

Comesana Residence  
205 S Hibiscus Drive, Miami Beach, FL 33139



**VIA - SUBMISSION & HAND DELIVERY**

**Letter of Intent**

February 2, 2018

Thomas Mooney, Planning Director  
Miami Beach Planning Department and Design Review Board  
1700 Convention Center Drive  
Miami Beach, FL 33139

Re: Request for Waivers and Variances for a new residence located at  
205 S Hibiscus Dr. in Miami Beach.

Waivers: Side elevation exceeding 60 feet.  
Second Floor Exceeds 70% of proposed ground Floor  
area.  
Variances: Extension of front porch and roof overhang over the front  
overhang setback line.  
Proposed increase of interior side finish grade adjacent  
pool deck.

Dear Planning and Design Review Board:

John R. Medina and Associates Architects represents Mr. & Mrs.  
Comesana, owners of the property located at 205 S Hibiscus. Please  
consider this letter the applicant's required letter of intent in support of a  
waiver and variance approval by the Design Review Board ("DRB")

The Property is located on a 9,366 square foot lot, within the RS-4 zoning  
classification, General Single Family District. The Property is situated at  
the corner of Fountain Street and South Hibiscus Drive and is adjacent to  
an open alley on the East. This property can be further identified by  
Miami Dade County Folio No. 02-3232-005-0220.

The property, which is the subject of this application, will be contained  
completely within the property lot. The project consists of total demolition  
of the existing structure and a proposed two story residence.

The information contained herein is confidential. It is  
intended for the use of the individual or entity named  
above. If the reader of the message is not the intended  
recipient, you are hereby notified that any transmission,  
distribution, or copy of the communication is strictly  
prohibited. If you have any questions please notify us  
immediately by telephone, collect if necessary, and  
return the original to us at the above address via US  
Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

John R. Medina & Associates, Architects

Applicant's Proposal.

Waiver 1:

Waiver to increase the length of the side street elevation exceeding 60'-0" length.

As per Miami Beach Florida – Code of Ordinances, the allowed length of the side elevation at South Hibiscus Drive in 60 feet max. We are proposing 72'-2. Refer to code Sec. 142-106. - Setback requirements for a single-family detached dwelling. (2)-1.

The elevation has been articulated to provide movement and break the volumes in plan, elevation and in section.

Waiver 2:

Waiver to exceed 70% ratio of second floor to first floor.

The second floor unit size exceeds 70% of the proposed ground floor unit size. Refer to code Sec. 142-105. - Development regulations and area requirements ((b) Unit Size requirements).

The proposed second floor unit size exceeds 70% of the proposed ground floor since the open air area below the cantilever enclosed sitting room must be incorporated into the lot coverage calculation. This increases the lot coverage calculation from 23% to 26%.

Variance 1:

Variance request for the proposed front Porch/steps and front porch overhang extend over the front overhand setback line 2'-5" at the porch and 1'-4" at the roof respectively.

*•That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;*

This is a corner lot property located just north east of the entrance to Hibiscus Island. This corner lot provides high visibility and requires two significant setbacks, one at the front and one at the side street. The buildable area left once the minimum required setbacks are removed do not allow for a single story design which does not exceed the 30%

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

John R. Medina & Associates, Architects

maximum lot coverage criteria while responding to the corner condition and incorporating the required program, garage, rear yard/ pool and deck areas. This program is typical and commonly expected at comparable lots currently being built in the island. A two story L-shaped building is being proposed to address the significant location of the corner lot and accommodate other programming challenges. The two story structure requires for the front setback to be increased by an additional 10'-0" (30'-0" total). Elements such as wrapping balconies and overhangs are being utilized to emphasize the significance of the corner. The building has been setback as much as possible to accommodate the main building, overhangs and balconies within the allowed setback lines while still incorporating a small pool and pool deck. The waiver requested consists of a setback encroachment of 2'-5" at the front entrance porch (at ground level) and a 1'-4" setback encroachment at the cantilever roof structure above it.

- *That the special conditions and circumstances do not result from the action of the applicant;*

This special condition is due to the specific location and visual significance of the lot and it is not the action of the applicant.

- *That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;*

Granting this variance will not confer on the applicant any special privilege that is denied by ordinance to other lands.

- *That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;*

The literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant.

The proposed front open air porch is 8'-5" and it incorporates the required steps to go up to the new required finish floor elevation plus minimum freeboard. The landing area remaining directly in front of the entrance door is less than 6'-0". The steps were articulated to respond to the corner condition and the porch base help anchor the

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

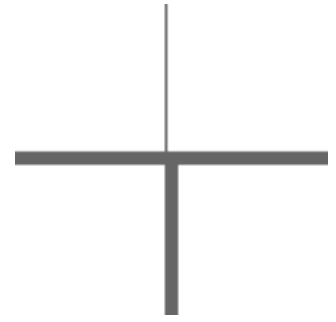
Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

John R. Medina & Associates, Architects



front façade while providing vertical circulation into the building. Making this structure narrower will not allow for a comfortable depth for the entrance porch to be utilized.

The cantilever front entrance roof overhand encroaches the front overhang setback by 1'-4". In an effort to maintain harmony with the main house roof, the same pitch as the overhangs is being proposed.

Columns are not proposed under this design to allow the roof structure to float over the entrance. The roof structure cantilevers from the proposed columns at the front entrance. Reducing the front overhang will change the pitch and overhang typical throughout the rest of the design.

- *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;*

The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

The entrance porch depth will be reduced to approximately 40" at the front entrance. When taking into consideration the door swing and the space remaining this condition can be considered less than desirable. Reducing the roof overhang will change the commonality of the elements (roof pitch or overhang) used in the remaining of the project and will break the harmony of this elevation.

- *That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and*

Granting of the variance will be in harmony with the general intent and purpose of this Ordinance. Such variance will not be injurious to the area involved or otherwise detrimental to the public welfare

- *That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.*

Granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

Pushing the building back in order to fit the proposed encroachment elements into the setback will reduce the already narrow circulation area at the pool deck.

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

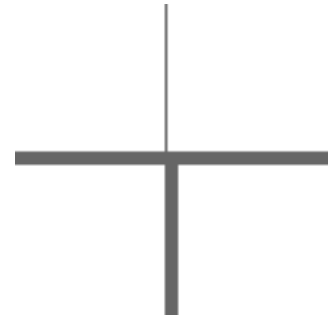
Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

John R. Medina & Associates, Architects



Variance 2:

Variance request for proposed increase of interior side finish grade adjacent pool deck from 8.76' NGVD allowed to 9.67' NGVD.

- *That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;*

The proposed finish floor elevation of eleven feet (11') considers the ten feet (10') floor elevation plus one foot (1') free board (minimum required). This elevation is the minimum required for new structures proposed at this location in order to meet the minimum flood criteria. These proposed floor elevations take into consideration the rising of the public right of way currently under construction in the island. The setbacks required for the front (30'), side street (15') and rear (20') reduce the buildable area for recreational deck and pool at this property.

The narrow area at the interior side of the property between the adjacent neighbors does not allow for a gradual descend to the only sodded area available for use from the pool deck. This is a request to raise grade approximately 11" at this section. This will facilitate access to and from this area to the deck and the house. A perimeter wall is also proposed in order to provide privacy to both lots and allow to control the sod level independently.

- *That the special conditions and circumstances do not result from the action of the applicant;*

This special condition is due to the finish floor elevation requirements and physical parameters of the site and it is not the action of the applicant.

- *That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;*

Granting this variance will not confer on the applicant any special privilege that is denied by ordinance to other lands.

- *That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other*

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

John R. Medina & Associates, Architects

*properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;*

Literal interpretation of the provisions of this ordinance will create a large drop off behind the pool deck area. The small sodded area would not be visible or approachable directly from the pool deck creating an undue hardship on the applicant.

- *That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;*

The variance granted is the minimum variance that will make possible the reasonable use of any sodded area from the pool deck.

- *That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and*

Granting of the variance will be in harmony with the general intent and purpose of this Ordinance. Such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

- *That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.*

Granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

John R. Medina & Associates, Architects

### **Compliance with Sea Level Rise and Resiliency Review Criteria**

- A recycling or salvage plan will be provided by the general contractor at the time of total demolition.
- Proposed windows and doors for the project are hurricane/impact resistant.
- Passive cooling systems such as overhangs and operable windows have been provided in the proposed design.
- Landscape design incorporates high water absorbent and Florida native plants.
- Study of elevation and elevation surrounding properties was considered for the adopted sea level rise projections in the Southeast

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net

Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact. Ground floor elevation was raised to meet flood base line and freeboard criteria.

- The ground floor level and the access and driveways have been adapted to accommodate the raising of the public right of way currently under construction.
- All critical mechanical and electrical systems are located above the base flood elevation.
- Existing building will be demolished. All habitable spaces are located above base flood elevation.
- Not Applicable - When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.
- Water retention systems such as swales are part of the topographic design of the property.



John R. Medina & Associates, Architects

The information contained herein is confidential. It is intended for the use of the individual or entity named above. If the reader of the message is not the intended recipient, you are hereby notified that any transmission, distribution, or copy of the communication is strictly prohibited. If you have any questions please notify us immediately by telephone, collect if necessary, and return the original to us at the above address via US Postal Service. We will reimburse you for your postage.  
Thank you

4901 SW 75th Avenue

Miami, Florida 33155

T 305.740.0554

F 305.740.5355

medinarchitects@bellsouth.net