

1600 WASHINGTON AVE.

1600 WASHINGTON AVENUE
MIAMI BEACH, FL 33139

Architect: Stantec
Landscape Architect: Savino & Miller Design
Land Use: Bercow Radell & Fernandez, P.A.
Client: Lincoln Road Development, LLC.

Final Submittal: 23 March 2018



PROJECT TEAM

Owner:

Lincoln Road Development, LLC.
420 Lincoln Road, Suite 330
Miami Beach, FL 33139
T: 305.531.5220

Architect:



Stantec
One Biscayne Tower Suite 1670
2 S Biscayne Boulevard
Miami, Florida 33131
T: 305.482.8700

Landscape Architect:



Savino & Miller Design Studio
12345 NE 6th Avenue #A
Miami, FL 33161
T: 305.895.9082

Land Use:



Bercow Radell & Fernandez, P.A.
200 South Biscayne Boulevard Suite 850
Miami, Florida 33131
T: 305.377.6238

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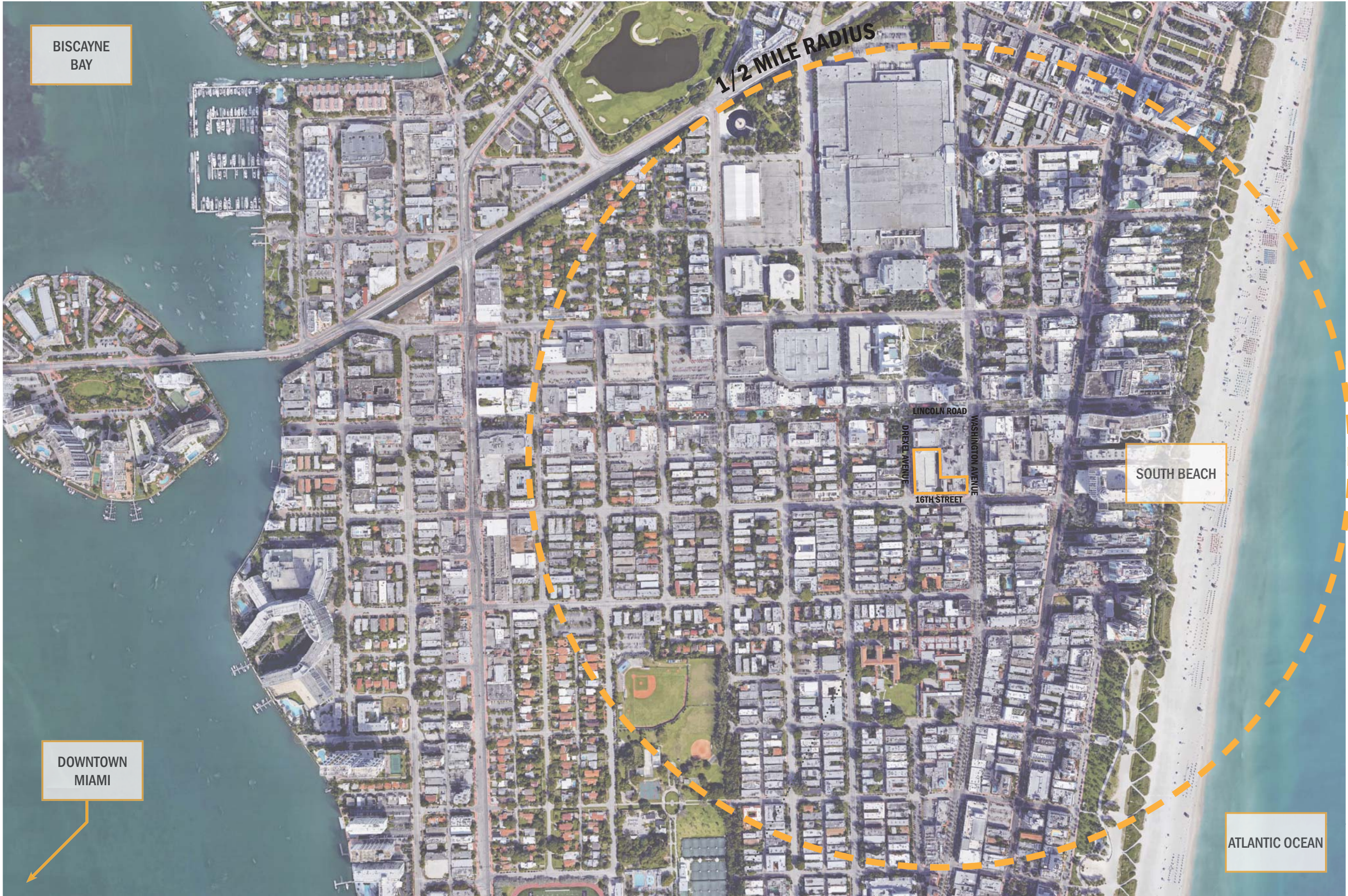
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LOCATION MAP
NTS

1600 WASHINGTON AVENUE - MIAMI BEACH, FL
1601 DREXEL AVENUE - MIAMI BEACH, FL

1600 WASHINGTON AVENUE
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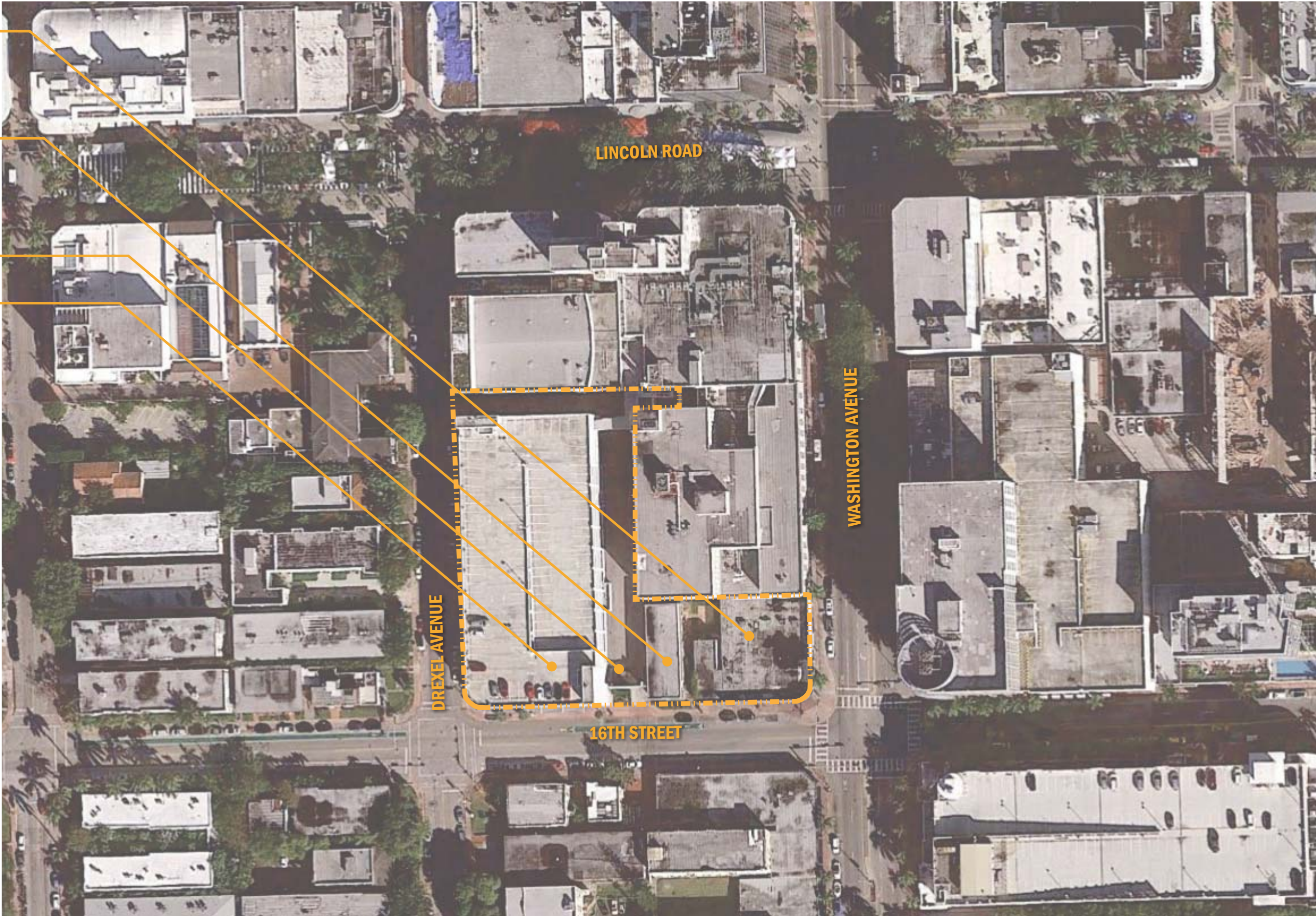
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1600 WASHINGTON AVENUE
EXISTING 1-STORY
BUILDING

1600 WASHINGTON AVENUE
EXISTING 2-STORY
BUILDING

EXISTING ALLEY

1601 DREXEL AVENUE
EXISTING PARKING
GARAGE

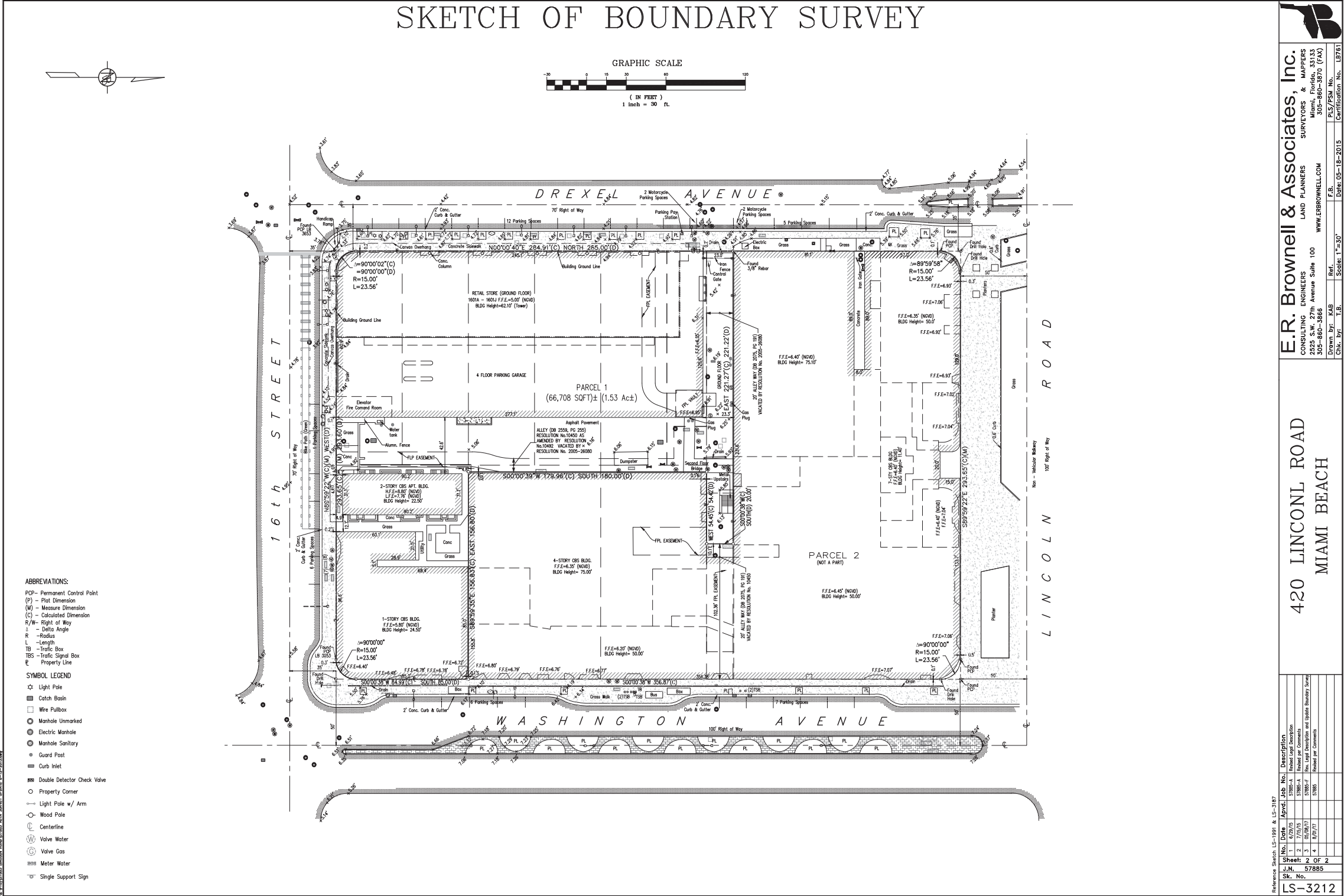


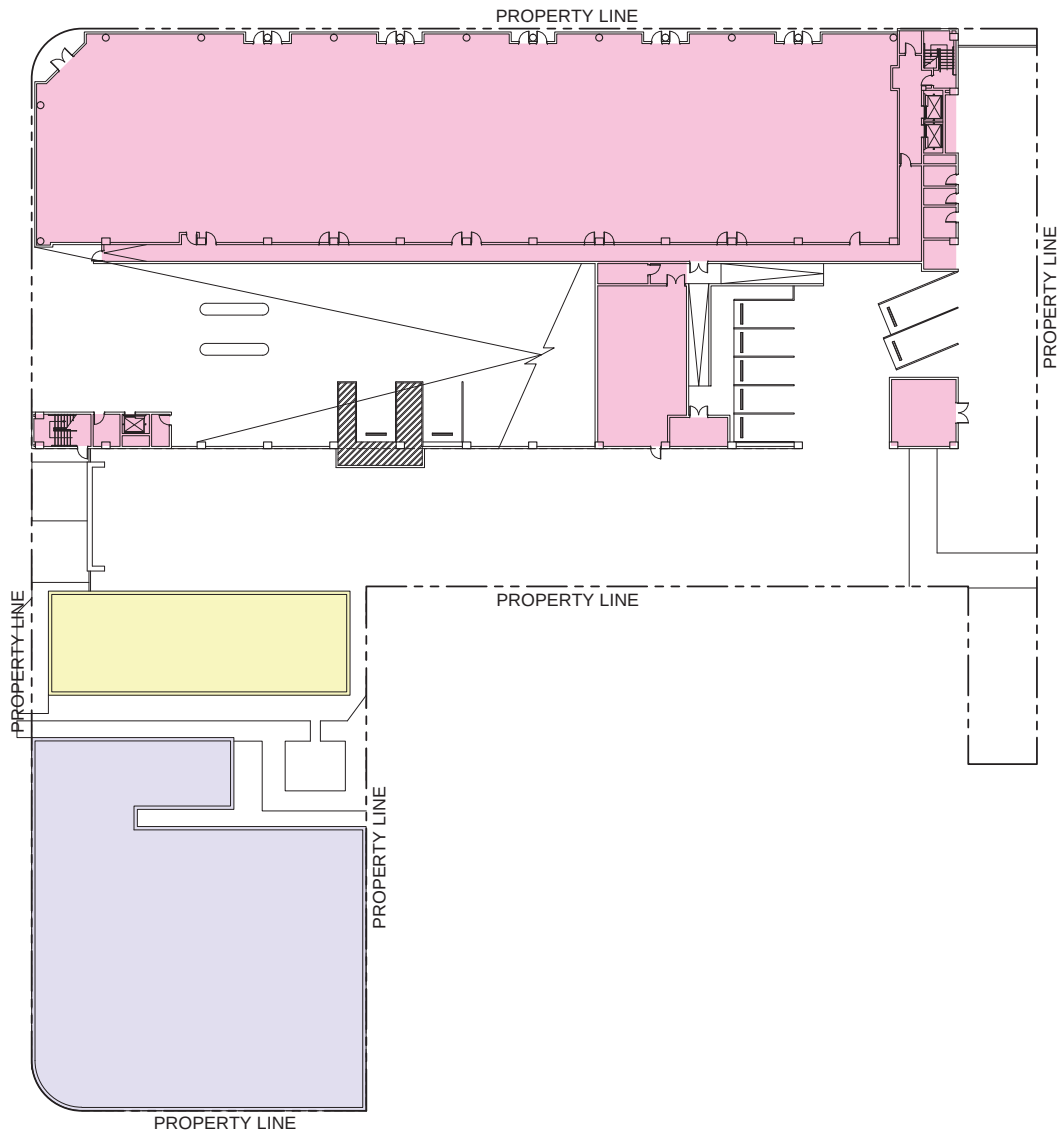
1600 WASHINGTON AVENUE
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No.	Date	Apvd.	Job No.	Description
1	6/29/95		57885-A	Revised Legal Description
2	7/15/95			Revised per Comments
3	10/26/17	UA	57885-F	Rev. legal description and Update Boundary Survey
4	8/01/17	IB	57885	Revised per Comments
Sheet: 1 OF 2 J.N. 57885 Sk. No.				

LS-3212



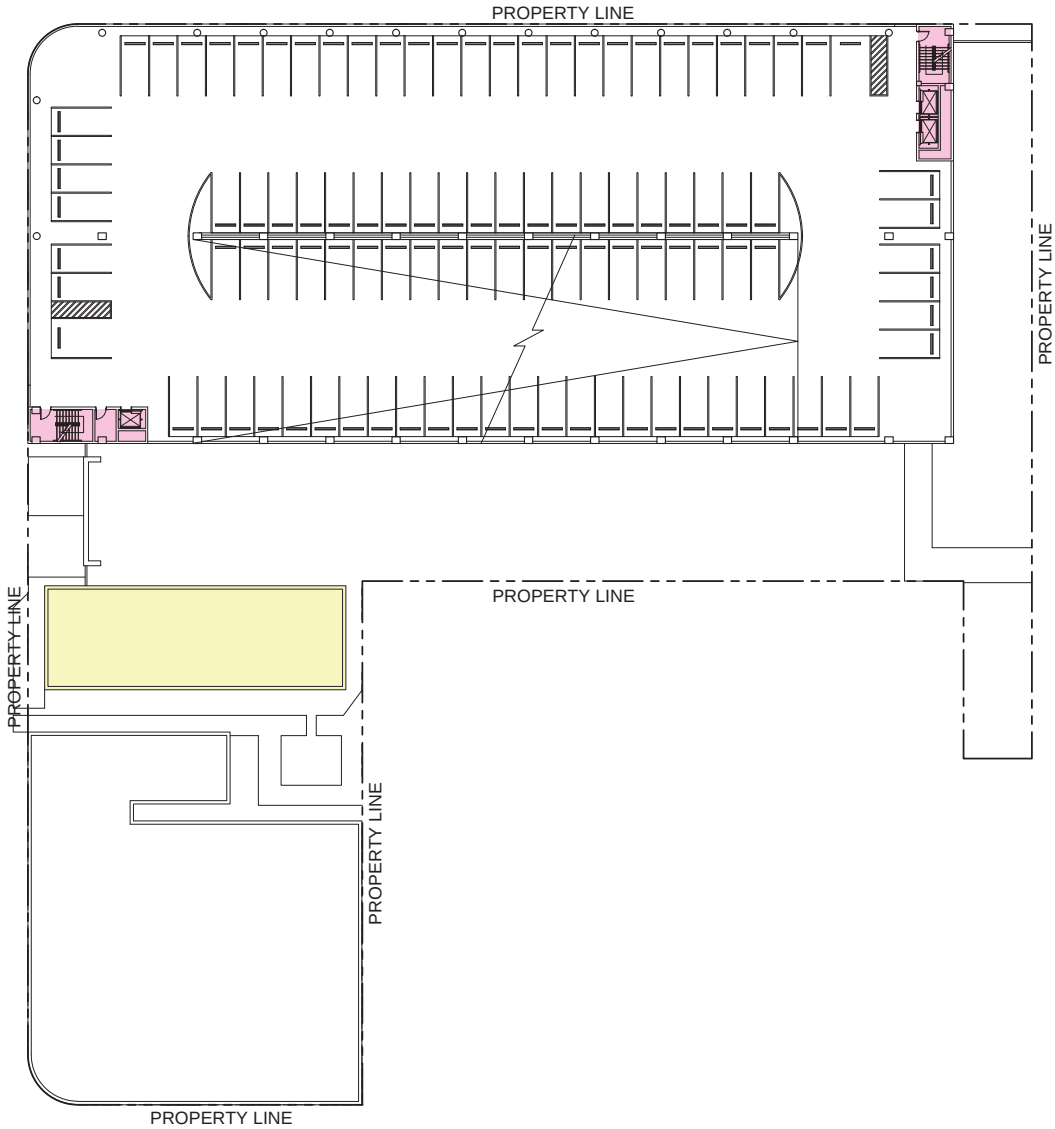


AREA SCHEDULE (FAR) EXISTING GROUND LEVEL		
Level	Comments	Area
Ground Level	Residential FAR	2,803 SF
Ground Level	Retail FAR	9,810 SF
Ground Level	Existing Garage FAR	21,802 SF
Total		34,415 SF

AREAS FAR/NON-FAR

- RESIDENTIAL FAR
- RETAIL FAR
- EXISTING GARAGE FAR

1 LEVEL 01 FAR DIAGRAM - EXISTING
SCALE: 1" = 80'-0"



AREA SCHEDULE (FAR) EXISTING LEVEL 02		
Level	Comments	Area
Level 02	Residential FAR	2,803 SF
Level 02-Roof	Existing Garage FAR	3,751 SF
Total		6,554 SF

AREAS FAR/NON-FAR

- RESIDENTIAL FAR
- EXISTING GARAGE FAR

2 LEVEL 02 FAR DIAGRAM - EXISTING
SCALE: 1" = 80'-0"



VIEW A



VIEW B



KEY DIRECTIONAL MAP
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VIEW C



VIEW E



VIEW D



VIEW F



VIEW G



VIEW I



VIEW H



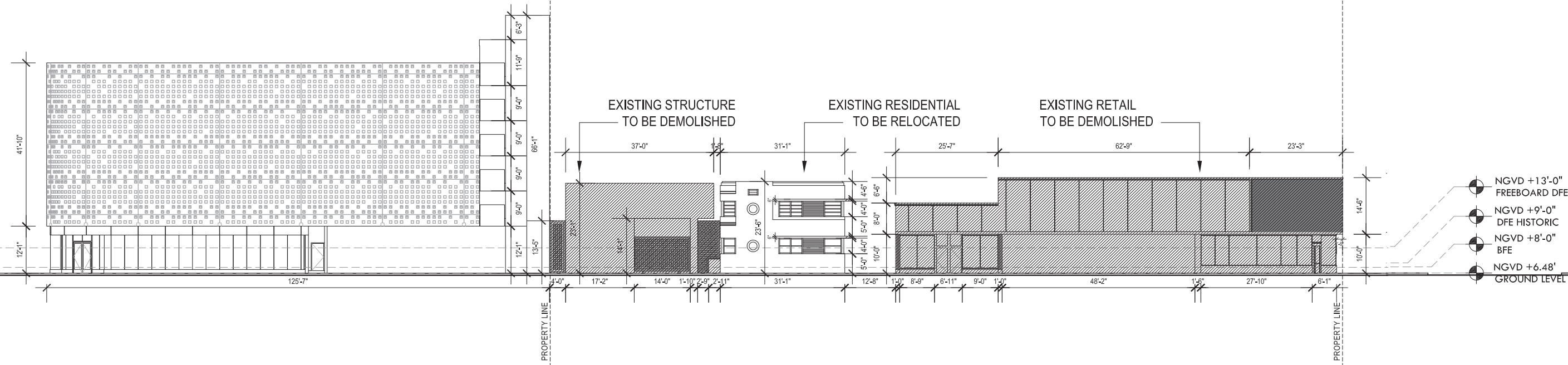
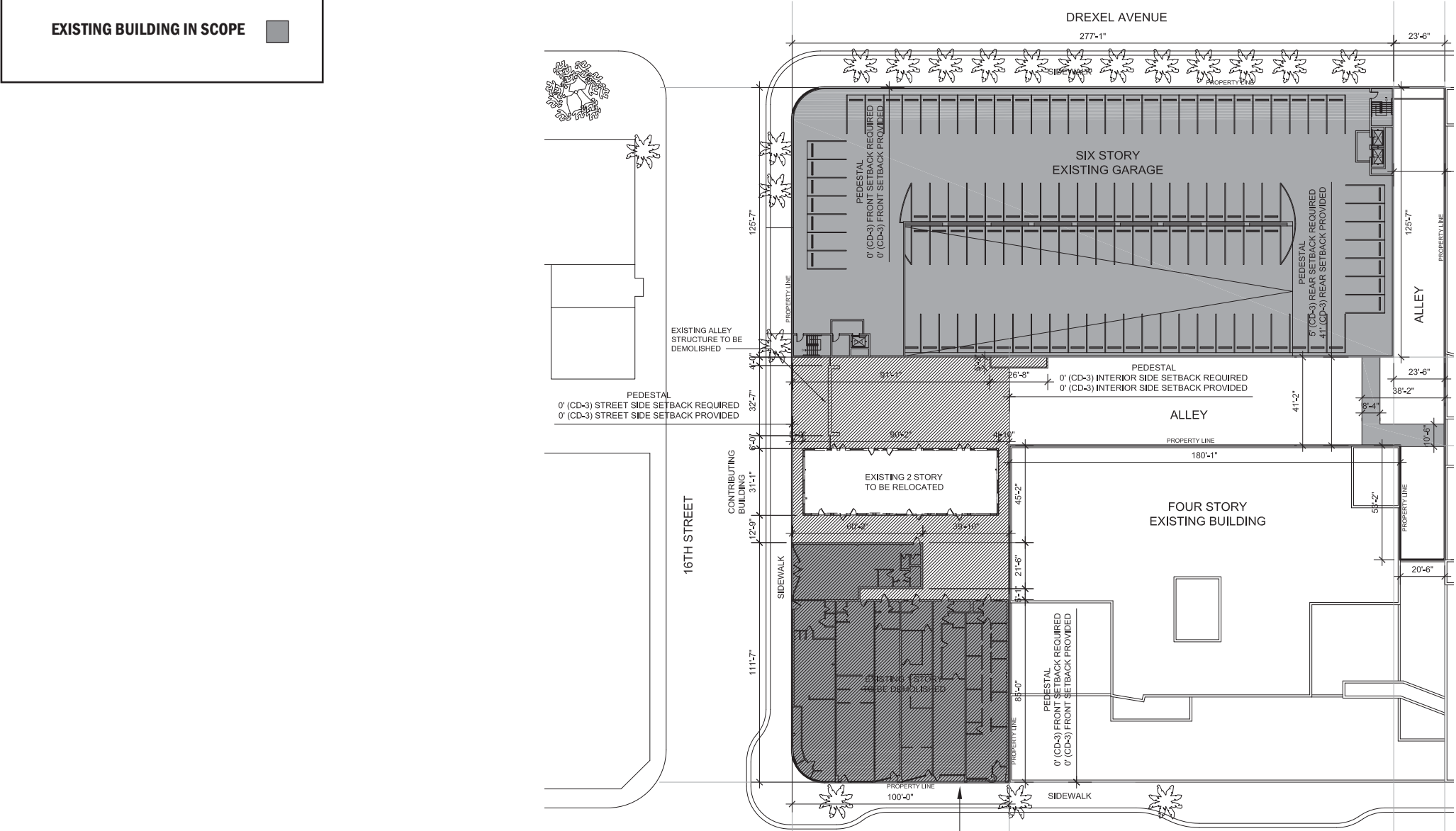
VIEW J

EXISTING CONDITIONS & DEMOLITION

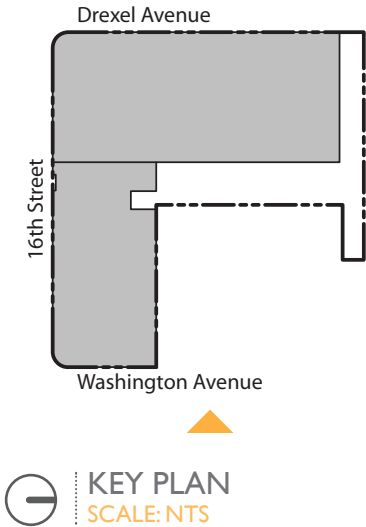
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EXISTING AREA TO BE DEMOLISHED

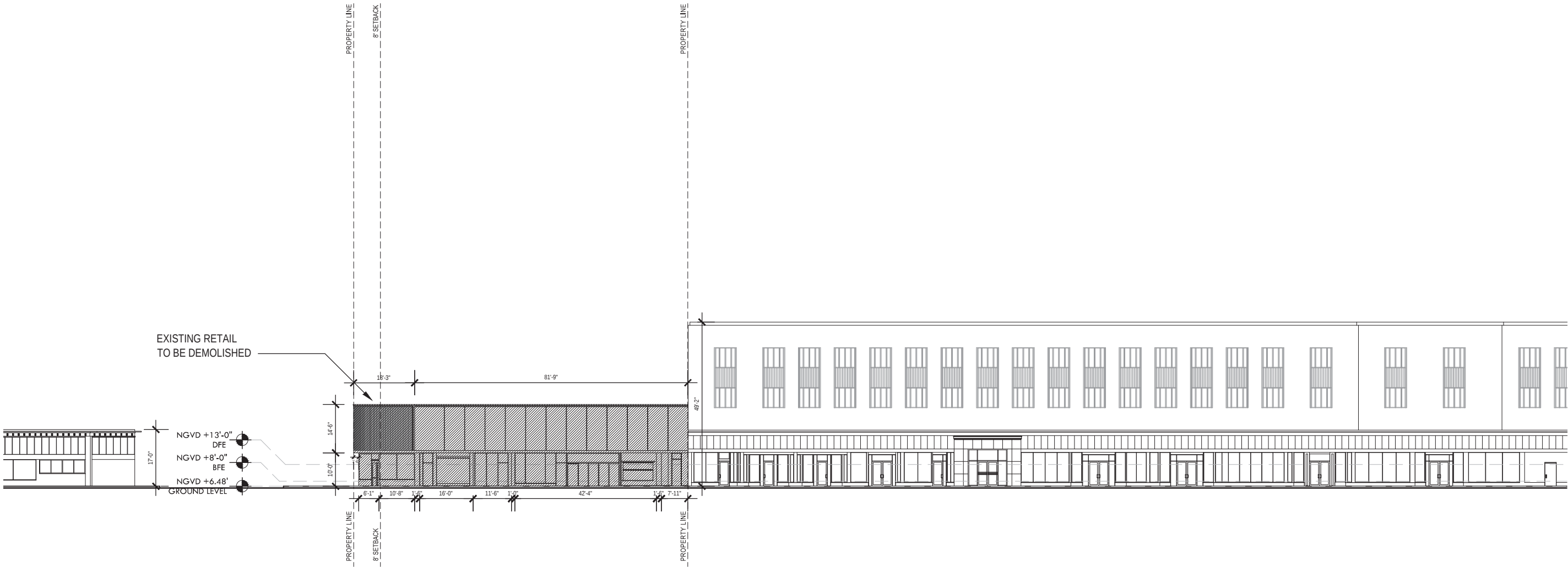
EXISTING BUILDING IN SCOPE



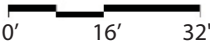
EXISTING / DEMOLITION PLAN & ELEVATION
SCALE: NTS



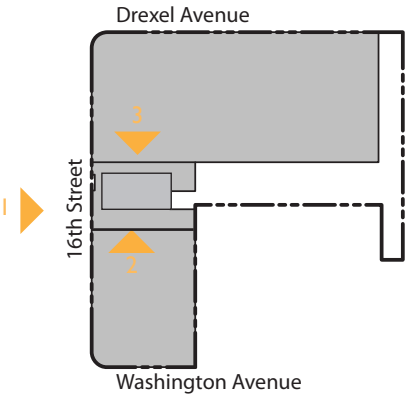
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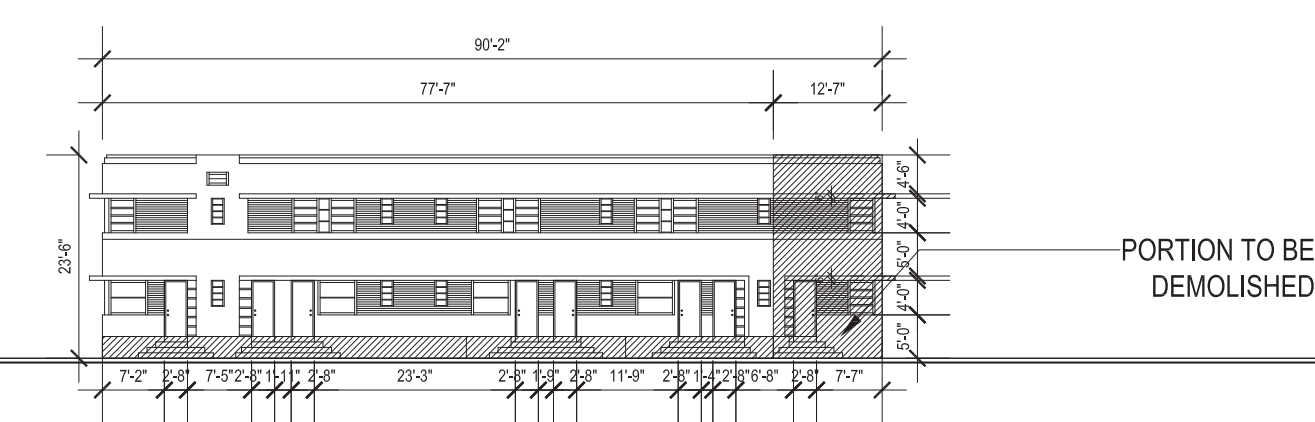
NOTE: EXISTING BUILDINGS WITHIN
HATCHED AREA TO BE DEMOLISHED



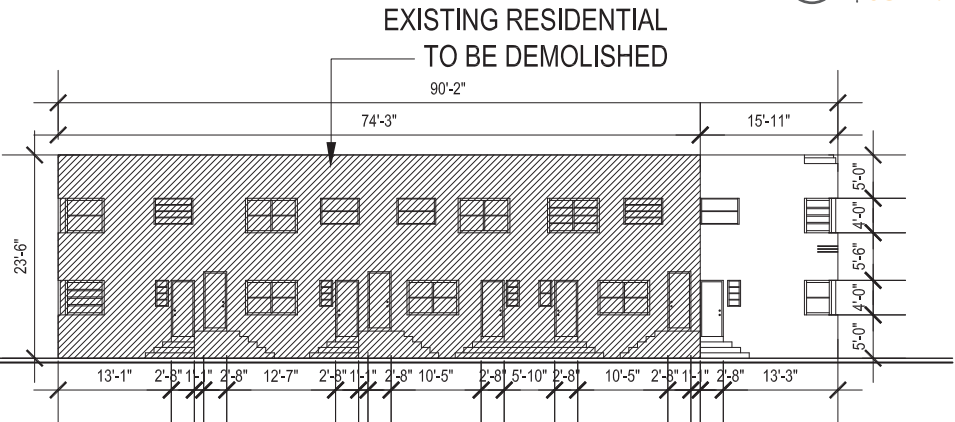
EXISTING - EAST ELEVATION
SCALE: 1/32" = 1'-0"



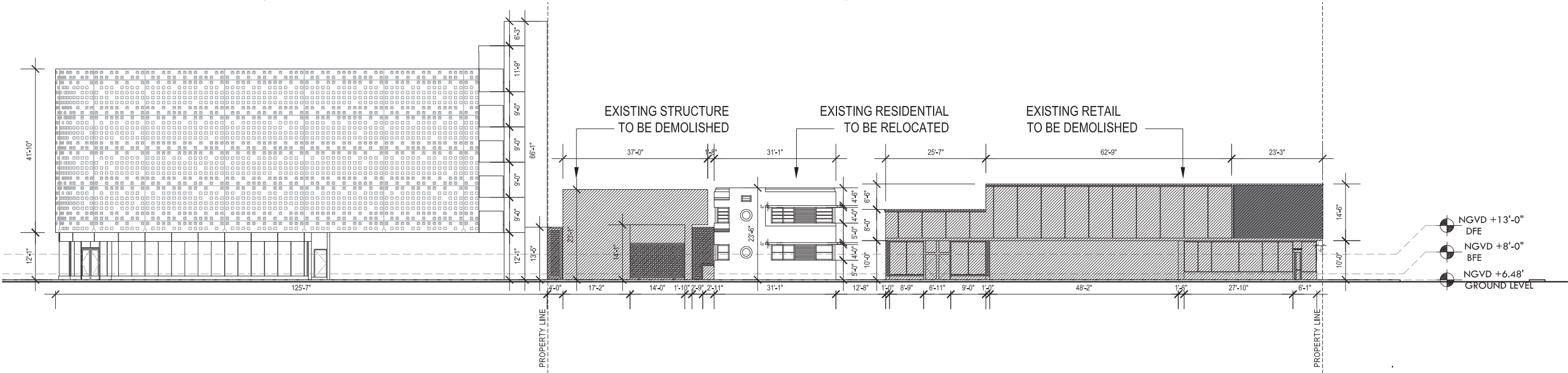
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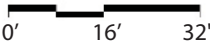
2 EXISTING - EAST ELEVATION
SCALE: NTS



3 EXISTING-WEST ELEVATION
SCALE: NTS



EXISTING - SOUTH ELEVATION
SCALE: NTS



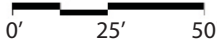
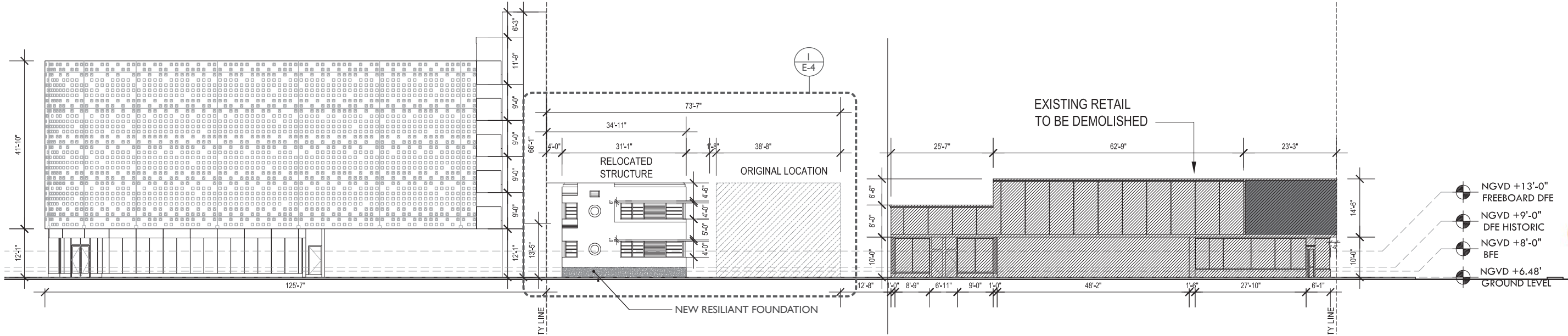
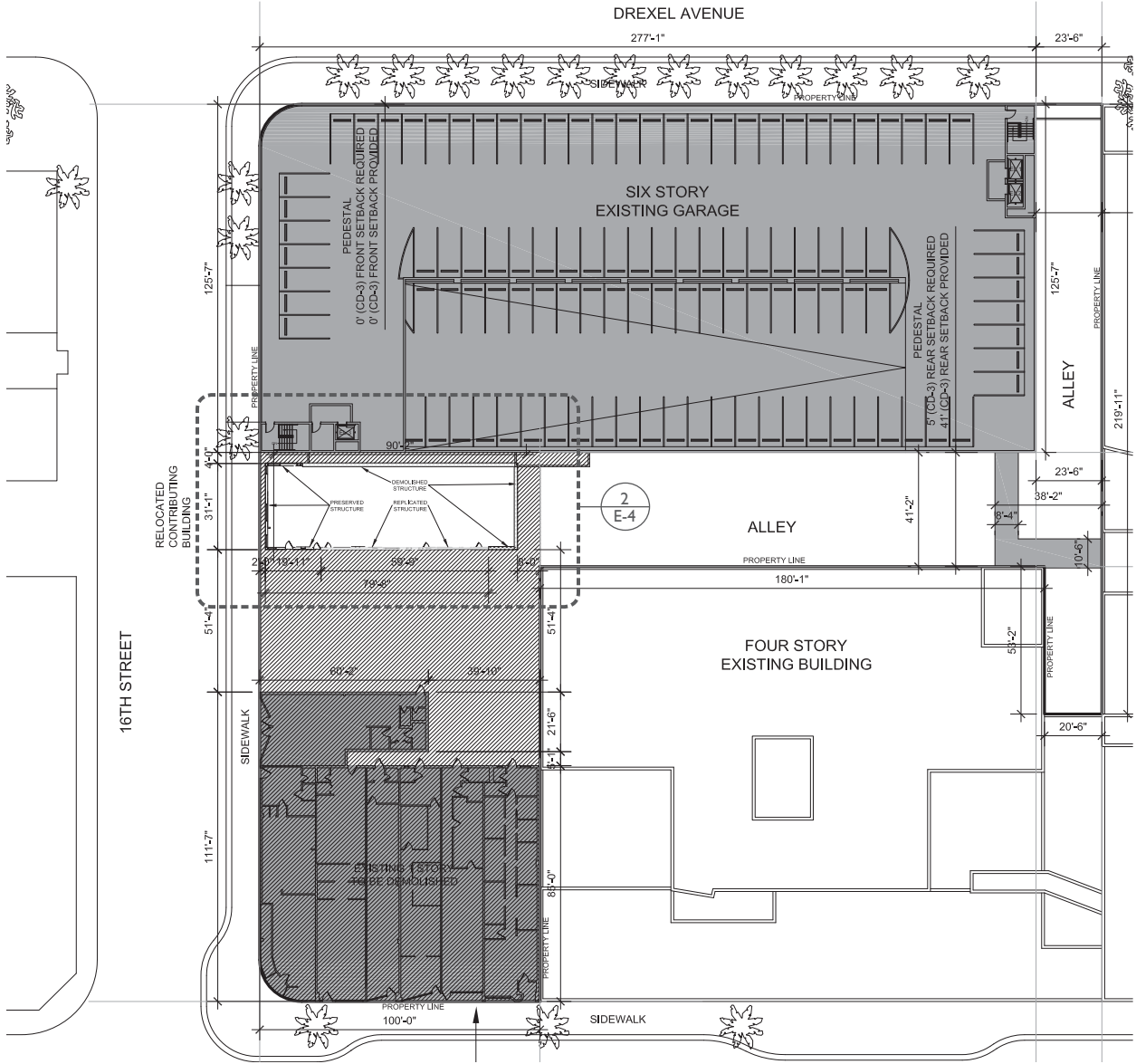


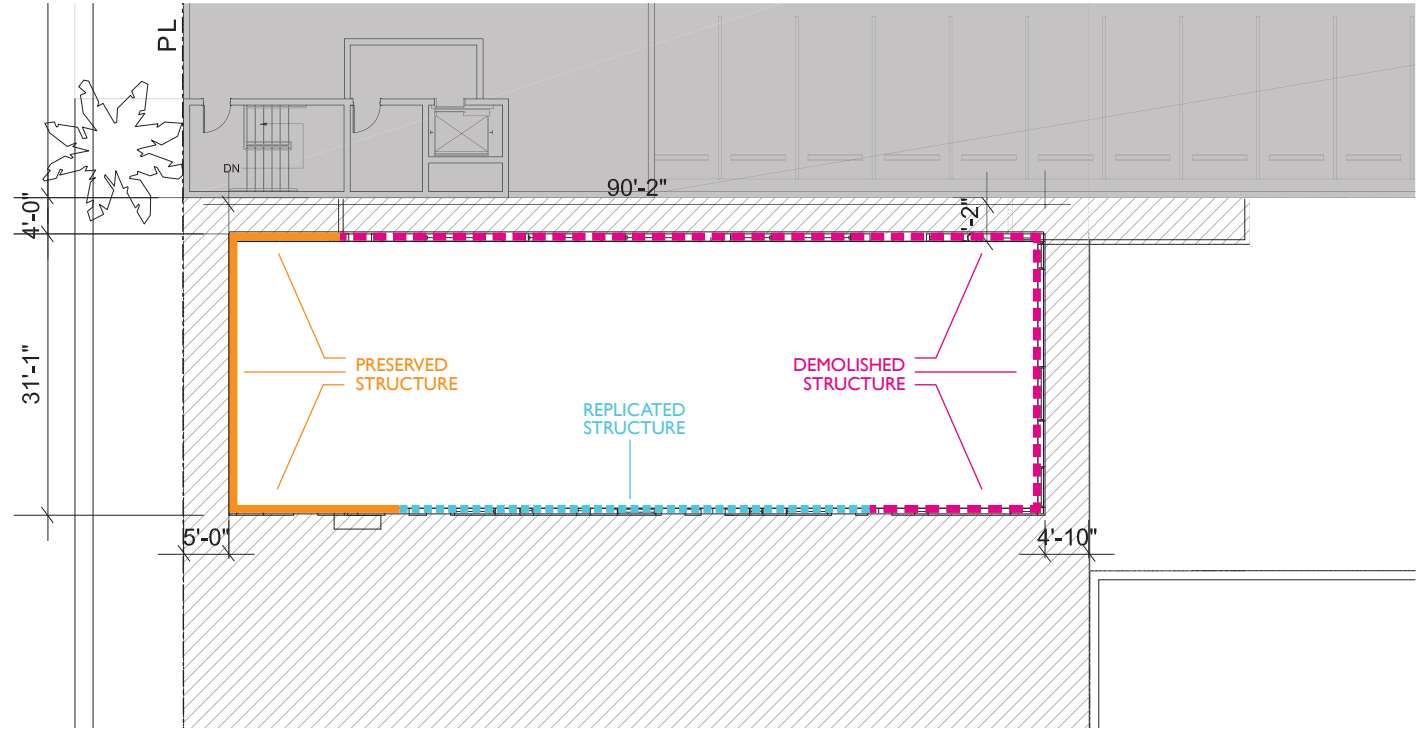
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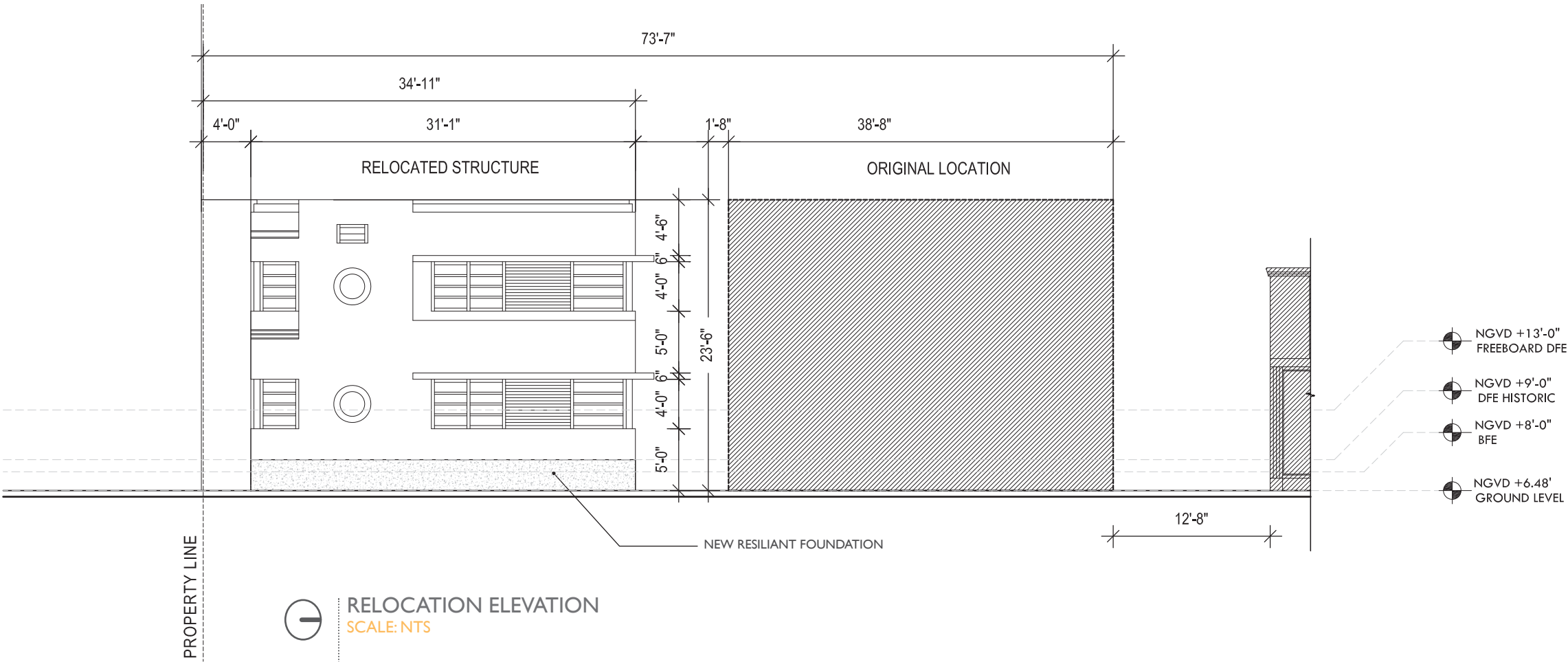
EXISTING AREA TO BE DEMOLISHED

EXISTING BUILDING IN SCOPE

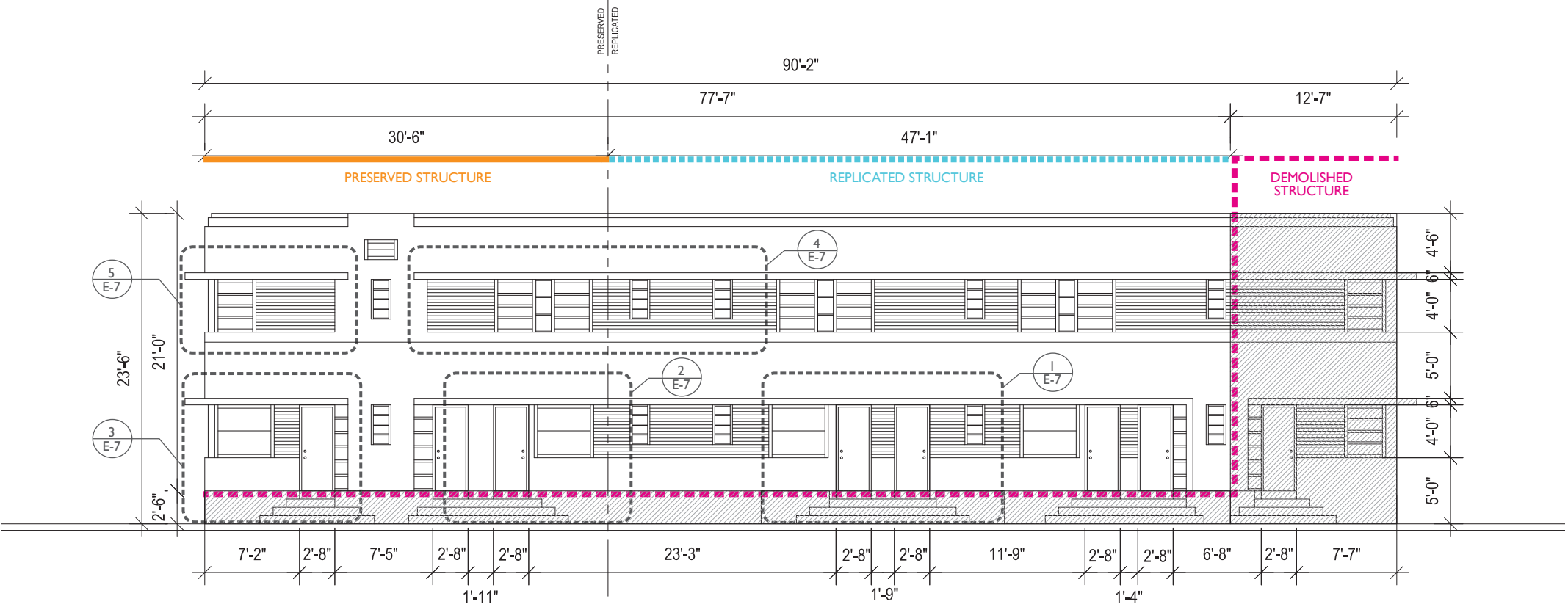




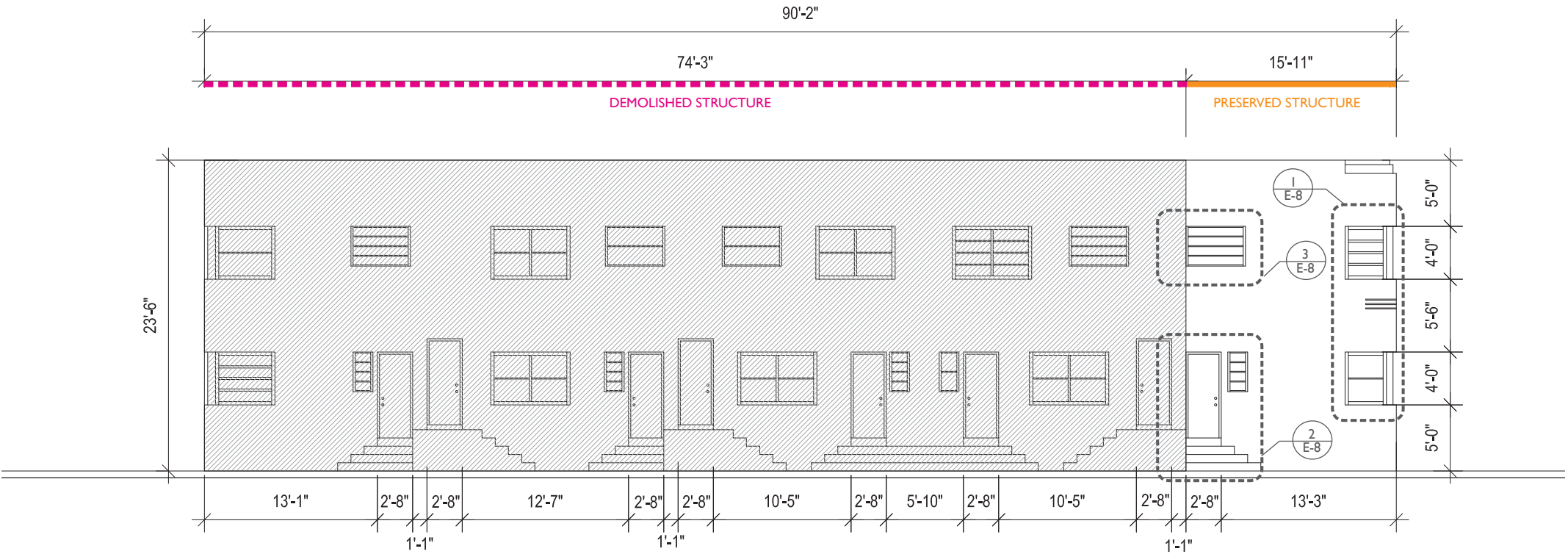
RELOCATION PLAN
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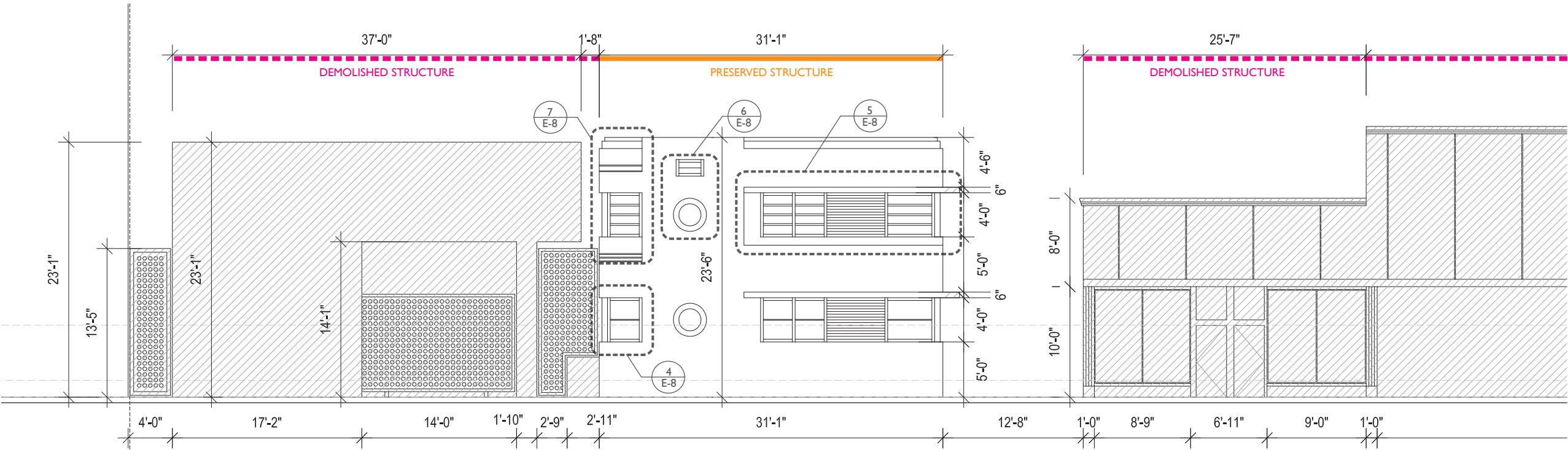
RELOCATION ELEVATION
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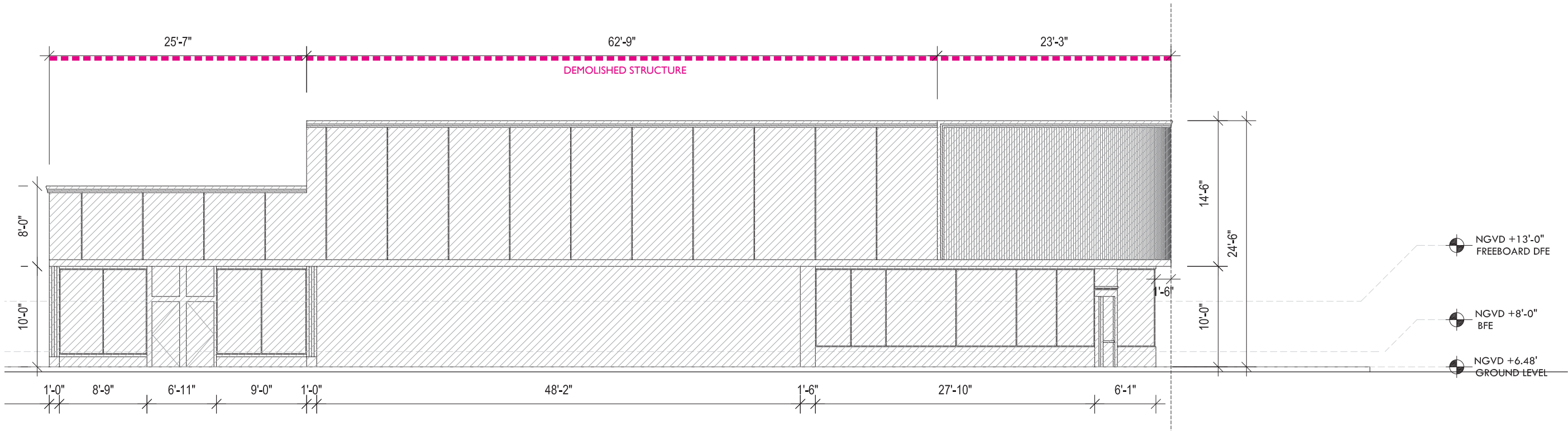
2 DEMOLITION / RELOCATION - EAST ELEVATION
SCALE: NTS



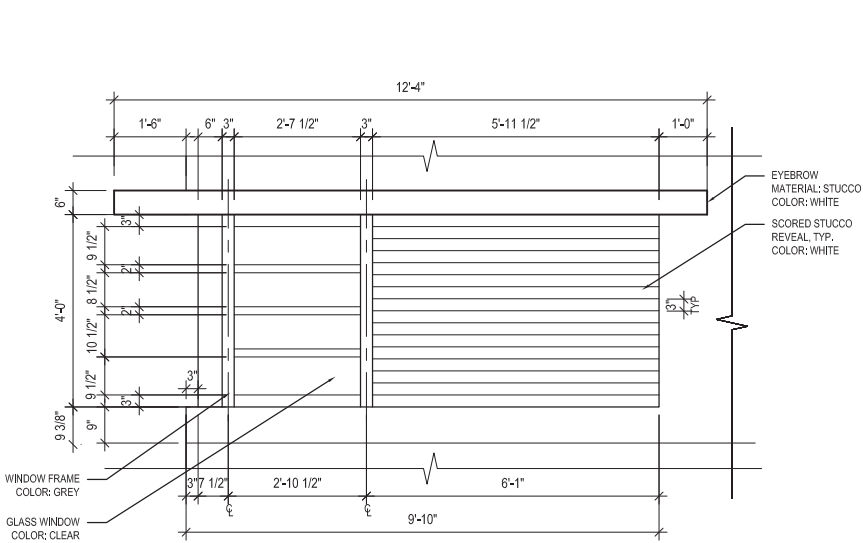
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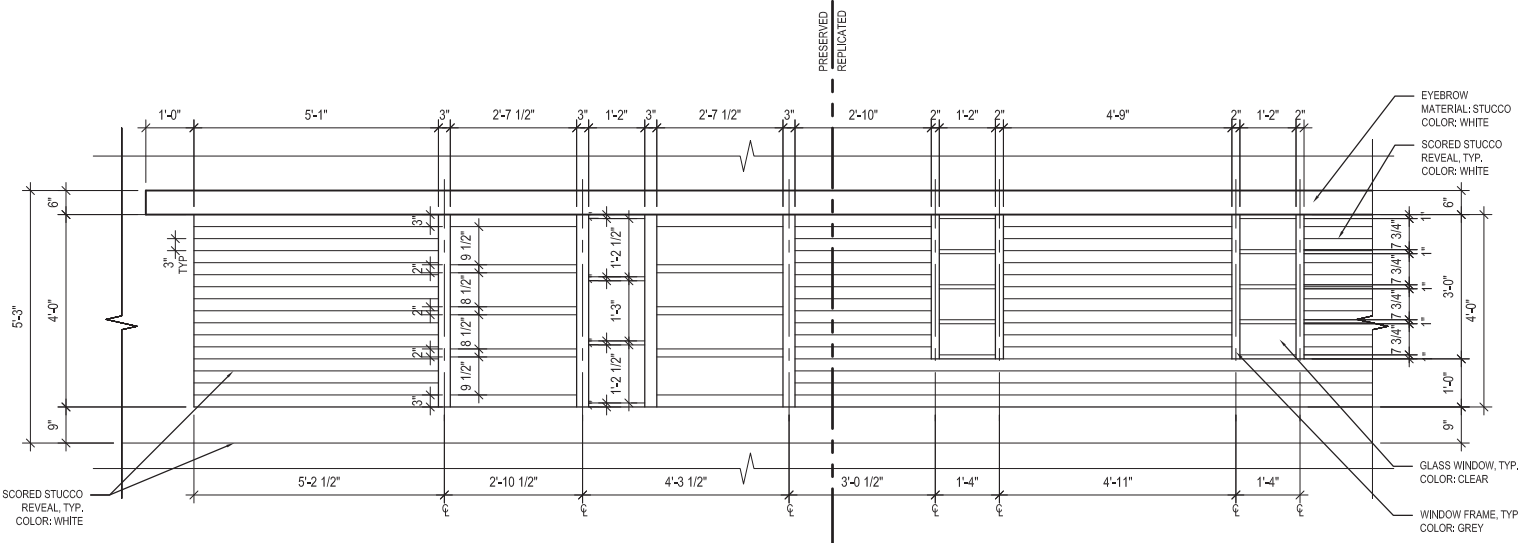
2 DEMOLITION / RELOCATION - SOUTH ELEVATION
SCALE: NTS



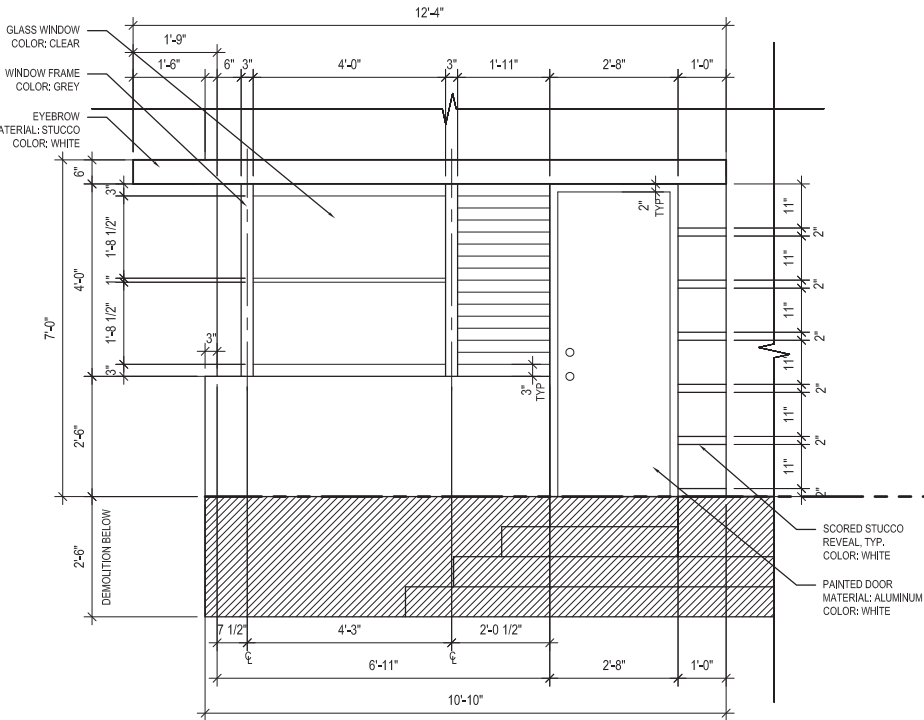
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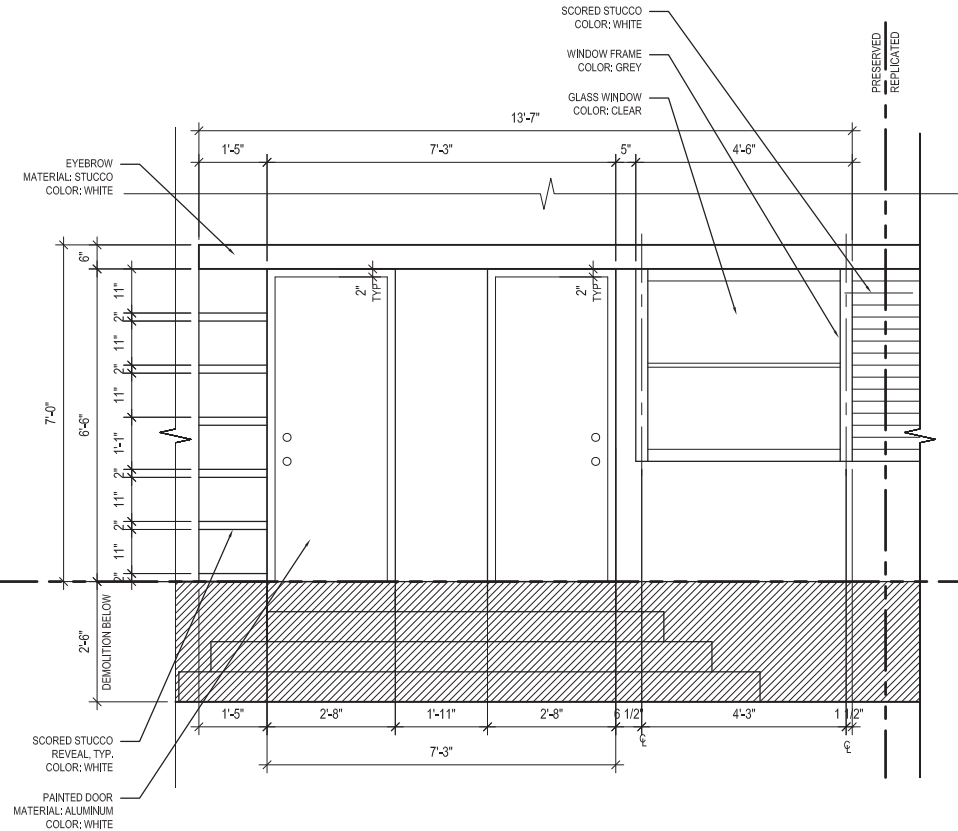
5 RESTORATION DETAIL - WEST ELEVATION
SCALE: NTS



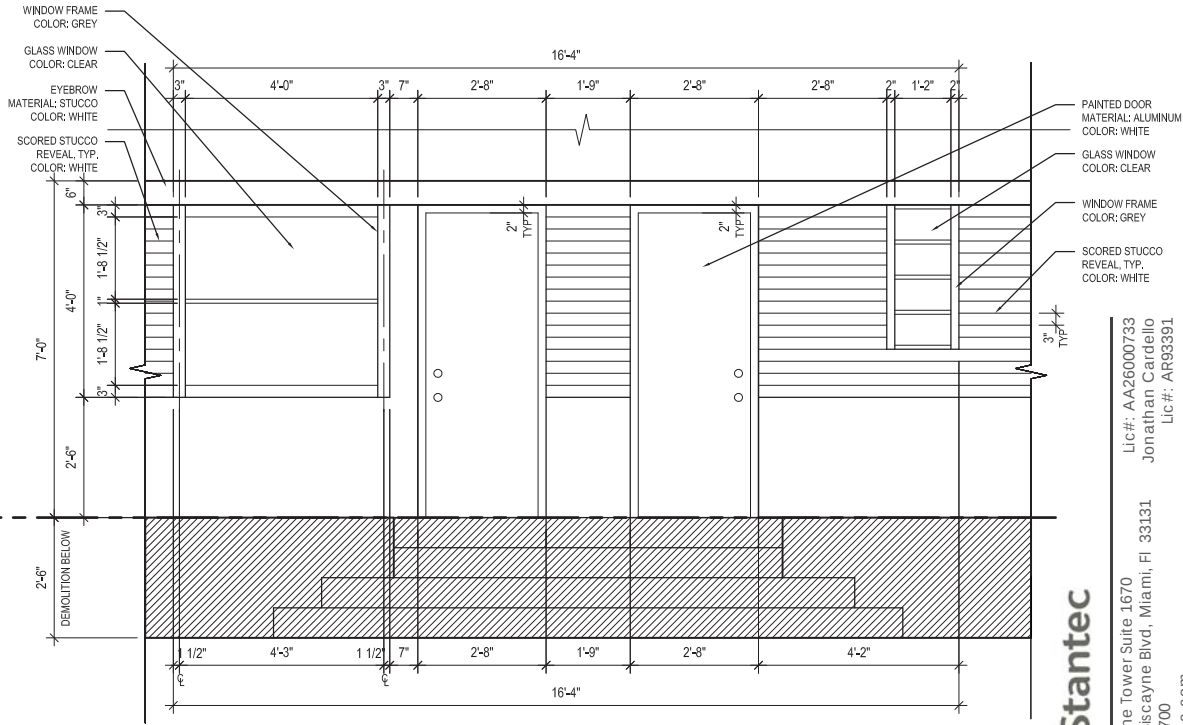
4 RESTORATION DETAIL - WEST ELEVATION
SCALE: NTS



3 RESTORATION DETAIL - WEST ELEVATION
SCALE: NTS



2 RESTORATION DETAIL - WEST ELEVATION
SCALE: NTS

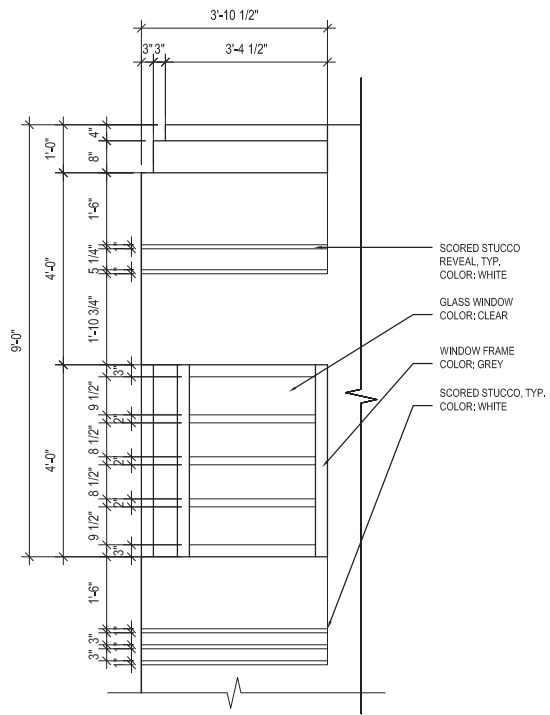


1 RESTORATION DETAIL - WEST ELEVATION
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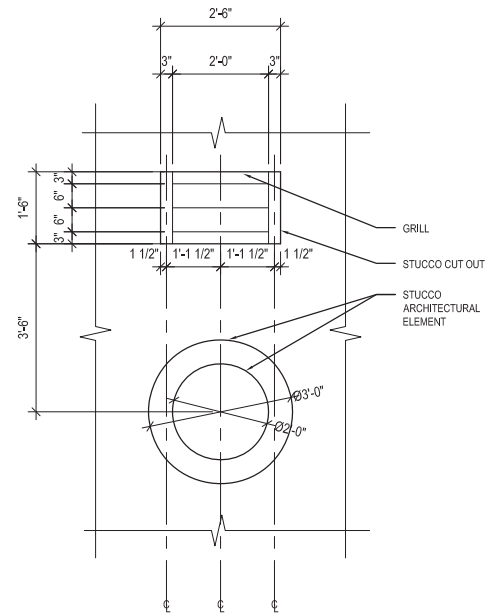
RESTORATION DETAILS

I 600 WASHINGTON AVENUE
I 600 WASHINGTON AVENUE MIAMI BEACH, FL 33139



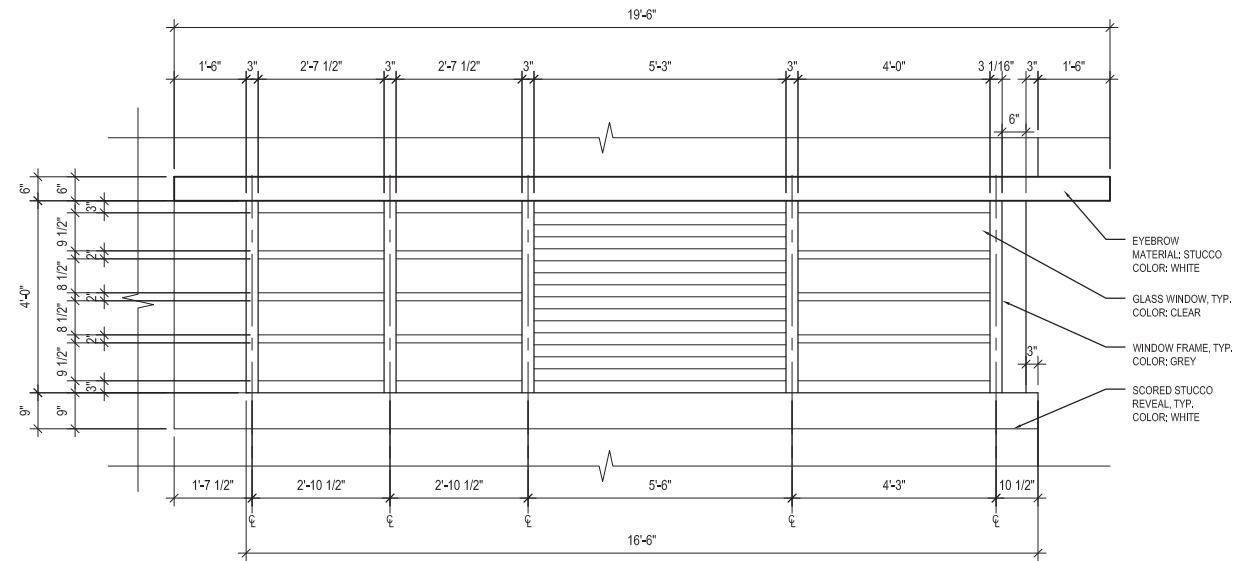
7 RESTORATION DETAIL - SOUTH ELEVATION

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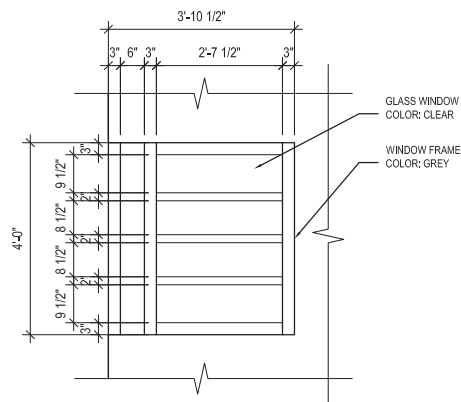


6 RESTORATION DETAIL - SOUTH ELEVATION

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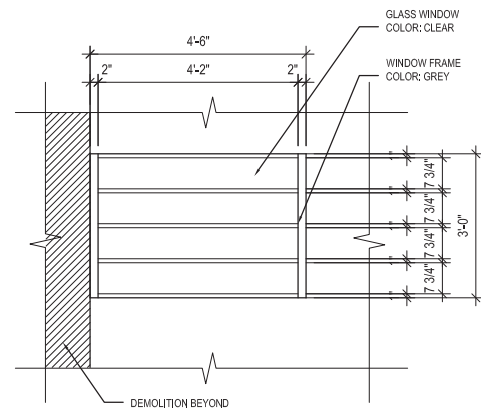


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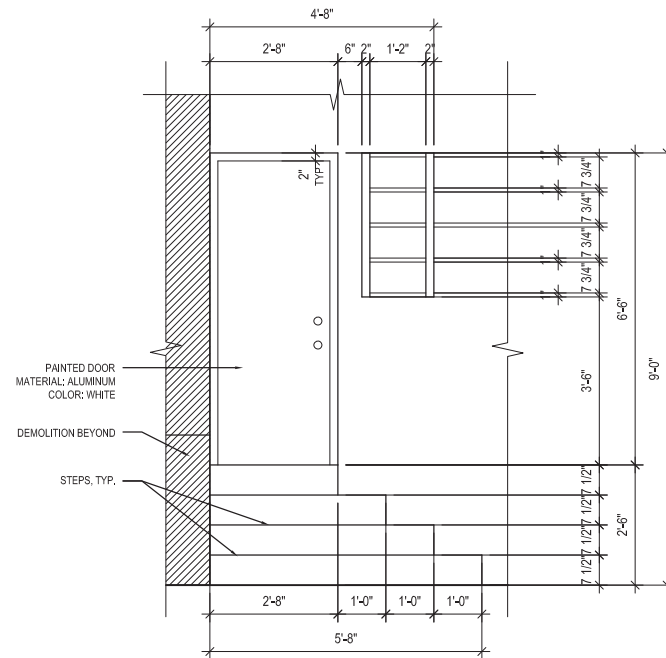
4 RESTORATION DETAIL - SOUTH ELEVATION

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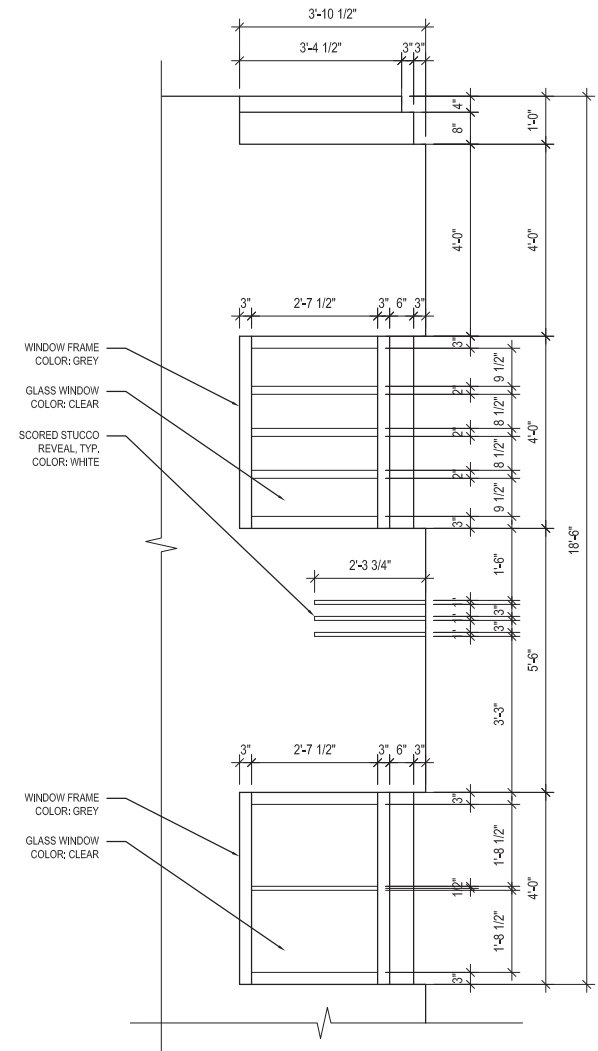
3 RESTORATION DETAIL - EAST ELEVATION

SCALE: NTS



2 RESTORATION DETAIL - EAST ELEVATION

SCALE: NTS



RESTORATION DETAIL - EAST ELEVATION
SCALE: NTS



PROJECT ANALISIS/FAR INDEX

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Item #	Zoning information			
1	West Parcel Address:	1601 Drexel Avenue		
2	East Parcel Address:	1600 Washington Avenue		
3	Board and file numbers			
4	West parcel Folio number(s):	02-3234-006-0040		
5	East Parcel Folio number(s):	02-3234-006-0010		
6	West parcel year constructed:	2012	Zoning District:	CD-3 Commercial, Liberal
7	East parcel year constructed:	1938	Zoning District:	CD-3 Commercial, Liberal
8	Based Flood Elevation:	8.00 NGVD	Grade value in NGVD:	5.8'
9	Adjusted grade (Flood+Grade/2)	6.9' NGVD	Lot Area:	66,708 SF
10	West Parcel Lot width:	277'-1"	West Parcel Lot Depth:	163'-8"
11	East Parcel Lot width:	100'-0"	East Parcel Lot Depth:	162'-0"
12	Alley Lot width:	23'-0"	Alley Lot Depth:	232'-0"
13	Minimum Unit Size	550SF	Min. Average Unit size	800 SF
14	West Parcel Existing use:	Parking Garage/Retail		
15	East Parcel Existing use:	Residential/Retail	Proposed Use:	Mixed-Use Retail (CD-3)/Residential (RM-3)

	Lot Area Summary	Maximum	Existing	Proposed	Deficiencies
16	Height	100'-0"	24'-6"	108'-0"*****	N/A
17	Number of stories	10	2	10	N/A
18	FAR	183,964 GSF	40,969 GSF	175,523 GSF	N/A
19	Gross Square Footage	N/A	212,802 GSF	378,806 GSF	N/A
	Square Footage by use:	N/A	N/A	N/A	N/A
	a. Retail	N/A	25,467 GSF	28,520 GSF	N/A
	b. Residential	N/A	5,606 GSF	175,888 GSF	N/A
	c. Parking	N/A	168,401 GSF	168,401 GSF	N/A
	d. BOH	N/A	N/A	5,997 GSF	N/A
20	Number of units Residential	N/A	N/A	134	N/A
21	Number of units Hotel	N/A	N/A	N/A	N/A
22	Number of seats	N/A	N/A	N/A	N/A
23	Ocuppancy Load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal: CD-3				
24	Front Setback	0'	0'	0'	N/A
25	Side Interior Setback	0'	10'	0'	N/A
26	Side Setback facing Street:	0'	0'	0'	N/A
27	Rear Setback	5'	0'	[0']	N/A
	Pedestal: RM-2*				
28	Front Setback	20'	N/A	[0']	N/A
29	Side Interior Setback	8'**	N/A	[0']	N/A
30	Side Setback facing Street	8'**	5'	[0']	N/A
31	Rear Setback	10'*****	N/A	[0']	N/A
	Tower: RM-2*				
32	Front Setback	50' Max. ***	N/A	[0']	N/A
33	Side Interior Setback:	19'*****	N/A	[0']	N/A
34	Side Setback facing Street:	8'**	N/A	[0']	N/A
35	Rear Setback:	15'*****	N/A	[0']	N/A

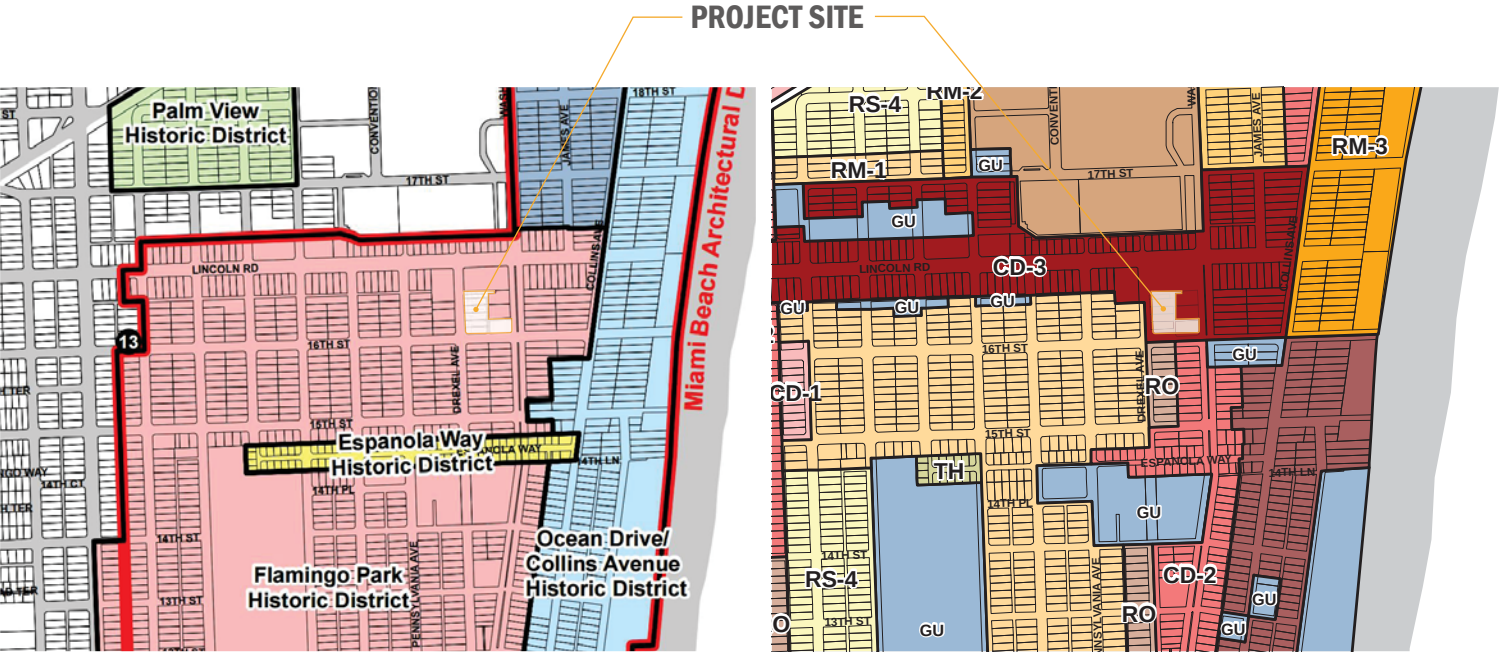
- * Residential uses in CD-3 district should follow RM-2 setbacks
- ** Sum of side setbacks shall equal 16% of lot width: Minimum of 7.5' or 8% of lot width, whichever is greater
- *** 20' + 1' for every 1' increase in height above 50' to a maximum of 50'
- **** Required pedestal setback plus 10% of the height of the tower portion of the building, not to exceed 50'
- ***** 10% of Lot Depth
- ***** 15% of Lot Depth
- *****
 - Includes 3'-0" Variance
 - Includes 5'-0" - FreeBoard Elevation
 - Includes min. height required for future height retail use of 16'-0" and to protect Historical Structure

ZONING INFORMATION
NTS

Item #	Parking	Required	Existing	Proposed	Deficiencies
36	Parking district	(W) District 7 (E) District 7	(W) District 7 (E) District 7	(W) District 7 (E) District 7	N/A
37	Total # of Parking spaces	492	494	494	N/A
	a. Residential Units	207	N/A	N/A	N/A
	b. Visitor Parking	21	N/A	N/A	N/A
	c. New World Symphony	175	N/A	N/A	N/A
	d. Time Out Market	80	N/A	N/A	N/A
	e. Proposed Retail	9	N/A	N/A	
38	Parking Space Dimensions	8'-6"w x 18'-0" d	8'-6"w x 18'-0" d	8'-6"w x 18'-0" d	N/A
39	Parking space configuration (45,60,90 Parallel)	90	90	90	N/A
40	ADA spaces	12'-0"w x18'-0"d 5' w access path	12'-0"w x18'-0"d 5' w access path	12'-0"w x18'-0"d 5' w access path	N/A
41	Tandem Spaces	N/A	N/A	N/A	N/A
42	Drive aisle Width	22'	22'	22'	N/A
43	Valet Drop off and pick up	N/A	N/A	N/A	N/A
44	Loading zones and trash collection areas	5 berths	2 berths	3 additional berths - 5 total	N/A
45	Bicycle parking, Location and number of racks	Short term: 6 racks Long Term: 6 racks	Short term: 17 racks Long Term: 17 racks	Short term: 17 racks Long Term: 17 racks	N/A
46	Is this an NIE? (Neighborhood Impact Establishment see CBM 141-1361)	N/A			
47	Is dancing and/or entertainment proposed? (see CBM 141-1361)	N/A			
48	is this a contributing building?	N/A			
49	Located within a Local Historic District?	Flamingo Park Historic District			

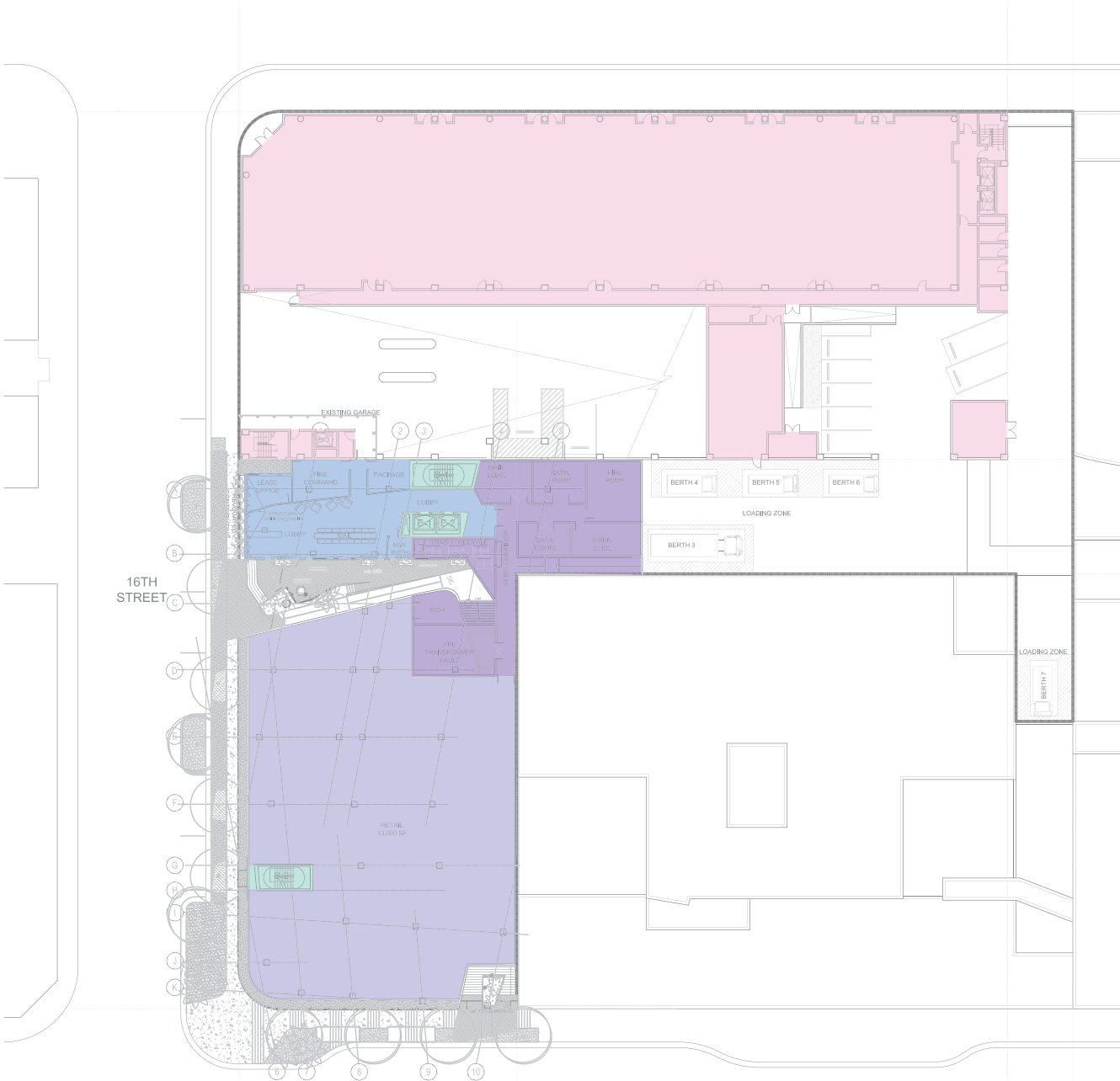
NOTE:
New Construction FAR: 149,963 SF
New Construction Gross: 185,171 SF

ZONING INFORMATION
NTS



HISTORICAL DISTRICT MAP
NTS

ZONING MAP
NTS



1 LEVEL 01 FAR DIAGRAM - PROPOSED
SCALE: NTS

AREA SCHEDULE (FAR) GROUND LEVEL		
Level	Comments	Area
Ground Level	Core FAR	643 SF
Ground Level	Retail FAR	13,000 SF
Ground Level	Service/BOH FAR	3,285 SF
Ground Level	Lobby/Amenity FAR	2,360 SF
Ground Level	Restroom FAR	89 SF
Ground Level	Existing Garage FAR	21,802 SF
Total		41,179 SF

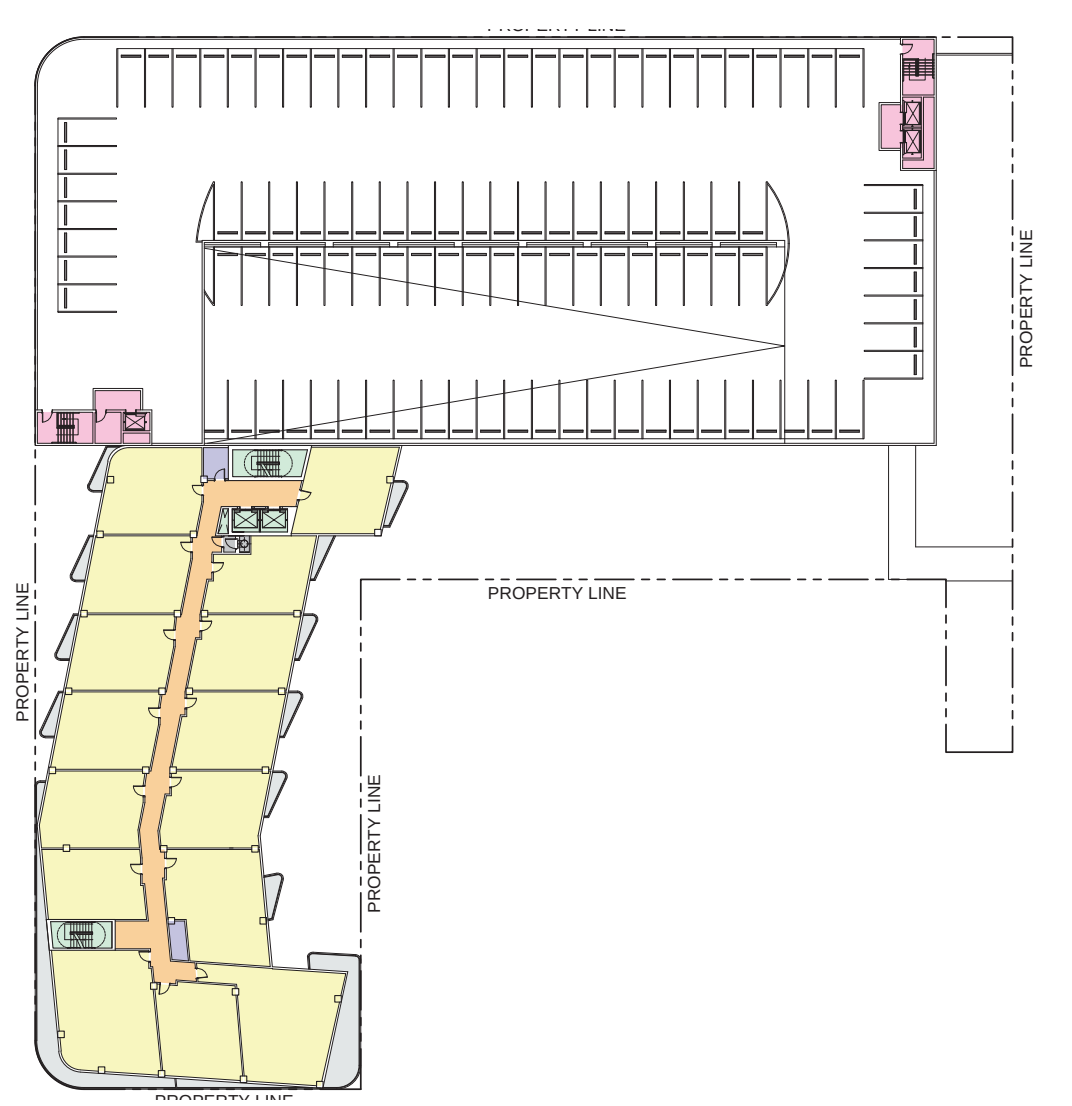
AREAS FAR/NON-FAR	
CORE FAR	
RETAIL FAR	
SERVICE/BOH FAR	
LOBBY/AMENITY FAR	
RESTROOM FAR	
TRASH NON-FAR	
EXISTING GARAGE FAR	



2 LEVEL 02 FAR DIAGRAM - PROPOSED
SCALE: NTS

AREA SCHEDULE (FAR) LEVEL 02		
Level	Comments	Area
Level 02	Core FAR	700 SF
Level 02	Common FAR	1,563 SF
Level 02	Residential FAR	8,555 SF
Level 02	Service/BOH FAR	916 SF
Level 02	Lobby/Amenity FAR	1,170 SF
Level 02	Restroom FAR	84 SF
Level 02	Existing Garage FAR	714 SF
Total		13,702 SF

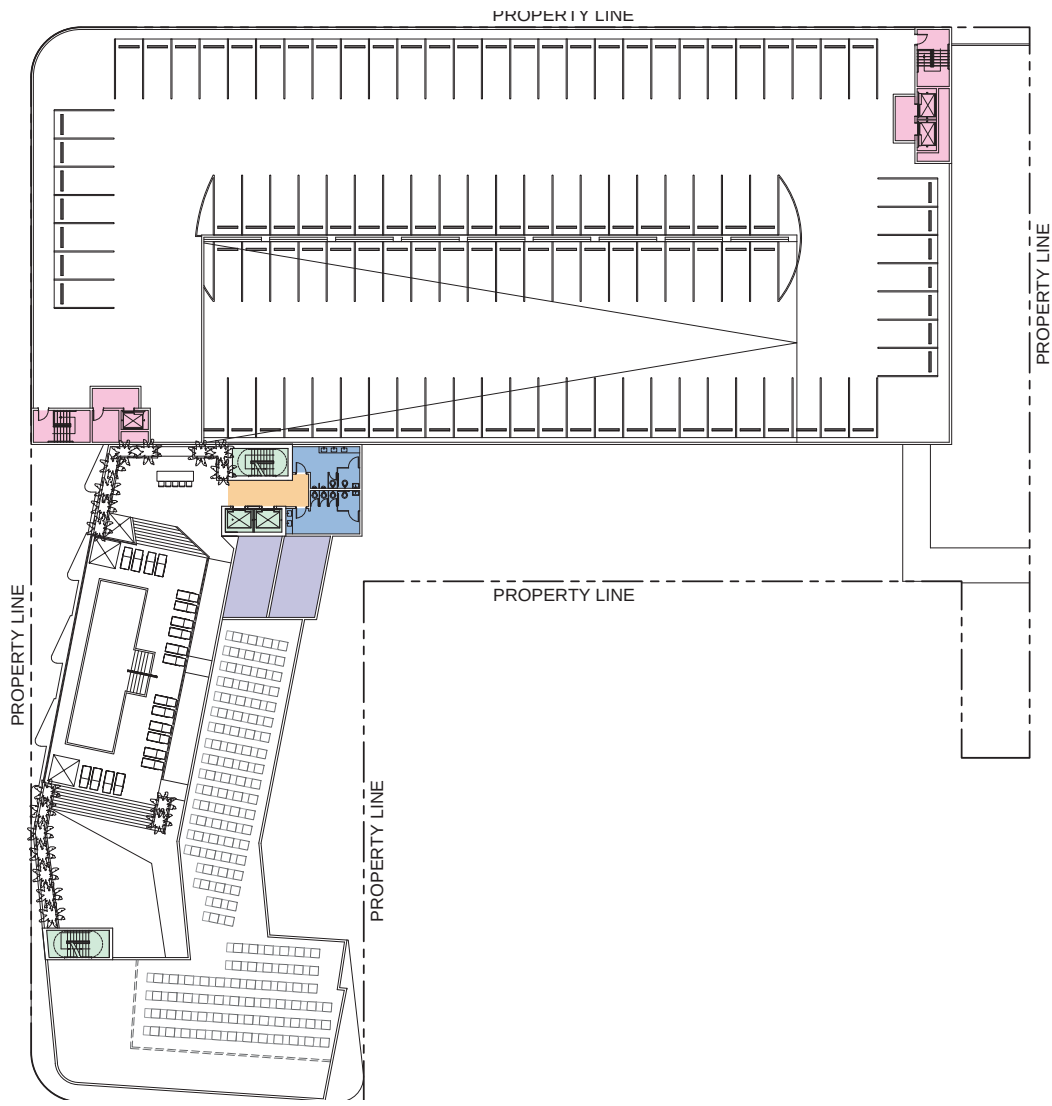
AREAS FAR/NON-FAR	
CORE FAR	
COMMON FAR	
RESIDENTIAL FAR	
SERVICE/BOH FAR	
LOBBY/AMENITY FAR	
RESTROOM FAR	
TRASH NON-FAR	
GENERATOR NON-FAR	
BALCONY NON-FAR	
EXISTING GARAGE FAR	



AREA SCHEDULE (FAR) LEVEL 03-10 (PER FLOOR)		
Level	Comments	Area
Level 03-10	Core FAR	700 SF
Level 03-10	Common FAR	1,387 SF
Level 03-10	Residential FAR	12,204 SF
Level 03-10	Service/BOH FAR	143 SF
Level 03-05	Existing Garage FAR	714 SF
Total		15,148 SF

- AREAS FAR/NON-FAR
- CORE FAR
 - COMMON FAR
 - RESIDENTIAL FAR
 - SERVICE/BOH FAR
 - TRASH NON-FAR
 - BALCONY NON-FAR
 - EXISTING GARAGE FAR

3 LEVEL 03-10 FAR DIAGRAM - PROPOSED
SCALE: NTS



AREA SCHEDULE (FAR) ROOF LEVEL		
Level	Comments	Area
Roof Level	Core FAR	643 SF
Roof Level	Common FAR	208 SF
Roof Level	Service/BOH FAR	734 SF
Roof Level	Restroom FAR	548 SF
Roof Level	Existing Garage FAR	895 SF
Total		3,028 SF

- AREAS FAR/NON-FAR
- CORE FAR
 - COMMON FAR
 - SERVICE/BOH FAR
 - RESTROOM FAR
 - EXISTING GARAGE FAR

4 ROOF LEVEL FAR DIAGRAM - PROPOSED
SCALE: NTS

AREA SCHEDULE (FAR) GROUND LEVEL		
Level	Comments	Area
Ground Level	Core FAR	643 SF
Ground Level	Retail FAR	13,000 SF
Ground Level	Service/BOH FAR	3,285 SF
Ground Level	Lobby/Amenity FAR	2,360 SF
Ground Level	Restroom FAR	89 SF
Ground Level	Existing Garage FAR	21,802 SF
Total		41,179 SF

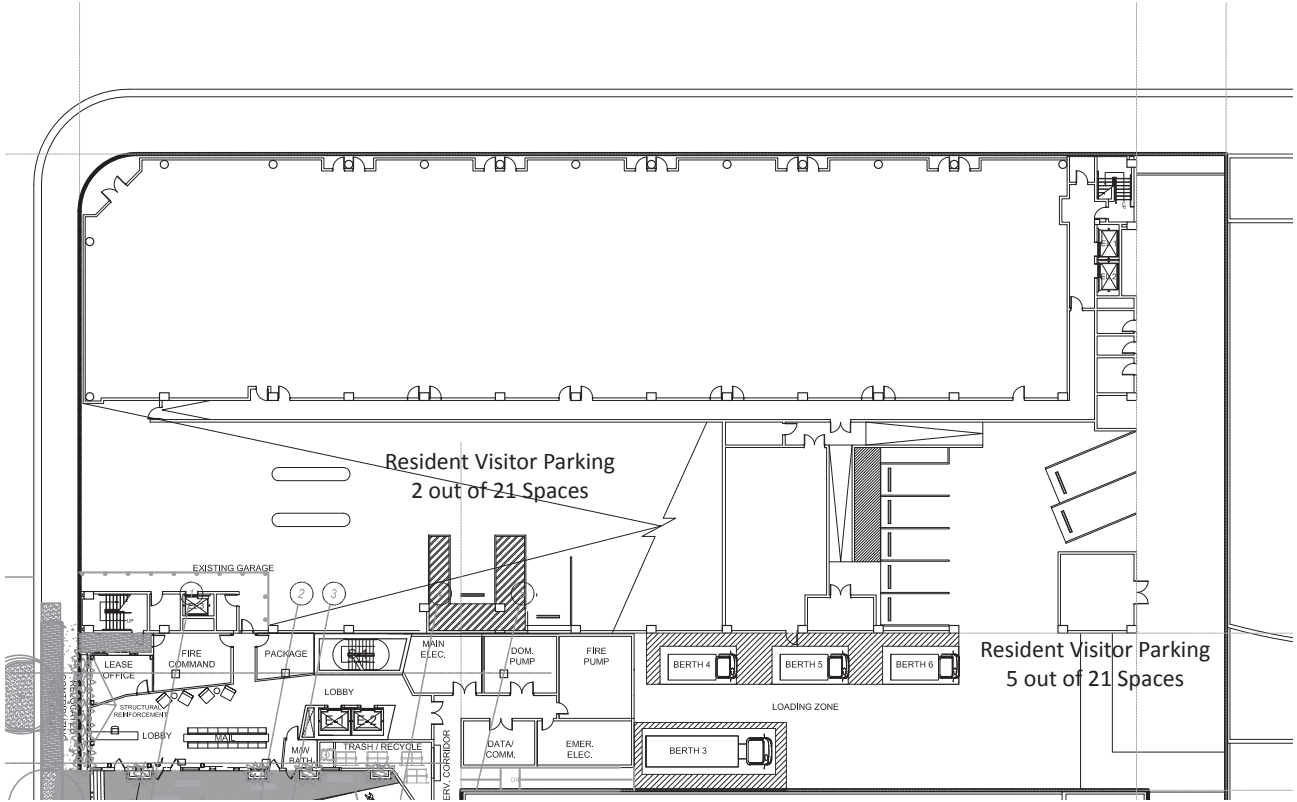
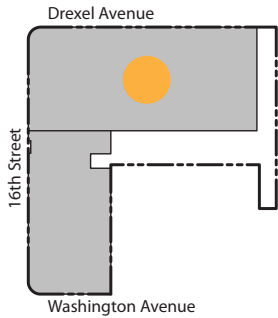
AREA SCHEDULE (FAR) LEVEL 02		
Level	Comments	Area
Level 02	Core FAR	700 SF
Level 02	Common FAR	1,563 SF
Level 02	Residential FAR	8,555 SF
Level 02	Service/BOH FAR	916 SF
Level 02	Lobby/Amenity FAR	1,170 SF
Level 02	Restroom FAR	84 SF
Level 02	Existing Garage FAR	714 SF
Total		13,702 SF

AREA SCHEDULE (FAR) LEVEL 03-10 (PER FLOOR)		
Level	Comments	Area
Level 03-10	Core FAR	700 SF
Level 03-10	Common FAR	1,387 SF
Level 03-10	Residential FAR	12,204 SF
Level 03-10	Service/BOH FAR	143 SF
Level 03-05	Existing Garage FAR	714 SF
Total		15,148 SF

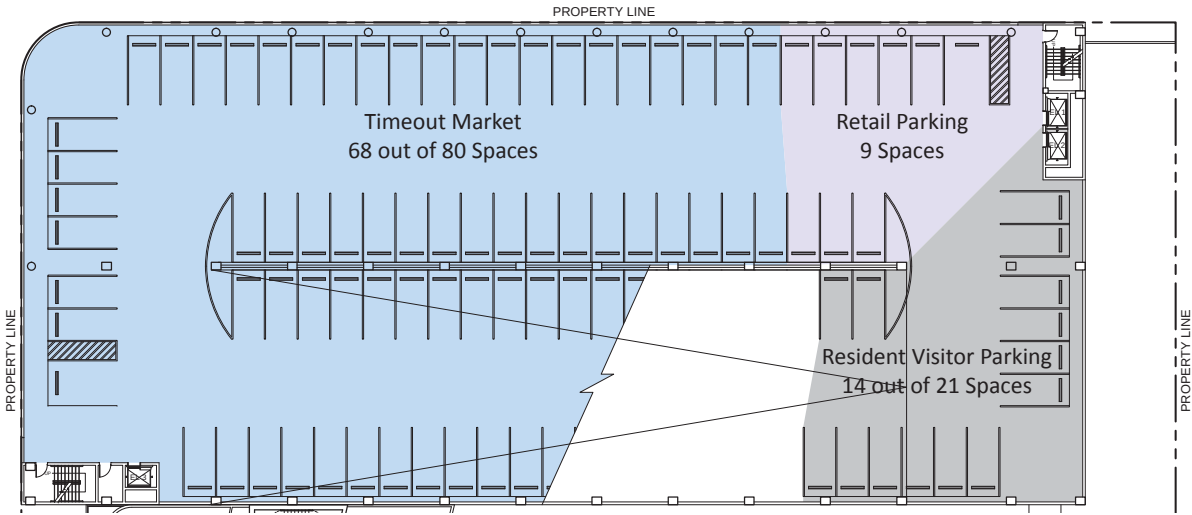
AREA SCHEDULE (FAR) ROOF LEVEL		
Level	Comments	Area
Roof Level	Core FAR	643 SF
Roof Level	Common FAR	208 SF
Roof Level	Service/BOH FAR	734 SF
Roof Level	Restroom FAR	548 SF
Roof Level	Existing Garage FAR	895 SF
Total		3,028 SF

AREA SCHEDULE (FAR) TOTAL	
Comments	Area
Core FAR	7,586 SF
Common FAR	12,867 SF
Residential FAR	106,187 SF
Retail FAR	13,000 SF
Service/BOH FAR	6,079 SF
Lobby/Amenity FAR	3,530 SF
Restroom FAR	721 SF
Existing Garage FAR	25,553 SF
175,523 SF	

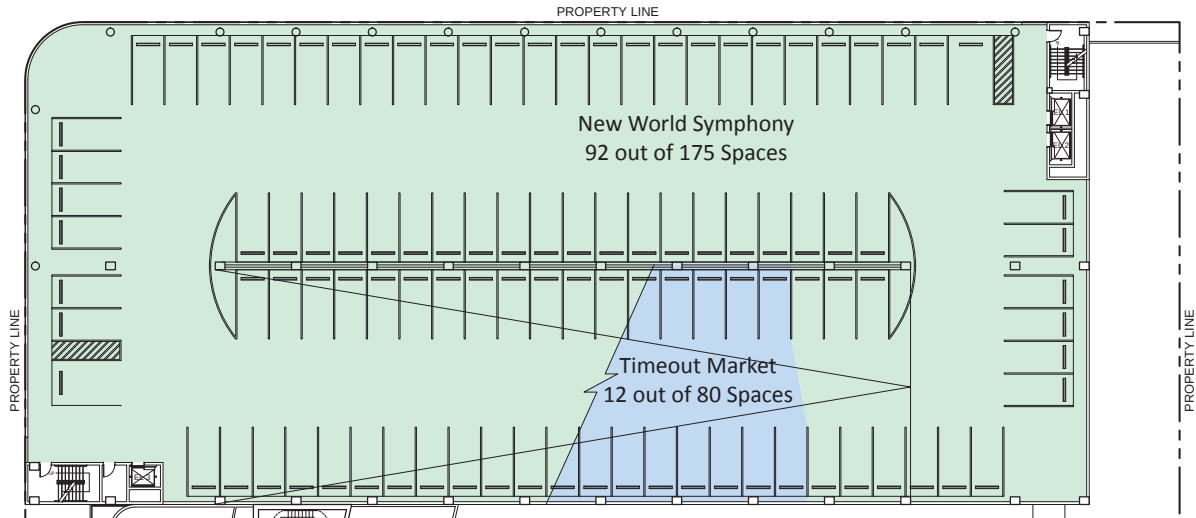
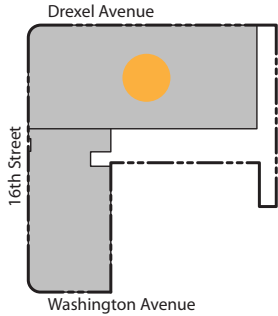
I TOTAL FAR
NTS



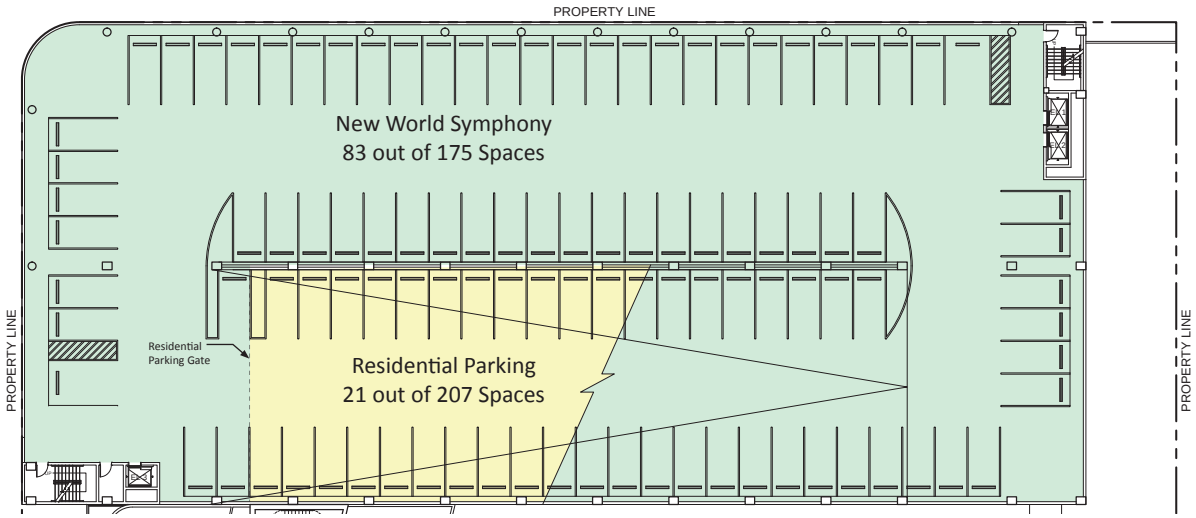
1 PARKING LEVEL 01
SCALE: 1" = 50'-0"



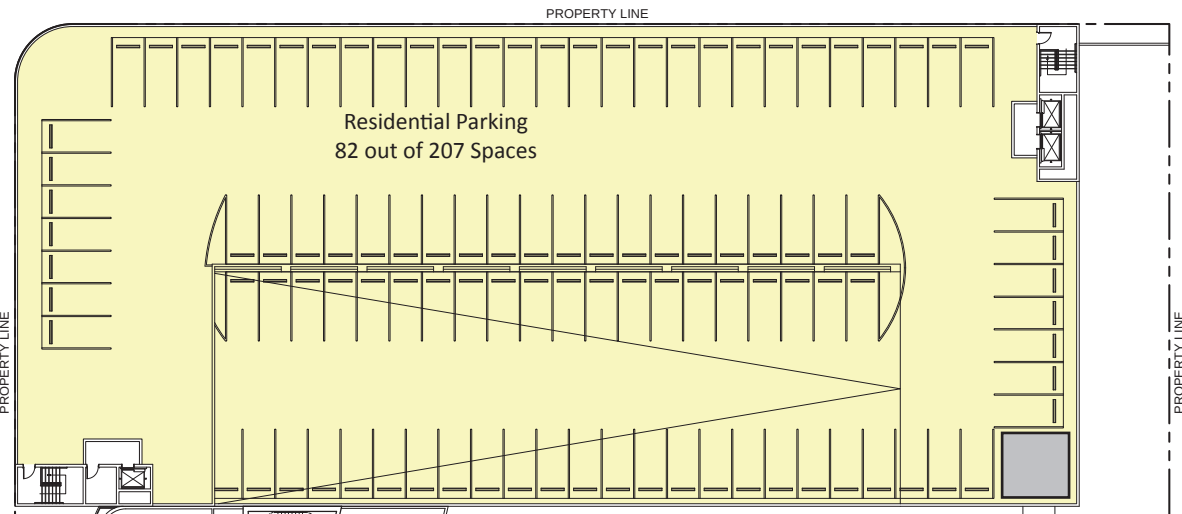
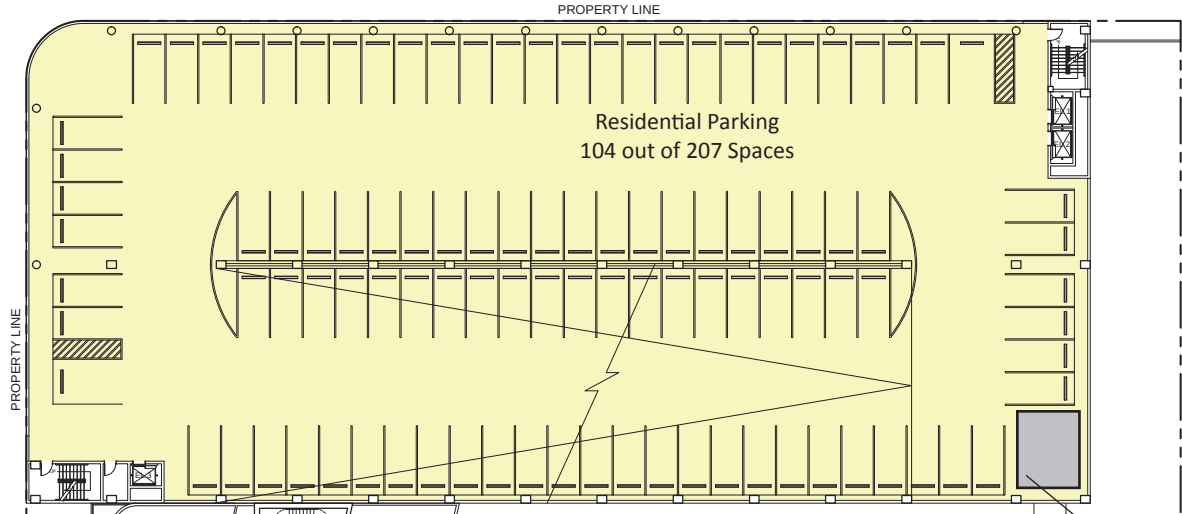
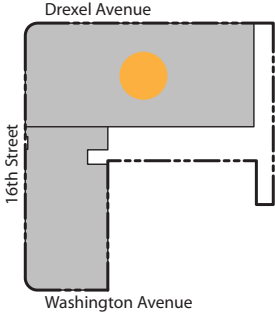
2 PARKING LEVEL 02
SCALE: 1" = 50'-0"



3 PARKING LEVEL 03
SCALE: 1" = 50'-0"



4 PARKING LEVEL 04
SCALE: 1" = 50'-0"



BICYCLE RACK
LOCATION. 16 SPACES /
LEVEL (TYP)

1 PARKING LEVEL 05
SCALE: 1" = 50'-0"

2 PARKING ROOF
SCALE: 1" = 50'-0"



BICYCLE RACK EXAMPLES