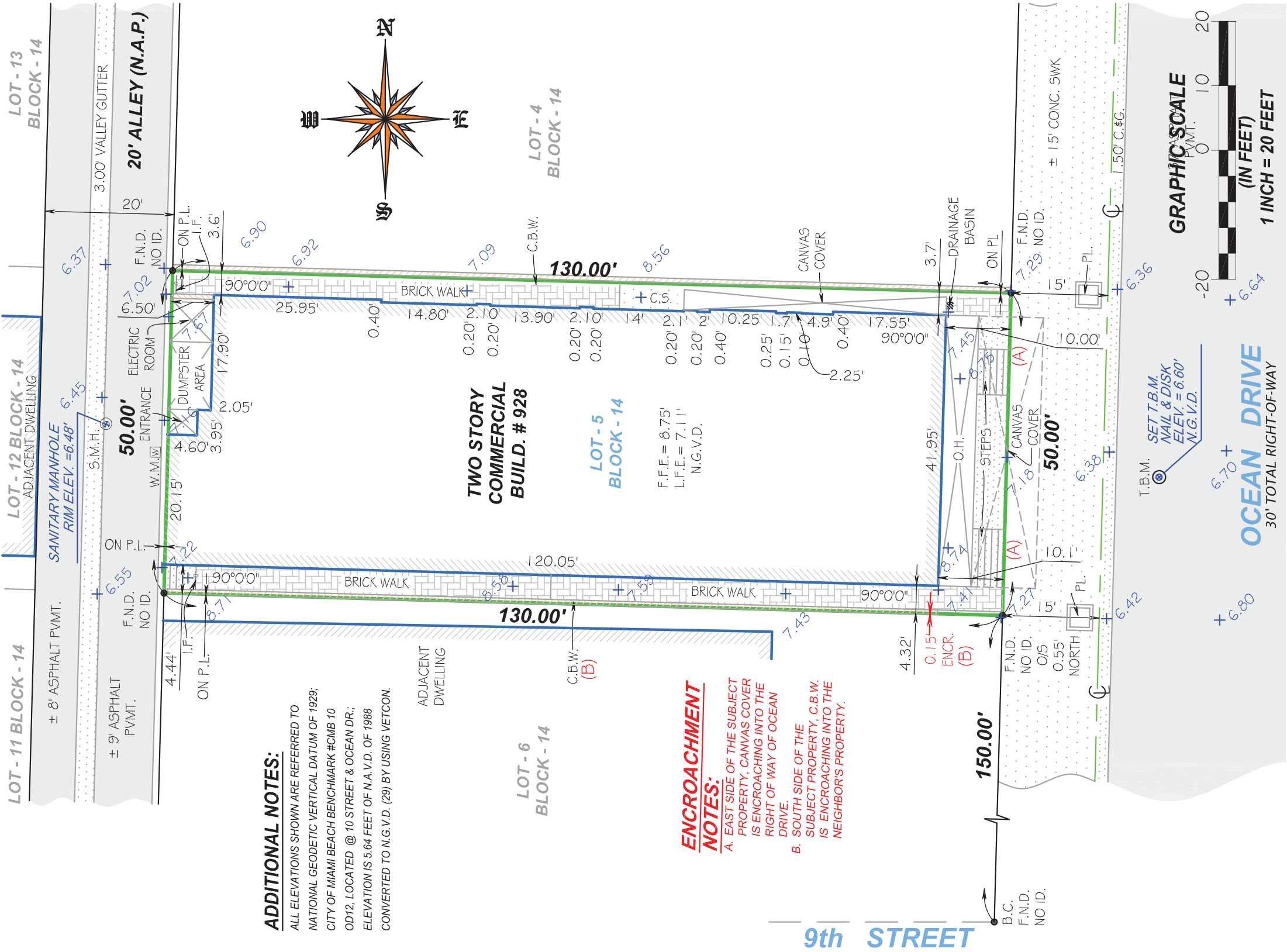


JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers
WWW.IBARRALANDSURVEYORS.COM
2804 DEL PRADO BLVD SOUTH
SUITE NO. 202 UNIT 1
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

928 OCEAN DR, MIAMI BEACH, FLORIDA 33139
(REV.0 10/31/2017)



ADDITIONAL NOTES:

ALL ELEVATIONS SHOWN ARE REFERRED TO
NATIONAL GEODETIC VERTICAL DATUM OF 1929;
CITY OF MIAMI BEACH BENCHMARK #CMB 10
OD12, LOCATED @ 10 STREET & OCEAN DR.;
ELEVATION IS 5.64 FEET OF N.A.V.D. OF 1988
CONVERTED TO N.G.V.D. (29) BY USING VETCOM.

ENCROACHMENT
NOTES:

- A. EAST SIDE OF THE SUBJECT
PROPERTY, CANVAS COVER
IS ENCROACHING INTO THE
RIGHT OF WAY OF OCEAN
DRIVE.
- B. SOUTH SIDE OF THE
SUBJECT PROPERTY, C.B.W.
IS ENCROACHING INTO THE
NEIGHBOR'S PROPERTY.

LEGAL DESCRIPTION:
LOT 5, BLOCK 14 OCEAN BEACH ADDITION NO. 2 ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 56 OF THE PUBLIC RECORDS
OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:
NANCY CALARA.

DRAWN BY: F.S.

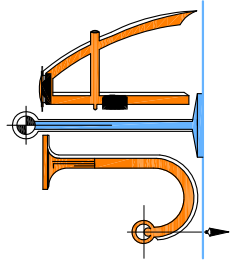
FIELD DATE: 10/27/2017

SURVEY NO: 16-005239-2

SHEET: 2 OF 2

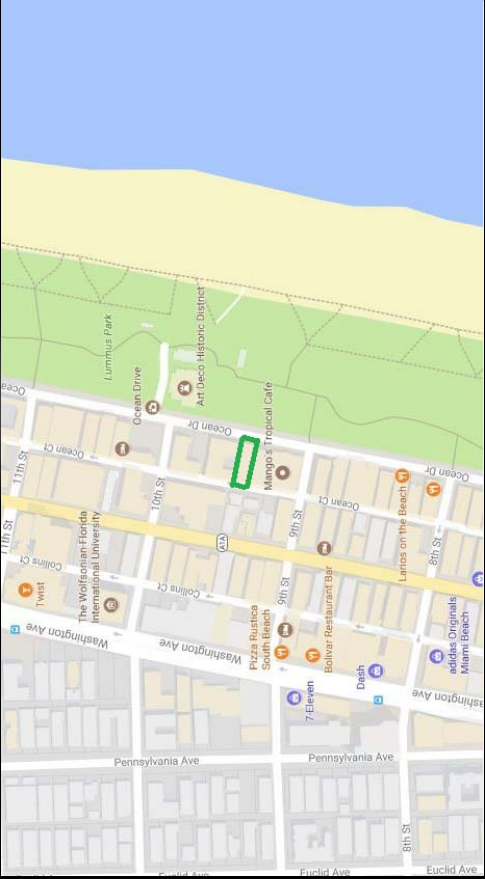
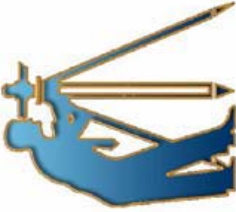


LB# 7806



JOHN IBARRA & ASSOCIATES, INC.
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SUITE 3025
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PH: (305) 262-0400
FAX: (305) 262-0401

4851 TAMiami TRAIL NORTH
SUITE # 200
NAPLES, FL 34103
PH: (239) 540-2660
FAX: (239) 540-2644



LOCATION SKETCH

SCALE = N.T.S.

VIEW OF SUBJECT PROPERTY

928 OCEAN DR, MIAMI BEACH, FLORIDA 33139

ABBREVIATIONS

- | | | | | | | | |
|--------|---------------------------------|-----------|------------------------------------|----------|--------------------------------|--------|-------------------------------|
| A | = ARC | E.T.P. | = ELECTRIC TRANSFORMER PAD | O.R.B. | = OFFICIAL RECORDS BOOK | T | = TANGENT |
| A.C. | = AIR CONDITIONER PAD | ELEV. | = ELEVATION | O.V.H. | = OVERHANG | T.B. | = TELEPHONE BOOTH |
| A.E. | = ANCHOR EASEMENT | ENCR. | = ENCROACHMENT | P.V.M.T. | = PAVEMENT | T.B.M. | = TEMPORARY BENCHMARK |
| A.R. | = ALUMINUM ROOF | F.H. | = FIRE HYDRANT | PL. | = PLANTER | T.U.E. | = TECHNOLOGY UTILITY EASEMENT |
| A.S. | = ALUMINUM SHED | F.I.P. | = FOUND IRON PIPE | P.L. | = PROPERTY LINE | T.S.B. | = TRAFFIC SIGNAL BOX |
| ASPH. | = ASPHALT | F.I.R. | = FOUND IRON ROD | P.C.C. | = POINT OF COMPOUND CURVATURE | T.S.P. | = TRAFFIC SIGNAL POLE |
| B.C. | = BLOCK CORNER | F.F.E. | = FINISHED FLOOR ELEVATION | P.C. | = POINT OF CURVATURE | TWP. | = TOWNSHIP |
| BLDG. | = BUILDING | F.F.D. | = FOUND NAIL & DISK | P.O.T. | = POINT OF TANGENCY | UTL. | = UTILITY |
| B.M. | = BENCH MARK | FT. | = FEET | P.O.C. | = POINT OF COMMENCEMENT | U.E. | = UTILITY EASEMENT |
| B.C.R. | = BROWARD COUNTY RECORDS | F.N. | = FOUND NAIL | P.O.B. | = POINT OF BEGINNING | U.P. | = UTILITY POLE |
| B.O.B. | = BASIS OF BEARING | H. | = HIGH OR (HEIGHT) | P.W.Y. | = PARKWAY | W.M. | = WATER METER |
| B.S.L. | = BUILDING SETBACK LINE | I.N.&E.G. | = INGRESS AND EGRESS EASEMENT | P.R.C. | = POINT OF REVERSE CURVATURE | W.F. | = WOOD FENCE |
| (C) | = CALCULATED | I.C.V. | = IRRIGATION CONTROL VALVE | P.R.M. | = PERMANENT REFERENCE MONUMENT | W.P. | = WOOD PORCH |
| C.B. | = CATCH BASIN | I.F. | = IRON FENCE | P.P. | = PROFESSIONAL LAND SURVEYOR | W.R. | = WOOD ROOF |
| C.B.S. | = CONCRETE BLOCK STRUCTURE | L.B. | = LICENSED BUSINESS | P.P.S. | = POWER POLE | W.V. | = WATER VALVE |
| C.B.W. | = CONCRETE BLOCK WALL | L.P. | = LIGHT POLE | P.U.E. | = POOL PUMP SLAB | W. | = WATER VALVE |
| CH. | = CHORD | L.F. | = LOWEST FLOOR ELEVATION | (R) | = RECORD DISTANCE | Δ | = CENTER LINE |
| CH.B. | = CHORD BEARING | L.M.E. | = LAKE MAINTENANCE EASEMENT | R.R. | = RAIL ROAD | Δ | = DELTA |
| CH.L. | = CHORD LENGTH | (M) | = MEASURED DISTANCE | RES. | = RESIDENCE | | |
| CL. | = CLEAR | M.B. | = MAIL BOX | R.W. | = RIGHT-OF-WAY | | |
| C.O. | = CLEAN OUT | M.D.C.R. | = MIAMI DADE COUNTY RECORDS | RAD. | = RADIUS OR RADIAL | | |
| C.L.F. | = CHAIN LINK FENCE | M.E. | = MAINTENANCE EASEMENT | RGE. | = RANGE | | |
| C.M.E. | = CANAL MAINTENANCE EASEMENT | M.H. | = MANHOLE | R.O.E. | = ROOF OVERHANG EASEMENT | | |
| CONC. | = CONCRETE | N.A.P. | = NOT A PART OF | SEC. | = SECTION | | |
| C.U.P. | = CONCRETE UTILITY POLE | NGVD | = NATIONAL GEODETIC VERTICAL DATUM | STY. | = STORY | | |
| C.P. | = CONCRETE PORCH | N.T.S. | = NOT TO SCALE | SWK. | = SIDEWALK | | |
| C.S. | = CONCRETE SLAB | # OR NO. | = NUMBER | S.I.P. | = SET IRON PIPE | | |
| C.W. | = CONCRETE WALK | O/S | = OFFSET | S | = SOUTH | | |
| D.E. | = DRAINAGE EASEMENT | O.H. | = OVERHEAD | S.P. | = SCREENED PORCH | | |
| D.M.E. | = DRAINAGE MAINTENANCE EASEMENT | O.H.L. | = OVERHEAD UTILITY LINES | S.V. | = SEWER VALVE | | |
| DRIVE | = DRIVEWAY | | | " | = SECONDS | | |
| ° | = DEGREES | | | | | | |
| EB | = ELECTRIC BOX | | | | | | |
- LEGEND**
- OVERHEAD UTILITY LINES
 - CONCRETE BLOCK WALL
 - CHAIN LINK FENCE
 - IRON FENCE
 - WOOD FENCE
 - BUILDING SETBACK LINE
 - UTILITY EASEMENT
 - LIMITED ACCESS RW
 - NON-VEHICULAR ACCESS RW
 - EXISTING ELEVATIONS
- × 0.00

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 8.00 FT). THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/2009.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  **JOHN IBARRA** (DATE OF FIELD WORK) **10/27/17**

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____
REVISED ON: _____

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.



LB# 7806

DRAWN BY: F.S.

FIELD DATE: 10/27/2017

SURVEY NO: 16-005239-2

SHEET: 1 OF 2

Location Plan + Zoning Data



928 OCEAN DRIVE
MIAMI BEACH, FLORIDA 33139

BUILT: 1994

FULL LEGAL DESCRIPTION

3 54 42 34 53 42
Ocean beach addn no 2 pb 2-56
Lot 5 blk 14
Lot size 50.000 X 130
Or 12342-335 1184 6

FOLIO NO.

02-3234-008-0040

LOCAL CODE:

City Of Miami Beach, Zoning Ordinance

ZONING:

MXE (Mixed Use Entertainment District)
Commercial

OCCUPANCY TYPE:

A-2

TWO-STORY BUILDING
CONSTRUCTION TYPE: IIA

BUSINESS ENTITY DATA:

THE GROUND FLOOR SPACE AND ROOFTOP ARE
OPERATED BY THE SAME VENDOR

INTERIOR GROUND FLOOR SEATING = 36 SEATS
ROOFTOP SEATING = 70 SEATS

