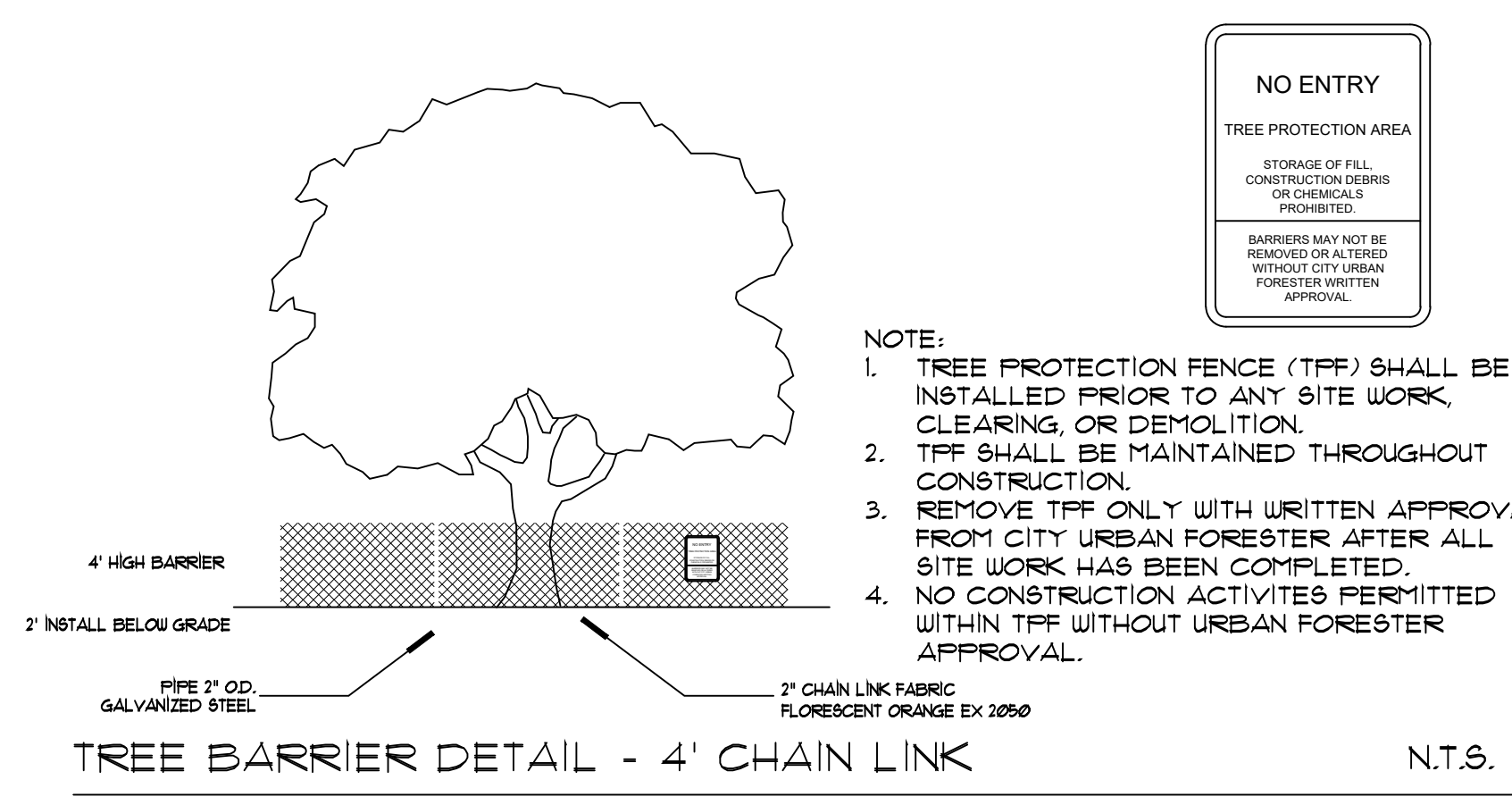
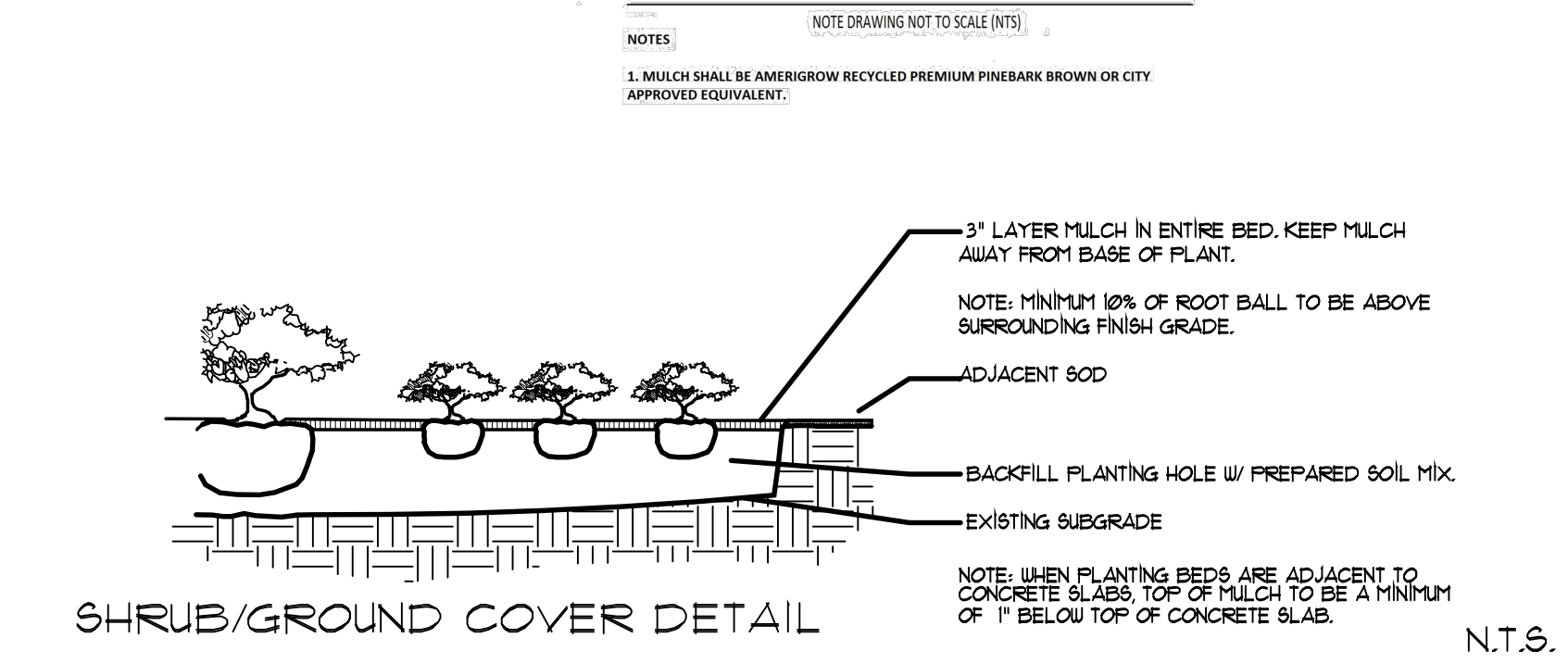
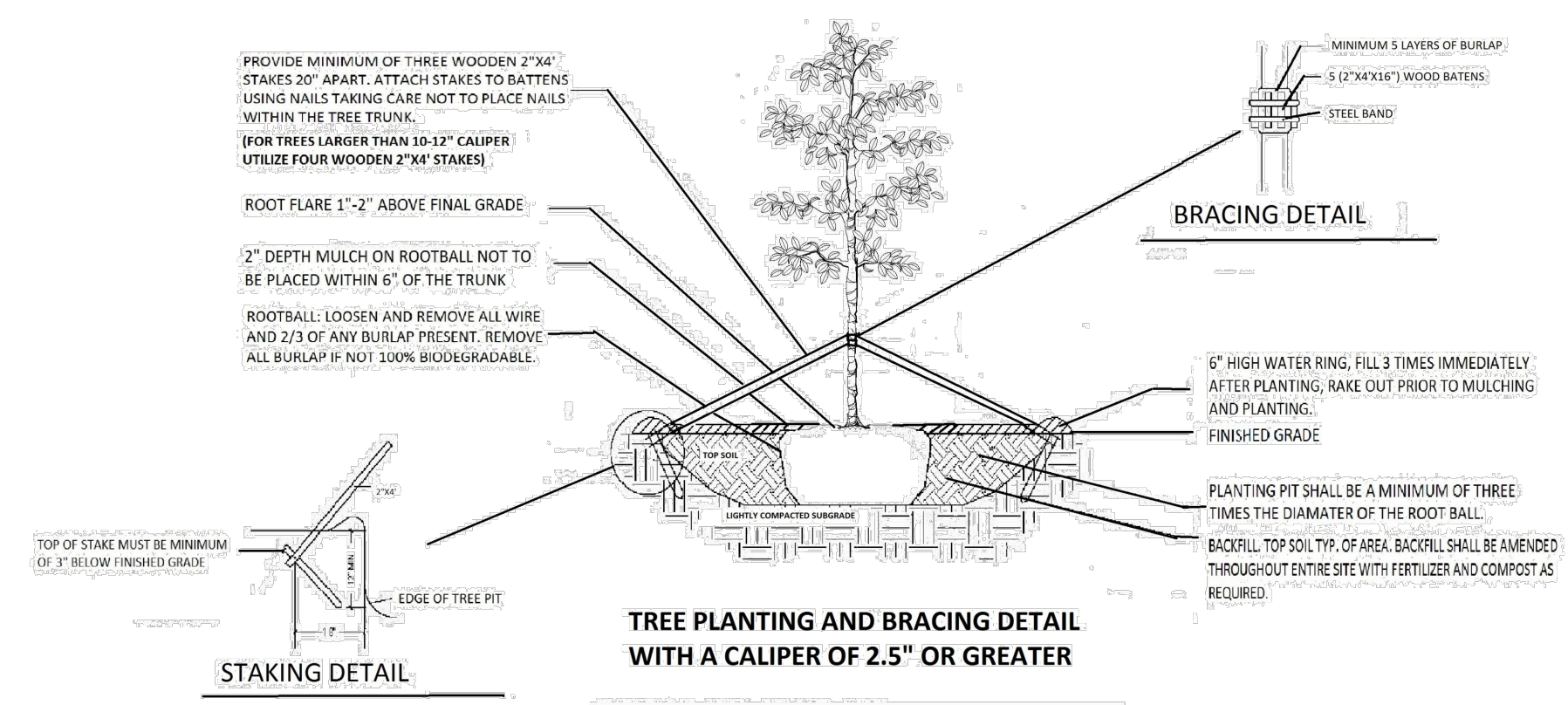


- NOTES
- MULCH SHALL BE AMERIGROW RECYCLED PREMIUM PINEBARK BROWN OR CITY APPROVED EQUIVALENT.
 - DO NOT APPLY MULCH WITHIN 6" OF THE TREE TRUNK



ROOT PRUNING SPECIFICATIONS

ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

EACH TREE AND PALM MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN, DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24 HOUR PERIOD.

ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN SHARP TOOLS. MACHINERY COULD BE USED ON LARGER TREES AS LONG AS ROOTS ARE FINALIZED BY HAND PRUNING. DO NOT PAINT ROOTS WITH PAINT OR ANY KIND OF SEALANT.

MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURERS RECOMMENDATIONS.

AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH A BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.

ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.

MINIMUM ROOTBALL DIAMETER CALCULATION BASED ON A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9"-12" OF ROOTBALL FOR EVERY 1" OF CALIPER. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.

MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES, DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

MAINTENANCE SPECIFICATIONS

ALL NEW AND RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.

WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH. THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS, DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER. WATERING FREQUENCY MUST BE EVERYDAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT THREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.

WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THROUGHOUT THE MAINTENANCE PERIOD UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.

EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.

IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNS OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.

SHADE TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

FLOWERING TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 5-10-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

PALMS

STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 8-14-12 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED SIX TIMES PER YEAR.

PLANT NOTES

- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION; FEBRUARY 1998, RESPECTIVELY.
- ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
- ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ALL SOD SHALL BE ST. AUGUSTINE FLORATAM SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
- ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
- LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE OWN QUANTITY COUNTS PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

NOTE:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED UTILITIES. SHOULD LANDSCAPE INTERFERE WITH PROPOSED UTILITIES CONTACT THE LANDSCAPE ARCHITECT TO FIELD ADJUST PROPOSED LANDSCAPE.
- SHOULD PROPOSED UTILITIES INTERFERE WITH EXISTING ROOTS, CONTACT THE LANDSCAPE ARCHITECT. UTILITIES NEED TO BE READJUSTED IN ORDER TO AVOID ANY EXISTING ROOTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW TREES AND PALMS FOR A PERIOD OF 1-YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- ALL GUYING AND STAKING SHALL BE REMOVED FROM ALL TREES AND PALMS WITHIN TWELVE MONTHS AFTER PLANTING. EXCEPTIONS REQUIRE WRITTEN AUTHORIZATION FROM THE CITY URBAN FORESTER.
- A FINAL ONSITE INSPECTION SHALL BE REQUIRED WITH URBAN FORESTRY STAFF PRIOR TO ANY OFFICIAL ACCEPTANCE OF ROW PLANT MATERIAL IN ORDER TO VERIFY PROPER PLANTING DEPTH, SPACING AND QUALITY OF MATERIAL. FAILURE TO CONDUCT THE INSPECTION COULD RESULT IN REJECTION OF THE PLANT MATERIAL.

Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001

SEAL
DIEGO J. VANDERBIEST R.L.A. #6661355
DRAIN DV
DATE 1/15/18
SCALE N.T.S.
SHEET LA-2
OF - SHEETS

TREE DISPOSITION PLAN

NEW RESIDENCE
216 PALM AVE
MIAMI BEACH, FLORIDA

Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001



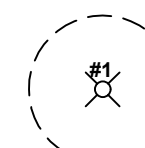
DIEGO J. VANDERBIEST
R.L.A. #661395

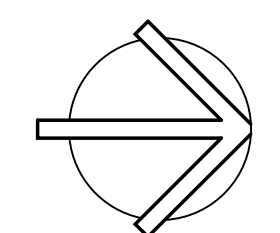
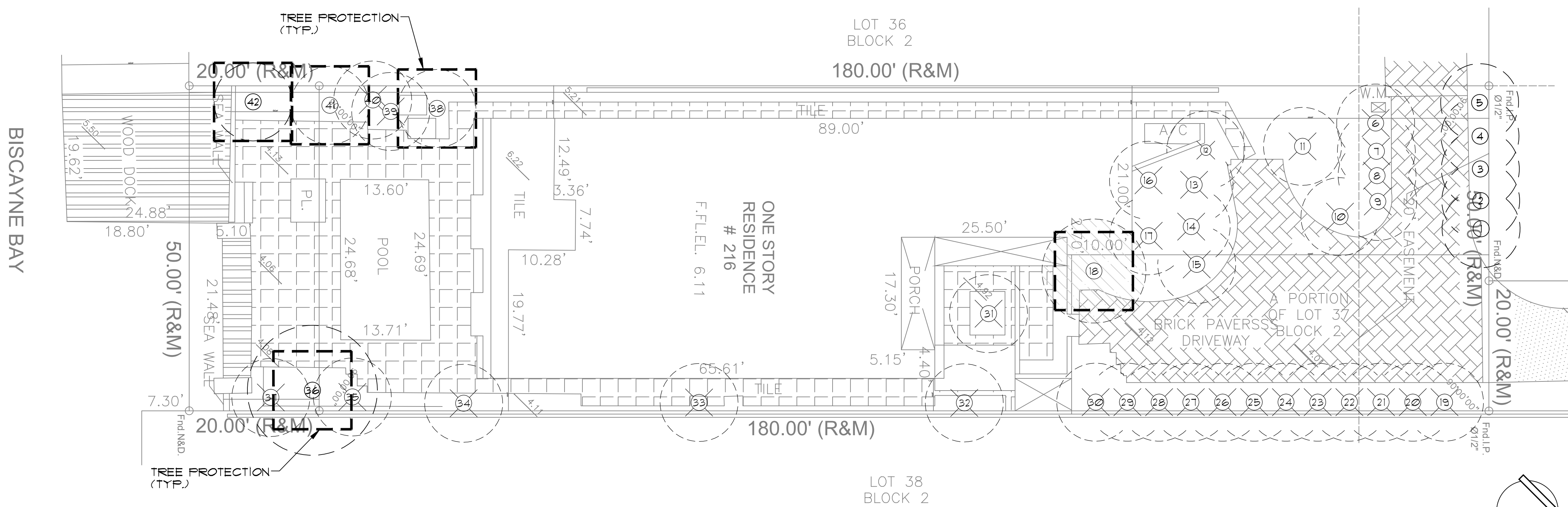
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1/15/18

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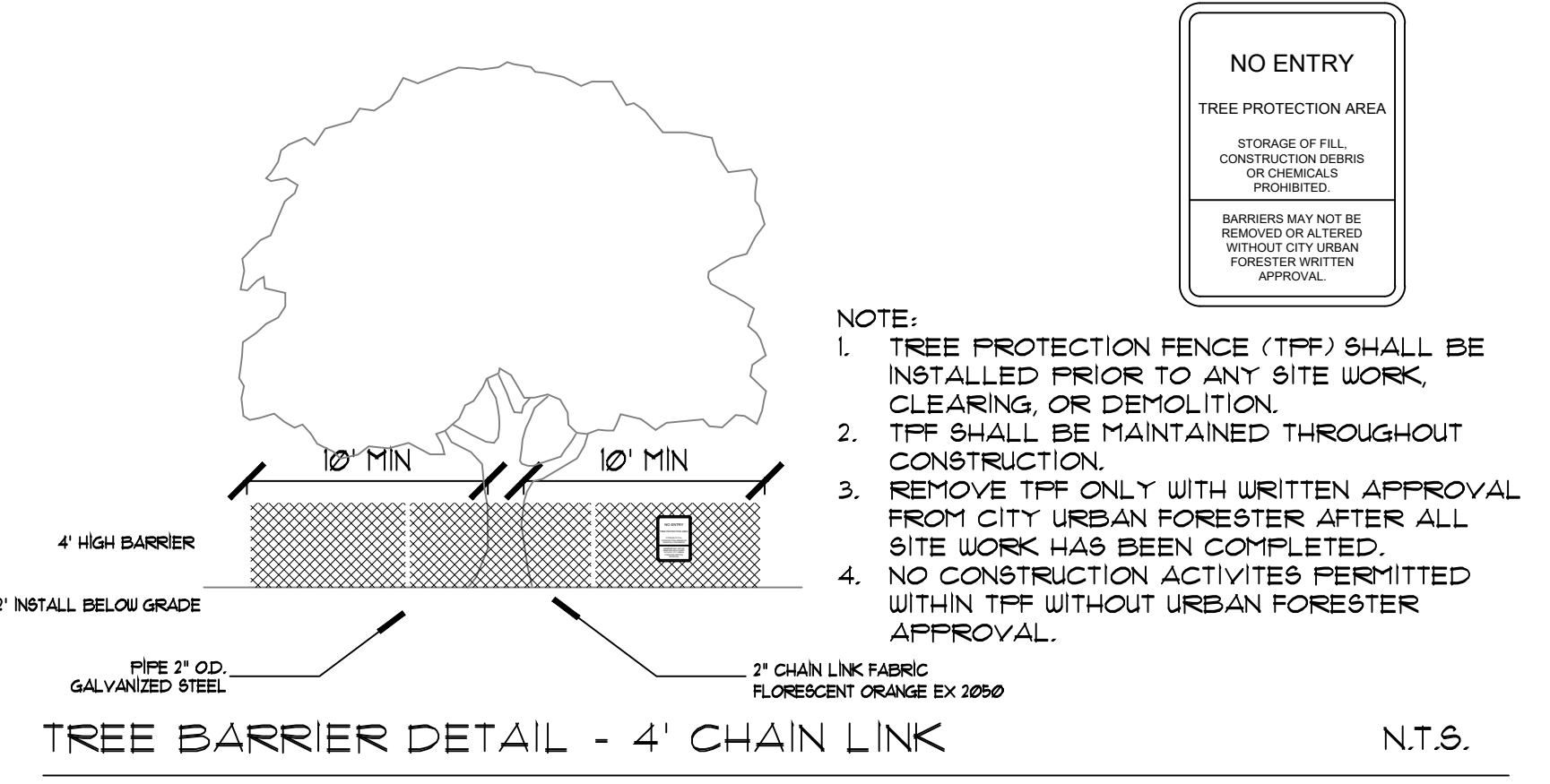
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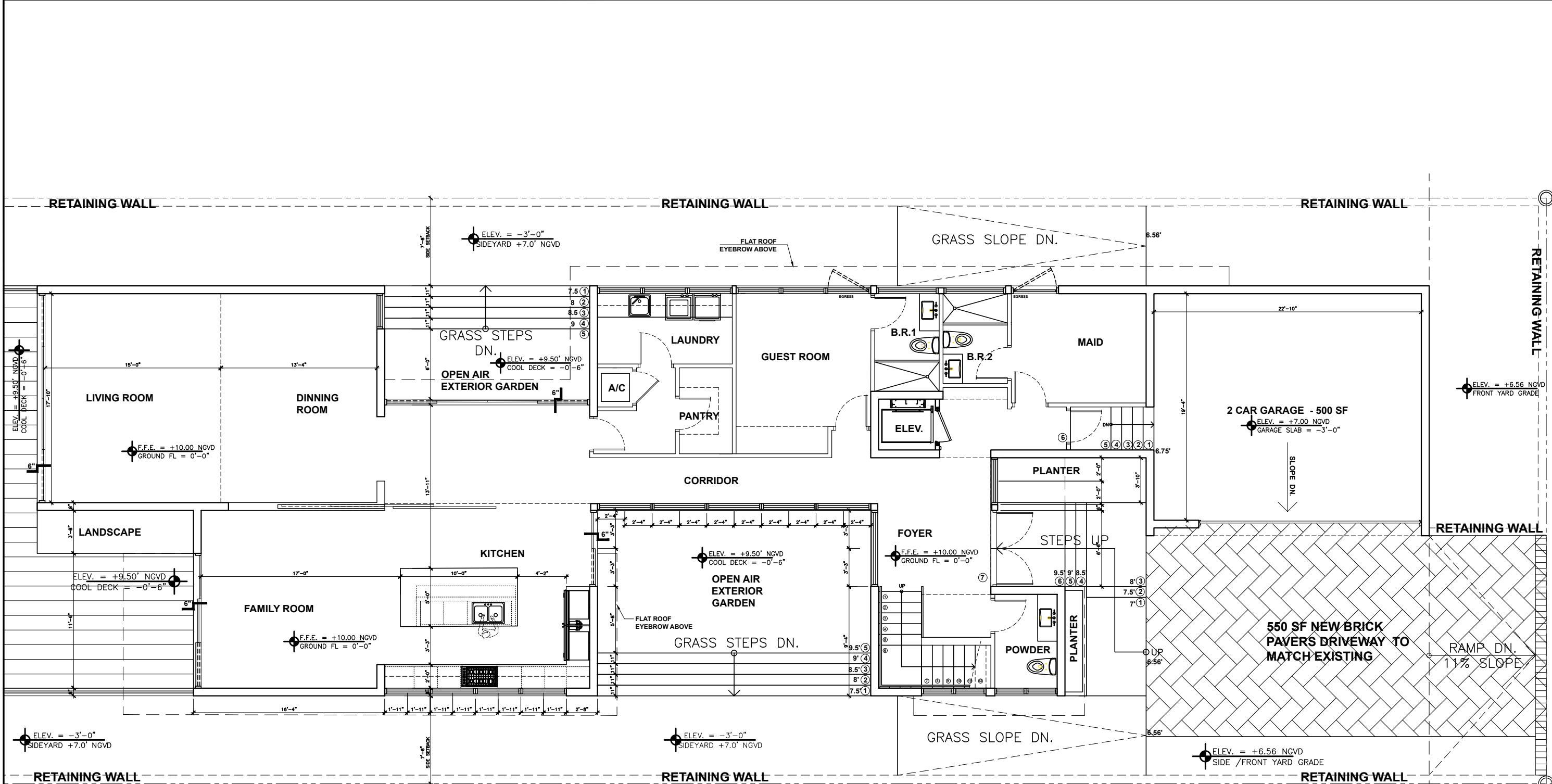
TREE LEGEND

-  TO REMAIN
-  TO RELOCATE
-  TO REMOVE

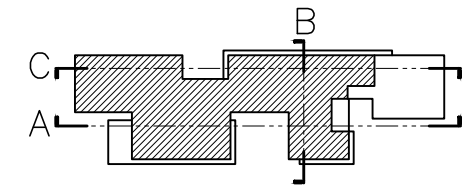


No	Botanical Name	Common Name	DBH (in)	Height (ft)	Spread (ft)	Disposition	Condition	Remarks
1	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remain	Fair	
2	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remain	Fair	
3	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remain	Fair	
4	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remain	Fair	
5	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remain	Fair	
6	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remove	Fair	
7	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remove	Fair	
8	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remove	Fair	
9	Dyopsis lutescens	Areca Palm	3" multi	30	10	Remove	Fair	
10	Cocos nucifera	Coconut Palm	8	24	14	Remove	Good	
11	Livistonia chinensis	Chinese Fan Palm	10	35	12	Remove	Good	
12	Livistonia chinensis	Chinese Fan Palm	12	26	12	Remove	Good	
13	Livistonia chinensis	Chinese Fan Palm	12	23	12	Remove	Good	
14	Livistonia chinensis	Chinese Fan Palm	12	22	12	Remove	Good	
15	Veitchia montgomeryana	Montgomery Palm	5	16	10	Remove	Fair	
16	Livistonia chinensis	Chinese Fan Palm	13	40	12	Remove	Good	
17	Livistonia chinensis	Chinese Fan Palm	13.5	40	12	Remove	Good	
18	Bismarkia nobilis	Bismark Palm	23.5	25	18	Relocate	Good	
19	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
20	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
21	Dyopsis lutescens	Areca Palm	3" multi	24	10	Remove	Fair	
22	Dyopsis lutescens	Areca Palm	3" multi	26	10	Remove	Fair	
23	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
24	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
25	Dyopsis lutescens	Areca Palm	3" multi	24	10	Remove	Fair	
26	Dyopsis lutescens	Areca Palm	3" multi	26	10	Remove	Fair	
27	Dyopsis lutescens	Areca Palm	3" multi	26	10	Remove	Fair	
28	Dyopsis lutescens	Areca Palm	3" multi	24	10	Remove	Fair	
29	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
30	Dyopsis lutescens	Areca Palm	3" multi	28	10	Remove	Fair	
31	Adonidia merrillii	Christmas Palm	3@6	14	12	Remove	Good	
32	Strelitzia nicolai	White Bird of Paradise	2@10	24	12	Remove	Fair	
33	Strelitzia nicolai	White Bird of Paradise	3@10	26	14	Remove	Fair	
34	Cocos nucifera	Coconut Palm	9	28	14	Remove	Good	
35	Cocos nucifera	Coconut Palm	8	28	14	Remove	Good	
36	Phoenix canariensis	Canary Island Date Palm	28	38	20	Remain	Good	
37	Cocos nucifera	Coconut Palm	9.5	24	14	Remove	Good	
38	Cocos nucifera	Coconut Palm	9	30	14	Relocate	Good	
39	Schefflera actinophylla	Umbrella Tree	11	24	10	Remove	Poor	Invasive
40	Schefflera actinophylla	Umbrella Tree	2@6, 8	26	14	Remove	Poor	Invasive
41	Cocos nucifera	Coconut Palm	9	28	14	Relocate	Good	
42	Cocos nucifera	Coconut Palm	9	24	14	Remain	Good	





Proposed Ground Floor
 SCALE: 1/4"=1'-0"
 NORTH

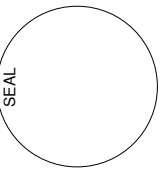


KEY PLAN

REVISIONS

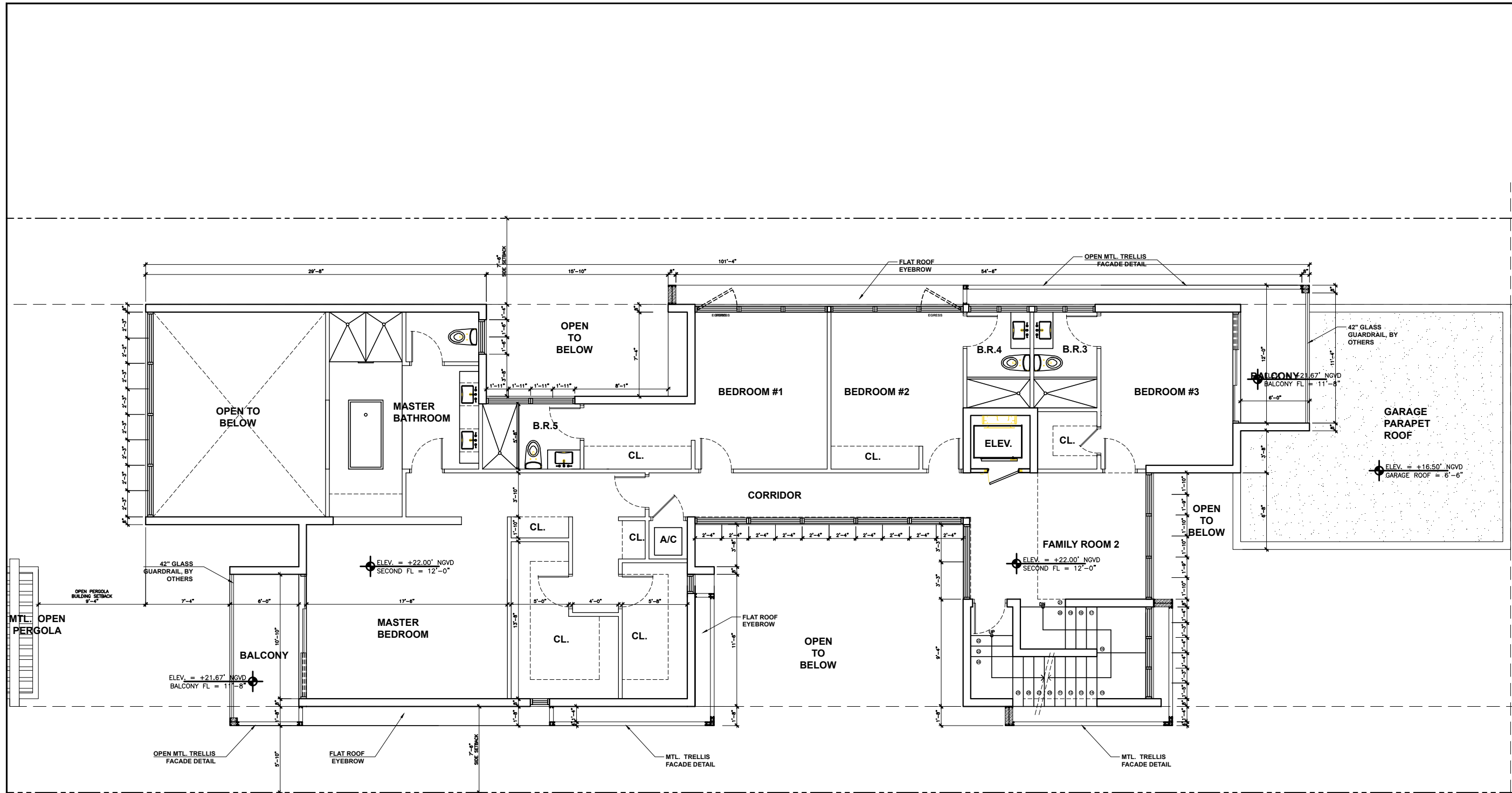
JOSE R. MERLO
 license no. AR0012119
 AA26003491
SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida



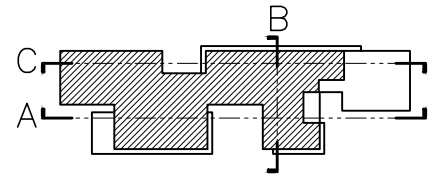
Date Issued: 02-02-18

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Proposed Second Floor

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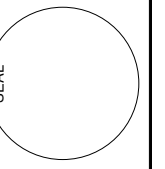
KEY PLAN

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 license no.
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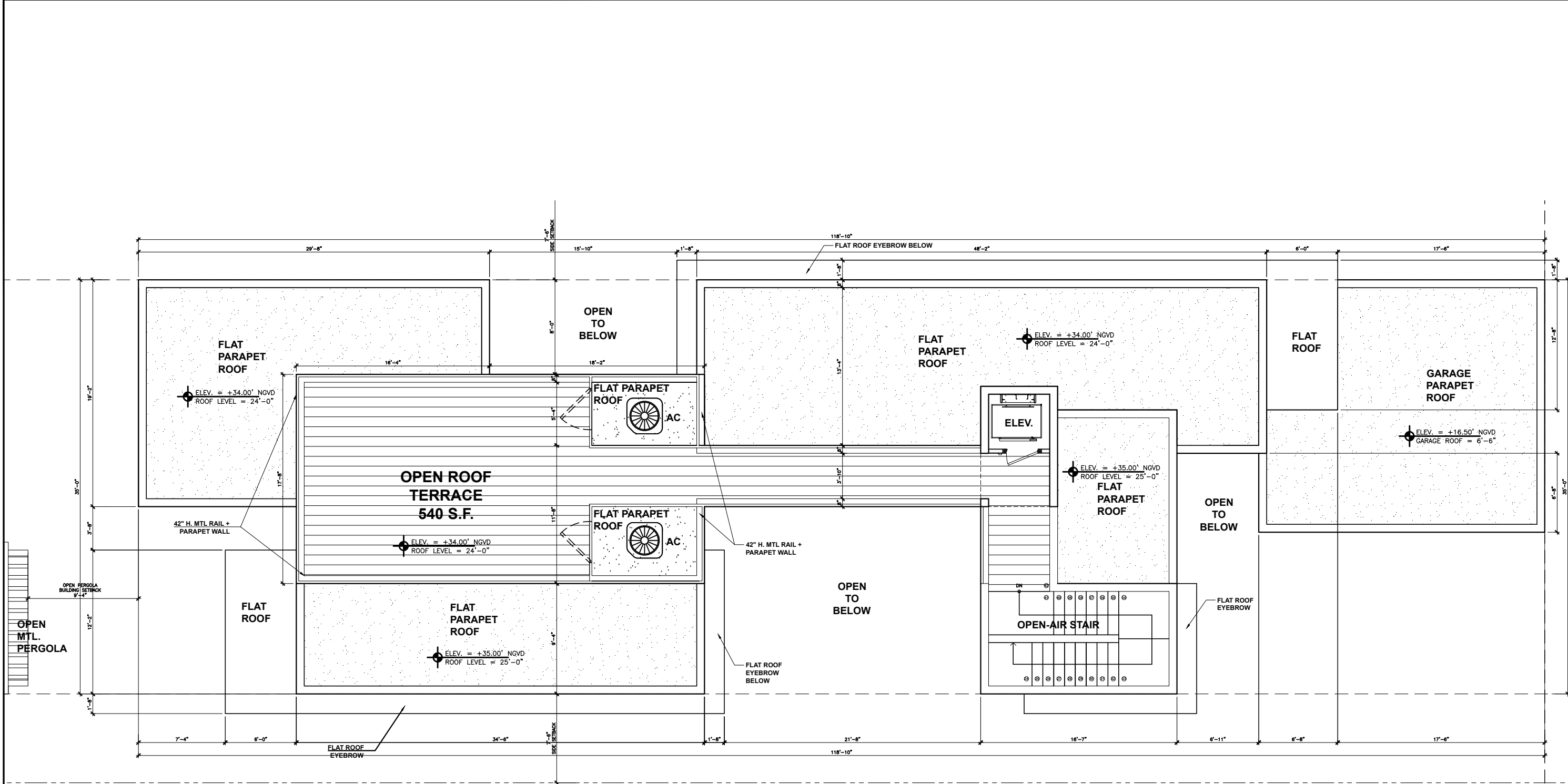
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 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

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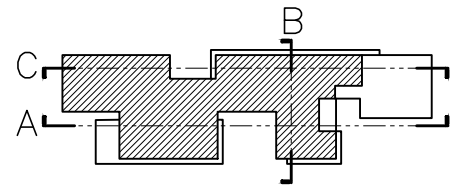


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Proposed Roof Terrace / Roof Plan
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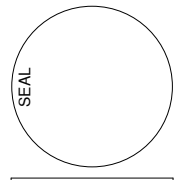


KEY PLAN

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JOSE R. MERLO
 license no. AR0012119
 AA26003491
SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
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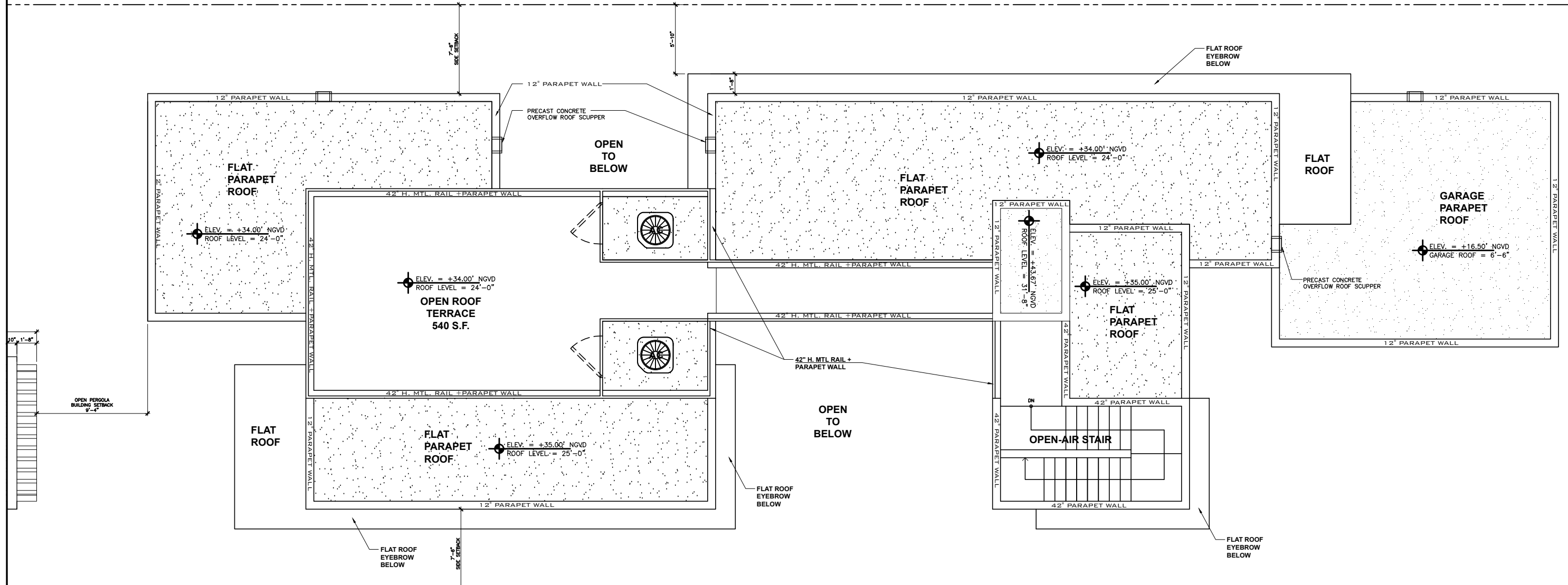
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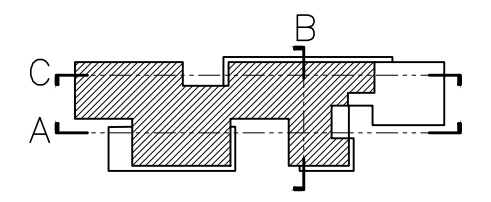
REVISIONS

JOSE R. MERLO
 license no.
 AR0012119
 AA26003491

SEZENAVE.
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 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488



Proposed Roof
 SCALE: 1/4" = 1'-0"



KEY PLAN

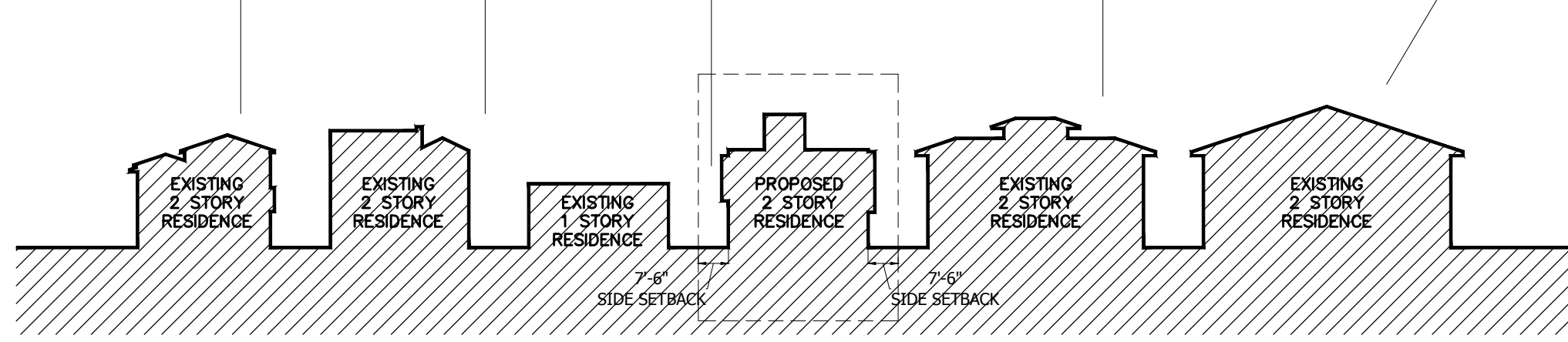
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NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida

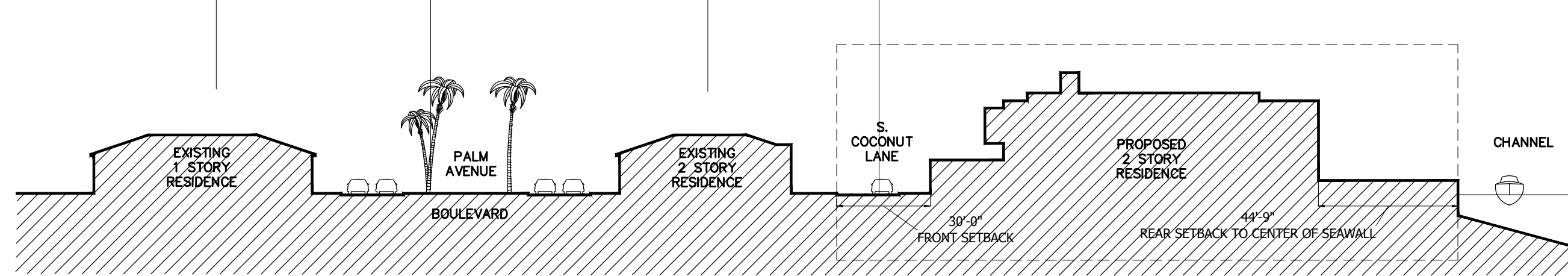
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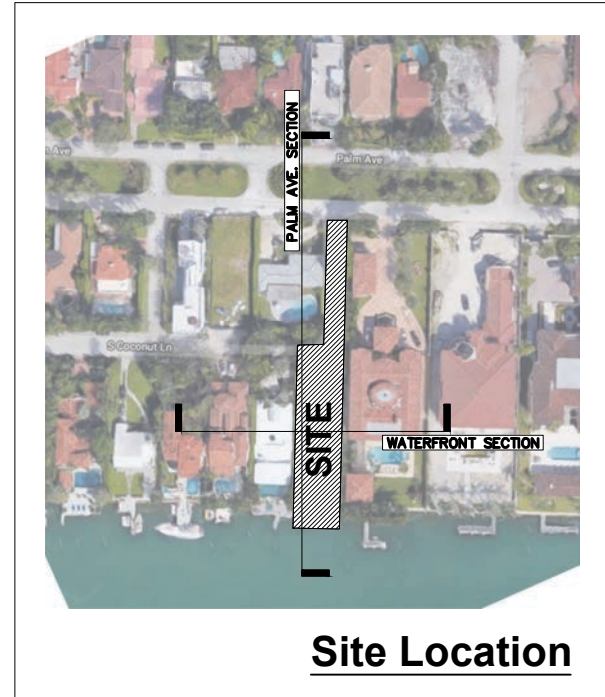
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Waterfront Building Scale



Palm Ave. Building Scale



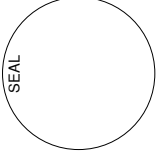
Site Location

REVISIONS	DATE	BY	APP'D

JOSE R. MERLO
 license no.
 AR0012119
 AA26003491

SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida



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A-01



WEST ELEVATION ENTRY / GARAGE



PATIO ENTRANCE



FRONT PATIO AND PERGOLA



FRONT PATIO AND PERGOLA



FRONT PATIO AND PERGOLA



FRONT PATIO AND PERGOLA



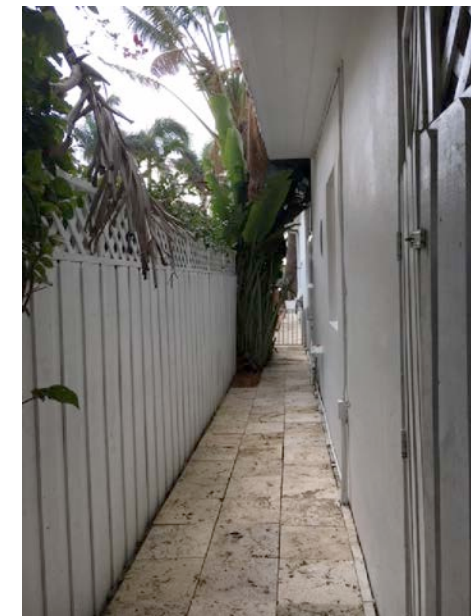
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DATE: 01-31-18



NORTH ELEVATION SETBACK

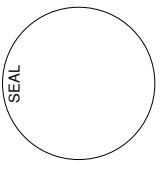


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SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

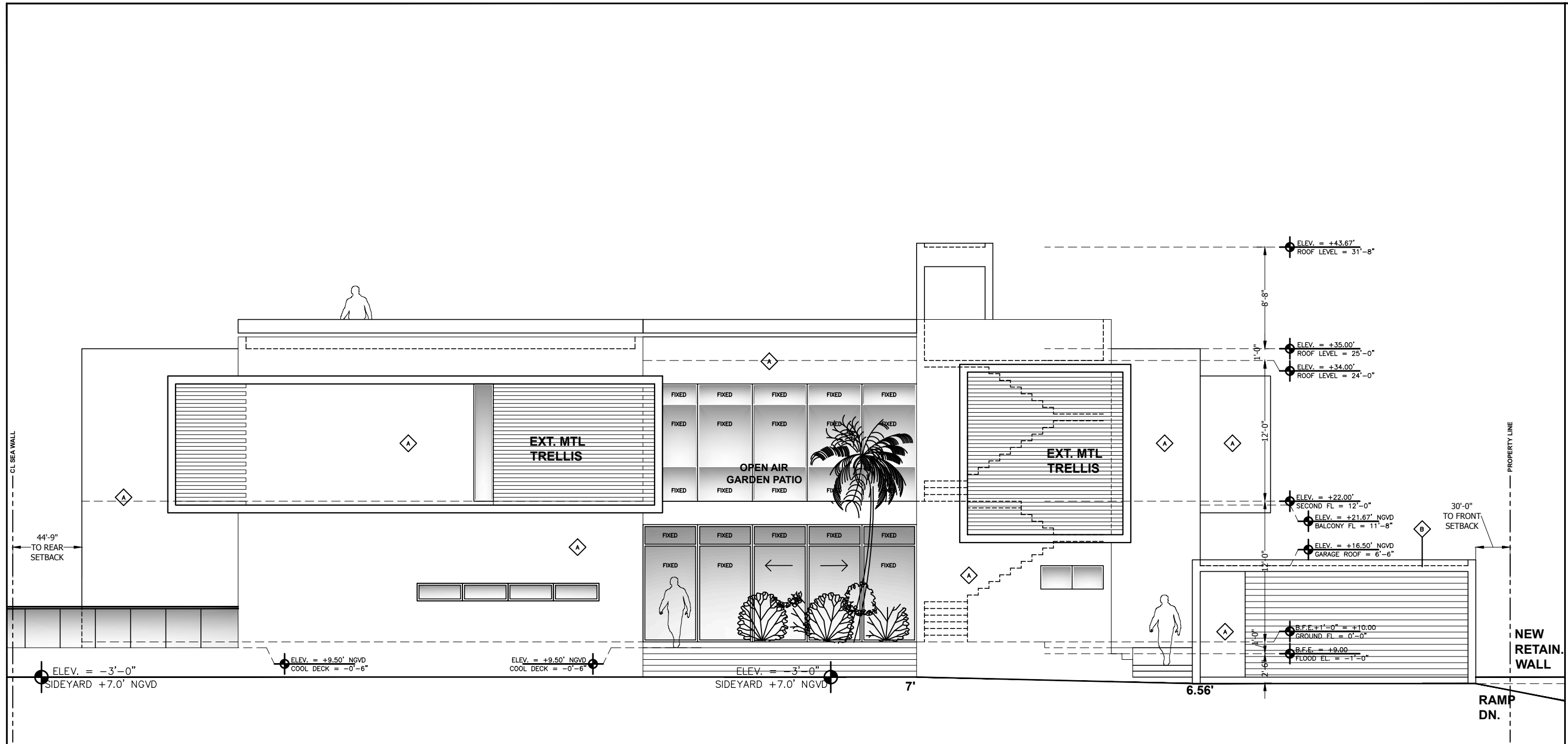
JOSE R. MERLO
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PROJECT NAME
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 Miami Beach, Florida

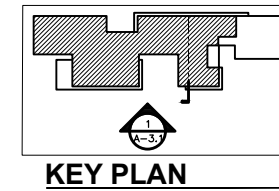


Date Issued: 02-02-18

A-02



South Elevation
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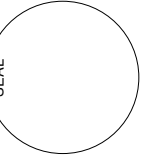


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JOSE R. MERLO
license no.
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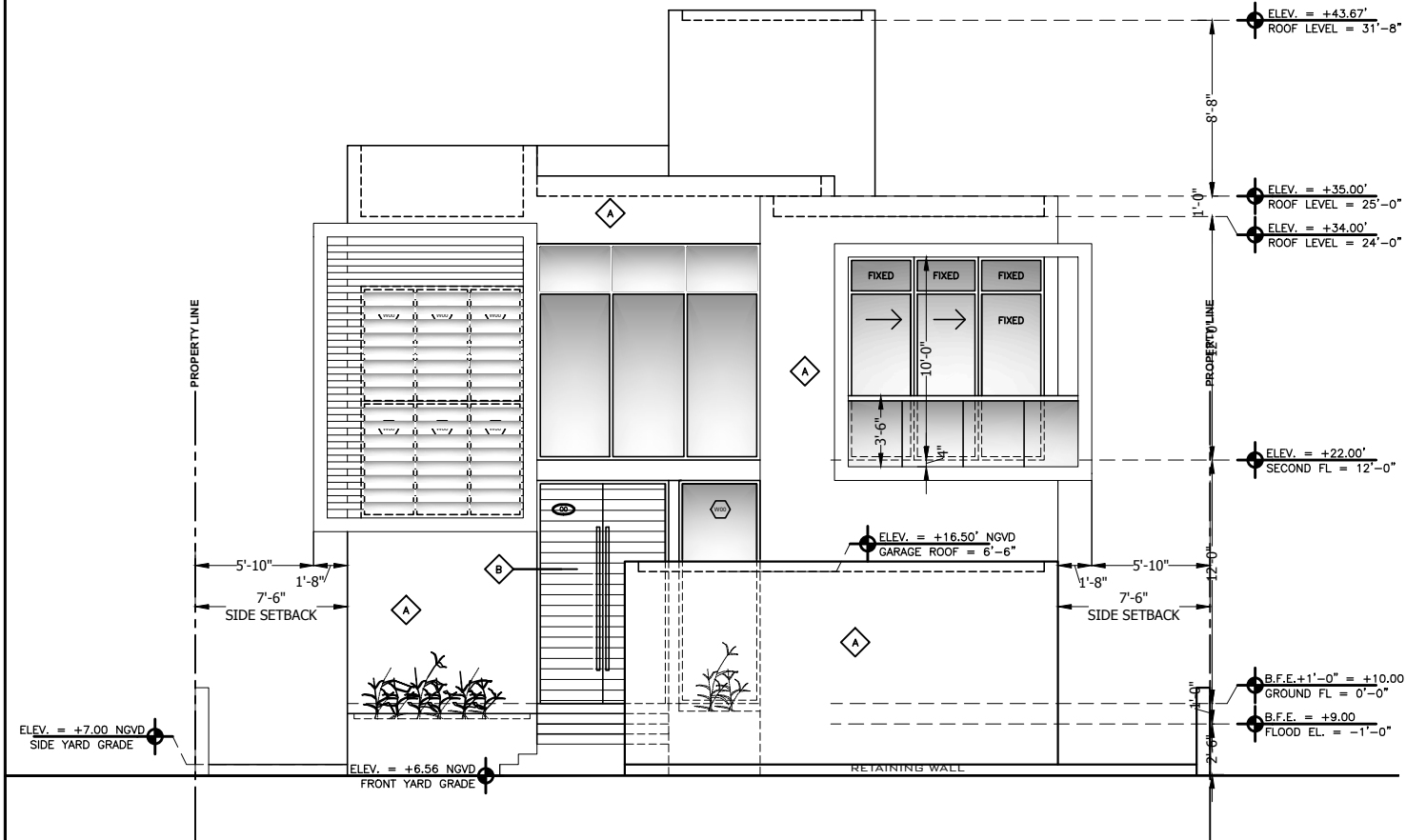
SEZENAVE.
DESIGN STUDIO, L.L.C.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida



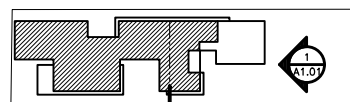
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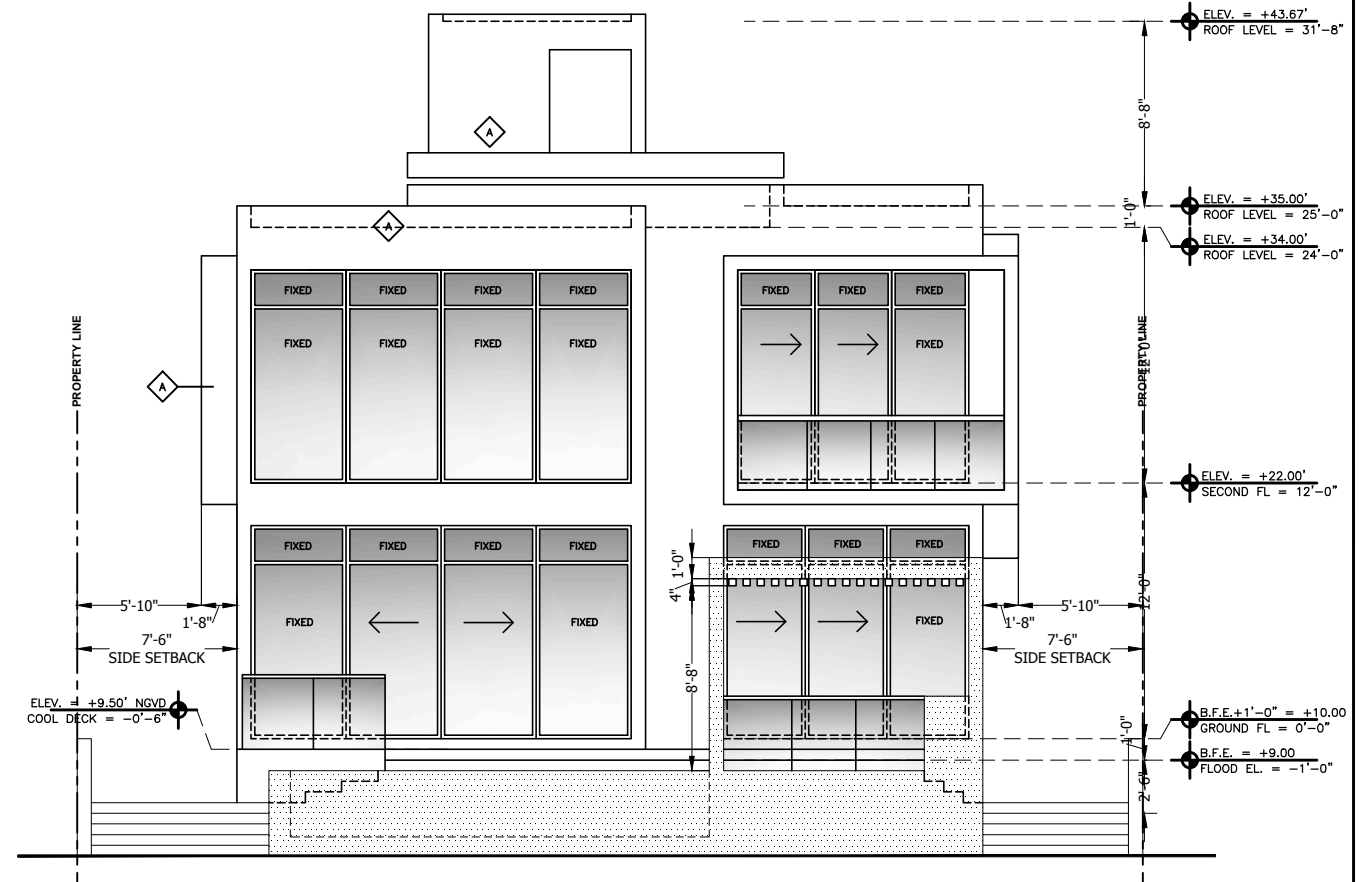


East Elevation

SCALE: 1/4"=1'-0"

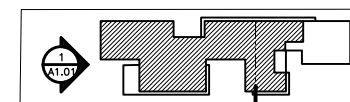


KEY PLAN



West Elevation

SCALE: 1/4"=1'-0"



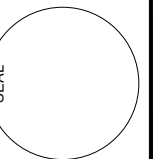
KEY PLAN

REVISIONS

JOSE R. MERLO
license no.
AR0012119
AA26003491

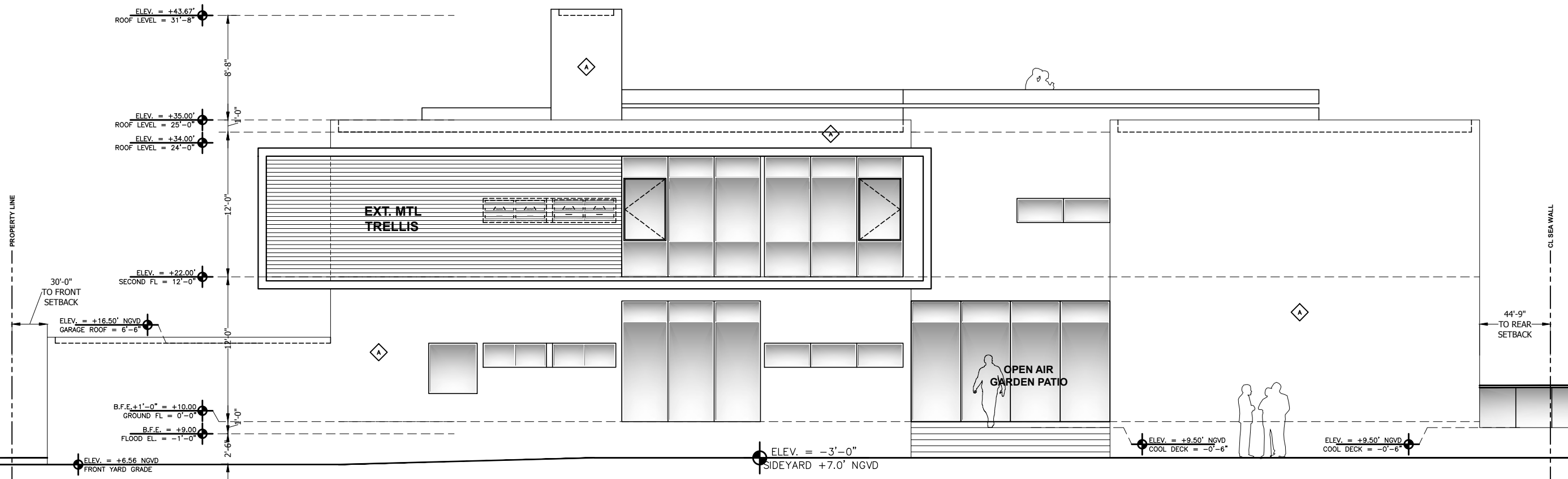
SEZENAVE.
DESIGN STUDIO, L.L.C.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida

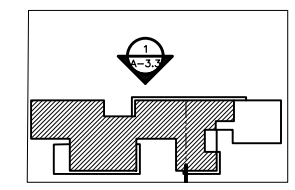


Date Issued: 02-02-18

A-3.2



North Elevation
SCALE: 1/4"=1'-0"



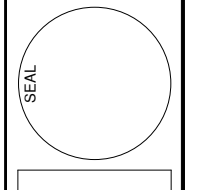
KEY PLAN

REVISIONS

JOSE R. MERLO
license no.
AR0012119
AA26003491

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A-3.3

DATE: 01-31-18



WEST ELEVATION REAR / CHANNEL

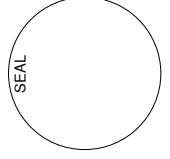


REVISIONS					
△					
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△					

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license no.
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AA26003491

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NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida

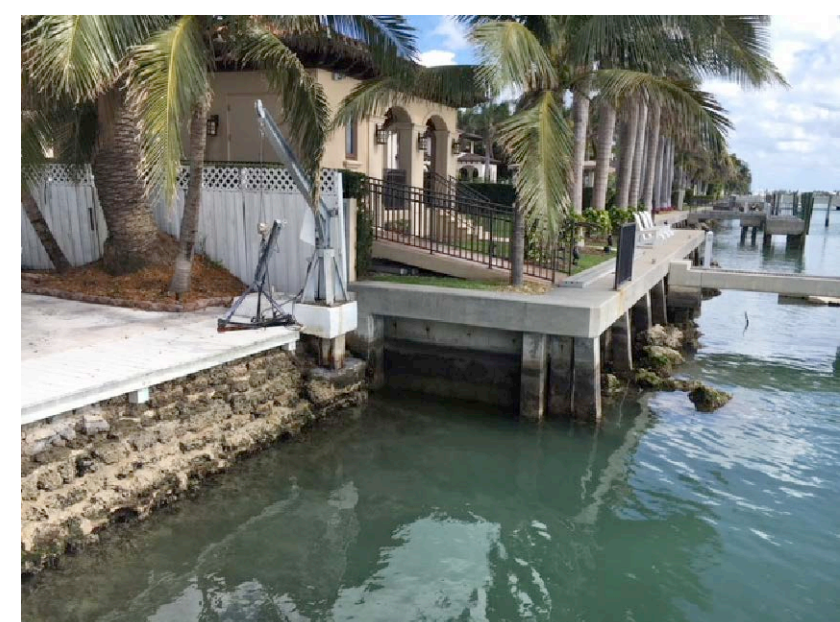


Date Issued: 02-02-18

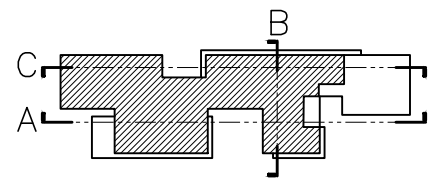
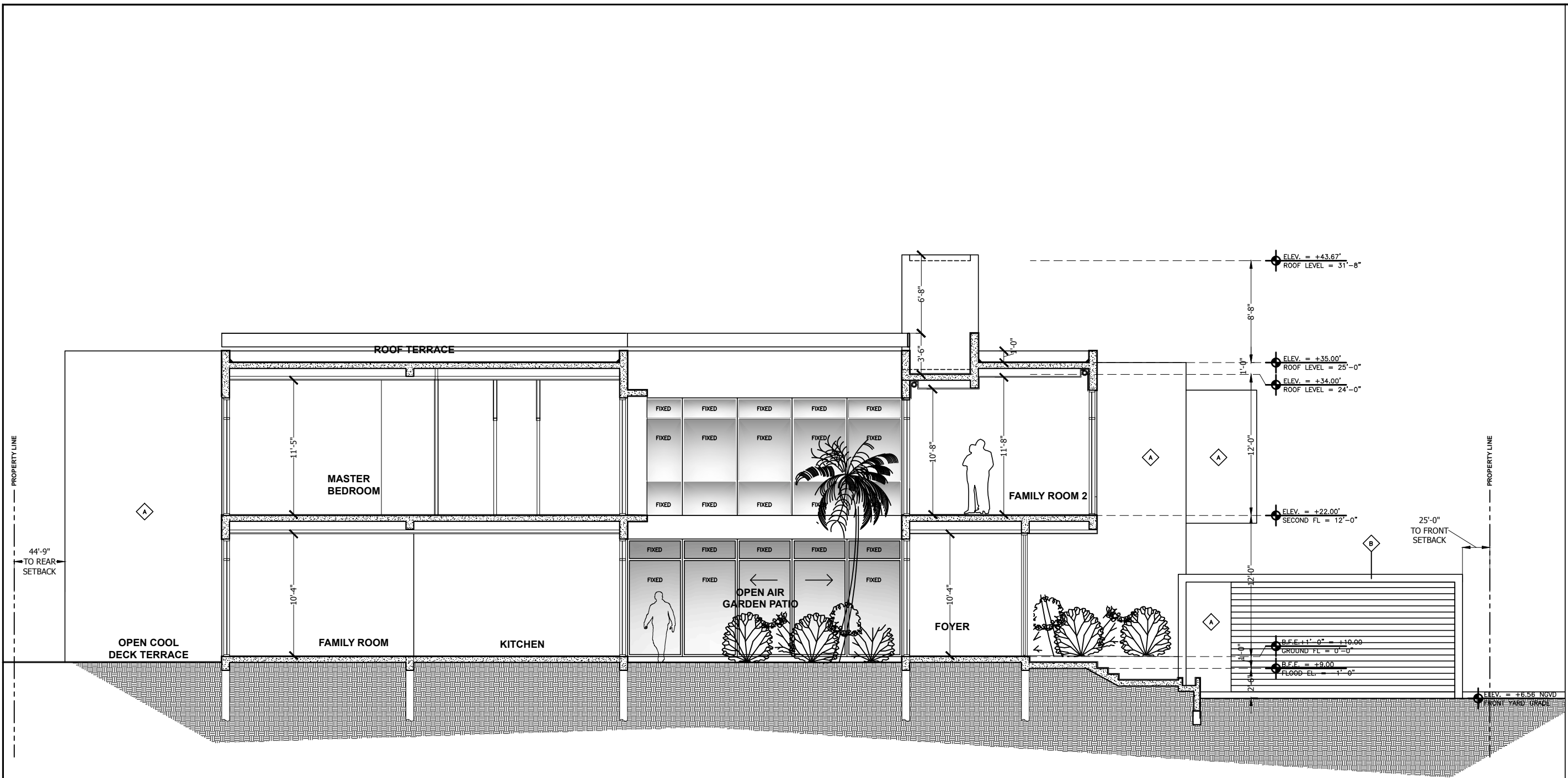
A-03



EXISTING DOCK TO REMAIN



EXISTING SEA WALL TO REMAIN

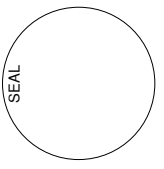


REVISIONS	

JOSE R. MERLO
 license no.
 AR00012119
 AA26003491

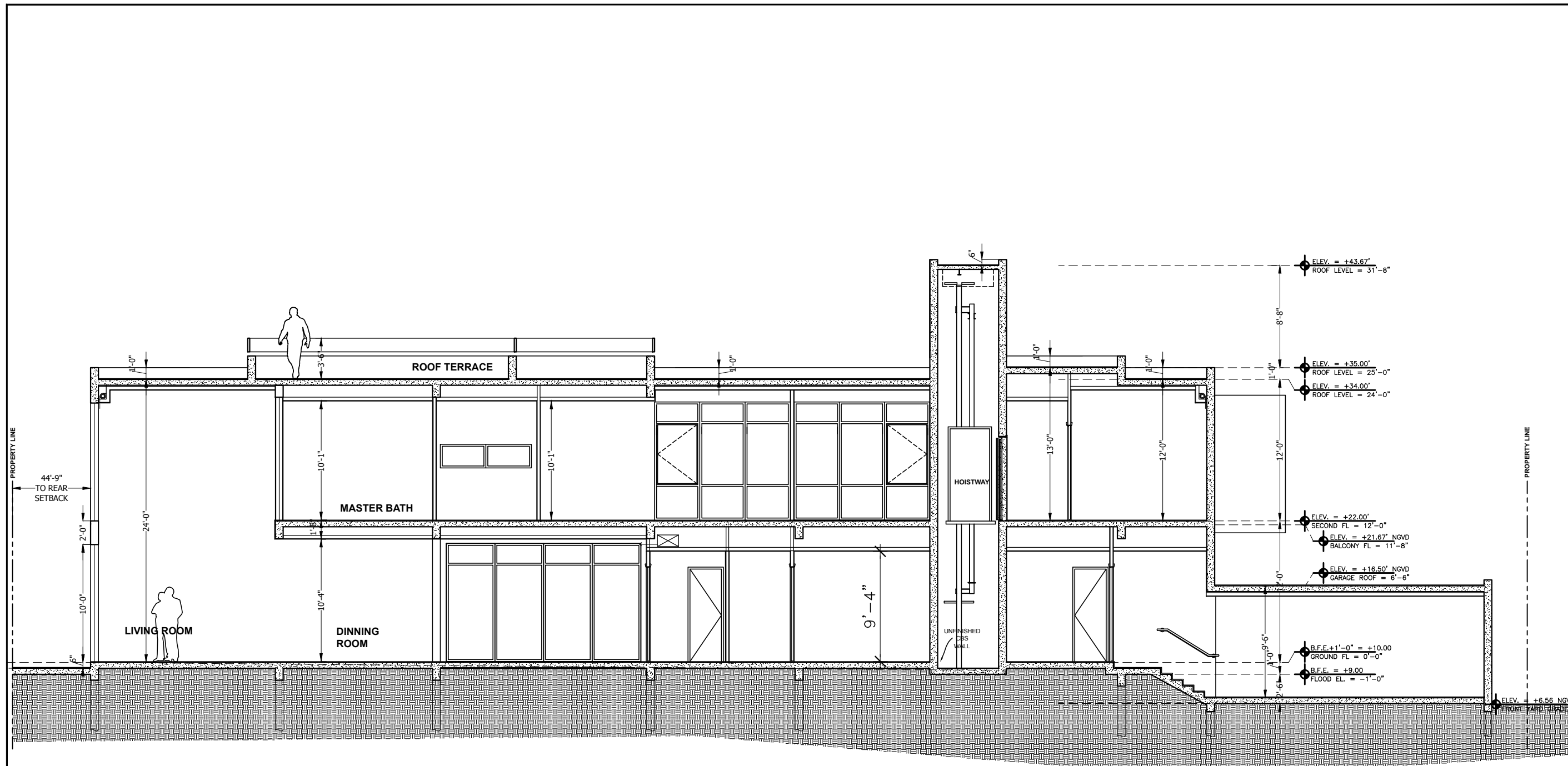
SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida

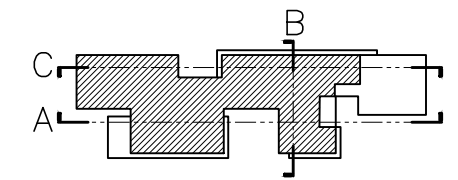


Date Issued: 02-02-18

A-4.1



Section C-C'
SCALE: 1/4" = 1'-0"



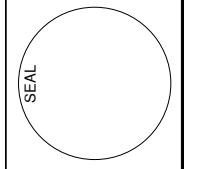
KEY PLAN

REVISIONS	

JOSE R. MERLO
license no.
AR0012119
AA26003491

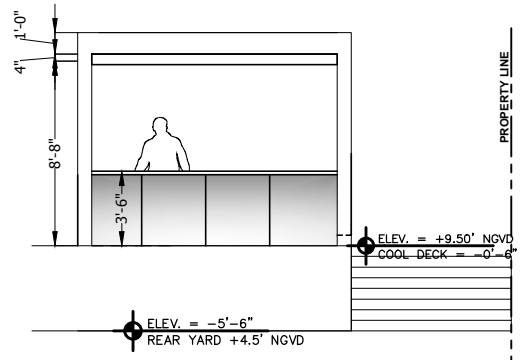
SEZENAVE.
DESIGN STUDIO, L.L.C.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
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Miami Beach, Florida

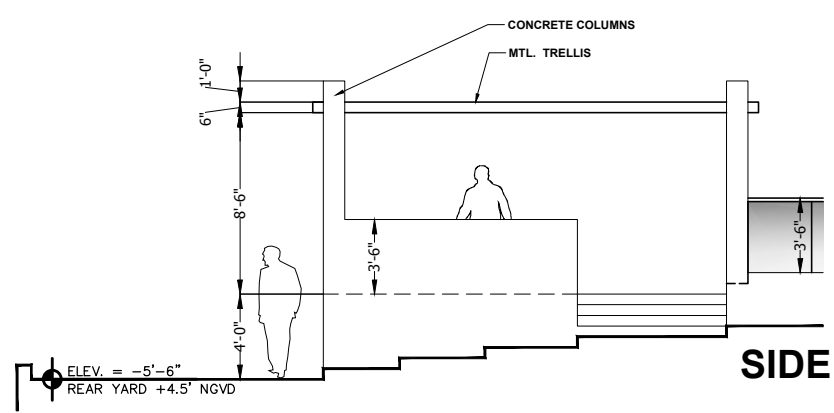


Date Issued: 02-02-18

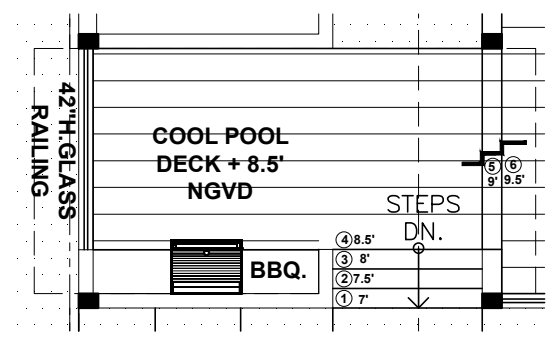
A-4.2



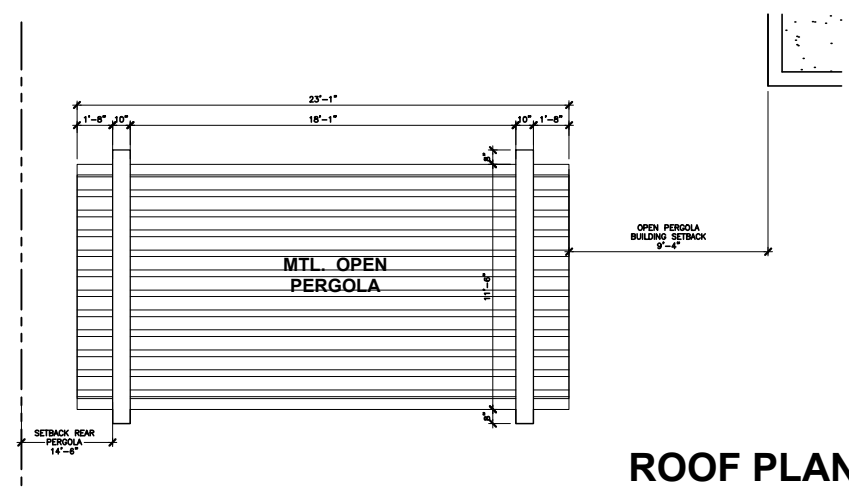
FRONT VIEW



SIDE VIEW



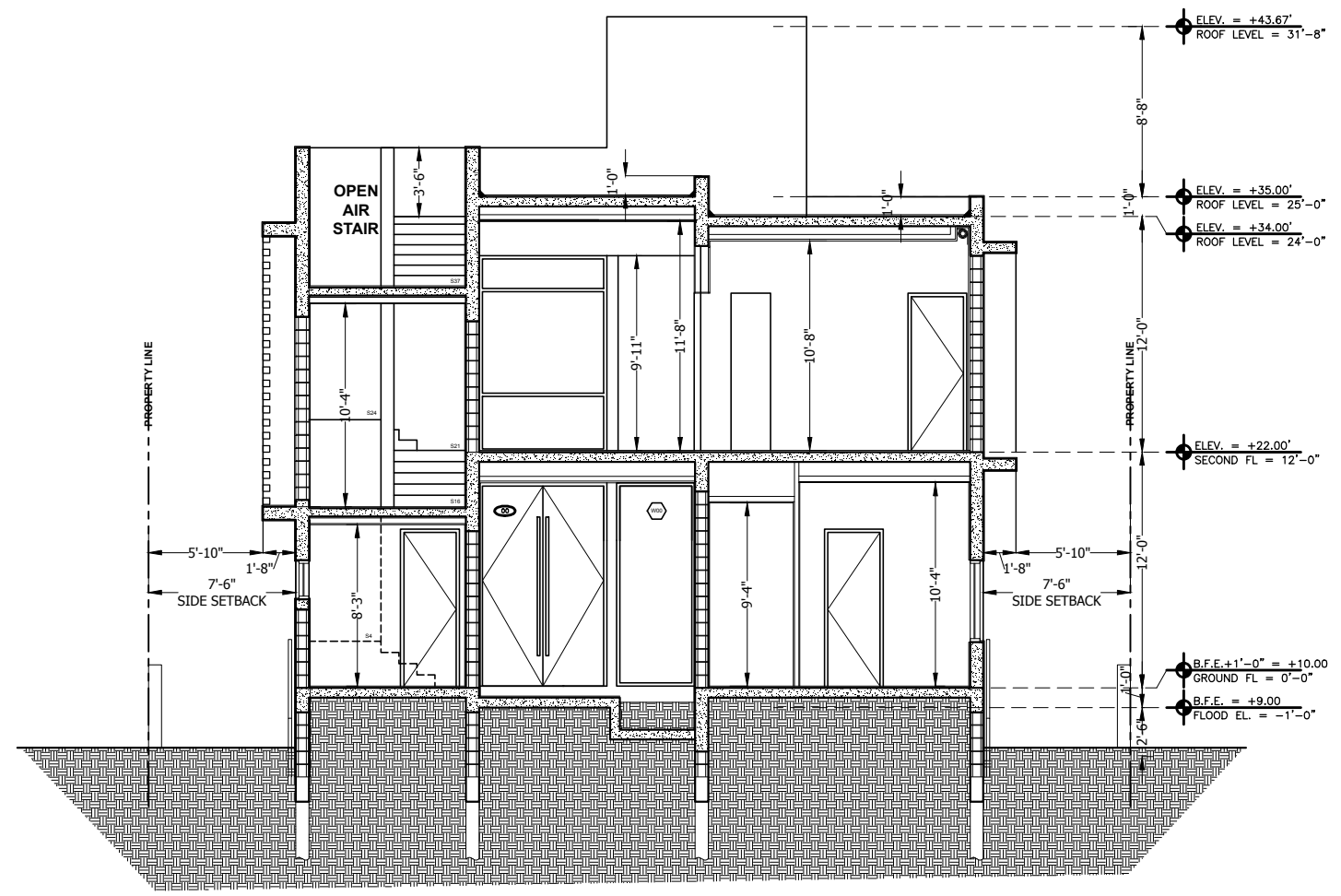
PLAN



ROOF PLAN

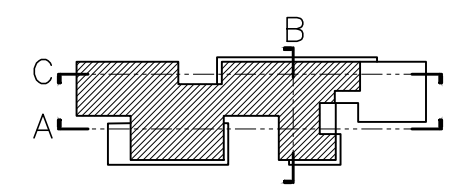
MTL. OPEN TRELLIS

SCALE: 1/4"=1'-0"



SECTION B

SCALE: 1/4"=1'-0"



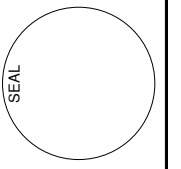
KEY PLAN

REVISIONS

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license no.
AR0012119
AA26003491

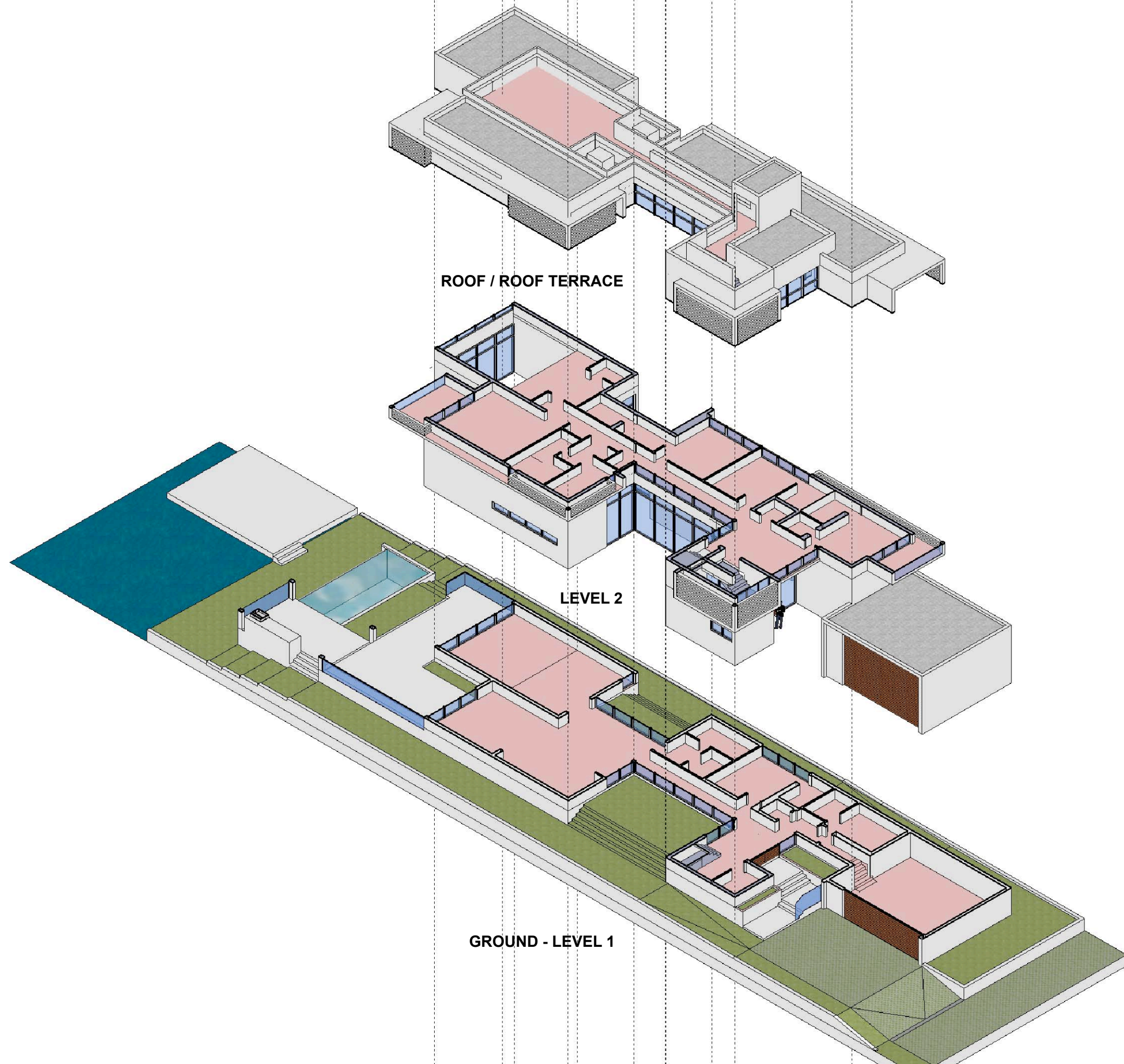
SEZENAVE.
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NEW RESIDENCE
216 PALM AVENUE
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A-4.3



ROOF / ROOF TERRACE

LEVEL 2

GROUND - LEVEL 1

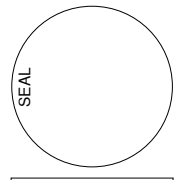
REVISIONS

JOSE R. MERLO
 license no.
 AR0012119
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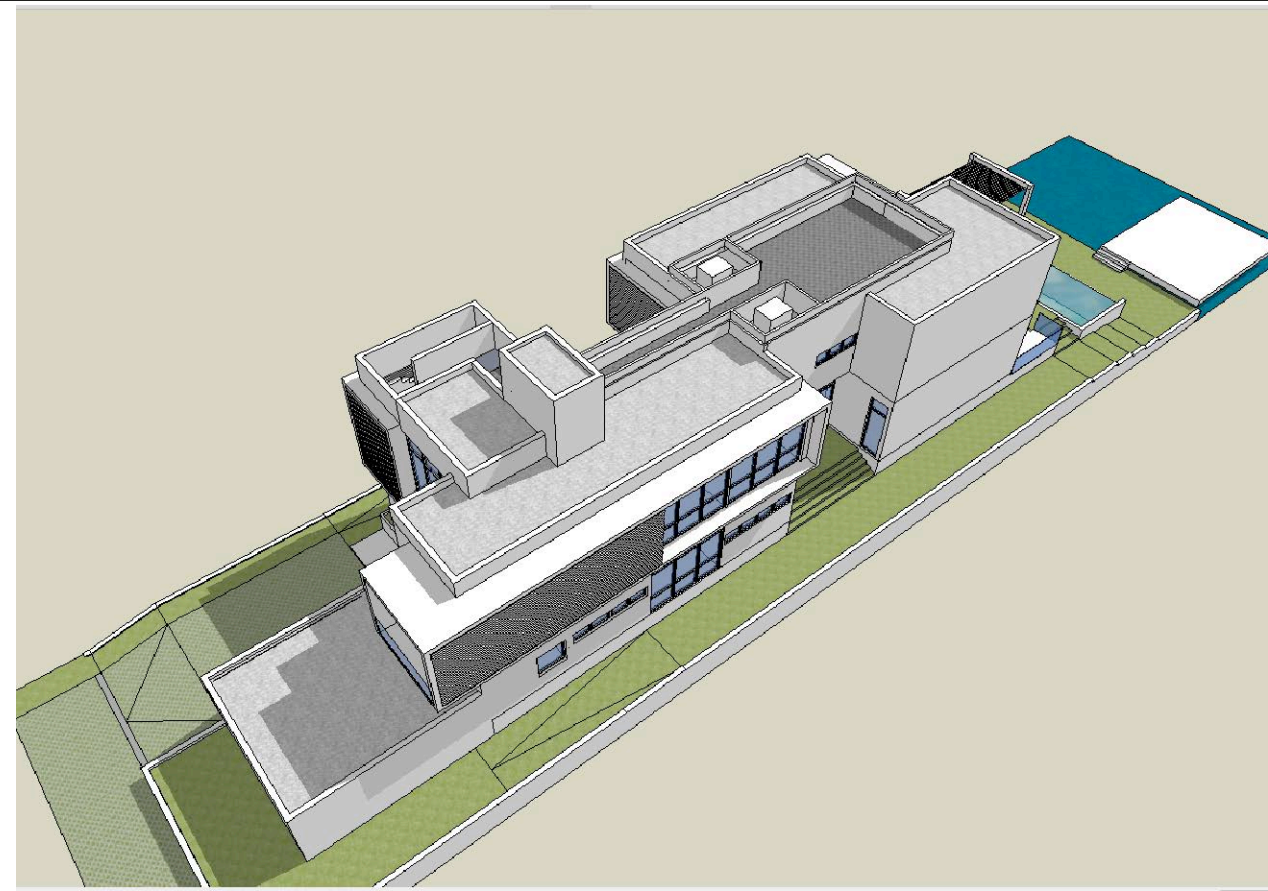
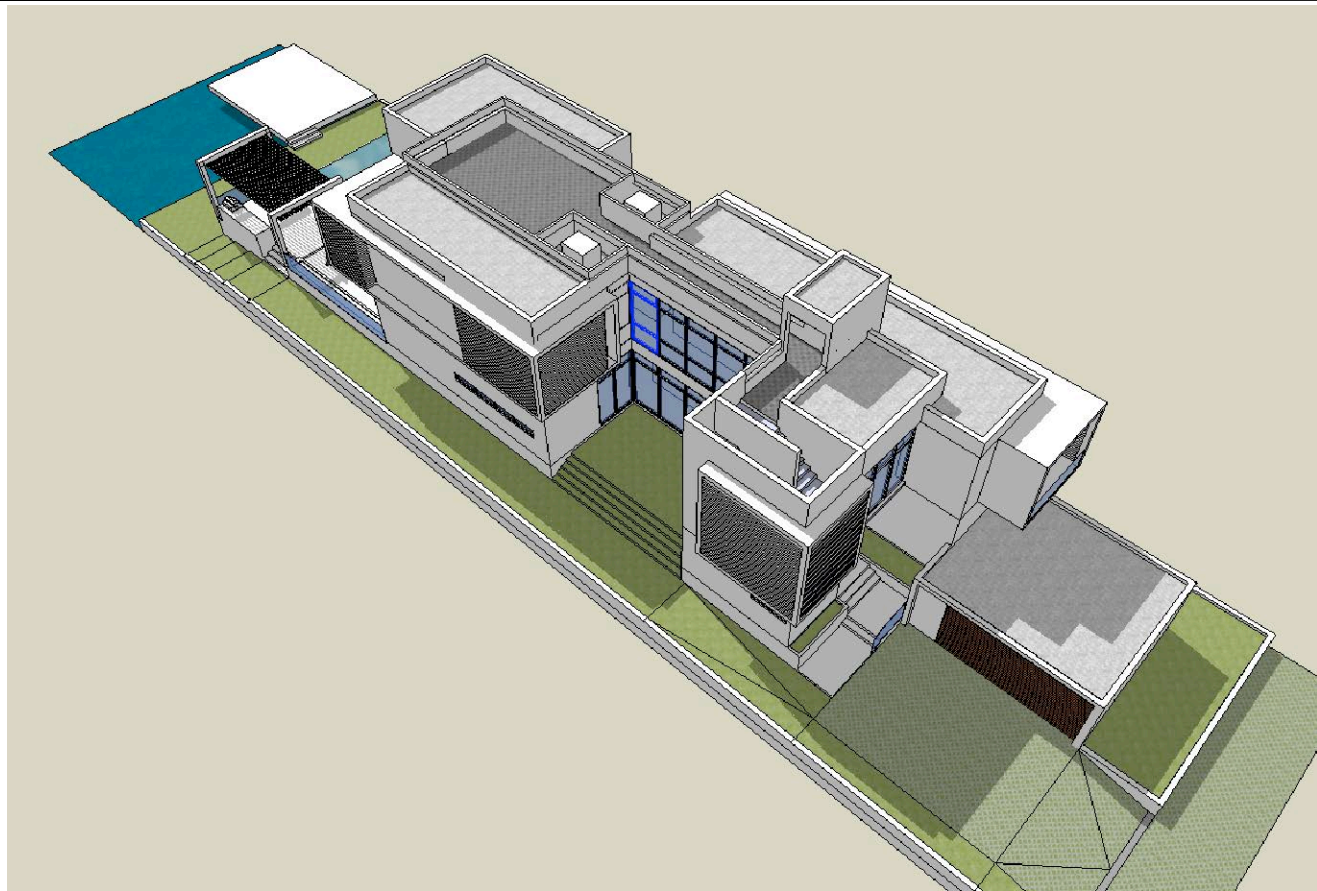
PROJECT NAME

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 216 PALM AVENUE
 Miami Beach, Florida



Date Issued: 02-02-18

A-5.1

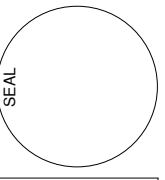


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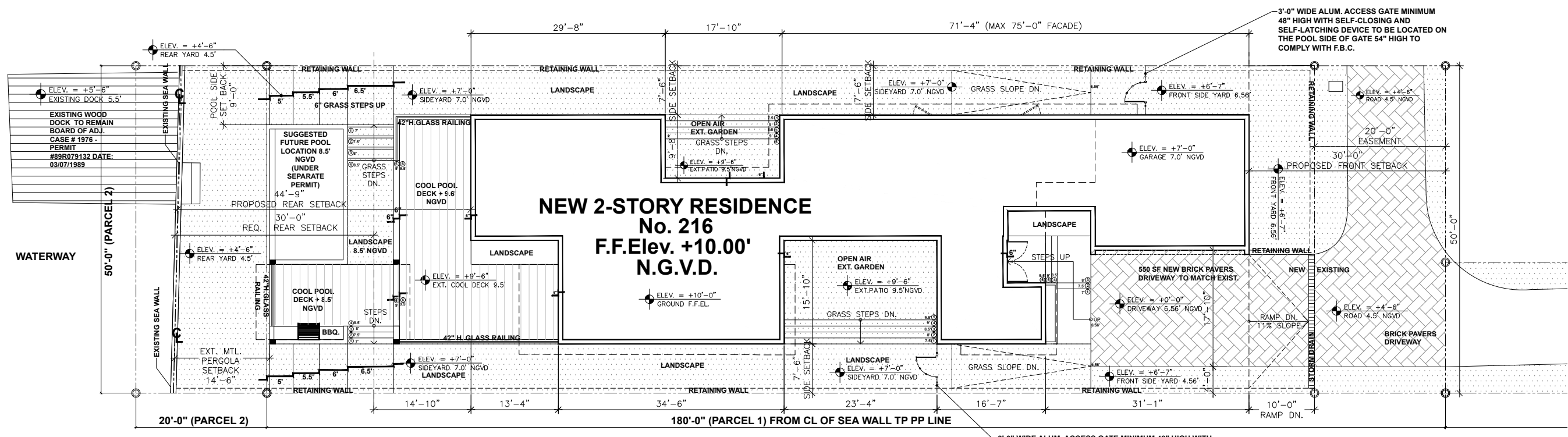
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PROJECT NAME
NEW RESIDENCE
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 Miami Beach, Florida



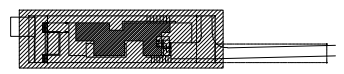
Date Issued: 02-02-18

A-5.3



GRADE: +4.56 NGVD (CROWN OF ROAD)
 FLOOD: +9.00' NGVD
 ADJUSTED GRADE: GRADE + FLOOD / 2 = +6.78'
 FINISHED FLOOR: +10.00 NGVD

3'-0" WIDE ALUM. ACCESS GATE MINIMUM 48" HIGH WITH SELF-CLOSING AND SELF-LATCHING DEVICE TO BE LOCATED ON THE POOL SIDE OF GATE 54" HIGH TO COMPLY WITH F.B.C.

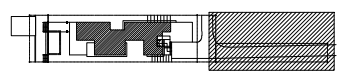
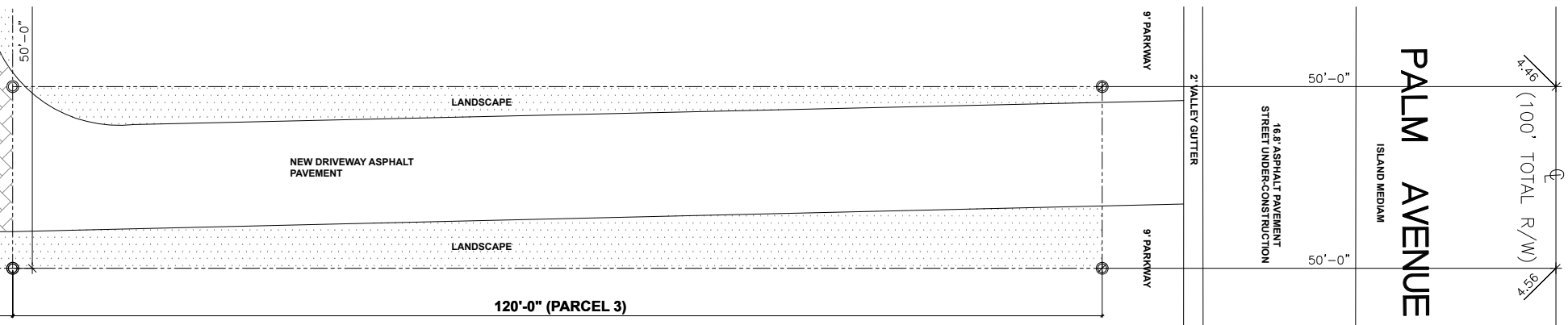


KEY SITE PLAN

01 SITE PLAN (PARCEL 1+2)
 SCALE: 1/8"=1'-0"



FINAL SUBMITTAL

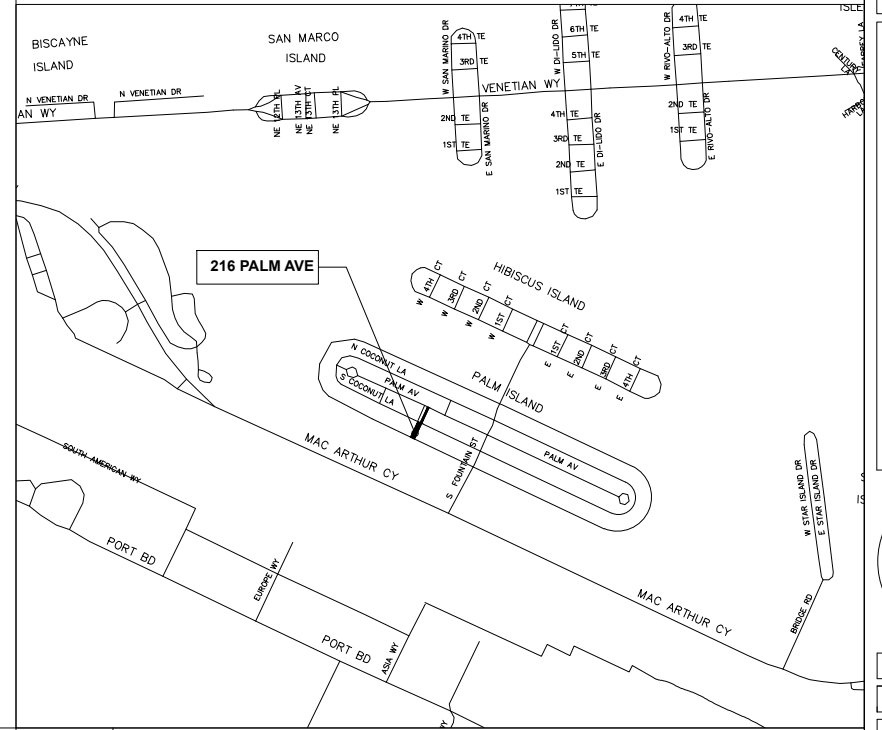


KEY SITE PLAN

02 SITE PLAN (PARCEL 3)
 SCALE: 1/8"=1'-0"



LEGAL DESCRIPTION
 PALM ISLAND PB 6-54 S180FT OF E50FT OF LOT 37 & 20FT STRIP IN BAY ADJ SAME BLK 2
 LOT SIZE 50.000 X 180 OR 19897-3199 07 2001 1
 COC23113-1148/23414-2406 0205 1
 Folio: 02-4205-001-0480



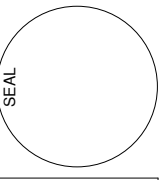
03 LOCATION MAP
 SCALE: NTS



NO.	REVISIONS

JOSE R. MERLO
 license no. AR0012119
 AA26003491
SEZENAVE.
 DESIGN STUDIO, L.L.C.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida



Date Issued: 02-02-18

SP-1

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information		
1	Address:	216 PALM AVE Miami Beach Miami Beach, FL 33139-5185	
2	Folio number(s):	02-4205-001-0480	
3	Board and file numbers :		
4	Year built:	New Construction	Zoning District: RS-1 SINGLE FAMILY
5	Based Flood Elevation:	10'	Grade value in NGVD: 10.00'
6	Adjusted grade (Flood+Grade/2):		Free board: 10' NGVD
7	Lot Area:	50'X194' = 9,700 SF	
8	Lot width:	50'	Lot Depth: 194'
9	Max Lot Coverage SF and %:	2,425 SF = 25%	Proposed Lot Coverage SF and %: 2,405 SF = 24.8 %
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF: N/A
11	Front Yard Open Space SF and %:	35% of 1,500 SF = 437.5 SF = 37.8%	Rear Yard Open Space SF and %: 70% of 1,050 SF = 1052 SF = 71%
12	Max Unit Size SF and %:	5,000 SF = 50%	Proposed Unit Size SF and %: 4,626 SF = 42.6%
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size: 2,395 SF
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the
15			Proposed Second Floor Unit Size SF and % : 2,160 SF = 21.6%
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): elevator 65 SF Roof Deck 540 SF

	Required	Existing	Proposed	Deficiencies	
17	Height:	28' MAXIMUM	N/A	24'-8"	NONE
18	Setbacks:				
19	Front First level:	20' MINIMUM	N/A	30'-0"	NONE
20	Front Second level:	30' MINIMUM	N/A	48'-6"	NONE
21	Side 1: 25% OF LOT WIDTH	7'-6" EACH SIDE	N/A	7'-6" EACH SIDE	NONE
22	Side 2 or (facing street):	N/A	N/A	N/A	NONE
23	Rear: 15% OF LOT DEPTH 20' MIN.	30' MINIMUM	N/A	44'-2" REAR	NONE
	Accessory Structure Side 1:	N/A	N/A	N/A	NONE
24	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A	NONE
25	Accessory Structure Rear:	N/A	N/A	N/A	NONE
26	Sum of Side yard :	15' MINIMUM	N/A	15'	NONE
27	Located within a Local Historic District?			NO	
28	Designated as an iNdividual Historic Single Family Residence			NO	
29	Determined to be Architecturally Significant?			NO	

Note

If not applicable write N/A

All other data information should be presented like the above format

REVISIONS

JOSE R. MERLO
license no.
AR0012119
AA26003491

SEZENAVE.
DESIGN STUDIO, L.L.C.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

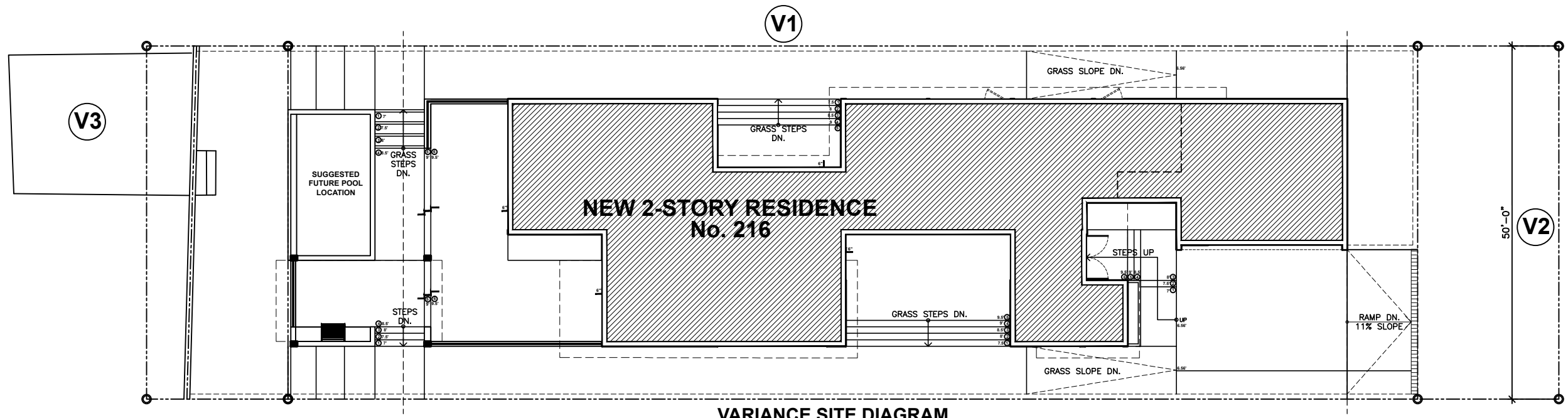
PROJECT NAME

NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida

SEAL

Date Issued: 02-02-18

SP-2



VARIANCE SITE DIAGRAM

V1	VARIANCE REQ. #1 = Lot area: Required: 30,000 sf Provided: ~9700 sf
V2	VARIANCE REQ. #2 = Lot width: Required: 100' Provided: 50'
V3	VARIANCE REQ. #3 = Variance to retain the dock at zero setback.

01

VARIANCES SITE DIAGRAM
SCALE: 1/8"=1'-0"



REVISIONS

JOSE R. MERLO
license no.
AR0012119
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SEZENAVE.
DESIGN STUDIO, LLC.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

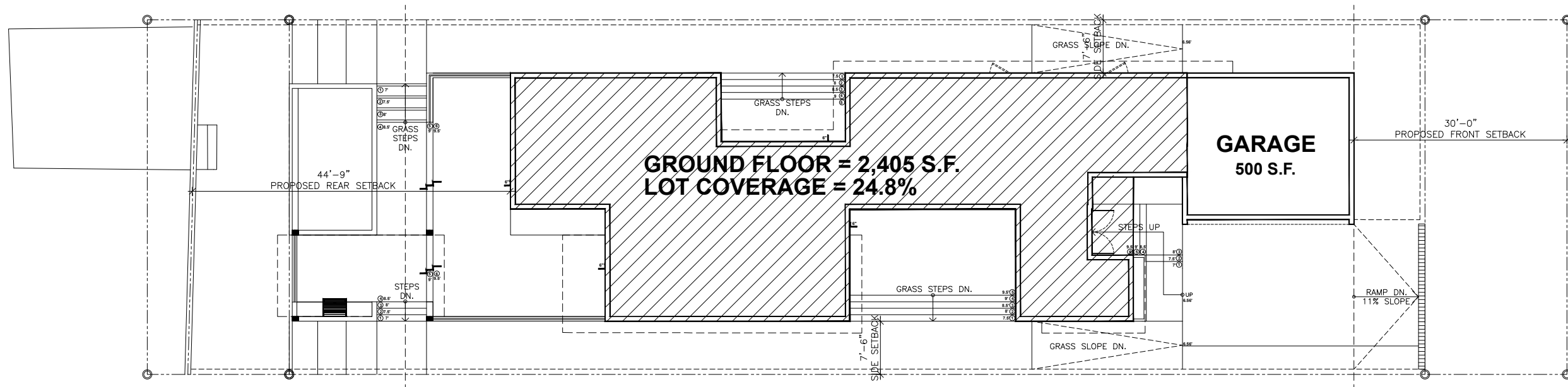
PROJECT NAME

NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida

SEAL

Date Issued: 02-02-18

SP-3



GROUND FLOOR = 2,405 S.F.
LOT COVERAGE = 24.8%

GARAGE
500 S.F.

Lot Area = 9,700 SF
 (25% = 2,425 SF)

Coverage = 2,905 SF
 Garage = - 500 SF
TOTAL = 2,405 SF
 (24.8 %)

02

LOT COVERAGE DIAGRAM

SCALE: 1/8"=1'-0"



REVISIONS

JOSE R. MERLO
 license no.
 AR0012119
 AA26003491

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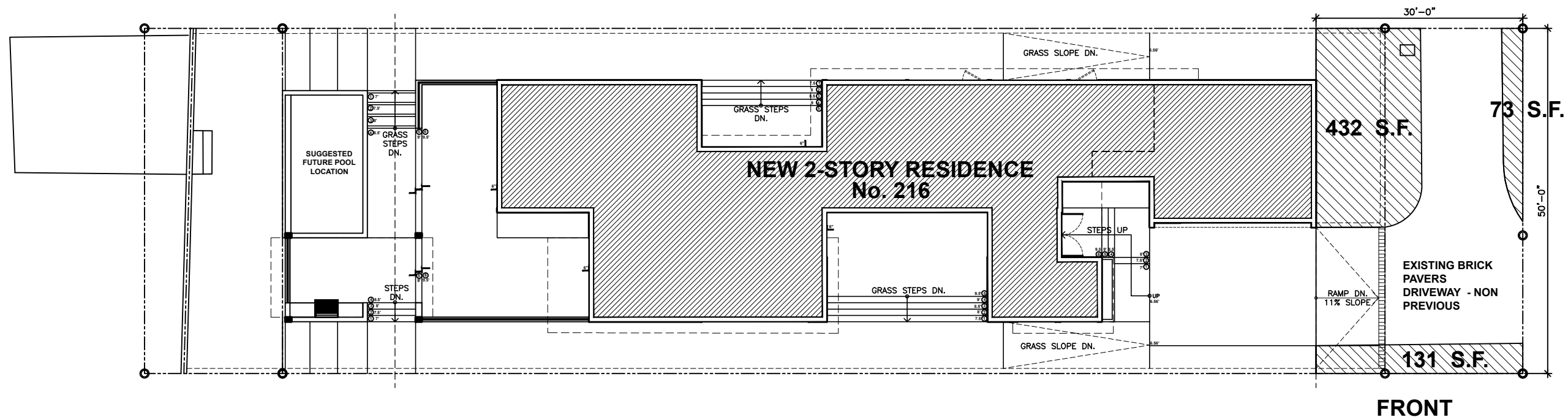
PROJECT NAME

NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida



SEAL

Date Issued: 02-02-18

SP-4



35% OF THE FRONT SETBACK REQUIRES TO BE
 SODDED OR LANDSCAPED.
 FRONT SETBACK AREA IS 30'X50'=1,500 S.F.
 AREA REQUIRED= 525 S.F.
 AREA PROVIDED= 636 S.F.=42.4%

IMPERVIOUS  OPEN SPACE /
 PREVIOUS LANDSCAPE 

01

FRONT YARD LOT COVERAGE
 SCALE: 1/8"=1'-0"

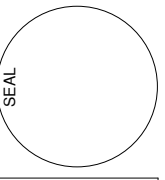


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 license no.
 AR0012119
 AA26003491

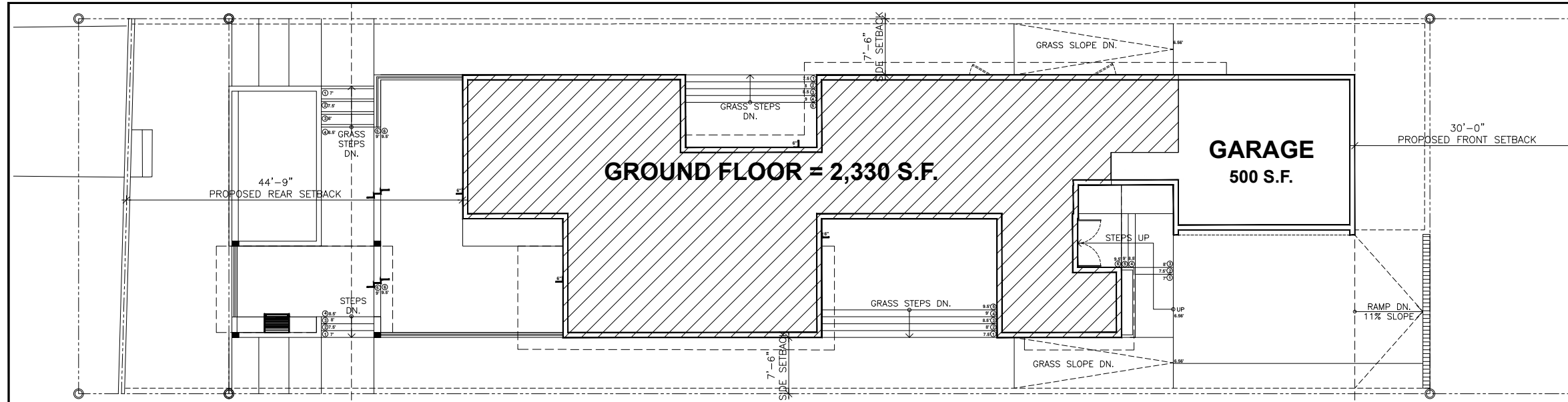
SEZENAVE.
 DESIGN STUDIO, LLC.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida



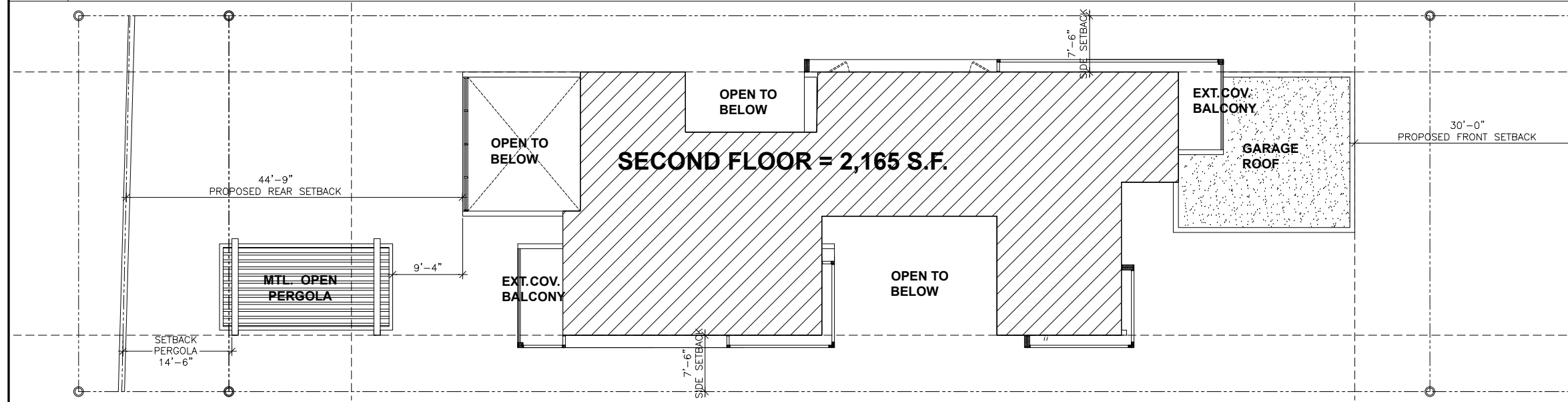
Date Issued: 02-02-18

SP-5



GROUND FLOOR
TOTAL = 2,330 SF

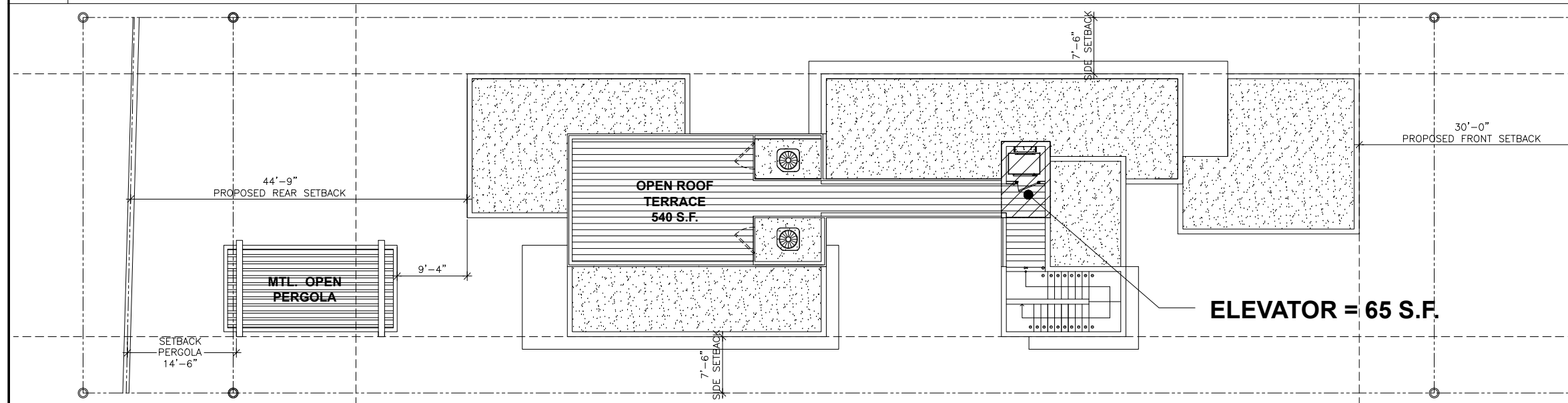
01 GROUND FL. UNIT SIZE
SCALE: 1/8"=1'-0"



SECOND FLOOR
TOTAL = 2,165 SF

GROUND FLOOR=	2,330 SF
SECOND FLOOR=	2,165 SF
ROOF=	65 SF
TOTAL UNIT SIZE	4,560 SF

02 SECOND FL. UNIT SIZE
SCALE: 1/8"=1'-0"



ROOF TOTAL = 65 SF

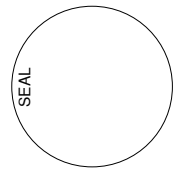
03 ROOF UNIT SIZE
SCALE: 1/8"=1'-0"

NO.	DESCRIPTION

JOSE R. MERLO
license no.
AR0012119
AA26003491

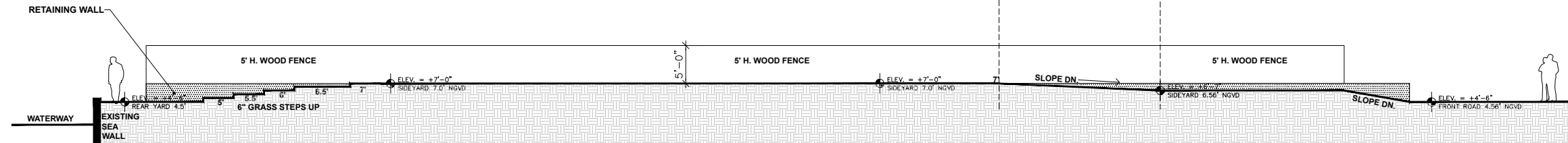
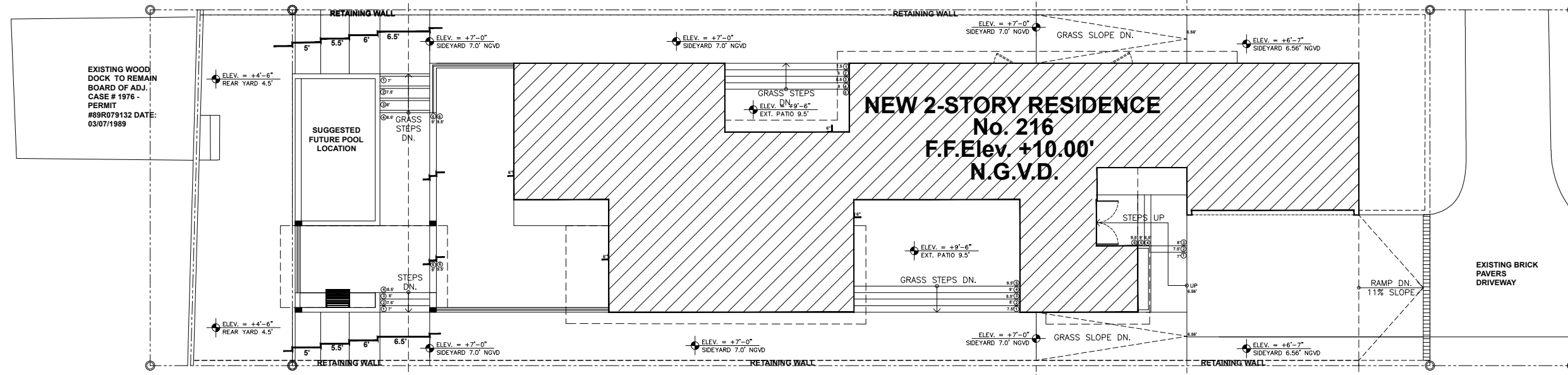
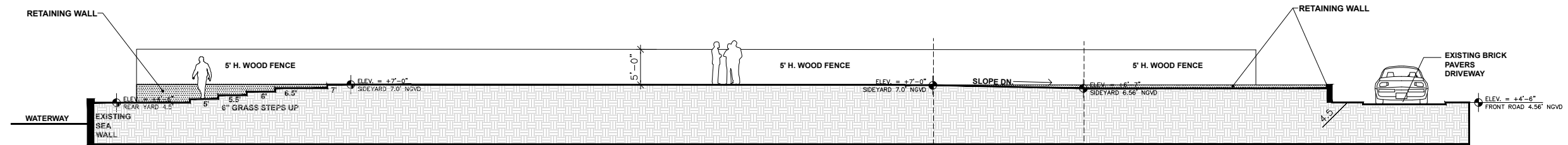
SEZENAVE.
DESIGN STUDIO, L.L.C.
711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
216 PALM AVENUE
Miami Beach, Florida



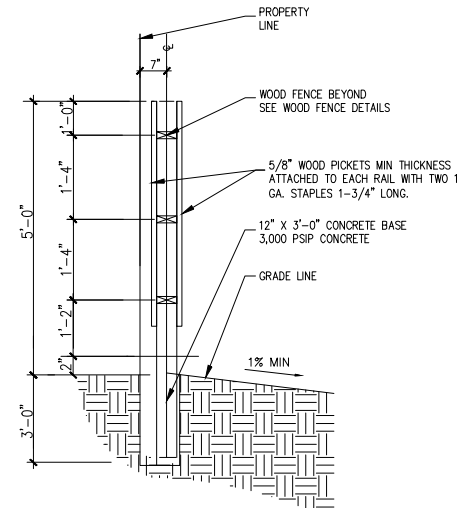
Date Issued: 02-02-18

SP-7

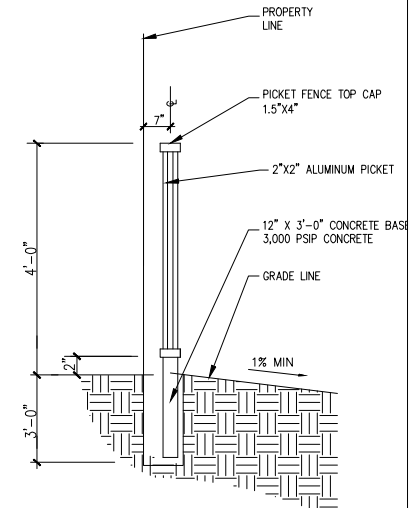


01 SIDE YARD SECTIONS

SCALE: 1/8"=1'-0"



WOOD PICKET FENCE



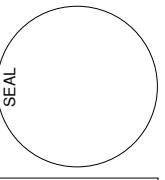
ALUMINUM PICKET FENCE

NO.	REVISIONS

JOSE R. MERLO
license no.
AR0012119
AA26003491

SEZENAVE.
DESIGN STUDIO, L.L.C.
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Date Issued: 02-02-18

SP-8

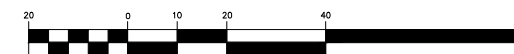
MAQ SERVICES, INC.

Professional Land Surveyors, Mapper
 CERTIFICATE No.L.B. 8064
 STATE OF FLORIDA
 Main Line: (305) 901-1317
 Fax: (305) 901-1323

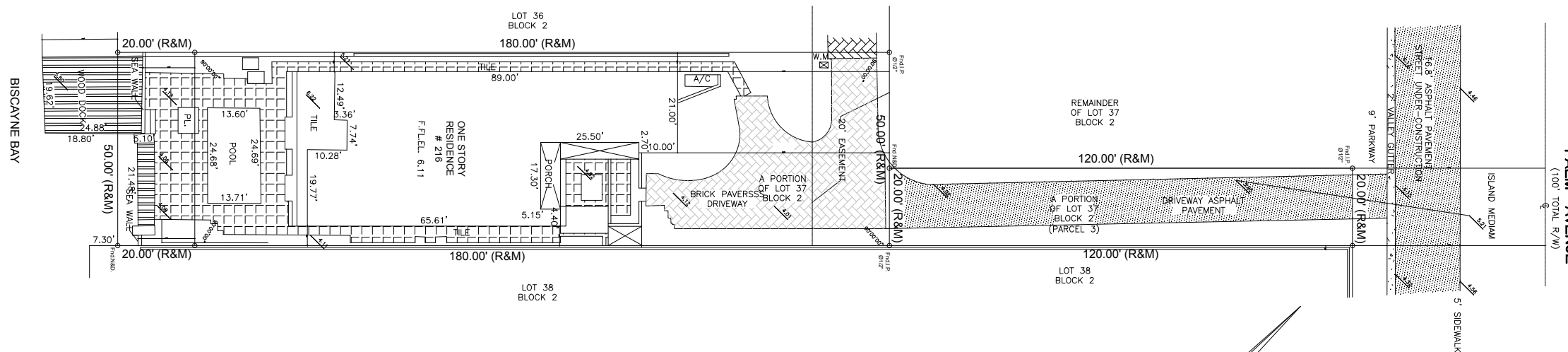
BOUNDARY SURVEY

SCALE: 1" = 20'

GRAPHIC SCALE

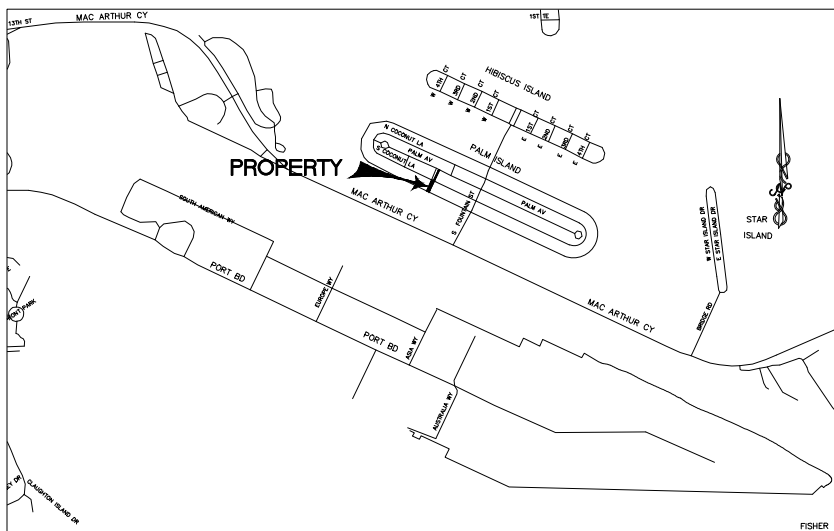


(IN FEET)
 1 inch = 20 ft.



LOCATION SKETCH

SCALE: NTS



JOB No. 17-12216 CLIENT: AG 07 INVESTMENTS, LLC
 PROPERTY ADDRESS 216 PALM AVE MIAMI BEACH FL
 LEGAL DESCRIPTION: (FURNISHED BY CLIENT)

PARCEL 1
 A PORTION OF LOT 37, BLOCK 2, PALM ISLAND, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGE 54, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEASTERLY CORNER OF LOT 37, BLOCK 2, RUNNING IN A WESTERLY DIRECTION A DISTANCE OF 50 FEET ALONG THE SOUTHERN BOUNDARY OF THE SAID LOT 37, BLOCK 2; THENCE RUNNING IN A NORTHERLY DIRECTION A DISTANCE OF 1180 FEET PARALLEL WITH THE WESTERLY BOUNDARY OF THE SAID LOT 37, BLOCK 2, THENCE RUNNING EASTERLY A DISTANCE OF 180 FEET PARALLEL TO THE NORTHERN BOUNDARY OF SAID LOT 37 TO THE INTERSECTION OF THE EASTERLY BOUNDARY OF THE SAID LOT 37, BLOCK 2; THENCE IN A SOUTHERLY DIRECTION A DISTANCE OF 1880 FEET ALONG THE EASTERLY BOUNDARY OF THE SAID LOT 37, BLOCK 2, TO THE POINT OF BEGINNING.

PARCEL 2
 A 20 FOOT STRIP WHICH WAS CONVEYED BY FRANK F. STERNS, TRUSTEE, BY QUIT CLAIM DEED, AND FILED FOR RECORD IN THE PUBLIC RECORDS OF MIAMI-DADE, UNDER CLERK'S FILE NO. BB-9875, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEASTERLY CORNER OF LOT 37, IN BLOCK 2, OF PALM ISLAND, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 6, PAGE 54, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE NORTHWESTERLY ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 37, A DISTANCE OF 50 FEET; THENCE SOUTHWESTERLY PARALLEL TO AN EXTENSION OF THE DIVIDING LINE BETWEEN LOTS 37 AND 38 IN SAID BLOCK 2, EXTENDED INTO THE BAY A DISTANCE OF 20 FEET; THENCE SOUTHEASTERLY PARALLEL TO AND 20 FEET DISTANT FROM THE SOUTHERLY BOUNDARY OF SAID LOT 37 A DISTANCE OF 50 FEET; THENCE NORTHEASTERLY ALONG A LINE PARALLEL TO THE EASTERLY LINE OF LOT 37 A DISTANCE OF 20 FEET TO THE POINT OF BEGINNING.

PARCEL 3
 NONEXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY GRANT OF EASEMENT DATED NOVEMBER 30, 1955, FILED DECEMBER 3, 1955, IN DEED BOOK 4190, AT PAGE 271, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, FOR INGRESS AND EGRESS AND FOR MAINTENANCE OF PUBLIC UTILITIES OVER AND ACROSS LAND DESCRIBED AS FOLLOWS:
 BEGIN AT THE NORTHEASTERLY CORNER OF SAID LOT 37, THENCE RUN SOUTHERLY ALONG THE EASTERLY BOUNDARY OF SAID LOT 37 FOR A DISTANCE OF 120 FEET; THENCE RUN WESTERLY FOR A DISTANCE OF 20 FEET PARALLEL TO THE NORTHERLY BOUNDARY OF SAID LOT 37, THENCE RUN NORTHERLY PARALLEL WITH THE EASTERLY BOUNDARY OF SAID LOT 37 FOR A DISTANCE OF 120 FEET TO THE NORTHERLY BOUNDARY OF SAID LOT 37; THENCE RUN EASTERLY ALONG THE NORTHERLY BOUNDARY OF SAID LOT 37, FOR A DISTANCE OF 20 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

- 1-) IF SHOWN, BEARINGS AND ANGLES ARE REFERRED TO SAID PLAT IN LEGAL DESCRIPTION.
- 2-) THE RELATIVE CLOSURE IN THE FIELD MEASURED BOUNDARY IS BETTER THAN: 1 FOOT IN 7,500 FEET; LINEAR (SUBURBAN).
- 3-) A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY, THEREFORE, THERE MAY BE RESTRICTIONS ON THIS PARCEL THAT ARE NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. NO EXPRESSED OR IMPLIED DETERMINATION OF TITLE OR OWNERSHIP TO THE LAND DESCRIBED IS MADE.
- 4-) THERE MAY BE UNDERGROUND UTILITY LOCATIONS AND SUBSURFACE FEATURES WITHIN THE PARCEL THAT ARE NOT SHOWN.
- 5-) THERE IS NO VISIBLE SURFACE OR OVERHEAD ENCROACHMENT, OTHER THAN SHOWN ON THIS SURVEY.
- 6-) IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY DRAWING WITHOUT THE PRIOR WRITTEN CONSENT OF THE SURVEYOR.
- 7-) INFORMATION OF TREE PROVIDED: DIAMETER (Ø), HEIGHT (H), CANOPY SHADE (CS), ALL NAMES ARE NOTED TO SURVEYORS ABILITY. SURVEYOR IS NOT AN ARBORIST AND CANNOT PROVIDE SCIENTIFIC NAMES OF TREE AND OR PLANTS.

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 09-11-09 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE
 BASE FLOOD ELEVATION 9.0' COMMUNITY 120651 PANEL NUMBER 0318 SUFFIX L
 ELEVATIONS (WHEN SHOWN) REFER TO N.G.V.D., 1929 DATUM.
 COUNTY BENCHMARK USED 2-135 ELEVATIONS 5.31' FEET B.M. LOCATION MACARTHUR CSWY FOUNTAIN ST

CERTIFIED TO:

AG 07 INVESTMENTS, LLC

SURVEY DATE: 12-14-2017

MAQ SERVICES, INC.
 Professional Land Surveyors, Mapper
 CERTIFICATE No.L.B. 8064
 STATE OF FLORIDA
 Main Line: (305) 901-1317
 Fax: (305) 901-1323

BY: **LEONARDO MAQUEIRA, P.S.M.**
 CERTIFICATE No.L.S. 6992
 STATE OF FLORIDA

NOT VALID WITHOUT THE SIGNATURE, DATE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

LEGEND AND ABBREVIATIONS

<p> ELEVATION DRIVEWAY UTILITY POLE BASIS OF BEARINGS AIR CONDITIONING PAD ARC DISTANCE BUILDING CATCH BASIN CONCRETE BLOCK STRUCTURE CHORD DISTANCE CLEAR CENTER LINE CONCRETE </p>	<p> FOUND NAIL POINT OF COMMON-CEMENT FOUND DRILL HOLE POINT OF TANGENCY ENCRICHMENT FIRE HYDRANT FOUND IRON PIPE FOUND REBAR PERMANENT CONTROL POINT LIGHT POLE MEASURED RECORD RECORD & MEASURED </p>	<p> ELECTRIC METER POINT OF INTERSECTION POINT OF REVERSE CURVE CENTRAL ANGLE WOOD FENCE CHAIN LINK FENCE C.B.S. WALL BLOCK CORNER RADIUS OVERHEAD ELECTRIC LINE PLAT BOOK PERMANENT CONTROL POINT PAGE POINT OF BEGINNING PROPERTY LINE NOT TO SCALE </p>	<p> CONCRETE FOUNDATION OVERHEAD ELECTRIC UTILITY CONC. POLE WATER METER </p>
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REVISIONS

JOSE R. MERLO
 license no. AR0012119
 AA26003491

SEZENAVE.
 DESIGN STUDIO, LLC.
 711 NW 23rd Street | Miami, Florida 33127 | 786.251.9488

PROJECT NAME
NEW RESIDENCE
 216 PALM AVENUE
 Miami Beach, Florida

SEAL

Date Issued: 02-02-18

SP-9