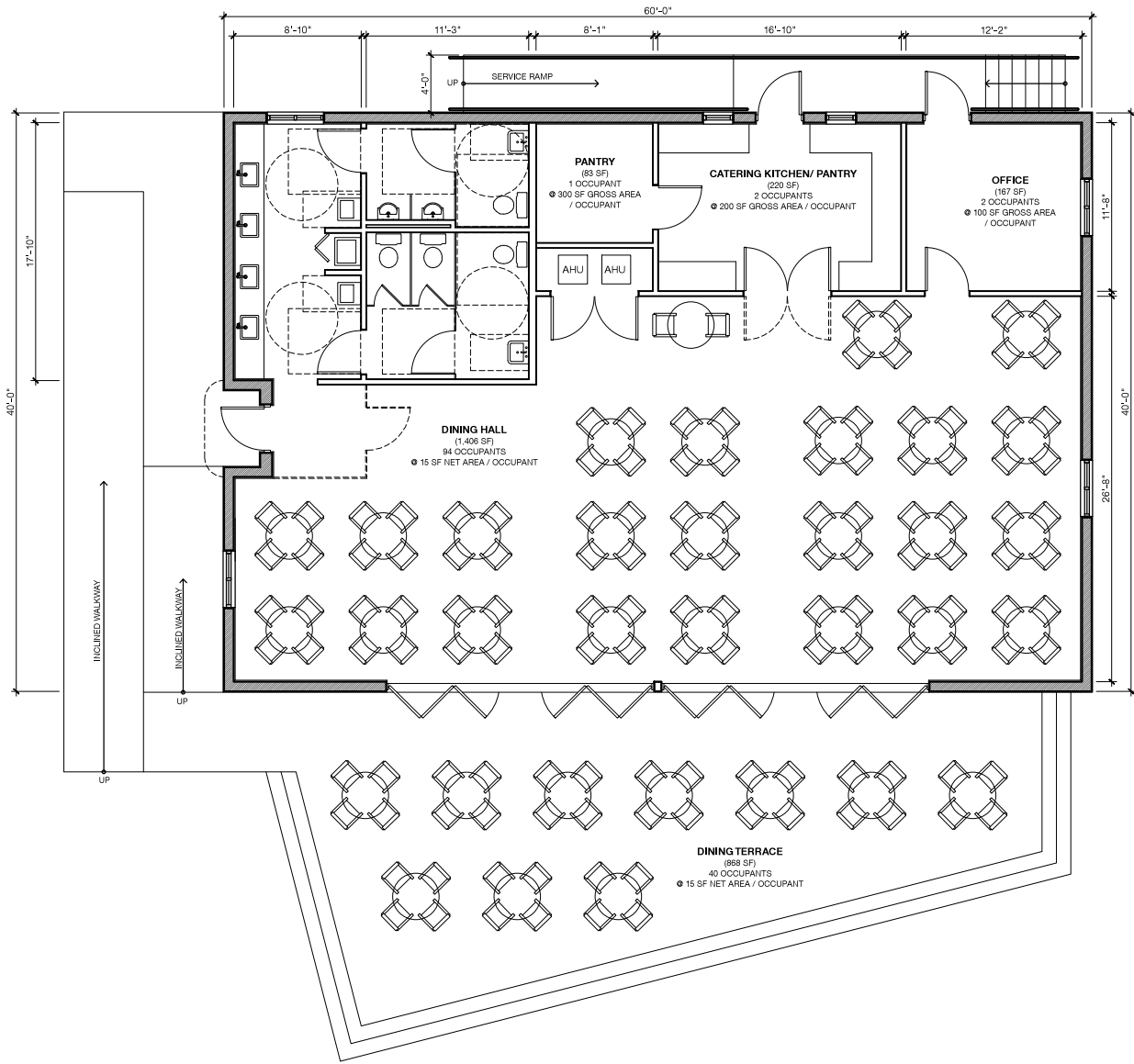
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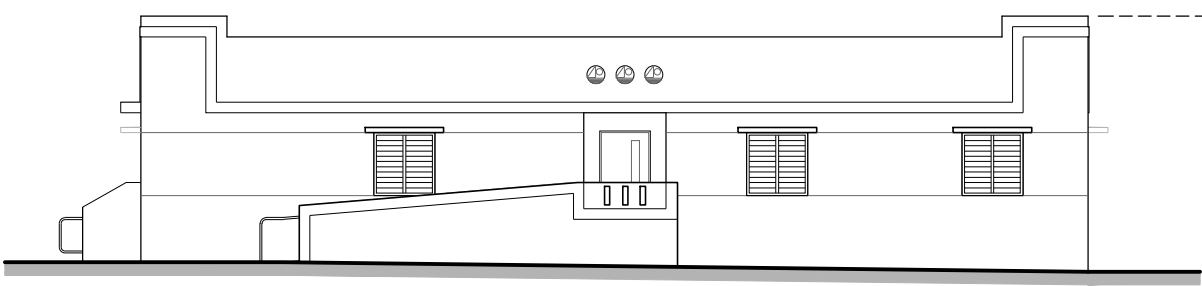


EXISTING PLAN

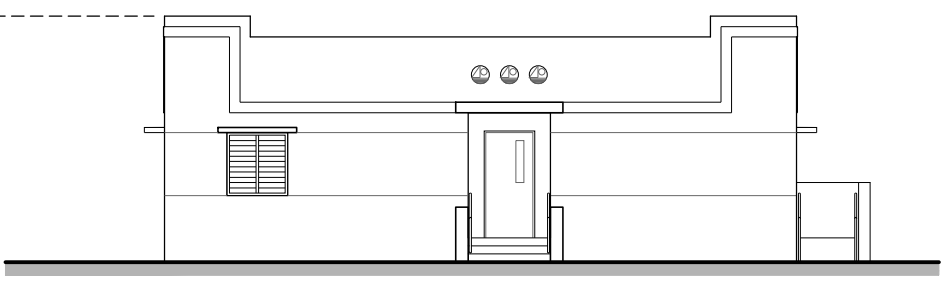


PROPOSED PLAN

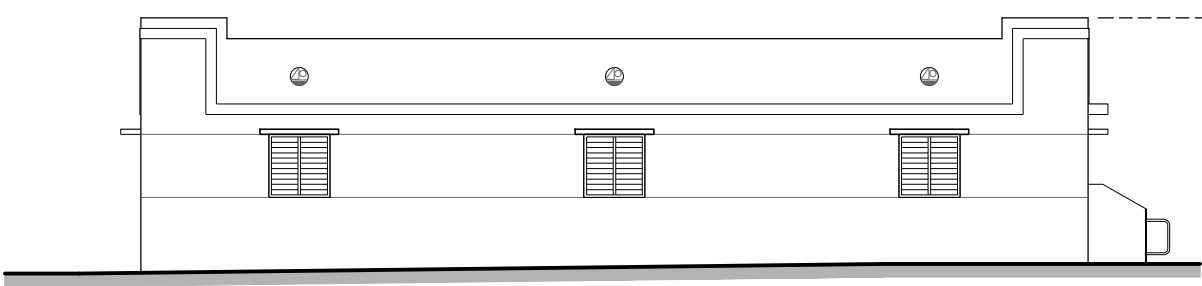




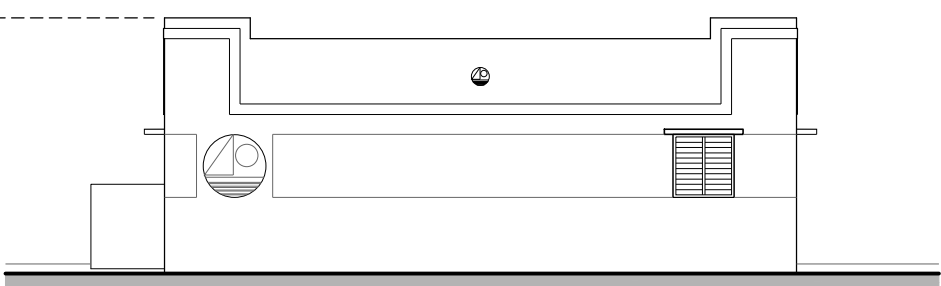
EXISTING EAST ELEVATION



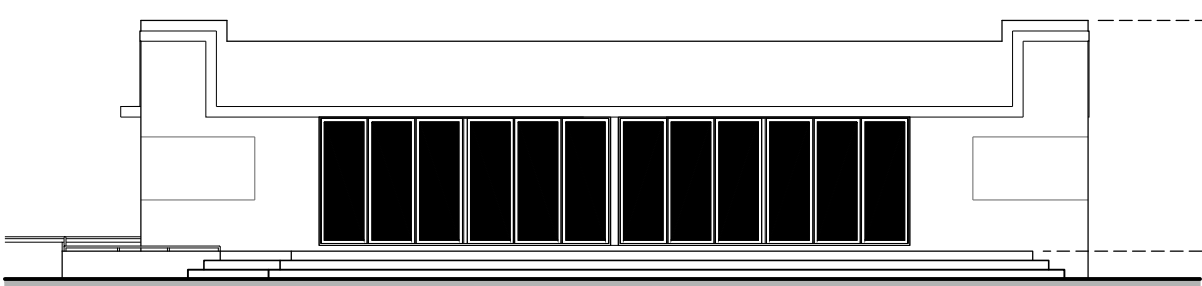
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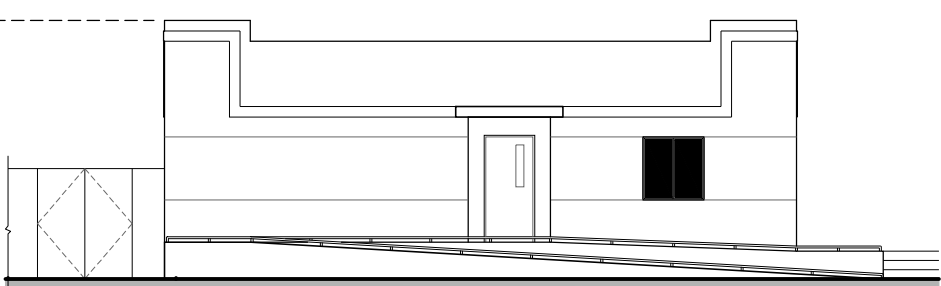
EXISTING WEST ELEVATION



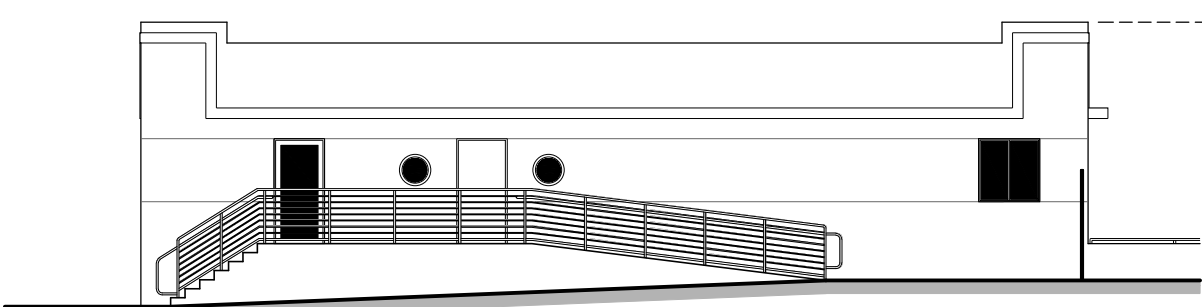
EXISTING NORTH ELEVATION



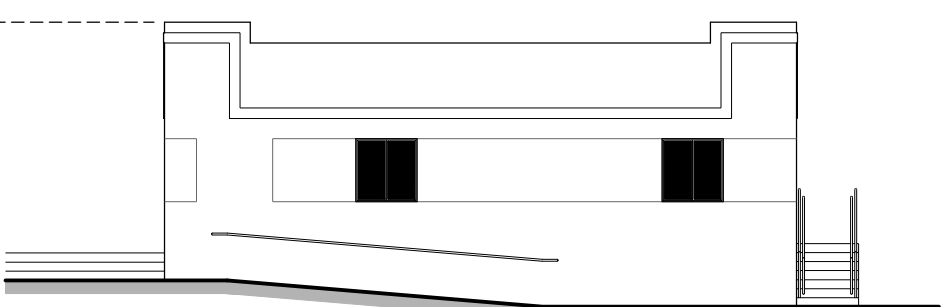
PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



CLASSROOM BUILDING EXISTING AND PROPOSED ELEVATIONS



TITLE

CLASSROOM
BUILDING
ELEVATIONS

REVISIONS:

PROJECT:

NOBE YARD

SCALE:

3/16"=1'-0"

SHEET:

A-401

CLIENT:

NORTH BEACH YARD LLC

ADDRESS:

8106 8128 8140 COLLINS AVE
MIAMI BEACH FL 33141

ISSUED ON:

03.02.2018

JOB No: 17004

SEAL & SIGNATURE

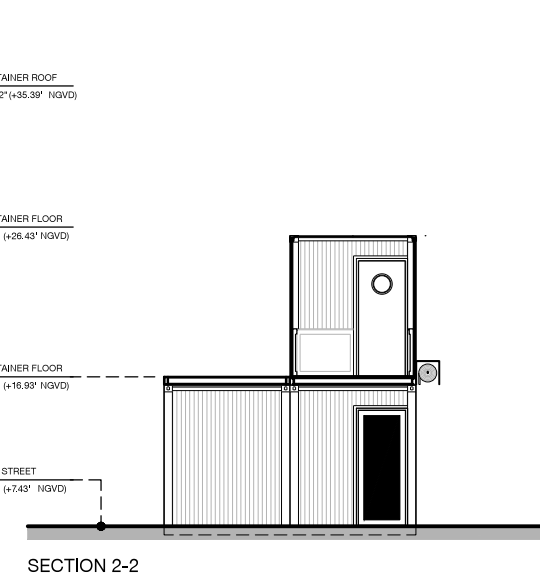
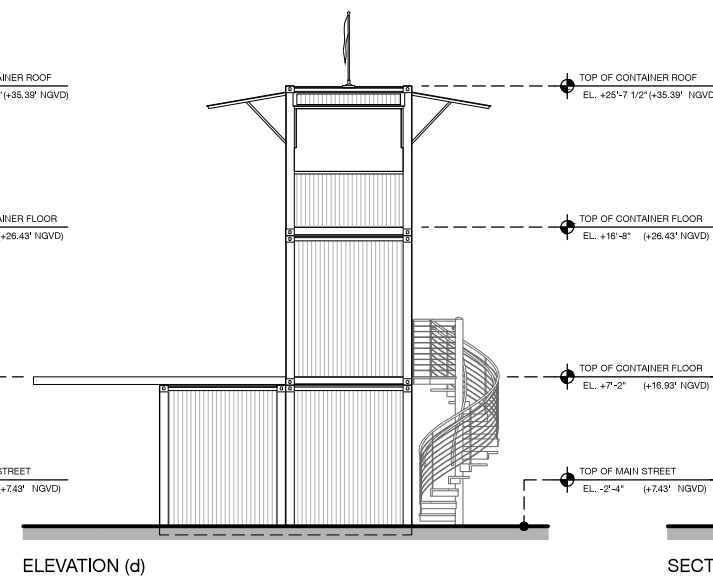
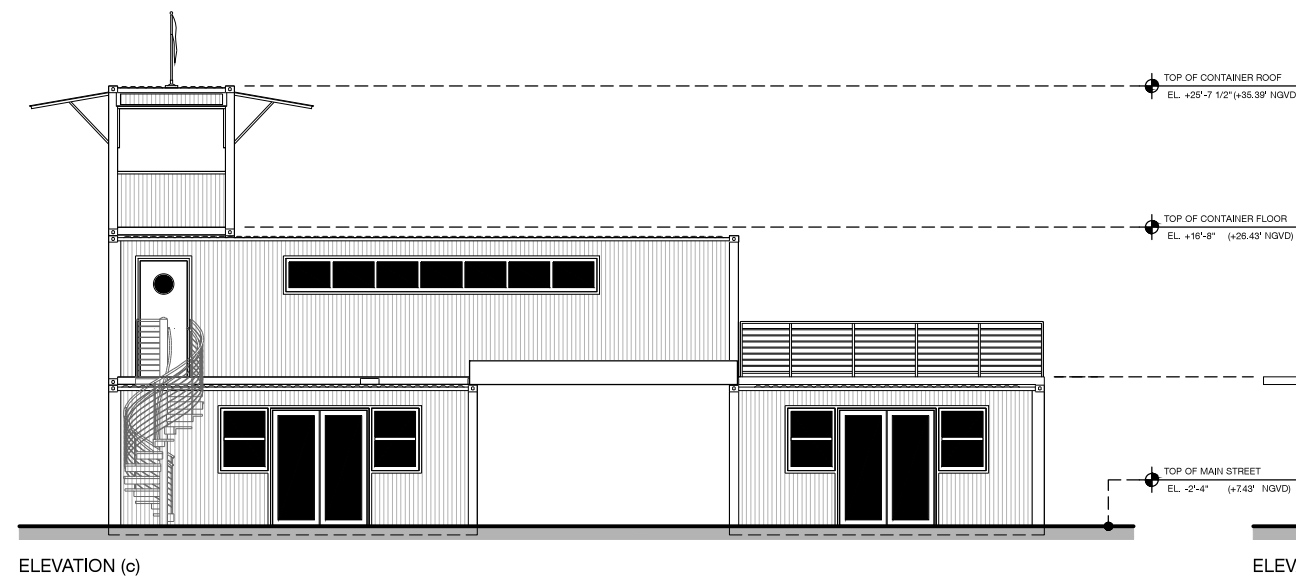
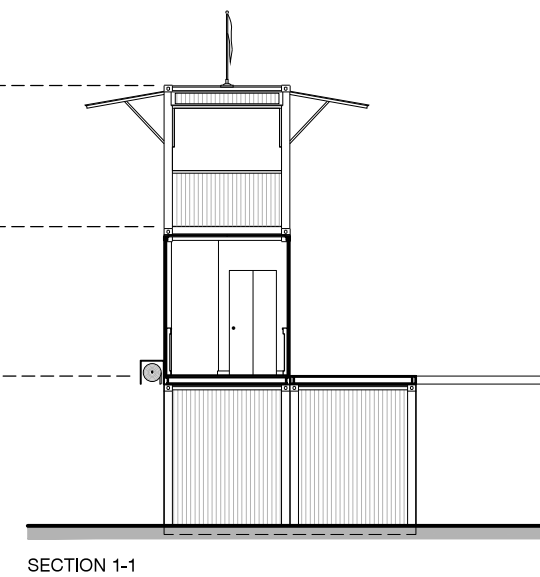
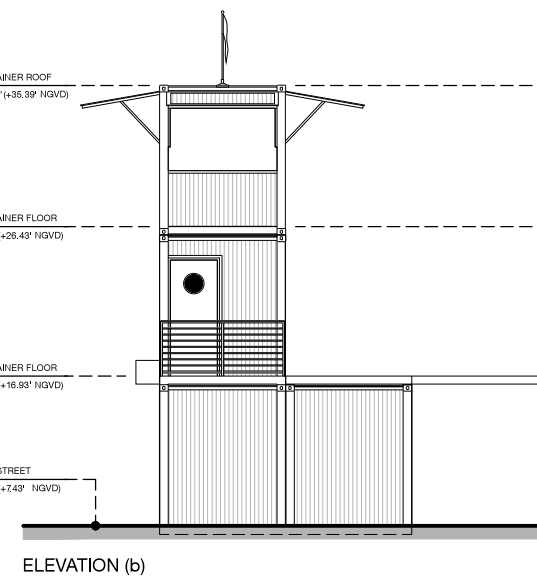
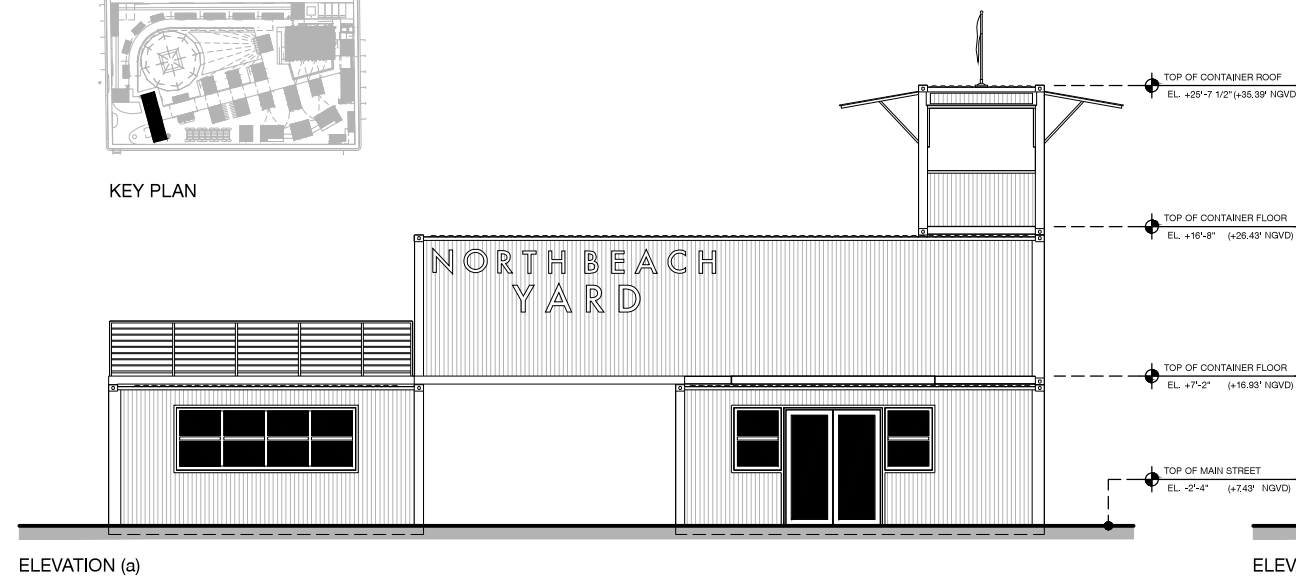
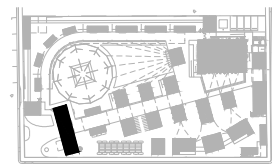
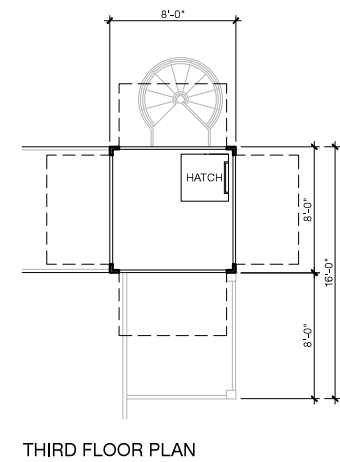
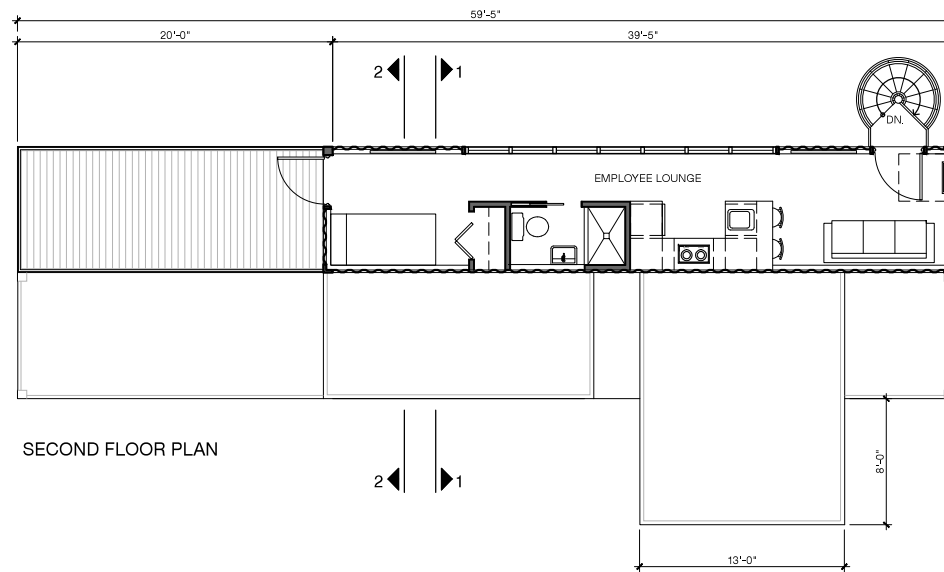
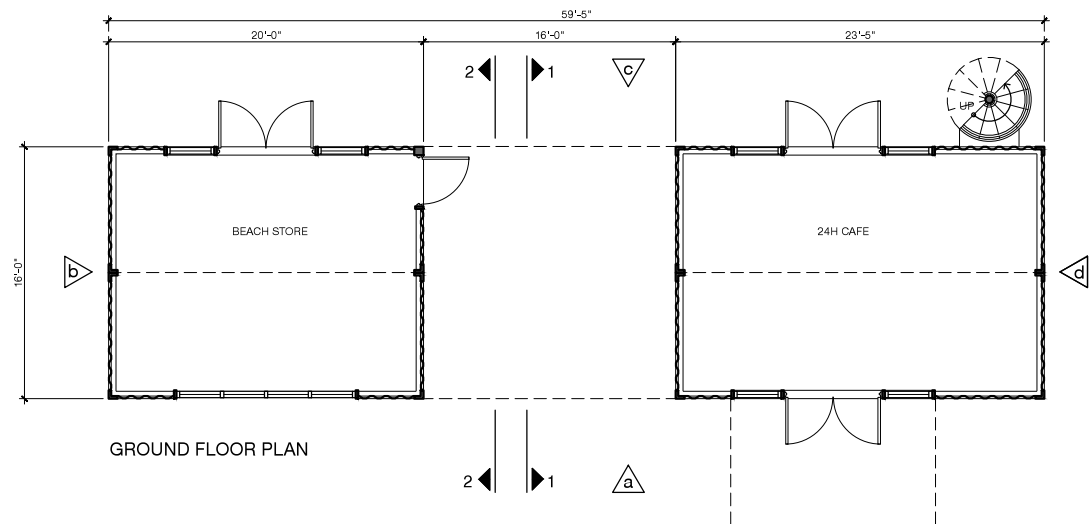
CONTEMPORARY ARCHITECTS
ARCHITECTURE AND PLANNING

CDS

EDUARDO A. ANDRÉS STANKEZ, AIA
Architect

2100 CORAL WAY, SUITE 122
MIAMI, FL 33145
305.500.5488
eduardo@cds-ny.com

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THE ARCHITECT'S
CONSENT OF THE ARCHITECT.



SOUTH GATE (BEACH STORE - 24H CAFE - EMPLOYEE LOUNGE)

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

SEAL & SIGNATURE

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JOB No: 17004

PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH , FL 33141

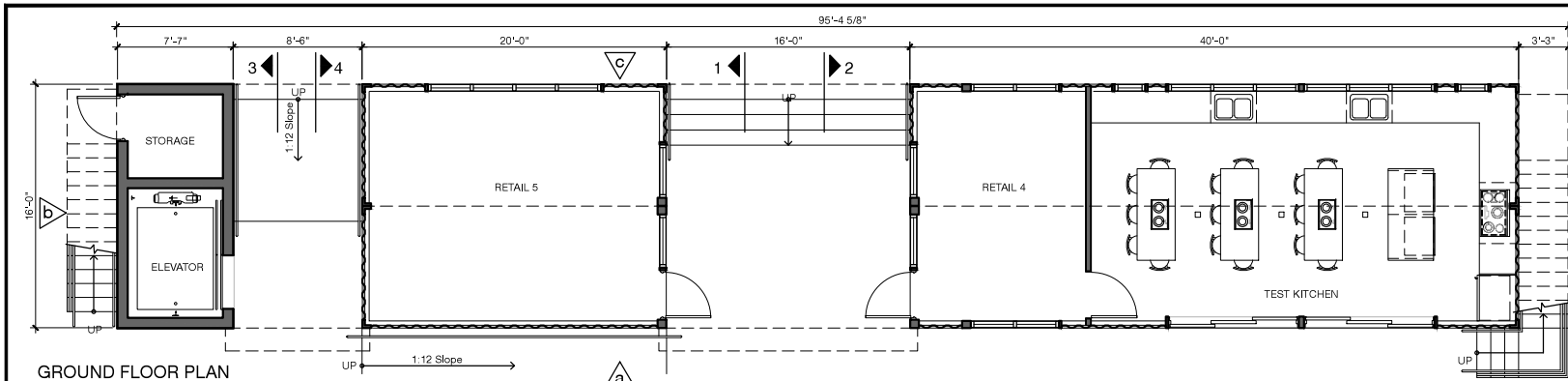
ISSUED ON: 03.02.2018

REVISIONS:

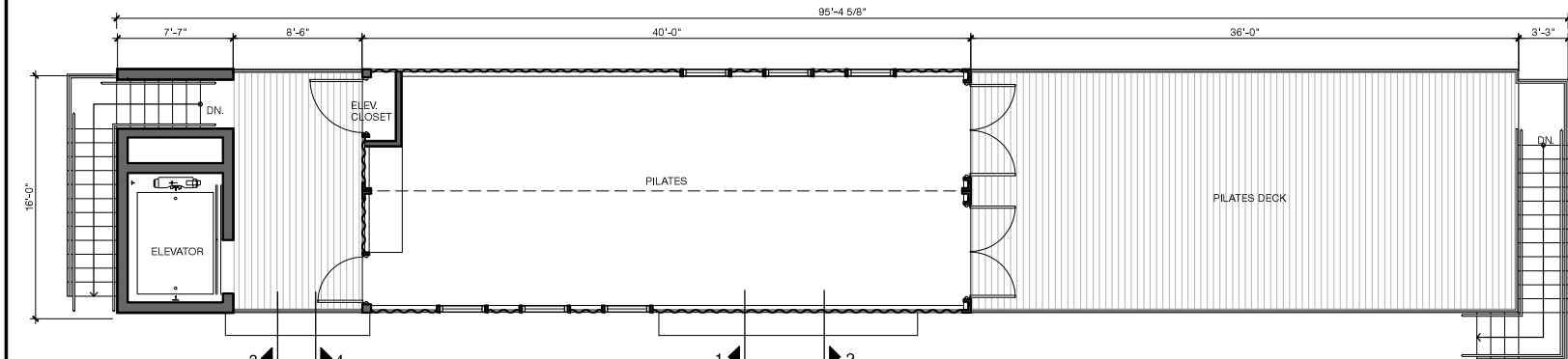
CONTAINER STRUCTURES

SCALE: 3/16"=1'-0"

A-701

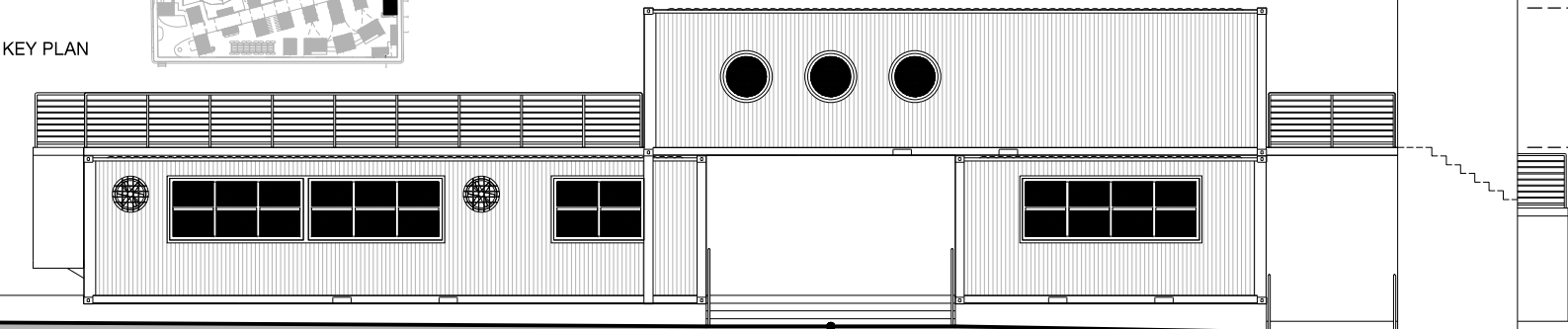
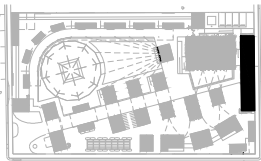


GROUND FLOOR PLAN

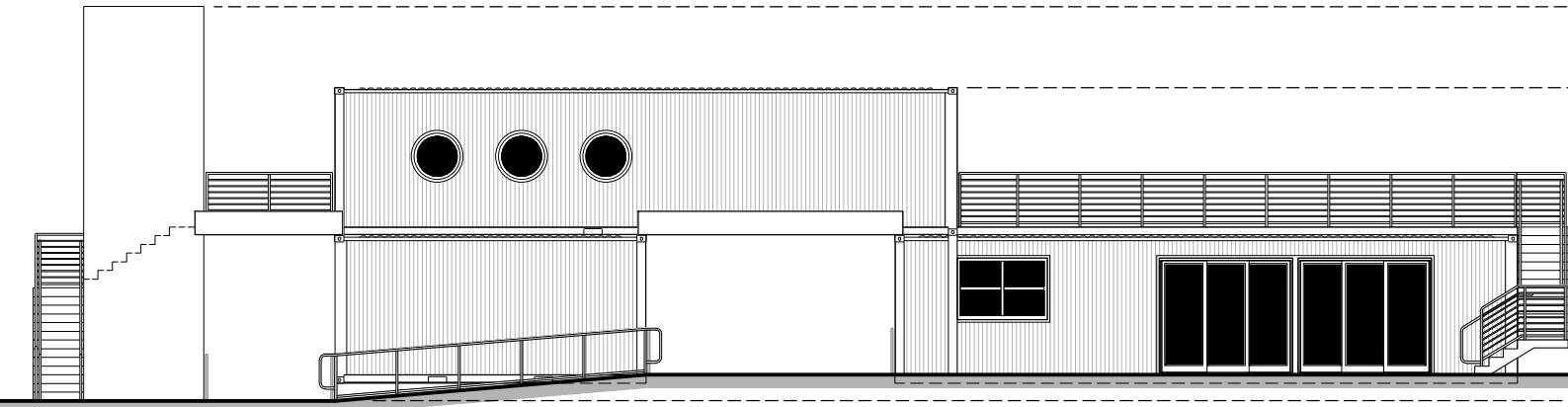


SECOND FLOOR PLAN

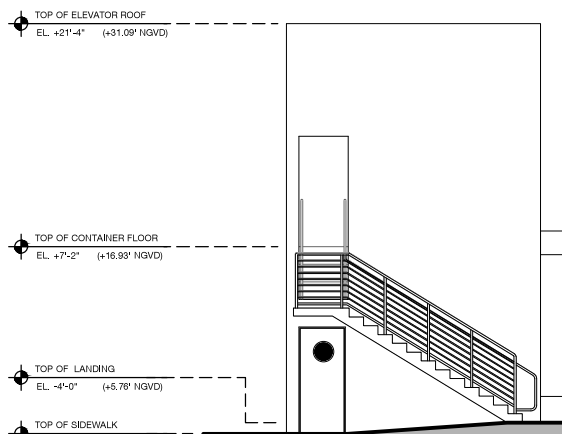
KEY PLAN



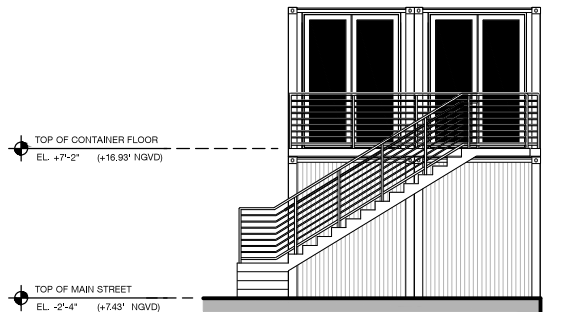
ELEVATION (a)



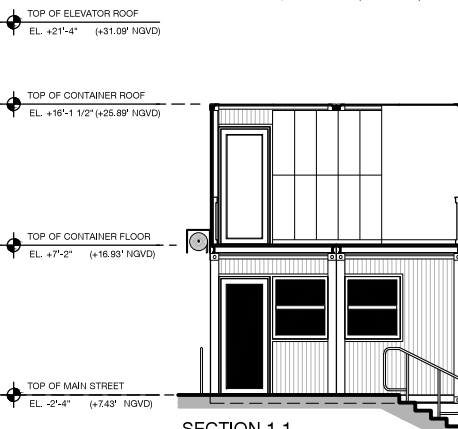
ELEVATION (c)



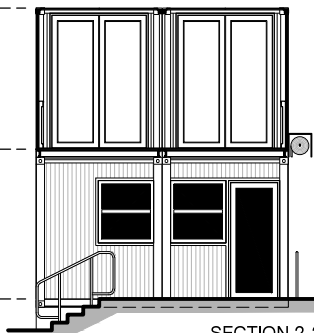
ELEVATION (b)



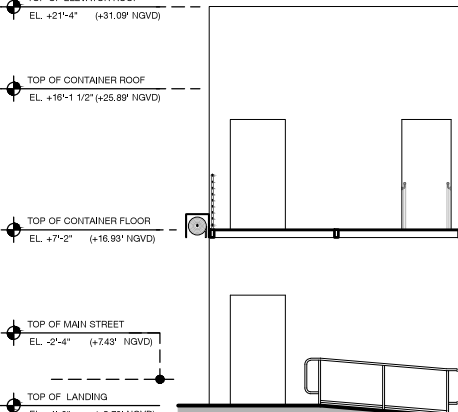
ELEVATION (d)



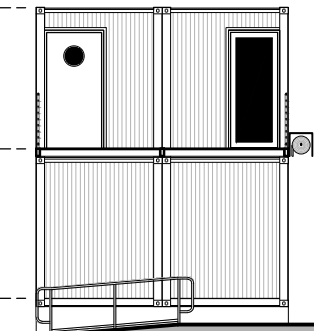
SECTION 1-1



SECTION 2-2



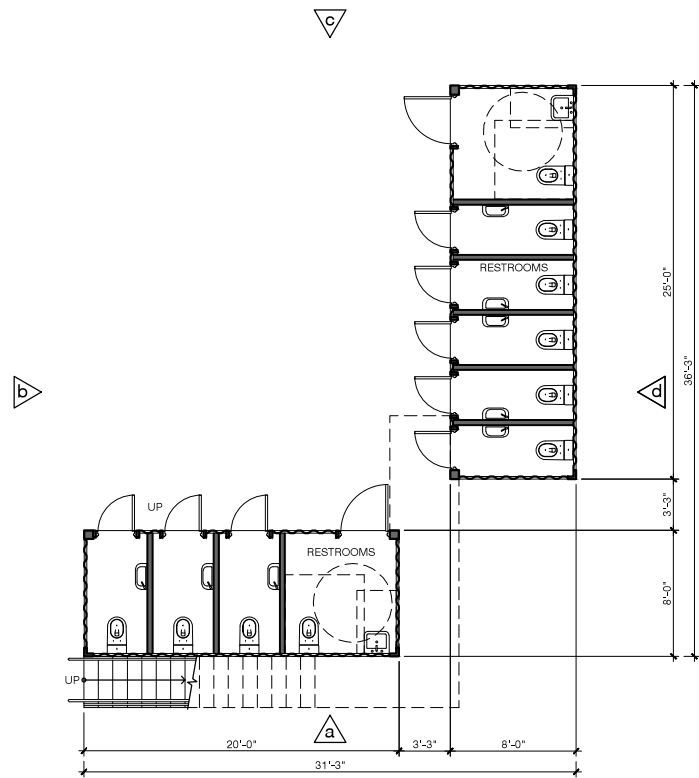
SECTION 3-3



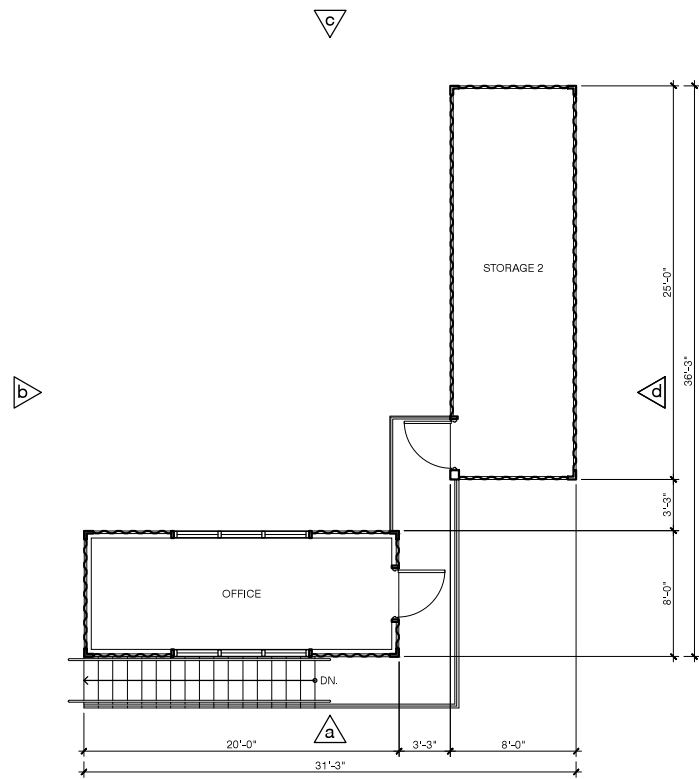
SECTION 4-4

1 NORTH GATE (ELEVATOR - RETAIL 4 & 5 - TEST KITCHEN - PILATES)

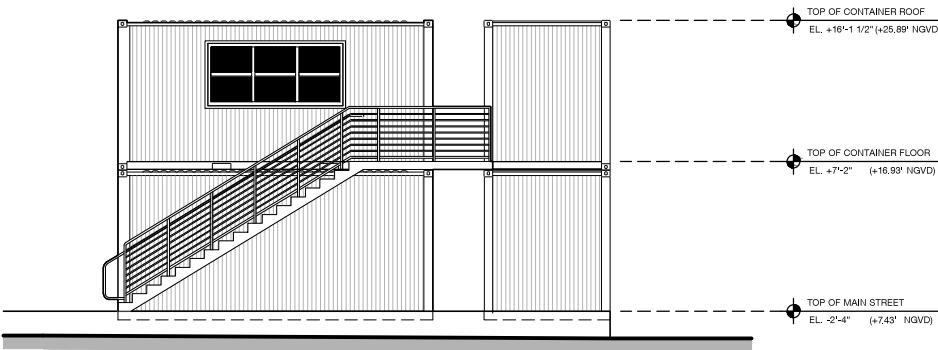




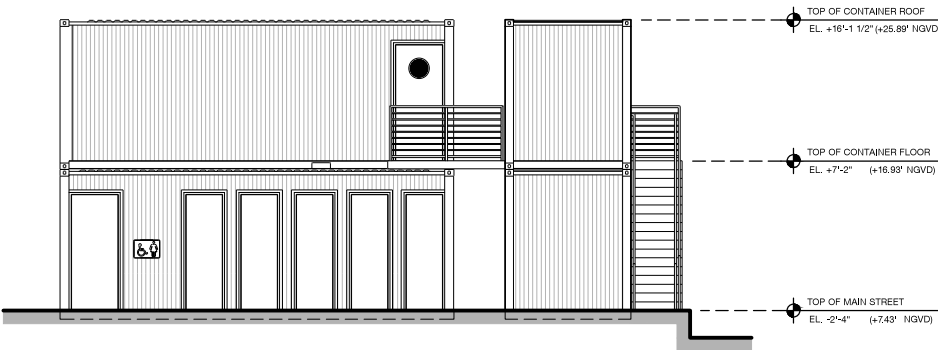
GROUND FLOOR PLAN



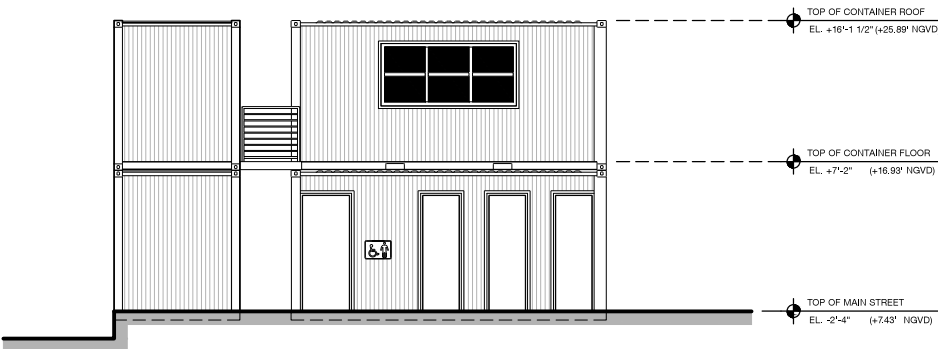
SECOND FLOOR PLAN



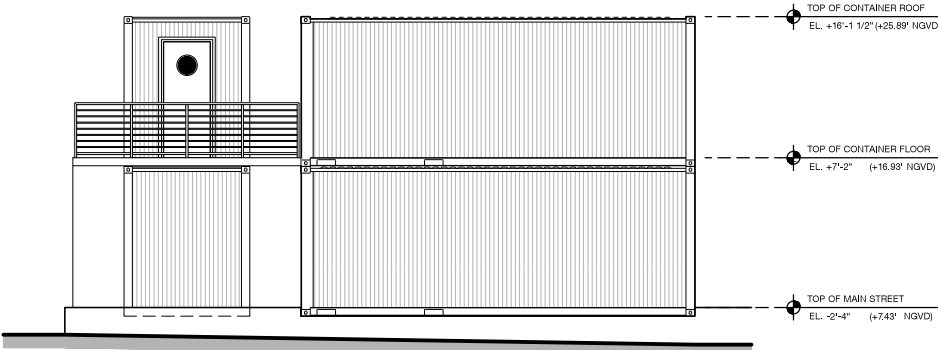
ELEVATION (a)



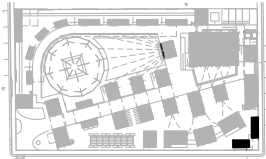
ELEVATION (b)



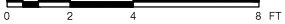
ELEVATION (c)



ELEVATION (d)



KEY PLAN



1 OFFICE - STORAGE 2 & RESTROOMS

CONTAINER STRUCTURES
ARCHITECTURE AND PLANNING

CDS

2100 CORAL WAY, SUITE 122
MIAMI, FL 33145
305.800.5488
cda@cdsarch.com

SEAL & SIGNATURE

EDUARDO A. RAMOS-HERNANDEZ, AIA
A166682

REVISIONS:

CONTAINER
STRUCTURES

PROJECT:

NOBE YARD

CLIENT:

NORTH BEACH YARD LLC

ADDRESS:

8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON:

03.02.2018

SCALE:

3/16"=1'-0"

SHEET:

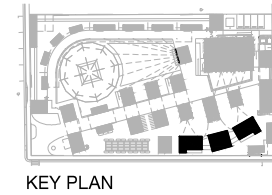
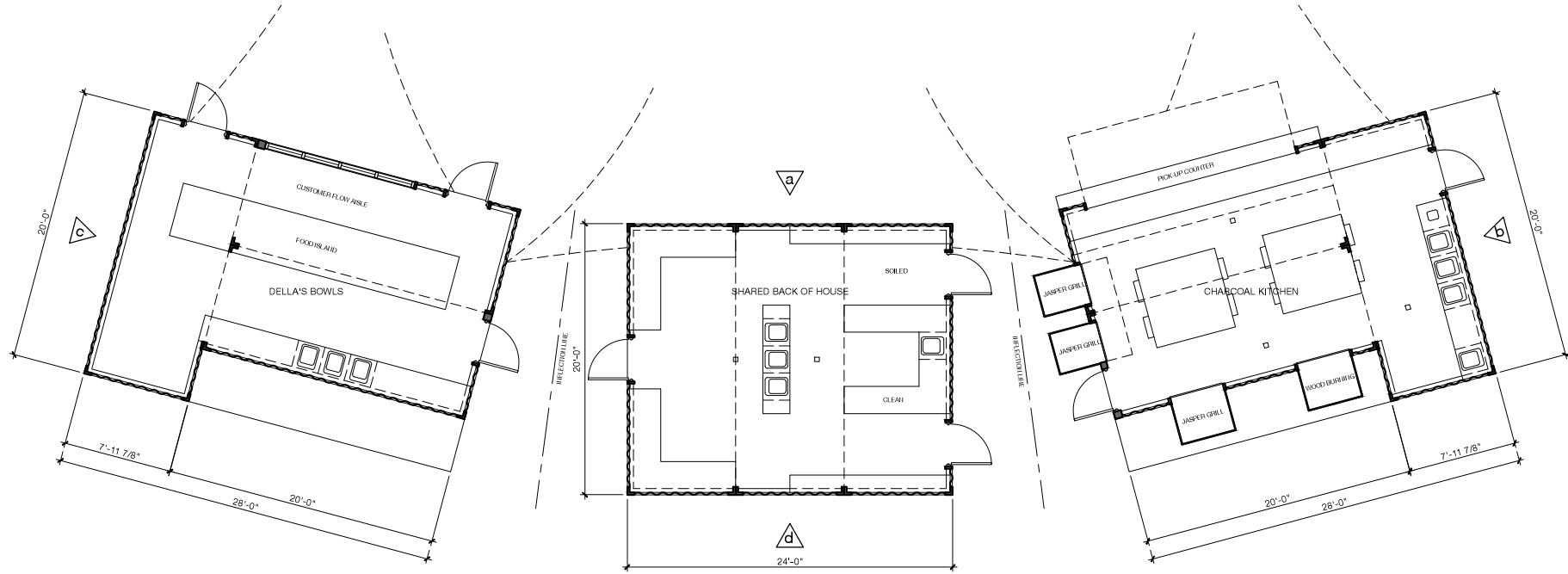
A-703

NOTE:

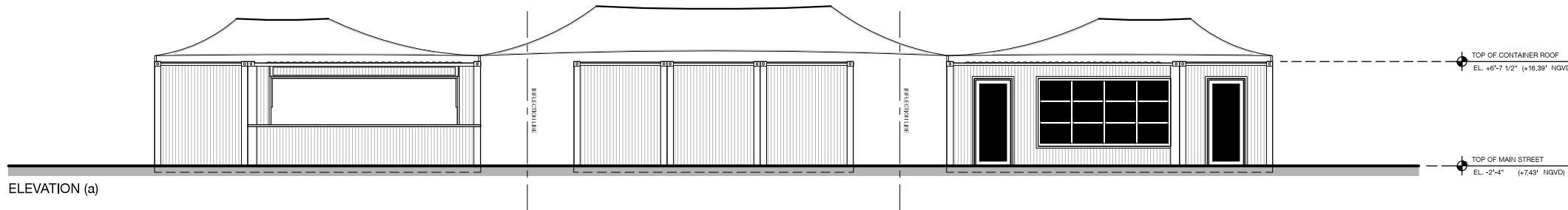
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JOB No:

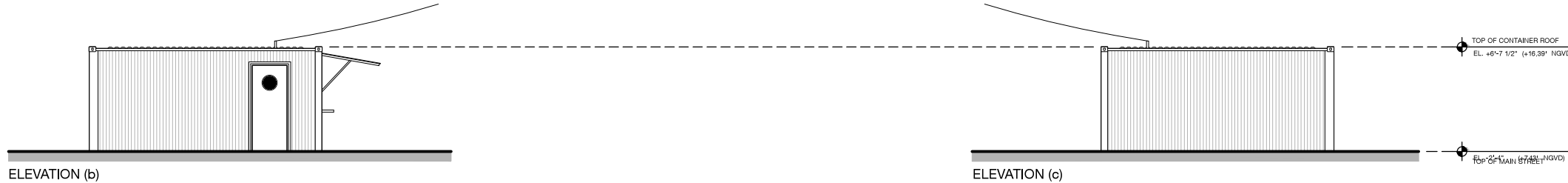
17004



FLOOR PLAN

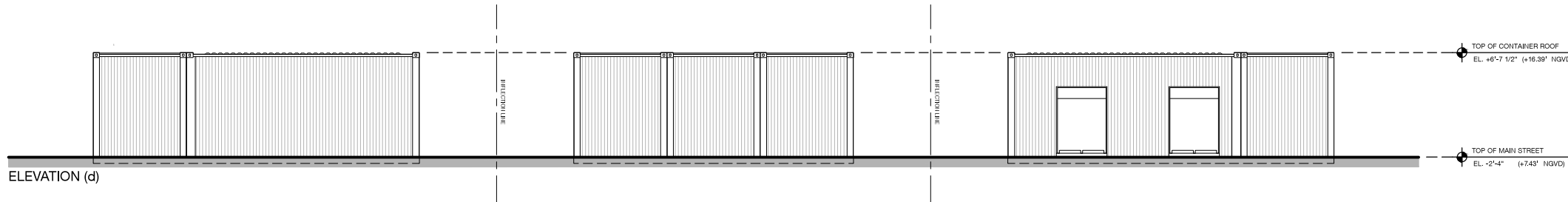


ELEVATION (a)



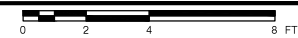
ELEVATION (b)

ELEVATION (c)



ELEVATION (d)

DELLA'S BOWLS - SHARED BACK OF HOUSE - CHARCOAL KITCHEN



CONTAINER STRUCTURES AND PLANNING

CDS

2100 CORAL WAY SUITE 122
MIAMI, FL 33145
305.800.5438
info@cdsarch.com

SEAL & SIGNATURE

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EDUARDO A. RAMOS-HERNANDEZ, AIA
A196682

PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 03.02.2018

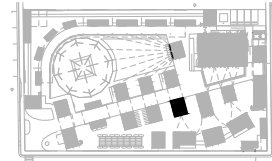
JOB No: 17004

TITLE: CONTAINER STRUCTURES

REVISIONS:

SCALE: 3/16"=1'-0"

SHEET: A-704



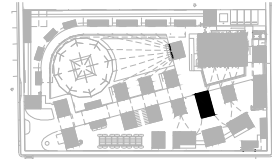
KEY PLAN



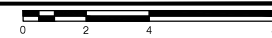
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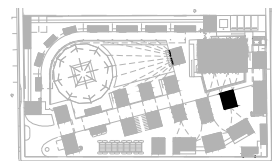
2103 CORAL WAY, SUITE 722
MIAMI, FL 33145
305.300.7438
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KEY PLAN



JOB No: 17004

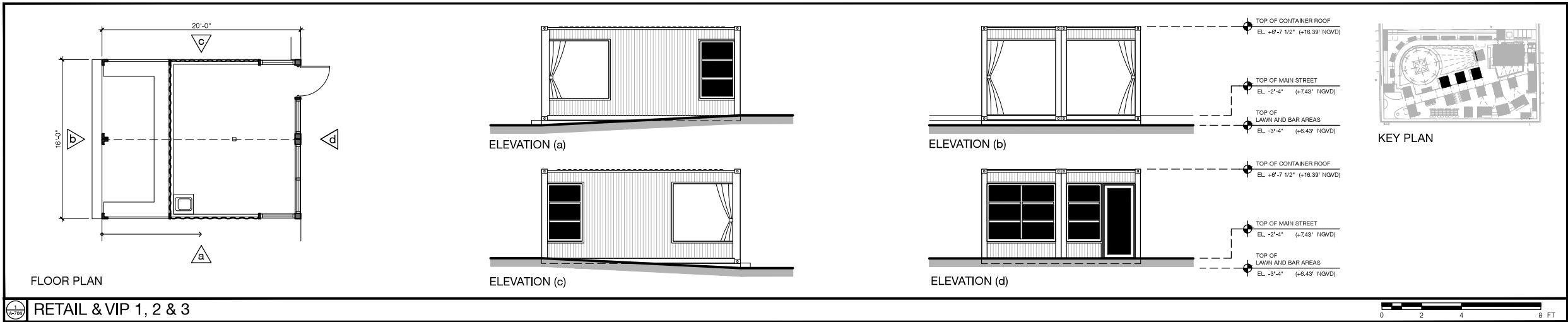


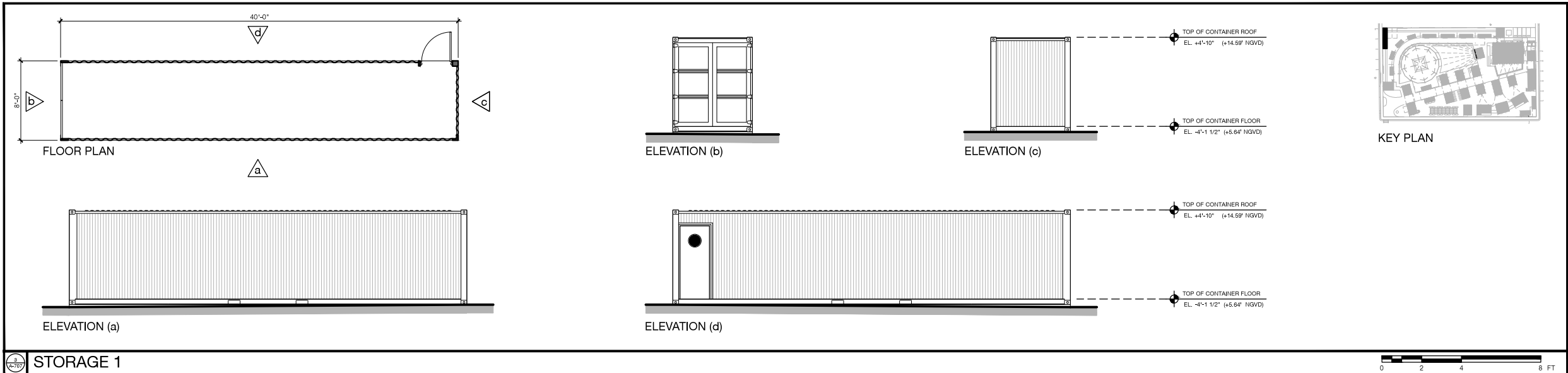
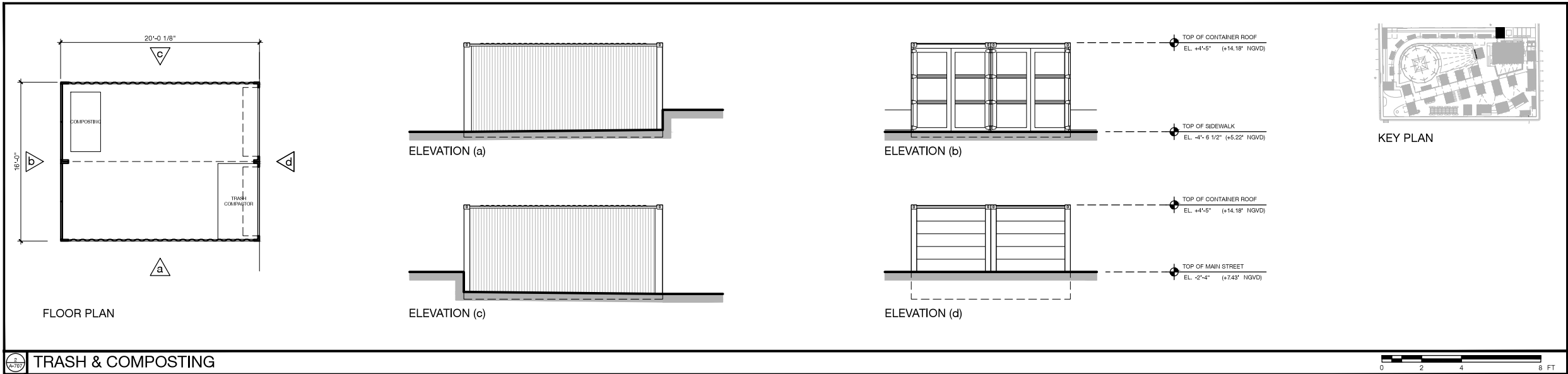
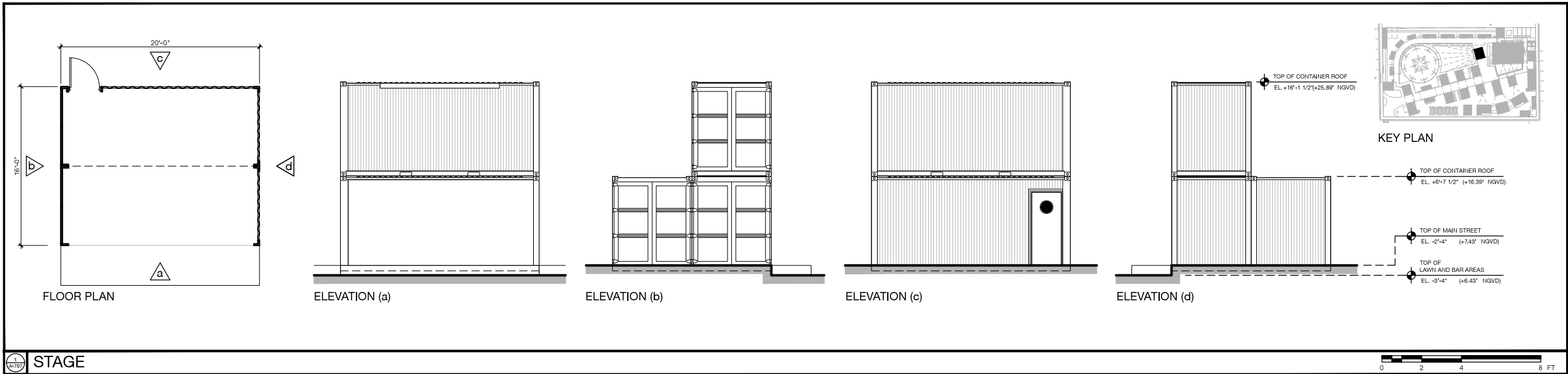
KEY PLAN



A-705

SHEET:







FLOOR PLAN



ELEVATION (a)



ELEVATION (b)



KEY PLAN



FLOOR PLAN



ELEVATION (a)



ELEVATION (b)



KEY PLAN



3
A-708

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PROJECT: NOBE YARD

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH , FL 33141

ISSUED ON: 03.02.2018

JOB No: 17004

REVISIONS:

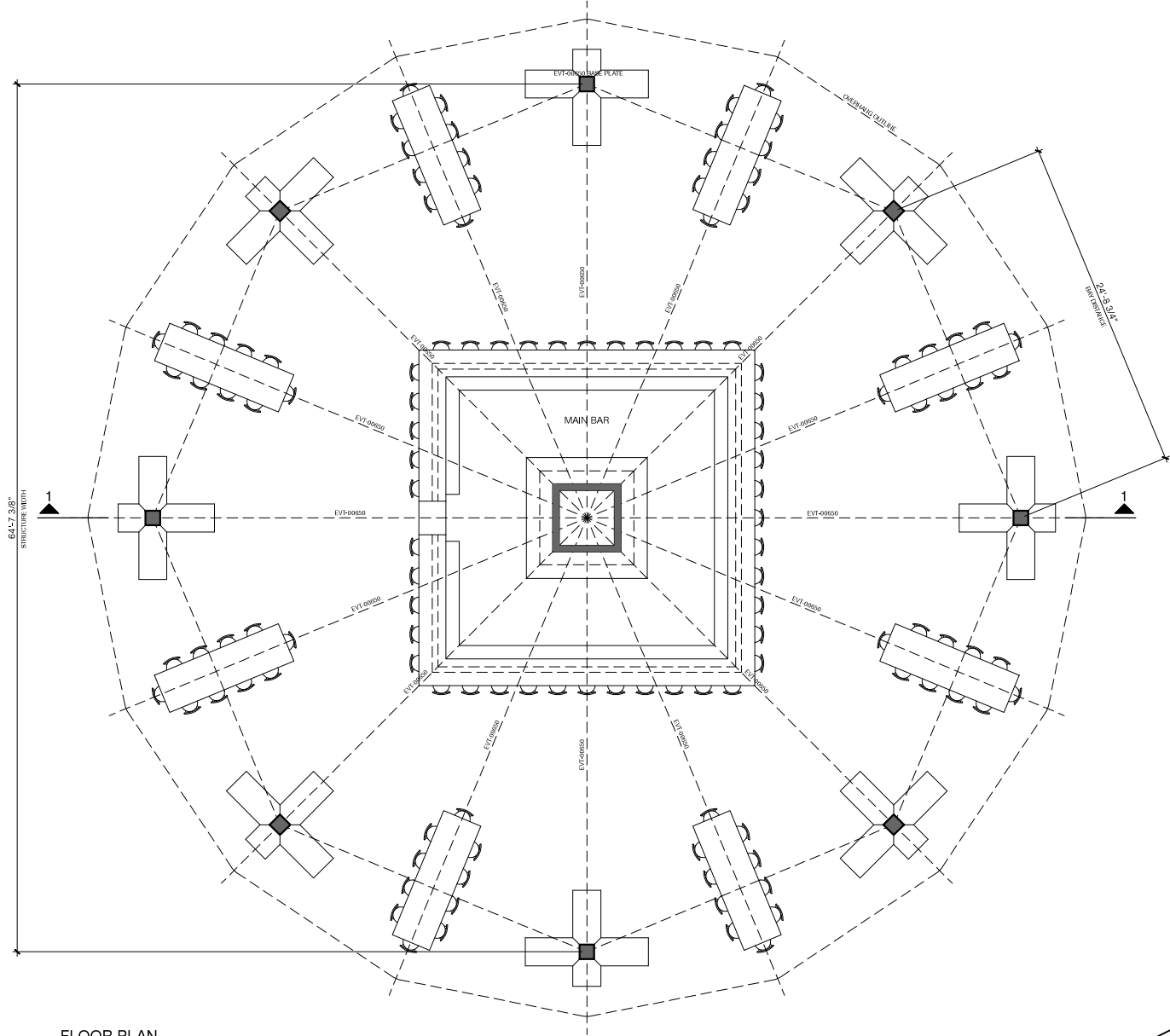
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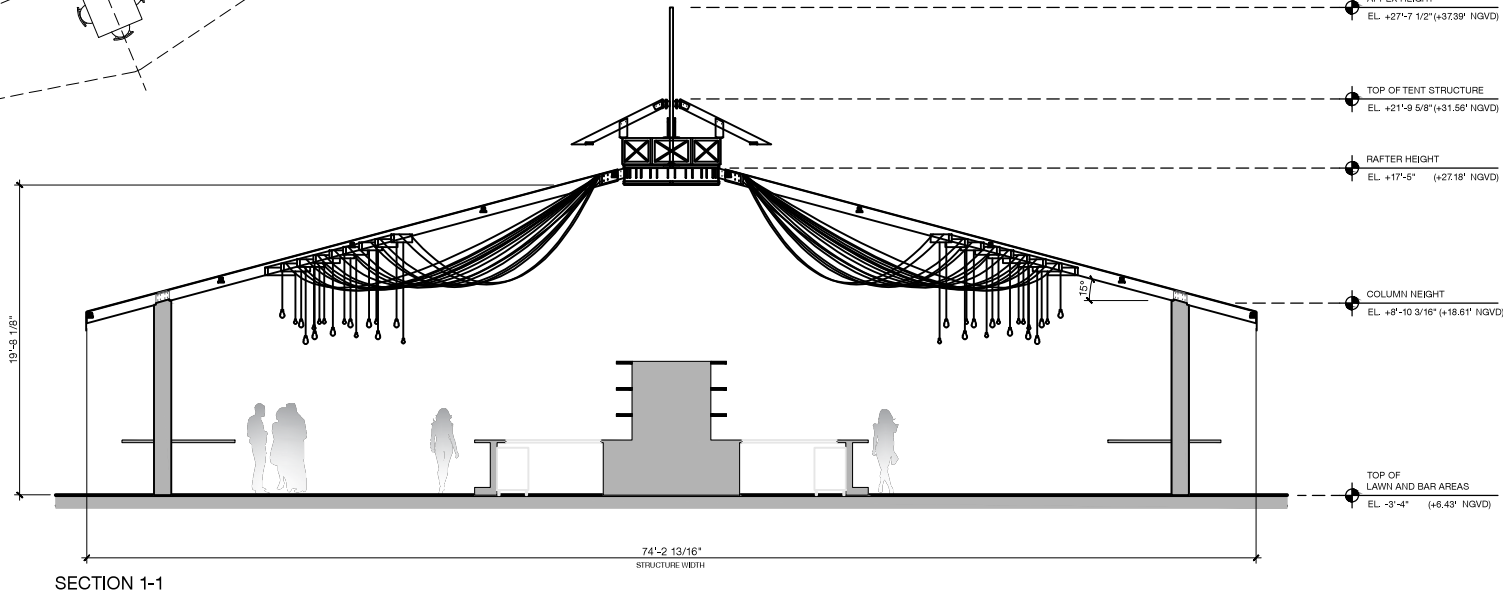
SHEET: A-708

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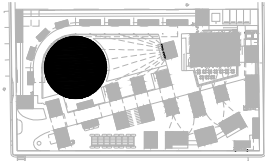
EDUARDO A. PARDO-FERRINDEZ, ALA
AF86482



FLOOR PLAN



SECTION 1-1



KEY PLAN





TITLE: ILLUSTRATIONS

PROJECT:

NOBE YARD

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SCALE: N.T.S.

SHEET:

CLIENT: NORTH BEACH YARD LLC

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 03.02.2018

JOB No: 17004

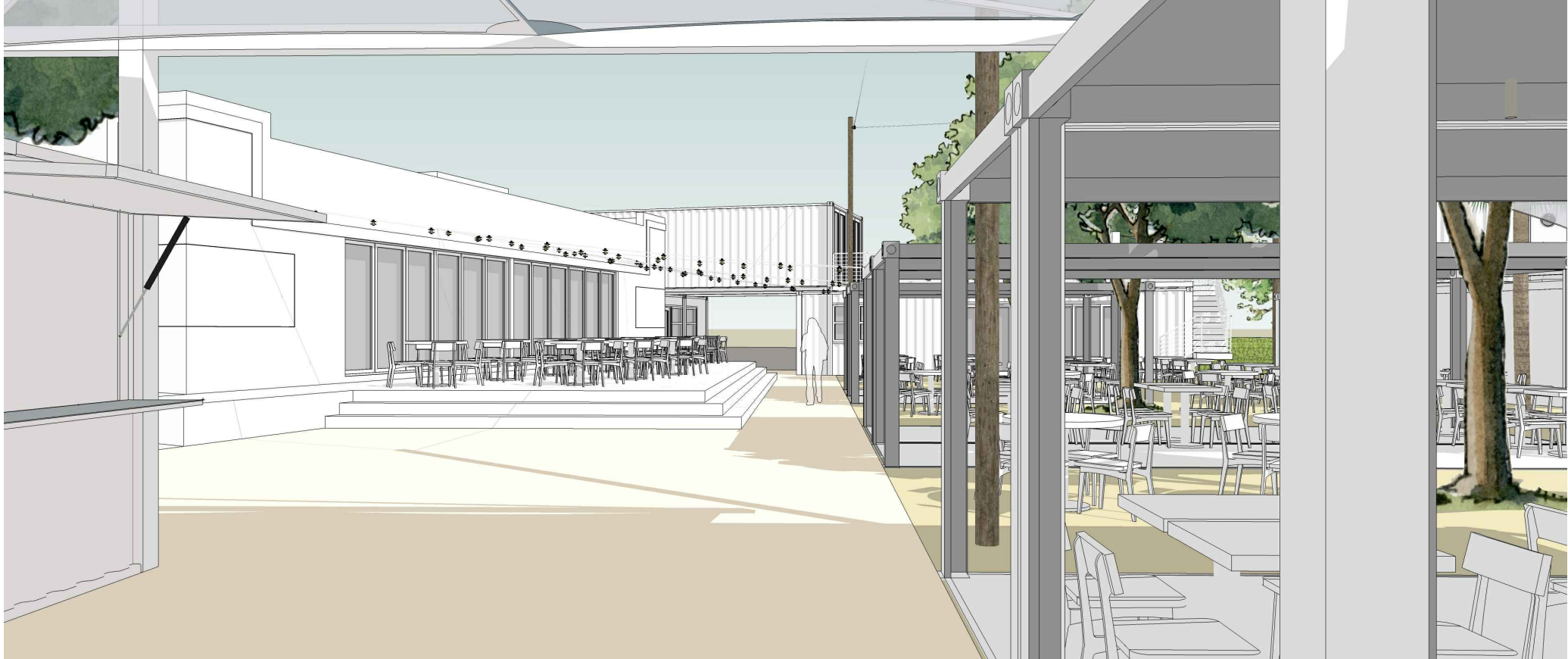
EDUARDO A. PARRA-REINANDEZ, AIA
ARCHITECT

CDS

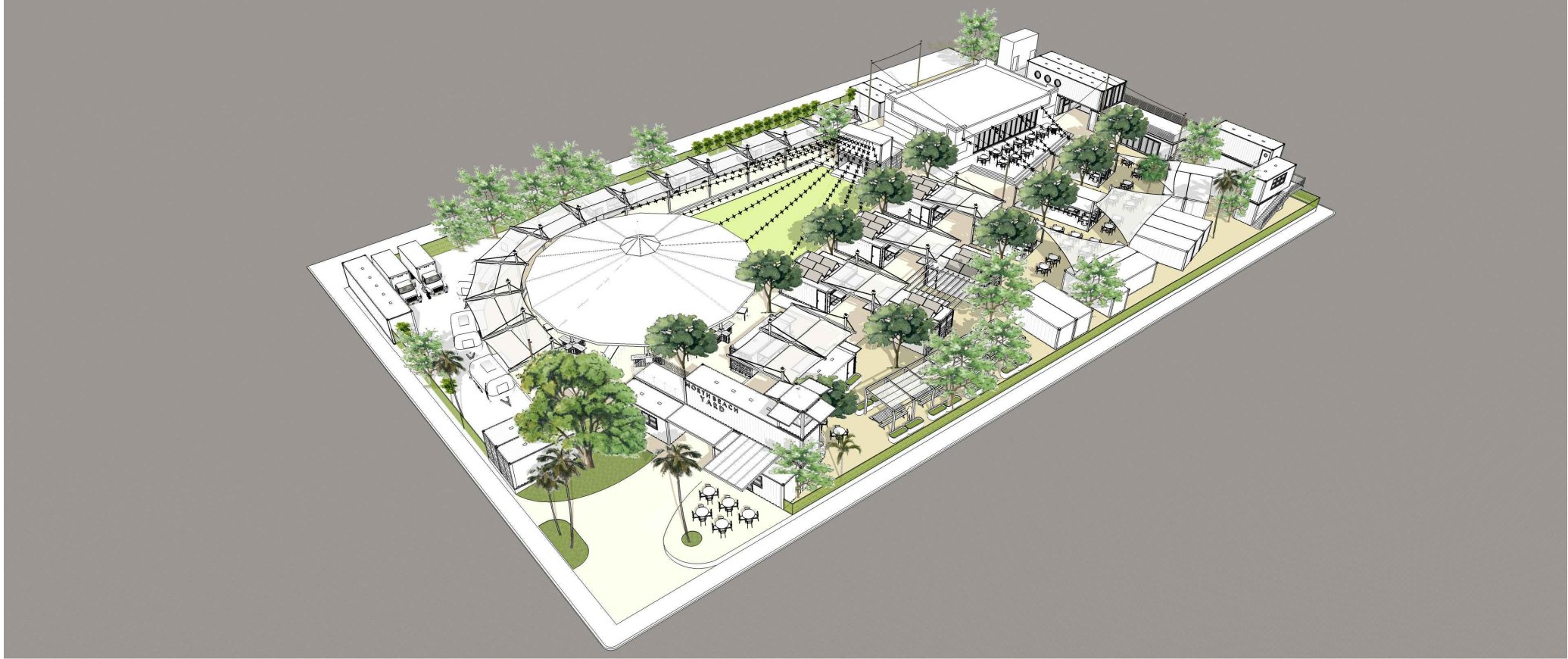
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A-902









TITLE: ILLUSTRATIONS

REVISIONS:

PROJECT: NOBE YARD

SCALE: N.T.S.
SHEET: A-906

CLIENT: NORTH BEACH YARD LLC
ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141
ISSUED ON: 03.02.2018

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SEAL & SIGNATURE

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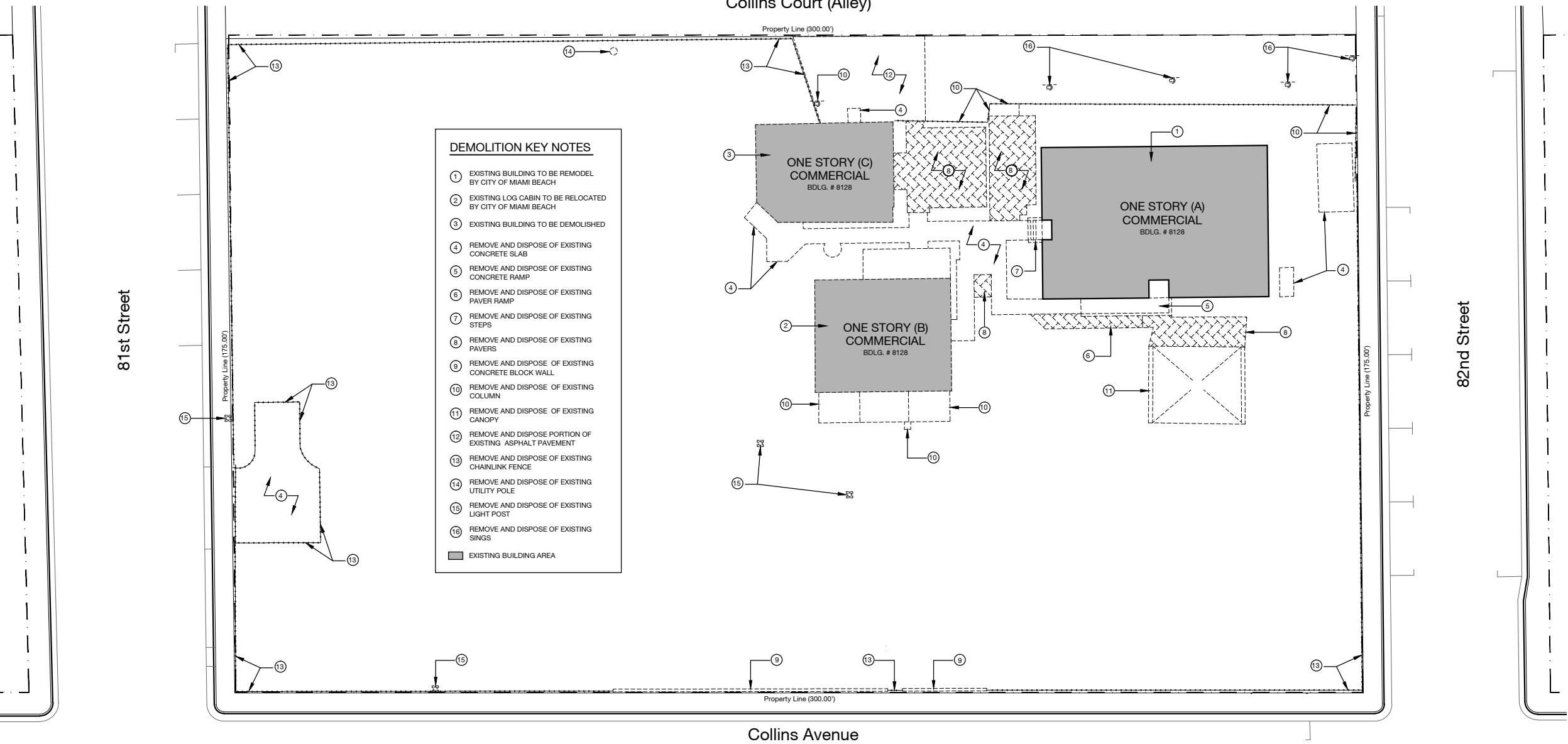
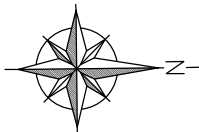
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EDUARDO A. PARRA-REINOLDO, AIA
ARCHITECT

JOB No: 17004

NOTE: A RECYCLING OR SALVAGE PLAN FOR PARTIAL OR TOTAL DEMOLITION SHALL BE PROVIDE



GENERAL DEMOLITION NOTES

THESE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM SURVEY NUMBER 17-004300-2 AND FIELD OBSERVATIONS OF CURRENT VISIBLE CONDITIONS. THE CONTRACTOR SHALL WALK THROUGH AND BECOME FAMILIAR WITH THE EXISTING SITE AND BUILDING, AND WITH THEIR EXISTING CONDITIONS AND EXTENT OF THE WORK, PRIOR TO PREPARING A PROPOSAL.

THESE DEMOLITION DRAWINGS ARE INTENDED TO SHOW THE OVERALL SCOPE OF DEMOLITION WORK TO BE DONE. THEY MAY NOT SHOW ALL OF THE SPECIFIC MINOR ITEMS EXISTING IN THE SPACE THAT SHALL BE REQUIRED TO BE REMOVED TO COMPLETE THE WORK.

DASHED LINES ON DEMOLITION PLAN REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC. TO BE REMOVED.

ALL PLAN DIMENSIONS SUPERSEDE SCALED DRAWINGS. CONTRACTOR SHALL NOT ATTEMPT TO OBTAIN DIMENSIONS FROM SCALED DRAWINGS, BUT REQUEST THEM FROM THE ARCHITECT WHEN NOT AVAILABLE IN CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA, AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. THE CONTRACTOR SHALL PATCH OR REBUILD ANY AREAS TO REMAIN THAT MIGHT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL PERFORM PRELIMINARY INVESTIGATIONS AS REQUIRED TO ASCERTAIN THE EXTENT OF THE WORK. CONDITIONS THAT WOULD BE APPARENT BY SUCH INVESTIGATIONS SHALL NOT BE ALLOWED AS CAUSE FOR CLAIMS FOR EXTRA COSTS.

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND SERVICES FOR ALL DEMOLITION AS INDICATED IN ACCORDANCE WITH PROVISIONS OF CONTRACT DOCUMENTS.

BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION, AND NOTIFY ALL INTERESTED UTILITIES, VERIFYING THE SIZE AND LOCATION OF UNDERGROUND UTILITY INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING/DISCONNECTING UTILITIES, AND CAPPING OFF LINES, AS REQUIRED FOR THE SUCCESSFUL PERFORMANCE OF THE DEMOLITION WORK.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD, AND IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THOSE ON CONTRACT DOCUMENTS, OR ITEMS NOT COVERED, BEFORE PROCEEDING WITH ANY DEMOLITION WORK.

GENERAL CONTRACTOR SHALL ASSESS AND DISCUSS WITH OWNER THE POSSIBLE PRESENCE OF ASBESTOS, VERMICULITE, MERCURY VAPOR, LEAD OR POLYCHLORINATED BIPHENYLS (PCBs), AS WELL AS ANY OTHER POTENTIALLY HAZARDOUS MATERIALS, INSIDE BUILDING PRIOR TO COMMENCEMENT OF THE WORK. IF ANY OF THESE ARE SUSPECTED, GENERAL CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS PRESCRIBED BY OSHA AND NESHAP REGULATIONS. HANDLING, REMOVAL AND CORRECT DISPOSAL OF ANY HAZARDOUS MATERIAL SHALL BE EXCLUSIVELY PERFORMED BY A LICENSED AND INSURED CONTRACTOR CERTIFIED FOR THIS TYPE OF WORK.

THE CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH THE OWNER, IN ORDER TO IDENTIFY ANY POTENTIAL ITEMS TO BE SALVAGED PRIOR TO THE COMMENCEMENT OF DEMOLITION.

PRIOR TO ANY DEMOLITION WORK, THE CONTRACTOR SHALL MAKE A THOROUGH ASSESSMENT OF THE NEED FOR TEMPORARY BRACING AND SHORING OF FLOOR, WALL AND ROOF STRUCTURAL ELEMENTS DURING DEMOLITION, TO PROVIDE STABILITY WHEN VERTICAL AND LATERAL LOAD SUPPORT IS REMOVED. TEMPORARY BRACING AND SHORING STRUCTURES SHALL REMAIN UNDISTURBED DURING CONSTRUCTION UNTIL THE PERMANENT VERTICAL AND LATERAL BRACING ELEMENTS HAVE BEEN INSTALLED. THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD A LOGICAL SEQUENCE OF DEMOLITION AND ERECTION OF BRACING AND TEMPORARY SHORING, AND THEIR SHOP DRAWINGS, SO THAT ADEQUATE VERTICAL AND LATERAL SUPPORT IS ASSEMBLED AND INSTALLED. THE CONTRACTOR SHALL COORDINATE ALL BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING BUILDING ELEMENTS AND ITS SYSTEMS AS REQUIRED.

ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUN-OFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE, AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, AND BRACING THAT ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. THE CONTRACTOR SHALL PROMPTLY REPAIR DAMAGE TO ADJACENT STRUCTURES IF CAUSED BY DEMOLITION OR NEW CONSTRUCTION WORK, AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE CONTRACTOR SHALL ENDEAVOR TO PROTECT ALL EXISTING HVAC AND ANY OTHER BUILDING SYSTEM EQUIPMENT, DUCTWORK AND PIPING FROM DAMAGE DUE TO DUST, EXPOSURE TO THE ELEMENTS, AND ANY OTHER CONSTRUCTION-RELATED CAUSES. PROPER DUST BARRIERS, TEMPORARY LININGS AND PROTECTIVE COVERS SHALL BE PROVIDED AS REQUIRED PRIOR TO COMMENCEMENT OF WORK.

SANITARY FACILITIES SHALL BE PROVIDED DURING DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, PLUMBING.

ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. THE CONTRACTOR SHALL COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL.

THE CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT PUBLIC THOROUGHFARES UNLESS APPROVED BY THE AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL PAY FOR AND BE RESPONSIBLE FOR ALL REMOVAL AND DISPOSAL REQUIREMENTS, DUMPING FEES, AND DIRECT AND INDIRECT COSTS PERTAINING TO THE REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS FROM THE BUILDING AND SITE. SAID REMOVAL AND DISPOSAL SHALL SATISFACTORILY COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

DEMOLITION WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND PUBLIC RIGHTS-OF-WAY.

ALL STRUCTURES UNDER DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH THE FLORIDA FIRE PREVENTION CODE, AND SIZED FOR NOT LESS THAN ORDINARY HAZARD, TO BE LOCATED IN EVERY STORAGE AND CONSTRUCTION SHED. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DEMOLITION, REMODELING OR ALTERATIONS AND ADDITIONS TO ANY BUILDING.

FIRE ALARM AND SMOKE DETECTION SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES. PROTECT SMOKE DETECTORS AS REQUIRED AND IN CONFORMANCE WITH APPLICABLE CODES AND REGULATIONS, AS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.

AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.

THE CONTRACTOR SHALL THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION WORK. BEFORE NEW WORK BEGINS, THE CONTRACTOR SHALL RETURN AREAS ADJACENT TO THOSE AFFECTED BY SELECTIVE DEMOLITION TO THE CONDITION FOUND PRIOR TO START OF DEMOLITION WORK.

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WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

PROJECT: NOBE YARD

CLIENT: THE WYNWOOD YARD

ADDRESS: 8108, 8128, 8140 COLLINS AVE
MIAMI BEACH, FL 33141

ISSUED ON: 02-12-2018

REVISIONS:

TITLE: DEMOLITION PLAN

SCALE: AS SHOWN

SHEET: AD-101

JOB No: 17004