

LEGEND

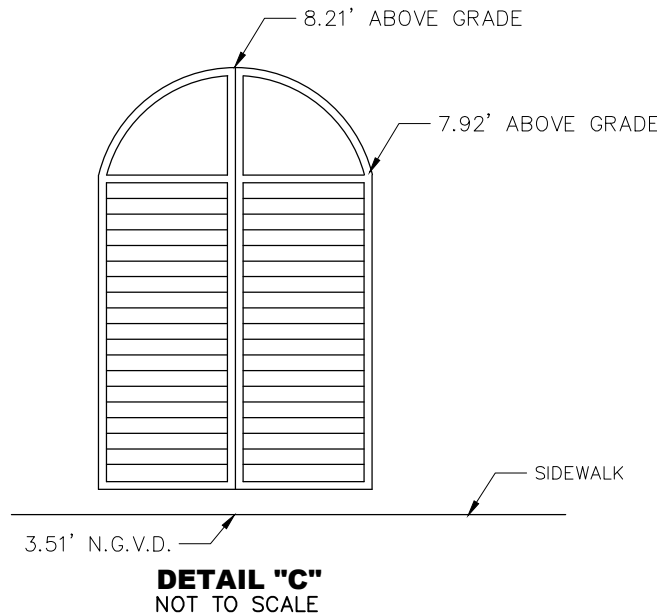
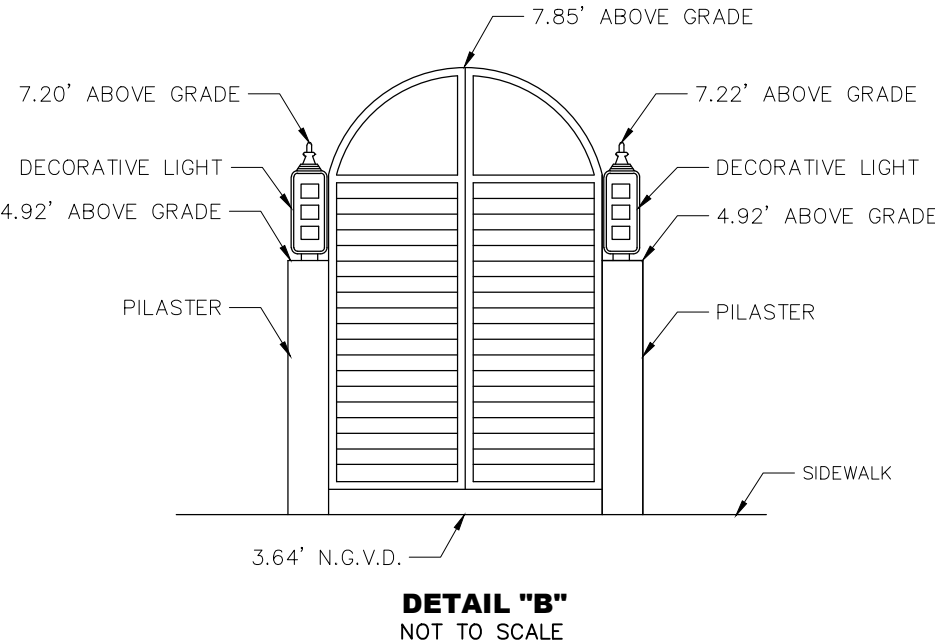
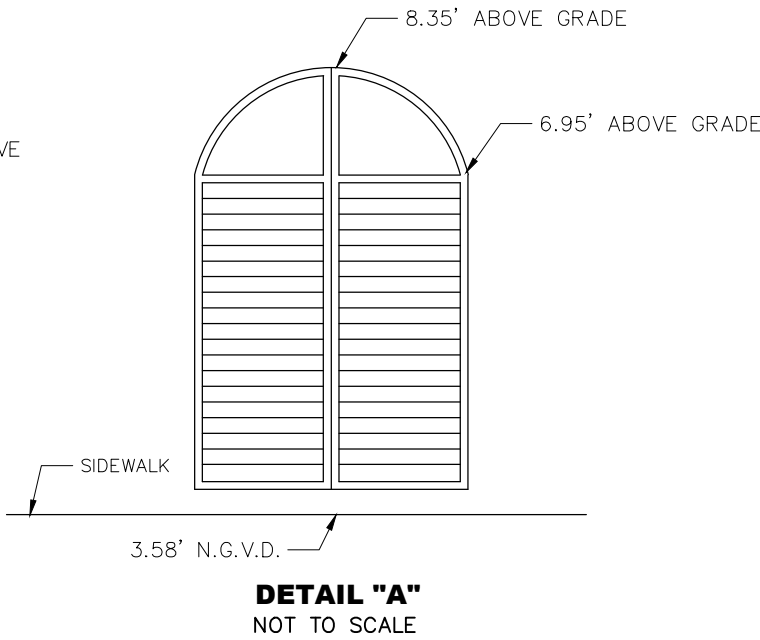
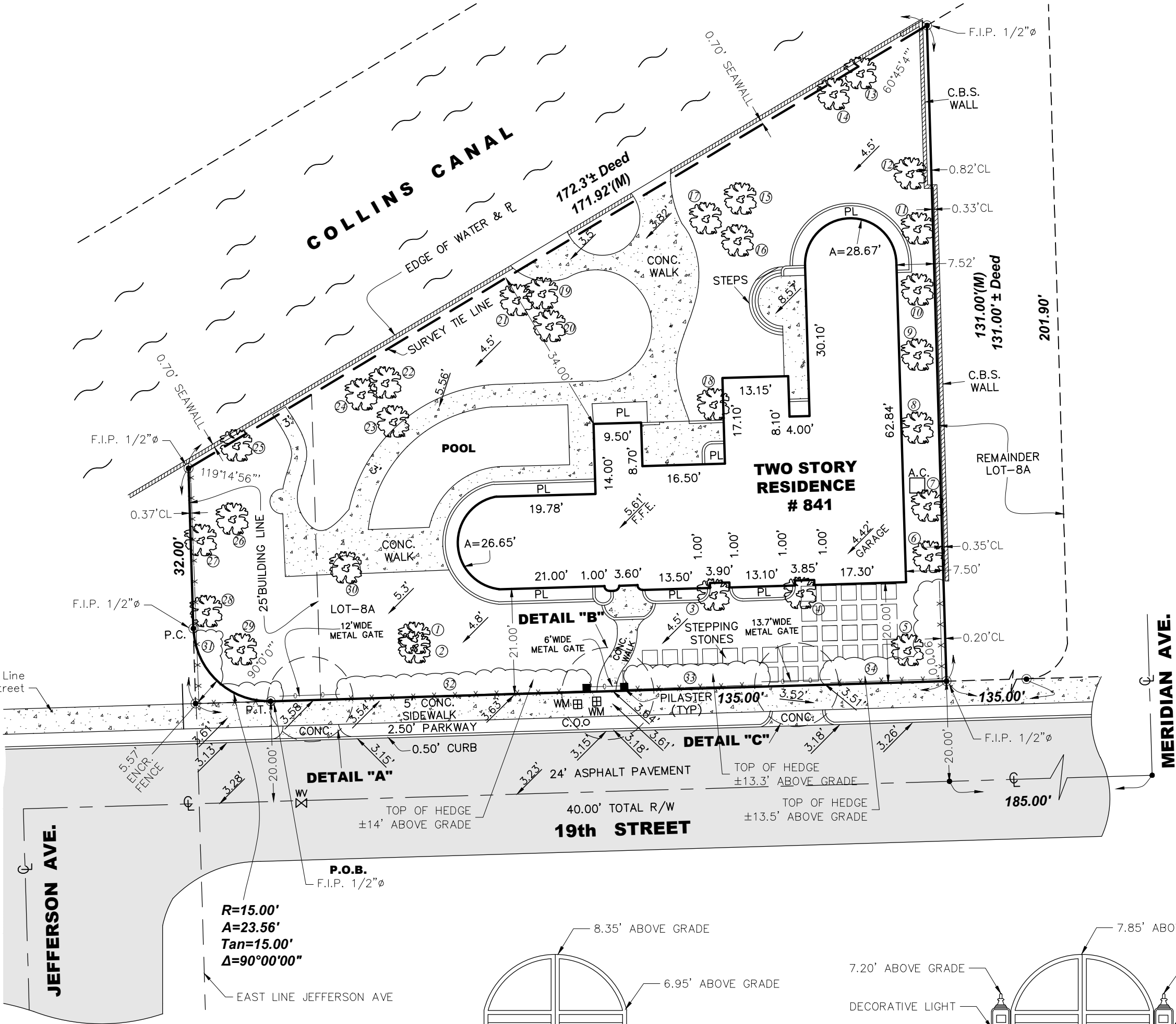
- A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CB = Catch basin
CBS = Concrete Block
Structure
CH = Chord
Chatta = Chattahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance
Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
FD = Found
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON. = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
P.L. = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference
Monument
P.R.C. = Point of Reverse
Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor
Mapper
R/W = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
✕ = Denotes Spot
Elevations Taken

- g) All roads shown hereon are public unless otherwise noted.
h) No identification cap found on property corners unless otherwise noted.
i) Distance along boundary are record and measured unless otherwise noted.
j) The graphic portions of this document are intended to be displayed at the graphic name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when used.
k) Accuracy: The expected use of land as classified in the minimum technical standards (S17-FAC), is "Suburban". The Minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed survey figure was found to be within the minimum relative distance accuracy.
l) Contact the engineer for any questions or to schedule field work or excavation on the herein described parcel for building, zoning information and utilities location.

- NOTE: Easements and/or encroachments shown hereon are of the apparent nature, fence legal ownership is not shown. The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
a) Code restrictions and title search not reflected in this survey.
b) The survey is not intended to be used for any other purpose, if any, not located.
c) The information shown hereon does not imply that the subject property will or not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
d) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

TREE CHART

#	DESCRIPTION	Ø	HEIGHT	CANOPY
1	PALM	4.8"	15'	10'
2	PALM	4.8"	15'	10'
3	PALM	6"	20'	15'
4	PALM	6"	20'	12'
5	COCONUT PALM	12"	50'	12'
6	COCONUT PALM	8.4"	48'	18'
7	COCONUT PALM	8.4"	48'	18'
8	COCONUT PALM	10.8"	40'	15'
9	COCONUT PALM	10.8"	40'	15'
10	COCONUT PALM	10.8"	40'	15'
11	COCONUT PALM	10.8"	40'	18'
12	COCONUT PALM	10.8"	40'	18'
13	COCONUT PALM	24"	20'	18'
14	COCONUT PALM	24"	20'	12'
15	COCONUT PALM	8.4"	20'	15'
16	COCONUT PALM	8.4"	20'	15'
17	COCONUT PALM	8.4"	20'	15'
18	PALM	24"	10'	6'
19	COCONUT PALM	8.4"	20'	15'
20	COCONUT PALM	8.4"	20'	15'
21	COCONUT PALM	8.4"	20'	15'
22	COCONUT PALM	10.8"	20'	15'
23	COCONUT PALM	10.8"	20'	15'
24	COCONUT PALM	10.8"	20'	15'
25	COCONUT PALM	8.4"	15'	10'
26	COCONUT PALM	8.4"	15'	10'
27	COCONUT PALM	8.4"	20'	16'
28	COCONUT PALM	8.4"	20'	16'
29	COCONUT PALM	8.4"	20'	16'
30	PALM	24"	50'	10'
31	HEDGE	6"	15'	4'
32	HEDGE	6"	15'	4'
33	HEDGE	6"	15'	15'
34	HEDGE	6"	15'	4'



NOTES:
Elevations Show refer to NGVD 1929
BM # Y-310-R (Miami-Dade)
Elevation = 5.62 ft (N.G.V.D.)

Certified to:
CJB Buena Vista LLC

Address:
841 19th Street, Miami Beach, FL 33139

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

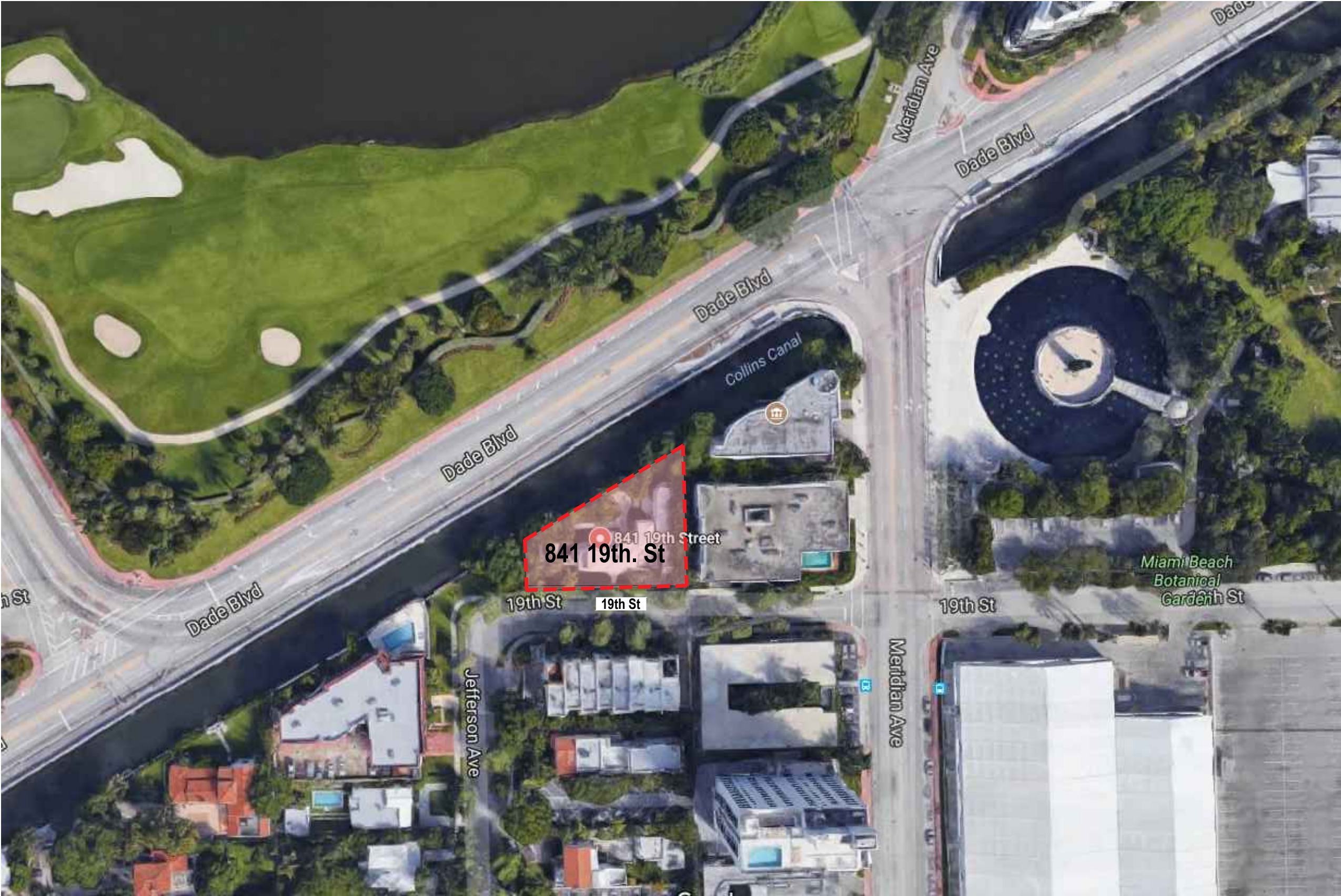
Bearing, if any, shown based on N/A (reference) N/A

REVISIONS: TREE SURVEY 06/22/2017 ELEVATIONS ADDED 08/28/2017 ELEVATIONS ADDED 10/20/2017			
FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0317	SUFFIX L
F.I.R.M.DATE 09 / 11 / 09	F.I.R.M.INDEX 09 / 11 / 09	BASE ELEV. + 8 FT N.G.V.D.	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.
RENE ALVARES VIVES 05/16/17
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

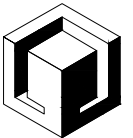
Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 05/11/17	Scale: 1"=20'	Drawn by: R.S.	Drwg. No. 17-19209
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1 LOCATION MAP
SCALE: N.T.S.

DBLEWIS-ARCHITECT



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dbewisarch@gmail.com dbewisarchitect.com

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AR0017357 ID004536

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RESIDENCE

PROJECT #
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MIAMI BEACH, FL 33139

OWNER
CJB BUENA VISTA LLC
2505 STRATFORD DR
AUSTIN, TX 78746

STRUCTURAL ENGINEER:

MEP + F ENGINEER:

CIVIL ENGINEER:

SOIL ENGINEER:

LANDSCAPE ARCHITECT:

REVISIONS	DATE

ISSUE DATE JUNE 21st, 2017
DWN GR APPRV DBL

Drawing :
LOCATION MAP

Scale :
AS INDICATED
ON PLANS

Phase :
SCHEMATIC DESIGN

Sheet Number :
A0.02

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2 NORTHWEST VIEW
SCALE: N.T.S.



1 AERIAL VIEW - KEY PLAN
SCALE: N.T.S.

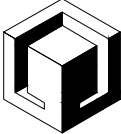


4 EXIST. OPPOSITE BUILDINGS (ACROSS 19TH ST)
SCALE: N.T.S.



3 SOUTHEAST VIEW
SCALE: N.T.S.

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CONTEXT PHOTOS

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AS INDICATED
ON PLANS

Phase :
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Sheet Number :
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2 EAST BLDG. VIEW
SCALE: N.T.S.



1 AERIAL BLDG. VIEW - KEY PLAN
SCALE: N.T.S.

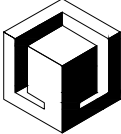


4 MAIN ENTRY - SOUTH VIEW
SCALE: N.T.S.



3 AUTO-GATE VIEW
SCALE: N.T.S.

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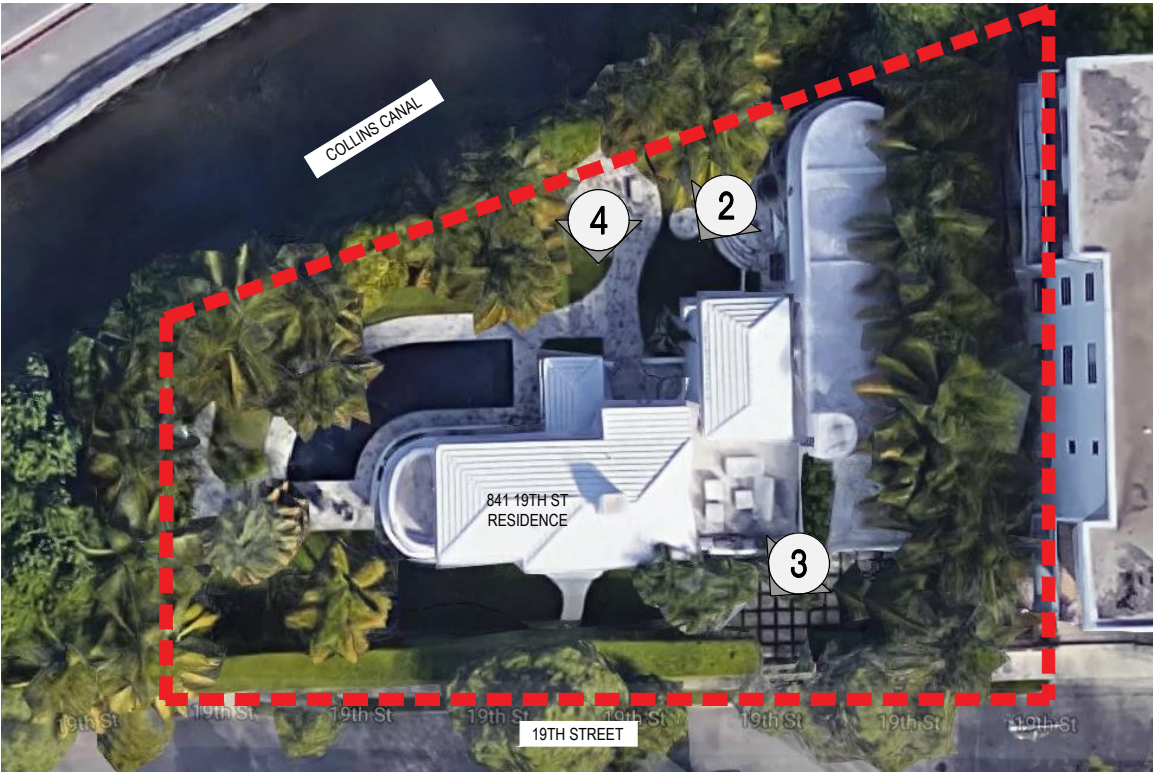
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Sheet Number :
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2 NORTHEAST BLDG. VIEW
SCALE: N.T.S.



1 AERIAL BLDG. VIEW - KEY PLAN
SCALE: N.T.S.

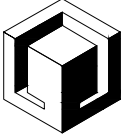


4 NORTH BLDG. VIEW
SCALE: N.T.S.



3 AUTO-GATE VIEW
SCALE: N.T.S.

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NORTH

SCALE (IN FEET)

4 8 16 32