



Along the Seventh Street elevation there is an inconsistent architectural treatment of the clerestory panels above the window openings at most structural bays. On both elevations some previously solid clerestory panels have been replaced with clerestory windows.

This corner has been home over the years to many establishments which had many fans in the neighborhood, including:

- Charlie's Paddock Burlesque Club / Bar
- Freidman's Bakery
- Paper Doll Club
- The Little Italy
- Watergun
- Manolo Restaurant (existing tenant)

This entire storefront comprising the addresses of 657 through 685 Washington Avenue is notable through the following Criteria for Historic Significance:

- 1) Architectural significance
- 2) Association with the lives of persons significant in the city's past history,
- 3) Embodies the distinctive characteristics of an historical period
- 4) Serves as the outstanding work of a master designer
- 5) Possesses high artistic value

2015 PHOTOGRAPHS: 685 WASHINGTON AVENUE by  
ARTHUR MARCUS 2015



**CHAPLEY'S PADDOCK GRILL**

Owner J. C. DeVine Props: Mailing Address: Permit No 5807 Cost \$25,000:  
 Lot 20 - 21 Block 34 Subdivision OCEAN BEACH #1 Address 675 to 685 Washington Avenue 689 -  
 General Contractor Owner builds Bond No. 4203-04-087  
 Architect E. L. Robertson Engineer  
 Zoning Regulations: Use BB Area 19 Lot Size  
 Building Size: Front 100' Depth Height 18' Stories 1  
 Certificate of Occupancy No. Use STORES (5)  
 Type of Construction CB Foundation Reinforced concrete Roof Date Jan. 24, 1934

Plumbing Contractor # 7266 L.A. McGhan 15 Fixtures Sewer Connection 2 Date May 25, 1934  
 Plumbing Contractor # 7280 L.A. McGhan - 3 Fixtures Temporary Closet  
 Water Closets Bath Tubs Floor Drains #7480 - McGhan - Sept: 12, 1934  
 Lavatories Showers Grease Traps 6 Fixtures  
 Urinals Sinks Drinking Fountains  
 Gas Stoves Gas Heater Rough Approved Date  
 Gas Radiators Gas Turn On Approved Date  
 Septic Tank Contractor Tank Size Date  
 Oil Burner Contractor Tank Size Date  
 Sprinkler System

Electrical Contractor #4040 George LaVigne Address Date Mar. 17, 1934  
 Switch Range Motors Temporary Service  
 OUTLETS Light 68 HEATERS Water  
 Receptacles 30 Space Centers of Distribution  
 #6155 Larkins, Jan. 4, 1936 Refrigerators Sign Outlets  
 3 motors. Irons  
 No. FIXTURES Electrical Contractor Date  
 FINAL APPROVED BY Date of Service

ALTERATIONS OR REPAIRS

Building Permit #4106 Date 687 Washington Avenue - A. F. Fenton Contractor: 689 - 685 Washington Avenue

**Building Permits:** #40668 Painted sign on wall: Admiral Sign Co: \$50: Jan 23, 1953  
 Paper Doll 685 Wash #46014 by owner.....Painting \$ 200.00 October 5, 1954  
 Paper Doll 685 Wash #46045 Tropicalities: Two flat wall signs...40 sq. ft. and 48 sq. feet equals 88 square feet: \$ 200.00 October 12, 1954

Famous Rest. 671 & 675 Wash. # 51924..Art Green, Contr..Remodeling: Two new toilets, remodeling store front, drop ceiling, plastering, cut opening betw. rest. \$3000..Oct 677 Washington Ave. #52017 Awning: 8' x 15': Endure Awning Shutter Co.: \$275.00 11/6,

585 Wash #53001 Jacob Wexler: Painting exterior - \$350.00 - April 10, 1957

685 Wash #53061 ABC Neon: Roof V shape sign 6 x 14 - \$800- April 18, 1957

685 Wash #53091 Owner: Flat wall signs as per application sketch- \$50-April 23, 1957

685 Wash #53607 ABC Neon: Flat wall sign (Neon) 6'x8' - 48 Sq. Ft- \$300-June 18, 1957

675 Wash #56556 Owner: Partial reroofing - \$300.00 - June 24, 1958

685 Wash #61186 ABC Neon: 1 flat wall neon sign and 1 roof neon sign- 128 sq.ft- \$800 - Feb. 8, 1960

675-85 Wash, Ave. #68293 A.S. Greene Construction Co.: Convert the paddock grille into 2 stores. A p tion and rework front for 2 entries. \$3500.00 10/24/62 Work Comp. LML 12/28/62

683 Wash. Ave. #73732 Owner, Leo Dellaav: Erect 2x4 non bearing petitions; install additional toilet room and fixtures - \$1,000 - 3/19/65 OK Brown 4/30/65

683 Wash. #73908 Hurricane Awning Co.: Alum. awning - \$265 - 4/20/65 - Fold Down for Hurricane Protection OK Beck 4/30/65

683 Wash. #73960 Geiger Distributors, Inc.: Air Cond., 1 - 5 hp unit - \$1,000 - 4/28/65 (used)

685 Wash. #74665 (Freidman's Bakery, Inc., owner): Remodel interior - \$3,000 - 8/26/65 - OK - CB - 3/25/66

685 Wash. #74685 (Freidman, owner) Rudy Glass Co.: Replace two exit doors - \$750 - 8/30/65

685 Wash. #74944 ABC Neon: 2 - 2 x 8 and 1-4 x 6 flat wall signs, "FREIDMAN'S BAKERY" - \$800 - 10/7/65

685 Wash #74772 (Freidman's Bakery): one 5 ton AC unit, 9/16/65 O.K. Flaag 11/16/65

681 Wash. #76358 Rudy Glass: Replace glass - \$748 - 5/26/66 OK Brown 6/27/66

682-71111 681 Wash. #76494 Airko Air Cond. Co.: 1 - five ton Air Cond. - \$2,000 - 6/21/66 OK Flaag 6/28/66

677 Wash. #76965 Owner, Famous Restaurant - \$20,000 - 9/2/66 OK McLaw 11/15/66

677 Wash. #77018 Giffen Industries: Reroof - \$1575 - 9/12/66 Tin Cap OK Brown 9/26/66

685 Wash. Avenue #80213 J. C. Devine, Owner: Exterior painting - \$100 - 5/7/68 OK 90 5/24/68

#84881 - Boni Sign Co. - Sign Repair Division \$20.00 Engineer \$158/200796

#-08892-Owner-Repair work under supervision \$750-7-11-78

#13419-Owner-Exterior painting-\$750-7-11-78

#22343 6/11/82 F.F. Centurion stores exterior paint 32 b art deco project \$800.

#91938 11/21/86 Lopez Fraxedas Corp - 1500 sq paving only per plans four park spaces \$1,000.

#M08724 1/27/87 Imperial Air - 2-8 kw central heat, 2-2.5 ton air cond central

Plumbing Permits:

685 Washington	# 7679	Alterations: Owner builds; E.L. Robertson, archt:	\$ 2,500...	Nov. 30, 1935
679 Washington	#10186	Neon sign- Radio Sales & Rental Neon Sign & Display	\$ 1,100...	Aug. 17, 1937
Jacques Beauty	Salon #10204	- Owner builds.	\$ 1,500...	Aug. 24, 1937
Paddock Grill	#10490	Mezzanine floor: Sam Levine, contractor:	\$ 800...	Oct. 27, 1937
		Zurwelle & Whittaker, Inc. engineers:		
	#10682	Air Conditioning: J.D. Rodeheaver, contractor:	\$ 6,500...	Dec. 2, 1937
	#14119	Addition of shelter roof (classB) day labor	\$ 75...	May 28, 1940
	#16394	Remodeling windows (owner)	\$ 1,000...	Nov. 1, 1941
	#16632	Sign 30 x 2 Neon Sign Co:	\$ 300...	Dec. 17, 1941
	#19737	Painting - inside - Gerald J. Campbell, painter	\$ 50...	Feb. 21, 1945
685 Washington	#21246	Painting - Quality Decorating Co.	\$ 800...	Nov. 7, 1945
685 Washington	#24235	Sign - Approx 8 sq ft York Sign Company	\$ 50...	April 3, 1947
679 Washington	#25404	Painting & Decorating: Owner builds-	\$ 1,000...	Sept. 22, 1947
675 Washington	#27409	Remodeling front of building - Owner	\$ 1,000...	June 1, 1948
685 Washington	#28270	Repainting sign on wall - Reliable Sign Co.	\$ 45...	Sept. 17, 1948
685 Washington	#28302	Paint sign - Reliable Sign Company	\$ 25.....	Sept. 24, 1948
685 Washington	#28898	Sheet Metal vent for hot water heater - Bayside Sheet Metal Works-	\$ 65---11-23-4	
685 Washington	#28994	Wall lettering - York Sign Company	\$ 50.....	Dec. 3, 1948
685 Washington	#31729	Flat wall sign - 56 sq. ft. York Sign Company, contr.	\$ 400.....	Dec. 19, 1949
685 Washington	#33197	Painting, changing "Burlesque" sign to rear "All Star Show" in three places-	\$ 40....	July 27, 1950
685 Washington	#34539	Reliable Sign Company, contractor	\$ 450....	Dec. 11, 1950
685 Washington	#38465	Painting, inside - Berk's Painting		
		Show cases and cutting door from package store to Paddock Club of the North wall		
		of the store. Mr. Tomlinson was consulted who in turn had City Attorney Shepard:	\$ 950....	May 14, 1952
		approval. Beach Cabinet Shop, contr.		(over)

### Plumbing Permits:

# 8647	McGhan: 7 Fixtures - Paddock Bar - December 10, 1935
#10388	Stolpman: 4 Lavatories - Jacques Beauty Salon - September 21, 1937
#10469	Orr: 2 Fixtures - no gas -- Beauty Salon - October 9, 1937
#12662	Dulbs: 1 Gas stove - November 7, 1939
#16311	Dulbs: 2 Floor drains - Paddock Bar - December 2, 1941
#16347	Dulbs: 1 coffee urn, 1 steam table, December 18, 1941
#18099	O. Schweitzer: 1 Gas steam table, 1 Gas griddle, February 20, 1945
#18407	O. Schweitzer: 3 sinks, July 25, 1945
#18739	O. Schweitzer: Remove 2 sinks, 2 stoves & 1 griddle, November 9, 1945
#18844	Economy Plumbing Company: 1 dish washing machine, 2 safe waste drains, 4 gas ranges, 1 coffee urn, December 1, 1945

#44904 M & S Plumbing: 1 water closet; 1 lavatory; 1 sink; 1 urinal; 1 floor drains-sand traps; 2 gas ranges - 8/27/65  
 #45346 (681 Wash.) M & S. Plumbing: 4 lavatories; 8/3/66  
 #45416 M. S. Plumbing: 1 gas water heater - 7/19/66  
 #45489 Sercia Plumbing Co.: 4 water closets; 5 lavatories; 1 sink; 1 urinal; 5 floor drains-sand traps; 3 gas ranges - 9/6/66 (Blg.Perm.#76965)  
 #47992 - M & S Plumbing 1 gas range oven 8/25/70  
 #62838 9/16/86 H & F Plumb - 1 rgh, 1 set floor drain, 1 rgh, 1 set grease trap, 2 rgh, 2 set lavatory, 1 rgh, 1 set urinal 2 rgh, 2 set water closet, 1 indirect wastes, 1 water service, 1 sewer connections

#### Electrical Permits:

#49732 ABC Neon: 4 Neon Transformers - 4/18/57  
 685 Wash. #50144 ABC Neon: 2 Neon Transformers - June 18, 1957  
~~#50144 ABC Neon: 2 Neon Transformers - June 18, 1957~~  
 683 Wash. #62213 Ben's Elec: 7 appliance outlets; 1 cent. of dist. - 4/23/65  
 685 Wash. #62687 Lyon Elec. Co. Inc.: 1 violation - 9/9/65  
 #62765 (Friedman's Bakery) ABC Neon: 8 fixtures - 10/8/65  
 #63551 Lyon Electric Co., Inc.: 4 switch outlets; 12 light outlets; 1 water heater outlet; 12 fixtures; 12 appliance outlets; 1 meter change - 6/10/66  
 #63883 Kammer & Wood, Inc.: 8 switch outlets; 61 light outlets; 13 receptacles; 1 water heater outlet; 61 fixtures; 1 meter change; 1 cent. of dist.; 1 serv. equip. - 9/1/66  
 #81385 9/16/86 El-Al Elec - 4 light outlets, 2-200A serv size in amps, 2-3 1/2 ton air cond, 4 fixtures, 1-100A service house.

Jacques Beauty Salon " "	# Austin	10 outlets, 9 fixtures, October 9, 1936 2 outlets, 14 receptacles, 2 meters, October 6, 1936 Biscayne Electric: 1 neon transformer, August 17, 1937 George LaVigne: 2 Switch outlets, 10 light outlets, 12 receptacles, 1 center of distribution - September 17, 1937
Radio		
Paddock		
Final OK 11/24th--		
Jacques Beauty Salon	# 9890	Martin: 4 Switch outlets, 31 light outlets, 31 fixtures, Nov. 15, 1937
Paddock Grill	#10062	LaVigne: 3 motors, 1 center of distribution, December 3, 1937
Paddock Grill	#15145	Miller Electric: 5 switch outlets, 12 light outlets, 3 receptacles, 12 fixtures, 1 center of distribution, June 24, 1940
Final OK 12/2nd		
Final Linc.		
	#16171	State Electric: 6 Light outlets, 28 Fixtures, 1 iron, Nov. 12, 1940
	#16382	55 Fixtures - December 3, 1940
	#16742	Miller Electric: 1 Temporary service: January 18, 1941
	#16747	Miller Electric: 5 centers of distribution, 1 service, January 20, 1941
	#17517	Miami Neon Company: 1 neon transformer, August 22, 1941
	#18588	LaVigne: 4 Switch outlets, 12 light outlets, 12 fixtures, 1 center, 12-1-41
	#18589	LaVigne: 16 switch outlets, 18 light outlets, 13 receptacles, 24 fixtures, 8 centers of distribution, December 1, 1941
	Brown, 12/18th	LaVigne: 1 Temporary service* December 1, 1941
	#18596	Morgan Neon Company: 12 neon transformers, December 17, 1941
	#18140	Lyon Electric: 4 appliances, February 17, 1943
	#19300	Lyon Electric: 2 switch outlets, 9 light outlets, 9 Fixtures, 1 service, November 8, 1945
	#21589	Astor Electric: 20 Fixtures, December 2, 1945
	#21745	Lyon Electric: 1 meter change, August 10, 1946
677 Washington	#22866	Lyon Electric: 1 motor, September 23, 1946
Paddock Bar	#23083	Badia Neon Co: 4 neon transformers, March 7, 1947
Paddock Bar	#23974	Lyon Electric: 9 switch outlets, 27 light outlets, 27 fixtures, Sept. 19, 1947
Paddock Bar	#24851	Lyon Electric: violation - April 5, 1948
Paddock Bar	#26067	Lyon Electric: 2 light outlets - June 24, 1948
675 Wash. Ave.	#26607	Lyon Electric: 16 fixtures - June 29, 1948
675 Wash. Ave.	#26645	York Sign Co: 3 neon transformers - Dec. 19, 1949 Jan. 16, 50 Meginniss
685 Wash. Ave.	#30433	Lyon Electric: 1 sign outlet, Jan. 3, 1950 - OK Meginniss 1-3-1950
Paddock	#30527	Lyon Electric: 1 center of distribution, 1 service-equipment - June 20, 1950
685 Wash. Ave.	#31557	Lyon Electric: violations - Sept. 26, 1951 - H.O. Rosser 9/26/51
677 Washington Ave.	#35089	Astor Elec. Service: 1 switch outlet, 1 receptacle - Feb. 20, 1952 ok 2-5-52 PM
685 Washington Ave.	#36139	Lyon Electric: 7 light outlets, 7 fixtures, 1 motor, 1 violation - Feb. 20, 1952
685 Washington Ave.	#36142	Lyon Electric: 7 light outlets, 7 fixtures, 1 motor, 1 violation - Feb. 20, 1952 OK 3-6-52 PM
685 Washington Ave.	#43167	Tropicalites: reconnect: October 12, 1954 OK, Rosser 10-21-54
Paper Doll Club	45739	K & F Electric: 1 motor, 2-5hp, 2 motors, 6-10hp Sept. 28, 1955 OK, Rosser 11/14/55

LOT 20-21 BLOCK 34 (for entries before 1971, see card #1353) SUBDIVISION Ocean Beach #1 ADDRESS 683 Washington Ave. *RESTAURANT*

# ALTERATIONS & ADDITIONS

*1353-B*

## Building Permits:

- #09862-The Little Italy-Exterior painting-\$150-9-28-76
- #10147-Owner-Minor repairs decoration and painting-\$2500-11-3-76
- Mechanical 03801-Refriarco- 1/2 ton refrigeration-11-5-76
- Mechanical 3803-Seminole- 1 5ton central a/c-11-8-76
- #10214-Dopazo Signs-The Little Italy-Sign-\$400-11-11-76
- #10029-Biscayne Awning-Canvas awning for front of building-\$475-10-19-76
- 1-22-81/#M05019/1-5ton central air conditioning/Ferland Air Conditioning/\$40

## Plumbing Permits:

- #54274 - Morgan Plumbing - 1 rgh urinal, 1 set urinal, 1 glass sink, heater-new install. 11/8/76

## Electrical Permits:

- #73568-Rapelco Electrc-The Little Italy-4 switch outlets; 4 light outlets; 6 receptacles; 100 amps service; 4 appliance outlets; 1- 5ton a/c; 4 fixtures-10-22-76
- #73664-E G Signs-80 sub tubes; 1 sign transformer-11-24-76-The Little Italy-11-24-76

NOT ENTRIES BEFORE 1971, see card W1353)

LOT 20-21 BLOCK 34 SUBDIVISION Ocean Beach #1 ADDRESS 681 Washington Ave.  
FRIEDMAN MARKET

ALTERATIONS & ADDITIONS

*1353-A*

**Building Permits:**

#18674- 8-11-80 OWNER Exterior Painting \$100  
#18675- 8-11-80 OWNER Sing FRIEDMAN MARKET \$360  
#22481 7/13/82 F.f. Centurion sign painting (681 Wash) \$270.  
#22482 7/13/82 F.F. Centurion sign painting (685 Wash) \$170.

**Plumbing Permits:**

**Electrical Permits:**

LOT 20-21 BLOCK 34 SUBDIVISION Ocean Beach #1 ADDRESS 685 Washington Avenue  
 (for entries before 1971, see card #1353)

# ALTERATIONS & ADDITIONS

1353-C

## Building Permits:

#22403 6/23/82 F.F. Centurion exterior painting, exist paint as approved by Planning Board on June 22, 1982 \$400.

#22482 7/13/82 F.f. Centurion - sign painting \$170.

#91806 6/23/86 M.B. Bichachi Const - repair damage caused by fire (restaurant & Bakery work only) \$20,000.

#91957 12/11/86 CRF Inc - interior remodeling storefronts ext paint exist stores \$25,000.

## Plumbing Permits:

#63104 2/6/87 Nel Mar Plumb - 2 rgh, 2 set lavatory, 1 rgh, 1 set clothes washer, 1 rgh, 1 set shower, 2 rgh, 2 set water closet, 1 heater new installation

## Electrical Permits:

#73999-Latin American Electric- correct violation-4-19-77

#74267-Latin American Electric-200 amps service-8-11-77

#81844 3/24/87 Vern Griffith Elec - 2 switch, 3 light outlets, 5 recept, 100 serv temp, 200 service size in amps.  
 3 ton air cond

#81999 - Ocean Electric Company - 9 Switch outlets, 10 Light outlets, 12 Receptacles, 1 Appliance outlets, 1 Water heater & 1 A/C Window - 5-15-87

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_ ADDRESS \_\_\_\_\_

**ALTERATIONS & ADDITIONS**

**Building Permits:** #28092 3/3/86 owner erect new block interior partition \$3,900.  
 #29998 3/16/87 owner/bidger minor repair of existing and interior painting \$200.

**Plumbing Permits:**

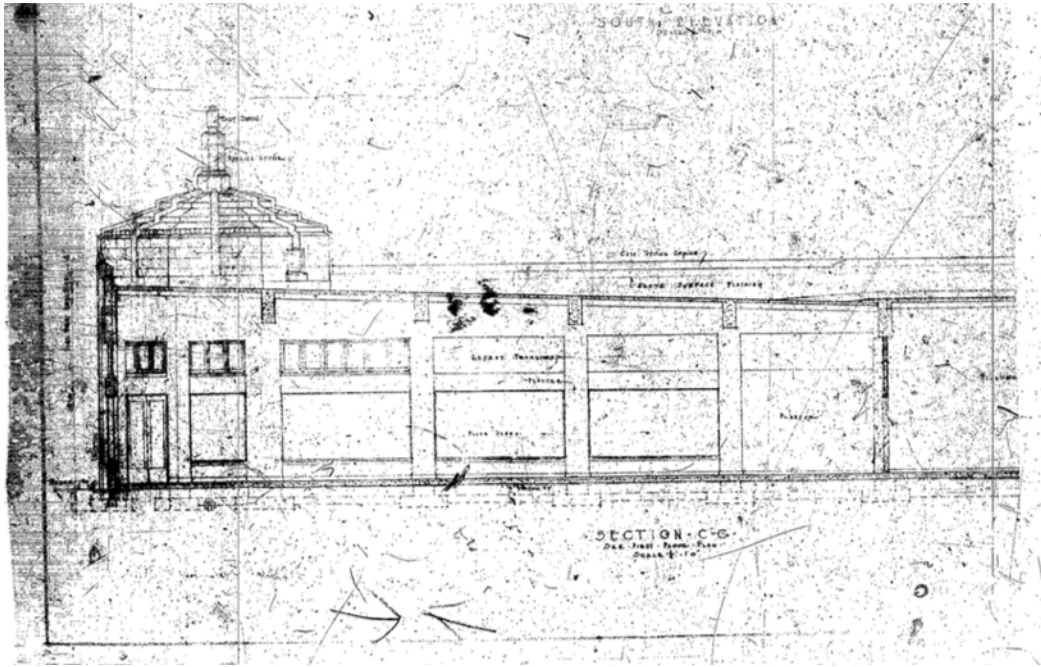
**Electrical Permits:**

## COASTAL CONTROL ZONE

## CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE ISSUED	PROCESS NO.	DESCRIPTION OF WORK	WORK COST	CUMULATIVE WORK COST	APPRAISED BLDG. VALUE BEFORE REMODEL %	COMMENTS	BUILDING PERMIT NO.
7-10-89		Tent Fumigation	\$279.00				BS891640
7-10-89		Tent Fumigation	\$279.00				BS891643
7-10-89		Tent Fumigation	\$279.00				BS891646

601 - 685 WASHINGTON AVENUE

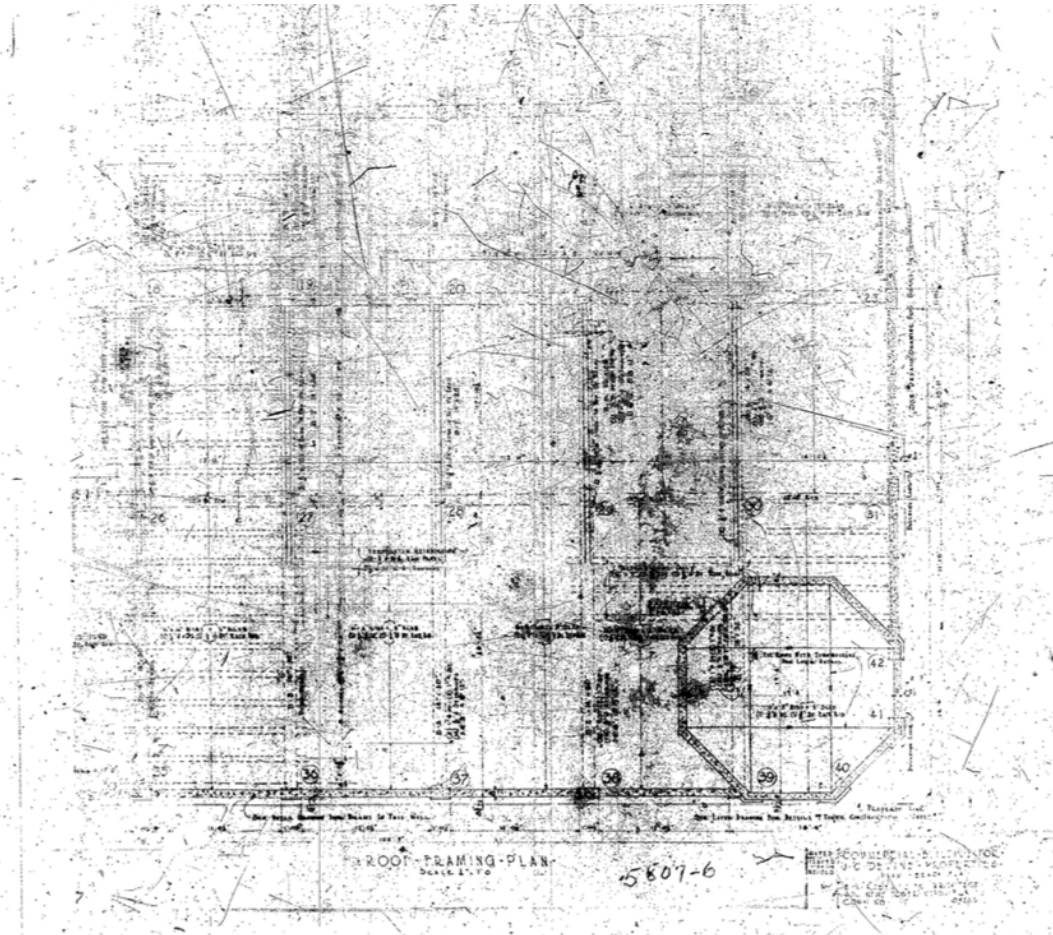


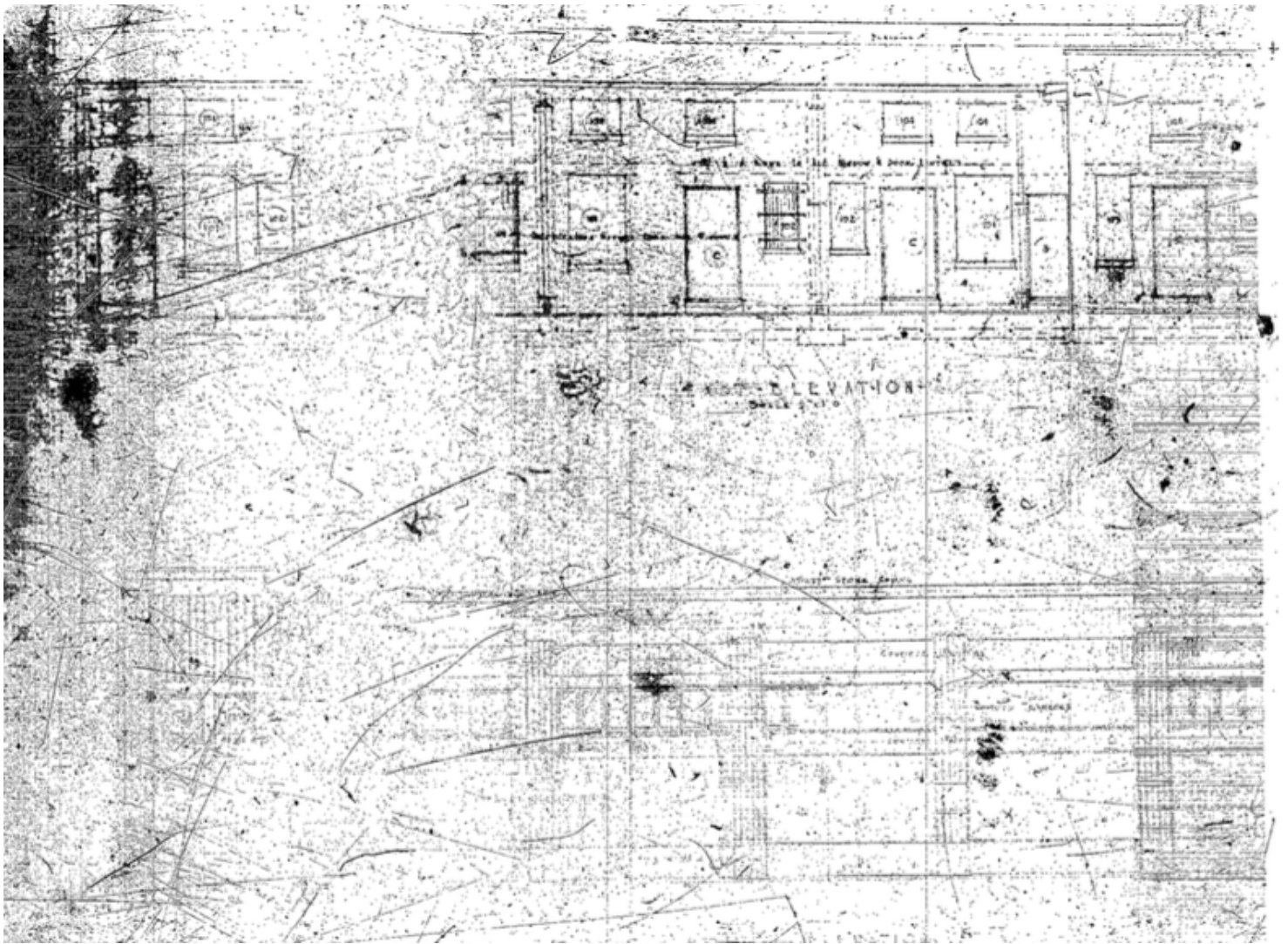
ADDENDUM:

ABOVE: 669 - 685 WASHINGTON AVENUE - ORIGINAL ARCHITECTURAL ELEVATION AT WASHINGTON AVENUE

BELOW: 669 - 685 WASHINGTON AVENUE - ORIGINAL ROOF FRAMING PLAN

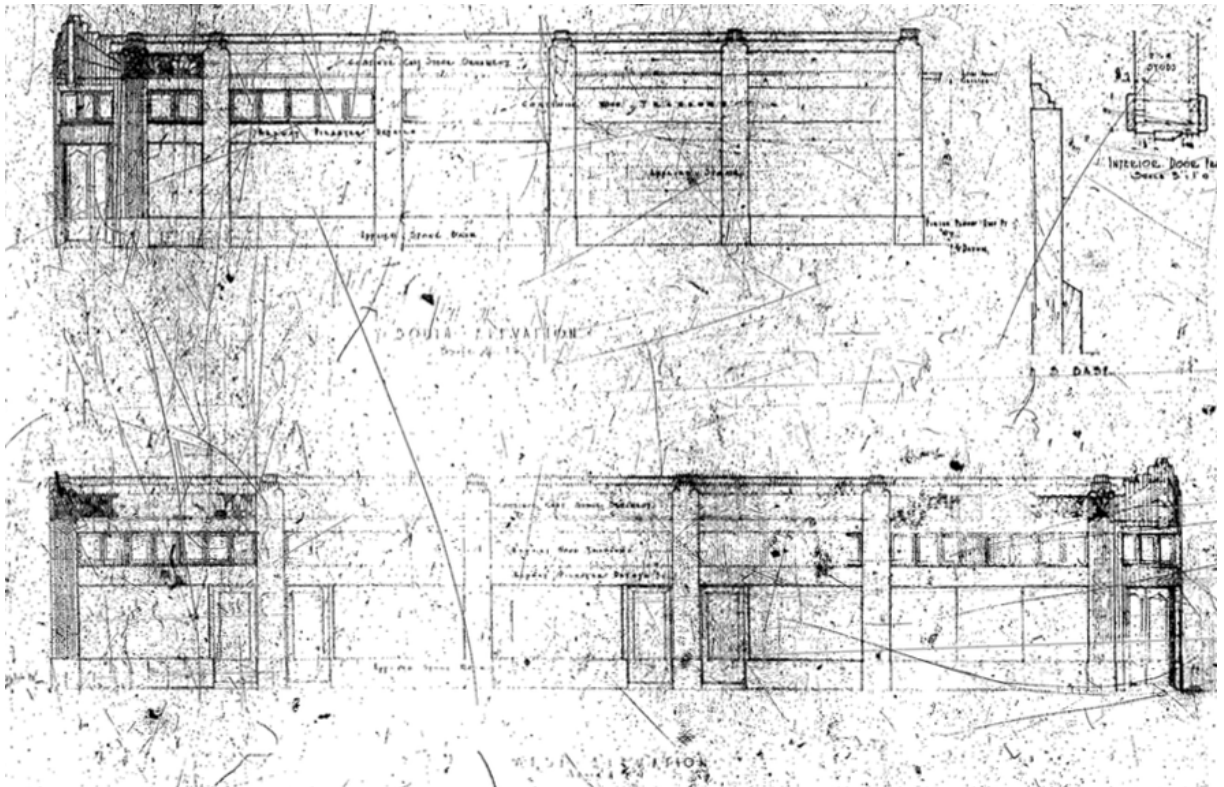
DOCUMENTS COURTESY CITY OF MIAMI BEACH PLANNING & ZONING DEPARTMENT





ADDENDUM: ABOVE 669-685 WASHINGTON AVENUE - ORIGINAL ROOF FRAMING PLAN  
DOCUMENT COURTESY CITY OF MIAMI BEACH PLANNING & ZONING DEPARTMENT

601 - 685 WASHINGTON AVENUE

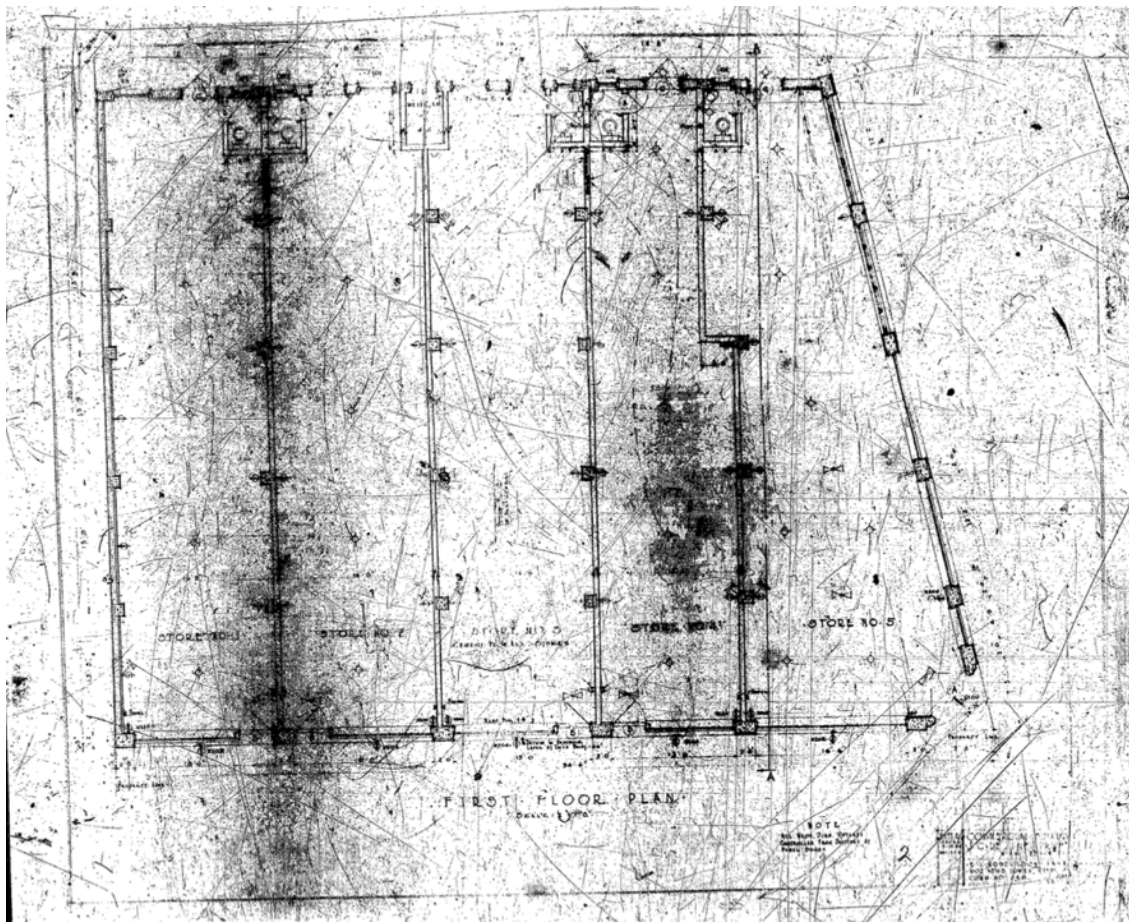


ADDENDUM

ABOVE: 601-615 WASHINGTON AVENUE - ORIGINAL ARCHITECTURAL ELEVATIONS

BELOW: 601-685 WASHINGTON AVENUE - ORIGINAL FIRST FLOOR PLAN

DOCUMENTS COURTESY CITY OF MIAMI BEACH PLANNING & ZONING DEPARTMENT





**Building Permits:**

#64347 - General Glass and Mirror front entrance, replace wood door with glass and aluminum door. and minor store front changes. \$1,000.00 6/3/70

→ #84665 - Owner - Interior Alterations as per plans \$2,000.00 7/22/70  
 #86735 - owner - interior alterations \$1,500.00 5/21/71

#00386 - Modern Displays - sign lettering \$45.00 1/11/72

#01199-Nu-Art-Sign as per plan-\$60-6-8-72

#01499-Bohment Roofing & Supply Co.-Re-roof-\$1154-7-27-72

#88135-Armando I. Menendez-New partitions, elec. a/c, flooring and ceilings-\$21,000-9-26-72

#2269-The Barret Co.- 1.5Ton Central A/C-10-4-72-\$3100-

#02238-Nu-Art Signs-Sign-\$150-12-13-72

#4594-12/21 CERTIFICATE OF OCCUPANCY FOR BUILDING PERMIT NO. 88135 LOCATED AT 625 WASHINGTON AVE. (DR. TIMOTHY A. LAMPHIER) 1972

#91220 4/2/84 owner-self contractor install a window facing Washington Ave. \$800.

#25784 8/22/84 Snapp Inc - gunite repair no structural enlargement \$3,600.

#M06990 10/5/84 Oceanaire 2 space heaters, 8 ton air cond central, duct work only

#47853 - Goldman Plumbing - 1 water closets - 5 lavatories - 3 rough  
 #48070 - ABS Plumbing - 1 water closets - 4 lavatories 10/26/79 6/12/70

## Electrical Permits:

# 13204 Lyon Electric: 12 Switch outlets, 36 Light outlets, 4 Receptacles, 26 Fixtures, 2 Sign outlets, 4 Centers of distribution: Aug. 16, 1939

# 13536 Lyon Electric: 10 Fixtures for Rosenthal Oct. 13, 1939 Final 10/16th Inman

# 15516 Max Belin: 8 Switch outlets, 22 Light outlets, 22 Fixtures: Aug. 28, 1940 - OK Brown

# 20540 Ace Electric: 3 Fixtures: 8 Irons: 2 Centers: Sept. 30, 1944 11/8th

# 23020 Toby Electric: 4 Switch outlets: 7 Receptacles: 5 Fixtures: Sept. 13, 1946

# 24302 Miller Electric: Fire Damage (\$3.00) June 9, 1947

# 25281 Angler Electric: 4 Switch outlets: 11 Light outlets: 2 Receptacles: 32 Fixtures: Nov. 20, 1947--

# 25334 Tropicalites: 1 Neon transformer: (sign) Nov. 26, 1947

# 27417 Dade Neon: 1 Neon transformer: Oct. 18, 1948

# 27645 Angler Electric: 2 Switch outlets: 6 Light outlets: 6 Receptacles: 3 Motors: Oct. 25, 1948

# 27505 Final OK 10/27/48 Meginniss -----

# 36792 Lyon Electric: 2 Light outlets: 5 Fixtures: 3 Motors: Oct. 26, 1948

W.L. Austin Electric: 20 Fixtures: 6 Appliances: 2 Fans: 4 Centers of distribution 6 motors, June 18, 1952

Kenny Electric: Violations corrected: Sept. 3, 1952 OK 12/1st Rosser

# 45661 Kenny Electric: 2 light outlets, 2 fixtures September 19, 1955 ok 9/22/55 Ross

# 56819 Goddard Elec. Co. - Violation - June 5, 1961 OK Fidler 6/22/61

# 56848 Jonesey Elec: 1 Cent. of Dist.: 1 Service-equip.: 1 meter change - June 8, 1961 OK Fidler 6/15/61

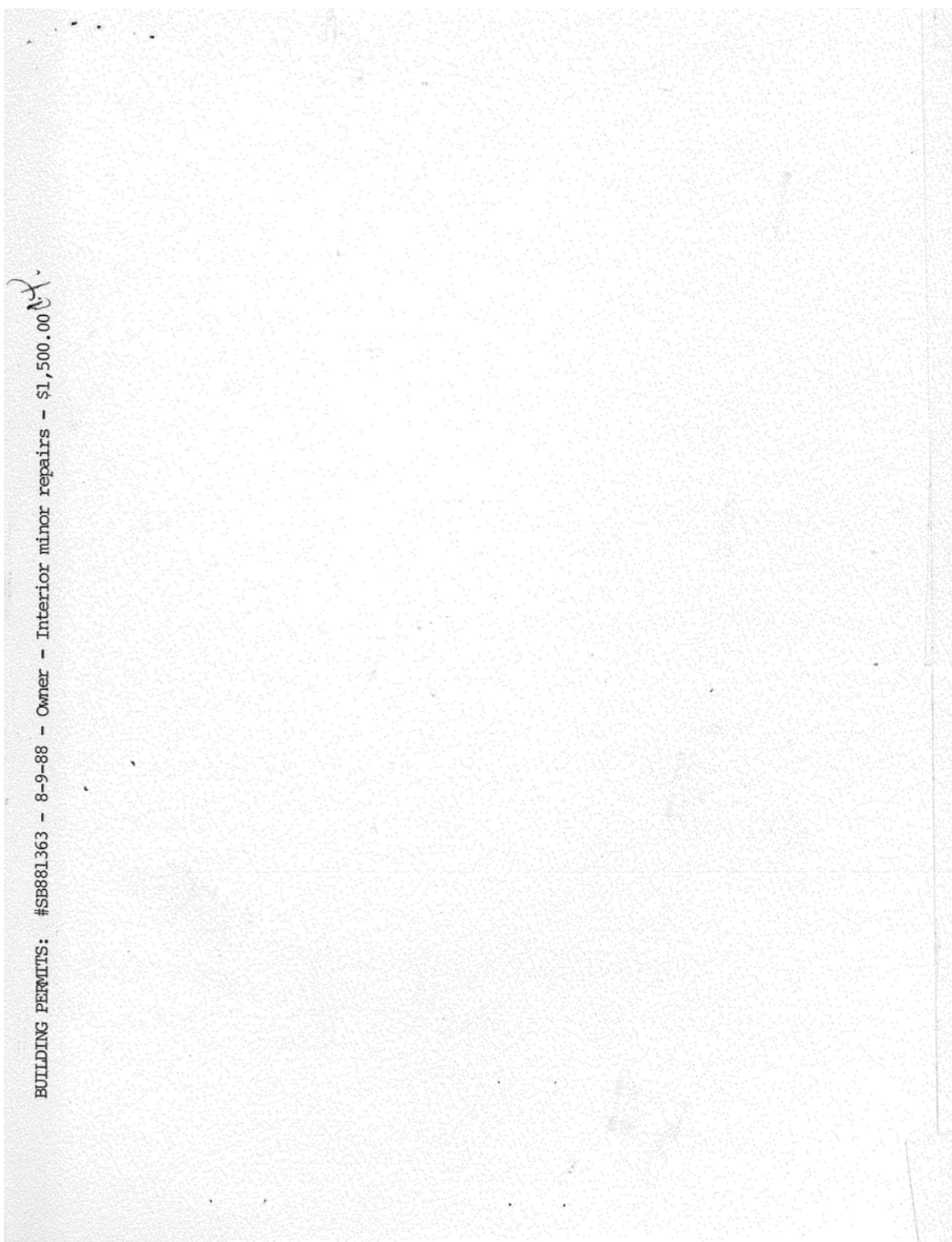
# 60870 Ben's Elec, Inc.: 1 violation - 4/29/64

# 60875 Ben's Elec, Inc.: 1 serv. equipment - 4/29/64

# 61781 Frank Schaefer, Inc.: 9 switch outlets: 9 switch outlets: 35 light outlets: 8 receptacles: 35 fixtures; 1 iron outlet; 2 fan outlets; 12 motors, 0-1 hp; 1 motor, 2-5 hp; 1 meter change; 1 cent. of dist.; 1 serv.equip. - 12/3/64

# 68331 - Ocean Elect. Co. - 1 service equip 400 10/12/70

# 68435 - Ocean Elect. - 1 X Ray 11/24/70



BUILDING PERMITS: #SB881363 - 8-9-88 - Owner - Interior minor repairs - \$1,500.00 *NY*

**CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED**

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.	COMMENTS	BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	PERMIT NO.
8-9-88		Interior minor repairs	\$1,500.00				516881363

Bicycle Store	# 11346	Remove Columns:	P.J. David, contractor:	100.00	July 11, 1938
Schull	# 12786	Remodel Store Fronts:	P.J. Davis, contractor	4,500.00	Aug. 7, 1939
			Jones & Green, architects:		
#627 Wash.	# 14480	Remodeling store front:	Max Shlafrock, contractor	500.00	Aug. 19, 1940
Sanders, Inc.	# 14760	Installing store fixtures & shelves:	Owner	200.00	Oct. 7, 1940
	# 185 18	Painting, outside:	Fein & Goldrod, painters	135.00	June 14, 1944
	# 18851	Painting: inside:	day labor	100.00	Aug. 23, 1944
Iward's Cleaners	# 19244	Enclosing boiler:	Ludman Corp.	350.00	Nov. 1, 1944
	# 19303	Lettering on wall:	Jarin, sign writer	20.00	Nov. 9, 1944
Edward's Cleaners	# 19360	Metal smoke stack:	Miami Tin Shop	95.00	Nov. 16, 1944
#627 Wash.	# 21112	Awning (roll-away)	A.C. Awning Co:	115.00	Oct. 25, 1945
#627	# 21139	Shelving for storing	owner	75.00	Oct. 30, 1945
#627	# 23997	SIGN 26 sq-ft	York Sign Company	62.00	Jan. 27, 1947
	# 25888	Remodeling store front:	J.A. Meyers, contractor:	800.00	Nov. 1, 1947
#623	# 26218	SIGN Tropicalites:	"	350.00	Nov. 26, 1947
#623	# 28941	Re-roofing:	Giffen Roofing Company:	2,085.00	Nov. 29, 1948
#625	# 41929	Insulation Board on Ceiling:	Sid Weinstein:	150.00	June 24, 1953
#625	# 44429	Pearce Nu Roofing Company:	Roofing	175.00	April 28, 1954
# 625	# 45688	Pearce Roofing Company:	Roofing	1,450.00	August 31, 1954
523 Wash.	# 57079	Palmer Roofing:	Reroofing - \$2150.00 - 8/18/58		
625 Wash.	# 57423	Palmer Roofing:	Reroofing - \$485.00 - Sept. 29, 1958		
623-27 Wash.	# 59680	LeRoy Inc.:	Bond stone facing on front of stores, \$680.00, 7/31/59		
623 Wash.	# 72879	Grant-Sholk Constr. Co. Inc.:	Replace existing store front; construct interior boiler room 6'6" wide by 15' long - \$3500. - 11/4/64		
623-29 Wash.	# 73039	Dixie Bell Oil Co.:	Oil Fired Hot Water Generator and 275 gal. storage tank - \$1500 - 11/24/64	OK Flaag	12/10/84
623 Wash.	# 73275	Claude Southern:	Flat wall sign "CLEANERS, LAUNDRY ONE HOUR" - \$200 - 12/22/64		
<b>Plumbing Permits:</b>					
Schull	# 12333	Geo. Wilbraham:	2 Water closets, 2 Lavatories, August 11, 1939		11/15th
Edward's Cleaners	# 17883	City Plumbing Co:	1 Floor drain, 6 Steam pressing machines, Nov. 18, 1944		GAS OK
"#625	# 17889	City Plumbing Co:	1 Water closet: 1 Floor drain: Nov. 20, 1944		
	# 29830	Dixie Fuel Oil Co:	Replace one 10-HP Boiler: May 26, 1950		

LOT 14 BLOCK 34 SUBDIVISION Ocean Beach #1 ADDRESS 625 Washington Ave.  
 (for entries before 1973, see card 1347)  
 CLINIC

ALTERATIONS & ADDITIONS

1347-B

Building Permits:

#21259 11/25/81 owner - paint a sign (24.5 sq ft) "Health Physical & Therapy Center 538-6504" \$80.  
 #91316 7/10/84 Lee-Nelson Inc - facade renovation & interior remodeling \$50,000.

Plumbing Permits:

#61674 7/31/84 Ringemann Plumb - 1 rgh, 1 set drinking gountain, 2 rgh, 2 set lavatory,  
 5 rgh, 5 set sink, 2 rgh, 2 set water closet, 1 mop basin, 1 heater, new install

Electrical Permits:

#75118-Ocean Electric- 17 switch outlets, 32 light outlets, 48 receptacles, 1 a/c 5 ton-11-1-78

#254

LOT 14 BLOCK 3 DIVISION Ocean Beach #1 ADDRESS 623 Washington Ave. *CLEANING STAKE*

**ALTERATIONS & ADDITIONS**  
*1347-A*

**Building Permits:**

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**Plumbing Permits:**

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**Electrical Permits:**

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ADDENDUM: 623-625-629 WASHINGTON AVENUE BUILDING CARD 8

(For entries before 19/3, see card 134/)

LOT 14 BLOCK 34 ADDRESS 623 Washington Ave.

SUBDIVISION Ocean Beach #1

ALTERATIONS & ADDITIONS  
1347-A

CLEANING STAKE

Building Permits:

Plumbing Permits:

Electrical Permits:

ADDENDUM: 623-625-629 WASHINGTON AVENUE BUILDING CARD 9

601 - 685 WASHINGTON AVENUE

ARTHUR J. MARCUS ARCHITECT P.A.

1800 NORTH ANDREWS AVENUE #7F \* FORT LAUDERDALE, FLORIDA 33311 \* T: 305.467.6141  
email: marcus\_a@bellsouth.net \* web: www.arthurmarcus.com  
AA #26000962

August 31, 2015

Deborah Tackett  
Preservation and Design Manager  
CITY of MIAMI BEACH  
1700 Convention Center Drive  
Miami Beach, Florida 33139

Re: HISTORIC RESOURCES REPORT for  
601 - 685 WASHINGTON AVENUE  
Miami Beach, FL 33139  
for the City of Miami Beach Historic Preservation Board  
No original architectural plans available.

Deborah..

Per our discussion on Friday 8.28.15 I would like to document via this letter the fact that a search at the Records Desk in the City of Miami Beach Building Department for original historic plans for all of the buildings on this block has revealed no available plans. However the Building Cards were available.

All of these buildings were constructed in the 1920's and the 1930's as can be seen below. And as we discussed it is not surprising that there are no records available of the original buildings due to the age of these structures. This letter will also be attached to the Historic Resource Report.

The addresses are listed below:

ADDRESS	DESIGNATION	ARCHITECT	YR BUILT	STYLE
601 - 615 Washington Ave.	Contributing	E. L. Robertson	1934	Art Deco
617 + 619 + 621 Washington Ave.	Non-Contributing	J. Monfils (owner)	1939	Other
623 - 625 Washington Ave.	Contributing	John A. Bradley	1926	Other
633 - 635 - 637 Washington Ave.	Contributing	Alexander Lewis	1930	Vernacular
655 Washington Ave.	Contributing	E. L. Robertson	1925	Med Revival
641 - 643 - 645 - 647 Washington Ave.	Contributing	J.C.Devine	1925	Med Revival
657 + 661 Washington Ave.	Contributing	E. L. Robertson	1932	Art Deco
665 + 669 - 671 - 673 - 675 Wash. Ave.	Contributing	E. L. Robertson	1934	Art Deco
675 - 685 Washington Ave.	Contributing	E. L. Robertson	1934	Art Deco

Yours truly,



Arthur J. Marcus Architect

cc: Andrew Joblon, Charlie Loskant, Matthew Amster Esq., Michael Larkin Esq.

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Please note that since the above letter was written that CMB Planning Staff has located the three documents contained in the Addendum: Original Architectural drawings for 601-615 and for 685 Washington Avenue plus the Building Card for 623-625-629 Washington Avenue - which are attached on pages 112 - 123.

## BLIOGRAPHY

- (1) Flamingo Historic Preservation District Designation report, April 1990 by the City of Miami Beach Planning and Zoning Department, page 4.
- (2) Ibid., page 6.
- (3) Ibid., page 7.
- (4) Ibid., page 8.
- (5) The Making of Miami Beach 1933-1942 by Allan T. Shulman and Jean Francois Lejeune, 2000., p.12
- (6) "Miami Mediterranean Splendor and deco dreams by Beth Dunlop 2007. p. 40.
- (7) Flamingo Historic Preservation District designation Report April, 1990 by City of Miami Beach Planning and Zoning Department
- (8) "Deco Rating" in Progressive Architecture November 1982, p. 92
- (9) Ibid., pp. 92-93.
- (10) Allan Shulman and Jean Francois Lejeune in The Making of Miami Beach, 1933-1942'
- (11) 2015 Photograph by Arthur Marcus
- (12) Miami Architecture; AIA Guide, 2000, p. 252:
- (13) From [yelp.com](https://www.yelp.com) by pea p., berkeley, california 4.08.07
- (14) "Deco Rating" in Progressive Architecture November 1982, p. 92
- (15) 'Miami Beach' by Howard Kleinberg, 1994, page137

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GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, THE ACI AND AISI SPECIFICATIONS AND RECOMMENDED PRACTICE, AS SPECIFIED IN THE SECTIONS DENOTED BELOW.
2. NO DIMENSIONS SHALL BE SCALED FROM DRAWINGS.
3. GENERAL CONTRACTOR SHALL CHECK, REVIEW AND VERIFY ALL PLANS, DIMENSIONS AND SITE CONDITIONS PRIOR TO CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS, OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO THE CODES, RULES AND REGULATIONS.
4. ALL REFERENCED STANDARDS REFER TO THE EDITION ENFORCED AT THE TIME THESE PLANS AND SPECIFICATIONS ARE ISSUED FOR BID.
5. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, AIR CONDITIONING, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTINGS, SLEEVES, ETC. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL BEFORE FABRICATION OR ERECTION OF ANY STRUCTURAL SYSTEM.
7. GENERAL CONTRACTOR SHALL RESTRICT AND PROPERLY ISOLATE ALL CONSTRUCTION EQUIPMENT AND LOADS FROM INDUCING OR TRANSMITTING VIBRATIONS TO THE STRUCTURE DURING CONSTRUCTION.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND DEWATERING OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
9. WHEN PERFORMING WORK BELOW GRADE, CARE SHALL BE TAKEN TO AVOID DAMAGING ANY EXISTING UTILITIES. ALL UNKNOWN UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPORTED TO ALL AFFECTED PARTIES, INCLUDING THE ARCHITECT/ENGINEER.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING HIS CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS, FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.
11. 'BY OTHERS' DENOTES LABOR AND MATERIALS BY OTHERS. HOWEVER THE GENERAL CONTRACTOR SHALL PROVIDE COORDINATION AND FREE ACCESS FOR THE WORK. REFER TO SPECIALTY ENGINEERING NOTES.
12. 'N.I.C.' DENOTES NOT IN CONTRACT. THE OWNER SHALL BE RESPONSIBLE FOR COORDINATING A TIME SCHEDULE OF THE BASE CONTRACT WITH THE 'N.I.C.' TRADES.
13. TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.
14. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATIONS INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.
15. BACKFILL AROUND THE EXTERIOR PERIMETER OF WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL (7) DAYS AS A MINIMUM AFTER THE COMPLETION OF INTERIOR FLOOR SYSTEMS UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCURS.
16. TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
17. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIALS SHALL BE NEW MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
18. THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLIGENCE.
19. THE PREMISES SHALL BE KEPT FROM ACCUMULATION OF WASTE MATERIALS, AND DEBRIS, AND AT THE END OF THE JOB THE CONTRACTOR SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS, AND TOOLS AND LEAVE THE BUILDING BROOM CLEAN.
20. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICIAL INSPECTION UNLESS SPECIFICALLY CONTRACTED FOR. 'THRESHOLD' INSPECTIONS AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT SHALL BE UNDER A SEPARATE CONTRACT.
21. SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.
22. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH FOUR COPIES OF SHOP DRAWINGS A MINIMUM OF TWO WEEKS PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT INFER THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.
23. THE STRUCTURAL FRAMING FOR ALL STOREFRONTS SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE DESIGNED BY A SPECIALTY ENGINEER. CONTRACTOR TO FURNISH CLADDING WIND LOADS FROM WIND TUNNEL TEST.

REPAIR NOTES:

- THE FOLLOWING SEQUENCE SHALL BE FOLLOWED TO REPAIR CRACKED, SPALLED CONCRETE AND EXPOSED CORRODED REINFORCEMENT STEEL. THE LIMITS OF THE AREAS TO BE REPAIRED SHALL BE SPECIFIED BY THE ENGINEER.
1. CHIP OFF ALL CRACKED, LOOSE AND HOLLOW SOUNDING CONCRETE. CHIP OFF CONCRETE TO THE LIMIT OF CORROSION OF STEEL, MAXIMUM OF 3" BEYOND THE CORRODED BAR.
2. EXPOSE REINFORCING STEEL. REMOVE A MINIMUM OF 1' OF CONCRETE ALL AROUND THE REBAR WHICH SHOWS SIGNS OF CORROSION EXPOSE A MAXIMUM OF 6 INCHES OF GOOD STEEL AT BOTH ENDS OF THE CORRODED STEEL BY CHIPPING OFF CONCRETE. LIMITS OF CHIPPING WILL BE DEFINED BY THE ENGINEER. ALL CHIPPING IN ADDITION TO THE LIMITS AUTHORIZED, SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. CLEAN THE CORRODED REBAR USING A POWERED WIRE BRUSH TO REMOVE ALL OXIDATION AND FLAKES, TO SILVER STEEL SURFACE.
3. IF THE REINFORCING STEEL HAS LOST MORE THAN 15% OR MORE OF ITS CROSS SECTIONAL AREA, SPLICE A NEW REBAR OF SAME DIAMETER AS THAT OF THE EXISTING REBAR WITH MINIMUM OF 48 INES BAR DIAMETER SPLICE LENGTH ON EACH SIDE OF THE LIMITS OF CORROSION. IF SPECIFIED SPLICE LENGTH IS NOT AVAILABLE, EPOXY GROUT THE NEW STEEL DOUEL INTO EXISTING SOUND CONCRETE BY DRILLING HOLES INTO EXISING CONCRETE AND USING HILTI HIT HY-150 EPOXY SYSTEM.
4. THE EXISTING CONCRETE SURFACE OF THE AREA TO RECEIVE REPAIR MORTAR SHALL BE ROUGHENED TO A MINIMUM OF 1/8" AMPLITUDE BY MEANS OF SAND BLASTING OR OTHER APPROVED EQUIVALENT METHOD. CLEAN ROUGHENED SURFACE OF ANY DUST, GREASE, FOREIGN PARTICLES, IMPREGNATIONS AND DISINTEGRATED MATERIALS. APPLY ONE FULL COAT OF Sika ARMATEC-10 TO THE ENTIRE SURFACE OF EXISTING CHIPPED OFF CONCRETE.
5. APPLY ONE FULL COAT OF Sika ARMATEC-10 TO ALL EXPOSED REBARS AND EXISING CONCRETE SURFACES TO BE BONDED TO THE REPAIR MORTAR.
6. REBUILD THE SECTION WITH REPAIR MORTAR TO THE ORIGINAL DIMENSIONS. FOR APPLICATION GREATER THAN 1" THICK, USE REPAIR MORTAR WITH 3/8 INCH COARSE AGGREGATE IN ACCORDANCE WITH MANUFACTURER'S SPECS. CURE AS RECOMMENDED BY MANUFACTURER. STUCCO, PAINT AND FINISH THE REPAIRED SURFACE TO MATCH THE ADJACENT EXISTING SURFACES.
7. CRACK REPAIR BY PRESSURE INJECTION OF EPOXY RESIN ADHESIVE:
- A. ENGINEER SHALL SPECIFY THE CRACKS TO BE REPAIRED BY EPOXY INJECTION, AT THE SITE.
- B. ALL WORK MUST BE PERFORMED BY 'QUALIFIED APPLICATORS'. A QUALIFIED APPLICATOR SHALL BE A CONTRACTOR APPLICATOR WITH A MINIMUM OF FIVE (5) YEARS OF PRIOR EXPERIENCE TO PERFORM EPOXY INJECTION WORK.
- C. THE CONTRACTOR'S APPLICATOR SHALL BE CERTIFIED AS QUALIFIED BY THE EPOXY MANUFACTURER.
- D. THE CONTRACTOR SHALL PROVIDE A CERTIFICATE STATING THAT THE EPOXY RESIN ADHESIVE MEETS THE SPECIFIED REQUIREMENTS AND THE MANUFACTURERS PRINTED LITERATURE OF THAT PRODUCT.
- E. EPOXY TO REPAIR THE CRACKS IN CONCRETE SHALL BE A LOW VISCOSITY, HIGH MODULUS EPOXY RESIN ADHESIVE SUITABLE FOR BONDING SMALL CRACKS IN CONCRETE. THE MATERIAL SHALL HAVE A MINIMUM SLANT SHEAR STRENGTH OF 5000 PSI AND A MINIMUM COMPRESSIVE MODULUS OF 4X10<sup>6</sup> PSI. EPOXY FOR INJECTION OF CRACKS IN CONCRETE SHALL BE SIKADUR 35 HI-MOD LV MANUFACTURED BY Sika CORPORATION. APPLICATION SHALL BE AS PER THESE CONTRACT DOCUMENTS AND AS PER MANUFACTURER'S RECOMMENDATIONS.
- F. THE PRODUCTS SHALL NOT EXCEED ONE YEAR IN AGE. THE MATERIALS SHALL ARRIVE AT THE SITE IN THEIR ORIGINAL UNOPENED CONTAINERS WITH MANUFACTURER'S NAMES, LABELS AND PRODUCT LITERATURE FOR THE PRODUCT.
- G. EPOXY RESIN PASTE SHALL BE USED TO CONFINE THE INJECTION EPOXY RESIN ADHESIVE IN A PARTIAL OR A THROUGH CRACK DURING INJECTION. THE SEAL SHALL HAVE SUFFICIENT STRENGTH TO HOLD THE INJECTION PORTS IN PLACE AND PREVENT ANY LEAKAGE DURING INJECTION.
- H. THE SPACING OF THE ONE WAY INJECTION PORTS SHALL NOT BE GREATER THAN THE DEPTH OF THE STRUCTURAL MEMBERS BEING REPAIRED BUT NO MORE THAN 12 INCHES IN ANY CASE.
- I. INJECTION OF THE EPOXY RESIN SHALL BE PERFORMED WITH AUTOMATED PRESSURE INJECTION EQUIPMENT.
- J. INJECTION EQUIPMENT SHALL BE APPROVED BY THE MANUFACTURER OF THE EPOXY RESIN ADHESIVE. THE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF SUCH APPROVAL AND MANUFACTURER'S LITERATURE.
- K. IF PENETRATION OF EPOXY INTO A CRACK IS NOT POSSIBLE, NOTIFY THE ENGINEER IMMEDIATELY. IF MODIFICATION OF THE PROCEDURE SPECIFIED BY THE MANUFACTURER IS REQUIRED, SUBMIT SUCH MODIFICATION IN WRITING TO THE ENGINEER FOR APPROVAL.
- L. CONCRETE CORES SHALL BE TAKEN TO DETERMINE THE ADEQUACY OF EPOXY INJECTION PROCEDURE. THERE SHALL BE A MINIMUM OF 4 CORED SAMPLES TAKEN AT THE LOCATIONS SPECIFIED BY THE FIELD ENGINEER. THE CORED SAMPLES SHALL BE 1 1/2 INCH IN DIAMETER 4 UP TO NINE INCHES DEEP. THE COSTS OF THE TESTING SHALL BE PAID FOR BY THE OWNERSHIP. THE CONTRACTOR SHALL REPAIR THE CORED HOLES BY HAND PACKING NON-SHINK GROUT (SIKATOP 122 OR 123) AND FINISHING THE SURFACE BY STUCCO PATCH TO MATCH THE ADJACENT EXISTING SURFACES.
- M. IF THE RESULTS OF THE CORED SAMPLES DETERMINE THAT THE EPOXY DID NOT PENETRATE THE ENTIRE DEPTH OF THE CRACKS, THERE SHALL NOT BE ANY ADDITIONAL CHARGE FOR THE CORRECTIVE MEASURES TAKEN BY THE CONTRACTOR. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PAYMENT TO THE TESTING LAB FOR ALL FAILED CORES.
- N. THE SURFACE OF THE REPAIRED CONCRETE WHERE EPOXY INJECTION IS PERFORMED SHALL BE GROUND SMOOTH AND FINISHED TO MATCH THE ADJACENT EXISTING SURFACE.
- CHEMICAL (ADHESIVE) ANCHORS:**
1. SHALL BE A TWO PART EPOXY POLYMER INJECTION SYSTEM, SUCH AS HILTI HIT HY150, POWER-SOVER-FAST, OR SIMPSON SET ADHESIVE SYSTEM, OR ENGINEER APPROVED SUBSTITUTION.
2. EPOXY TYPES AND BRANDS VARY IN THEIR BOND STRENGTH AND SUITABILITY OF USE, DEPENDING ON TYPE OF LOADING, ANCHOR SPACING, WHEN A PARTICULAR TYPE OF EPOXY IS SPECIFIED IN THESE DRAWINGS, A UNIQUE CALCULATION HAS BEEN MADE BASED ON THE PROPERTIES OF THAT SPECIFIC CONDITION SHOWN IN THE DETAIL. SUBSTITUTION OF EPOXY TYPE IS NOT ALLOWED WHERE THE DETAIL SPECIFIES ONLY ONE TYPE OF EPOXY. WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OF RECORD, NOT ALL EPOXY BRANDS OR TYPES WILL BE ALLOWED AS SUBSTITUTES.
3. SUBSTITUTION OF EPOXIES IN ONE CONDITION SHALL NOT BE CONSTRUED AS APPROVAL TO MAKE SIMILAR SUBSTITUTION OF EPOXIES IN OTHER DIFFERING CONDITIONS. EACH SUBSTITUTION MUST RECEIVE PRIOR WRITTEN APPROVAL BY THE ENGINEER OF RECORD.
4. INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. THE MANUFACTURER'S REPRESENTATIVE SHALL TRAIN INSTALLERS.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL HOLE CLEAN-OUT REQUIREMENTS ARE FULLY COMPLETE BY THE INSTALLERS PRIOR TO INJECTING EPOXY INTO THE HOLES.
7. NO LOAD SHALL BE APPLIED TO THE EPOXY ANCHORS UNTIL THE EPOXY HAS FULLY CURED AND HAS ACHIEVED ITS SPECIFIED STRENGTH.
8. IF DETAIL SHOWS EPOXY ANCHORS IN SLOTTED HOLES, IT IS IMPERATIVE THAT ANY EXCESS EPOXY IS CLEANED UP FROM AROUND THE ANCHOR ROD, SO THAT IT DOES NOT INTERFERE WITH ADJUSTABILITY OF ANCHOR ROD IN SLOTTED HOLE.

CONCRETE REPAIR PRODUCTS:

1. ALL CONCRETE SURFACES TO RECEIVE CONCRETE REPAIR PRODUCTS SHALL BE CLEANED AND ALL LOOSE CONCRETE REMOVED. REMOVE CONCRETE DOWN TO SOUND CONCRETE WITH CHIPPING HAMMERS AND PREPARE SURFACE AS REQUIRED BY MANUFACTURER'S REQUIREMENTS. REMOVE ALL DETEIORATED CONCRETE BACK TO SOUND CONCRETE. PROVIDE SAW CUT EDGE AROUND REPAIR TO ALLOW FOR CLEAN PATCH.
2. EXPOSED REINFORCING SHALL BE CLEANED BY WIREBRUSH TO REMOVE SCALE AND LOOSE MATERIALS. LOCATIONS WHERE SECTION LOSS IN EXCESS OF 15% IS DISCOVERED ON REINFORCING, INSTALL NEW REINFORCING AS DETAILED.
3. ALL CONCRETE REPAIR PRODUCTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. ALL PRODUCTS SPECIFIED SHALL BE EITHER 'SIKA' PRODUCTS AS SPECIFIED MANUFACTURED BY Sika CONSTRUCTION PRODUCTS CORP. 'STO' PRODUCTS AS SPECIFIED MANUFACTURED BY STO CORPORATION, OR OTHERWISE NOTED.
5. CONCRETE PATCH MATERIAL SHALL BE AS FOLLOWS:
- A. 'SIKATOP 122 PLUS' FOR VERTICAL AND FLAT SURFACES.
- B. 'STO CR31CI FULL-DEPTH REPAIR MORTAR - C1' FOR VERTICAL AND FLAT SURFACES.
- C. 'STO CR31CIX EXTENDED FULL-DEPTH REPAIR MORTAR - C1' FOR DEEP VERTICAL AND FLAT SURFACES.
- D. 'SIKATOP 123 PLUS' FOR OVERHEAD REPAIRS.
- E. 'STO CR102C1 OVERHEAD MORTAR WITH C1' FOR OVERHEAD REPAIRS.
6. ALL PATCHING MORTARS SHALL HAVE AN INTEGRATED PENETRATING CORROSION INHIBITOR WHEN PATCHING REINFORCED CONCRETE.
7. CONCRETE BONDING AGENT SHALL BE Sika ARMATEC 110 EPOCEM, STO BONDING AGENT AND ADMIXTURE CR245, OR OTHER APPROVED EQUAL.
8. EPOXY FINE CRACK SEALANT SHALL BE SIKADUR 300, STO CR100 THIN COAT MORTAR OR OTHER APPROVED EQUAL.
9. CRACK INJECTION SYSTEM SHALL BE SIKADUR 35 HI-MOD LPL OR APPROVED EQUAL.
10. LARGE CRACKS MAY BE FILLED WITH SIKADUR 31 HI-MOD PER MANUFACTURER'S INSTRUCTIONS.

EXISTING STRUCTURE:

1. INFORMATION SHOWN FOR THE EXISTING STRUCTURE ON THESE DRAWINGS WAS TAKEN FROM SITE OBSERVATIONS, SITE MEASUREMENTS, AND PHOTOGRAPHS. EXISTING AS-BUILT DRAWINGS DO NOT EXIST FOR STRUCTURE.
2. WORK SHOWN ON THESE DRAWINGS ASSUMES THAT THE ORIGINAL CONSTRUCTION WAS PERFORMED IN ACCORDANCE WITH THE ABOVE INDICATED ORIGINAL DRAWINGS INCLUDING (BUT NOT LIMITED TO) DIMENSIONS, ELEVATIONS, MEMBER SIZES, MATERIALS, DETAILS, ETC. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITIONS RELATING TO THE EXISTING STRUCTURE AND TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
3. INFORMATION PRESENTED WITHIN THE CONTRACT DOCUMENTS ASSUMES THAT THE CONDITION SHOWN EXISTS OR MAY VARY TO SOME DEGREE. CONTRACTOR SHALL CONTACT THE ENGINEER OR ARCHITECT FOR CONDITIONS THAT ARE NOT SHOWN OR DO NOT MATCH MATCH WHAT HAS BEEN DISCOVERED IN THE FIELD.
4. EXISTING OR UN-ALTERED STRUCTURE MAY REQUIRE REPAIRS DUE TO AGE OR DETERIORATION OF STRUCTURAL MEMBERS. REPAIRS SHOWN HEREIN HAVE BEEN DESIGNED TO MEET OR EXCEED THE CURRENT STRENGTH OF THE ITEMS BEING REPAIRED.
5. EXISTING STRUCTURE MAY REQUIRE ADDITIONAL REPAIRS NOT ADDRESSED HEREIN, DUE TO SURFACE COVERINGS HIDING DAMAGED CONDITION. CONTRACTOR SHALL INFORM ENGINEER OF DAMAGE PRIOR TO REPAIRS, IF TYPICAL REPAIRS SHOWN WITHIN PROJECT DOCUMENTS DO NOT APPLY.

DEMOLITION NOTES:

1. THE CONTRACTOR IS REQUIRED TO PROVIDE ALL TEMPORARY SCAFFOLDING, PLATFORMS, BARRICADES, RAILINGS, SCREENING, ETC. NECESSARY TO PROTECT EXISTING FACILITIES, STRUCTURES AND THE PUBLIC DURING DEMOLITION AND ERECTION OF THE NEW CONSTRUCTION, AS WELL AS FOR JOB SAFETY, JOB SAFETY, CONSTRUCTION AND DEMOLITION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS TO MINIMIZE VIBRATION, NOISE, DUST AND DEBRIS IN ALL AREAS ADJACENT TO AREAS OF DEMOLITION.
2. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE OWNER FOR THE TEMPORARY SUSPENSION OF USE OF ANY FACILITY OR PORTION THEREOF, AND THE ASSOCIATED BARRICADING REQUIREMENTS WITHIN A MINIMUM OF 7 DAYS PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR IS REQUIRED TO PERFORM HIS WORK IN A MANNER WHICH WILL NOT CONFLICT WITH ANY OPERATION, WHICH IS TO REMAIN FUNCTIONAL DURING THE COURSE OF THE PROJECT, UNTIL SUCH OPERATION IS SCHEDULED TO BE SHUT DOWN.
4. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH OWNER FOR THE TEMPORARY SUSPENSION OF USE OF ANY UTILITY SYSTEM, A MINIMUM OF 3 DAYS PRIOR TO COMMENCING WORK.
5. AT ALL LOCATIONS WHERE NEW CONSTRUCTION WILL INTERFACE WITH EXISTING ELEMENTS, CUT THROUGH EXISTING STRUCTURE IN STRAIGHT AND TRUE LINES TO INSURE A NEAT INTERFACE.
6. AT ALL LOCATIONS WHERE THE DEMOLITION OF A CONCRETE MEMBER LEAVES THE ENDS OF REINFORCING STEEL EXPOSED, PROVIDE THE FOLLOWING:
- A. CHIP CONCRETE FROM AROUND THE STEEL TO A DEPTH OF 1".
- B. CUT OFF REINFORCING STEEL NOT LESS THAN 3/4" BELOW THE CONCRETE SURFACE.
- C. FILL THE CAVITY FLUSH WITH A HIGH MODULUS GEL EPOXY. SEE SPECIFICATION FOR ACCEPTED MANUFACTURERS.
7. BEFORE DEMOLISHING ANY STRUCTURAL ELEMENT, INSTALL ALL REQUIRED TEMPORARY AND/OR PERMANENT BRACING AND SUPPORTS.
8. PROVIDE TEMPORARY CLOSURE OF ALL ROOF FASCIA, WALL AND OTHER OPENINGS TO PROTECT BUILDING FROM EXPOSURE TO UNDESIRABLE ELEMENTS UNTIL NEW CONSTRUCTION IS WEATHERPROOFED. AT WHICH TIME SUCH TEMPORARY CONSTRUCTION SHALL BE REMOVED. ALL TEMPORARY EXTERIOR WALLS THAT ARE SUBJECT TO WIND LOADS ARE TO BE DESIGNED BY A DELEGATED ENGINEER.
9. UPON COMPLETION OF NEW CONSTRUCTION UNDER EACH PHASE, ALL DEMOLISHED AREAS SHALL BE RESTORED TO ACCEPTABLE USAGE ACCORDING TO THE CONTRACT DOCUMENTS AS DETERMINED BY THE A/E.
10. REMOVE COMPLETELY FROM THE SITE AND LEGALLY DISPOSE ALL DEBRIS GENERATED BY THE DEMOLITION WORK AS THE WORK PROGRESSES. STOCKPILING OF DEBRIS AND BURNING OF DEBRIS ON THE PREMISES IS STRICTLY PROHIBITED.

INDEX OF DRAWINGS

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10	<b>S3.1</b>	TYPICAL REPAIR DETAILS
11	<b>S3.2</b>	TYPICAL REPAIR DETAILS

SPECIAL INSPECTIONS:

1. THE CONTRACTOR IS FULLY RESPONSIBLE FOR SCHEDULING THE MANDATORY INSPECTIONS AS REQUIRED BY BUILDING DEPARTMENT, AS WELL AS THE SPECIAL INSPECTIONS AS REQUIRED BY THE OWNER, THE CONTRACT DOCUMENTS AND THE FLORIDA BUILDING CODE.
2. THE CONTRACTOR SHALL INCORPORATE ALL INSPECTIONS AS PART OF THE CONSTRUCTION SCHEDULE.
3. ANY WORK PERFORMED AND CLOSED BY THE CONTRACTOR WITHOUT THE REQUIRED INSPECTIONS WILL BE REJECTED.
4. THE CONTRACTOR SHALL REIMBURSE THE OWNER FOR ALL DIRECT AND INDIRECT COSTS ASSOCIATED WITH THE CONSTRUCTION REINSPECTION OF THE REJECTED WORK.

MECHANICAL ANCHORS:

1. SHALL BE 'DROP-IN' INTERNALLY THREADED, FLUSH MOUNTED EXPANSION ANCHORS.
2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. THE MANUFACTURER'S REPRESENTATIVE SHALL TRAIN INSTALLERS.
4. HEAVY DUTY SCREW ANCHORS MAY BE SUBSTITUTED IN PLACE OF EXPANSION ANCHORS OR WEDGE BOLTS. SIMPSON TITEN HD OR APPROVED EQUAL MAY BE USED.
5. ALL MECHANICAL ANCHORS SHALL BE AT A MINIMUM GALVANIZING ACCORDING TO ASTM A193 OR SHOW MANUFACTURER'S STANDARD ZINC PLATING IS ACCEPTABLE. EXTERIOR ANCHORS SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE.

HELICAL PILE NOTES

1. HP AND HPC FILES DESIGN LOADS ARE SHOWN BELOW AS PER THE RECOMMENDATION IN LANGAN ENG. GEOTECH. REPORT:

FILE	COMP.	TENSION
HELICAL	10 T	2 T

2. ALL PILE WORK SHALL BE SUPERVISED BY A STATE OF FLORIDA LICENSED PROFESSIONAL ENGINEER.
3. ALL PILE WORK SHALL CONFORM WITH THE FLORIDA BUILDING CODE, LATEST EDITION SUB-ARTICLE 2405.1 'PILE FOUNDATIONS, GENERAL' AND SUB-ARTICLE 2405.8 'SPECIAL FILES'.
4. TOP OF PILE CAPS ARE INDICATED ON PLAN OR THIS: (+ X'-X" NGVD.) GENERAL CONTRACTOR SHALL IDENTIFY THOSE PILE CAPS WHERE CONFLICT WITH OTHER TRADES EXIST AND BRING THEM TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK AT THAT AREA
5. ALL FILES ARE TO BE INSTALLED DOWN TO THE BEARING STRATA AS PER SOIL CONSULTANT'S RECOMMENDATIONS.
6. RECORDS OF PILE PENETRATION OF EVERY PILE, AND THE BEHAVIOR OF SOME DURING INSTALLATION SHALL BE FILED WITH THE BUILDING DEPARTMENT AND SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW
7. A PLAN SHOWING THE IDENTIFICATION AND THE AS-BUILT LOCATION OF ALL PILES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO POURING OF PILE CAPS AND GRADE BEAMS.
8. THE OWNER SHALL CONTRACT A COMPETENT SOILS LABORATORY TO SUPERVISE THE INSTALLATION OF PILES, PERFORM PILE GROUT TESTS AS PER SPECIFICATIONS AND SOIL REPORT AND SUPERVISE THE LOAD TESTS.

-HELICAL FILES SHALL BE ASB. CHANCE HELICAL PIERS, MODEL S915 SQUARE SHAFT OR EQUAL WITH 10 TON COMPRESSION AND 6 TON TENSION CAPACITY. -INSTALLATION SHALL BE AS PER GEOTECHNICAL ENGINEER REPORT AND MANUFACTURER'S RECOMMENDATION.

9. LOAD TESTS SHALL BE PERFORMED AS PER THE FLORIDA BUILDING CODE, LATEST EDITION. IN ADDITION THE LOAD TEST SHALL VERIFY THE PILE TENSION AND LATERAL CAPACITIES.

10. CONTRACTOR SHALL PROTECT FROM CORROSION ANY STEEL EXPOSED TO WEATHER FOR A PROLONGED PERIOD OF TIME DURING CONSTRUCTION.

11. PROVIDE FULL TENSION SPLICES IN ALL REINFORCING. CONFORM TO ALL APPLICABLE REQUIREMENTS OF 'CONCRETE REINFORCEMENT' AND 'CAST-IN-PLACE CONCRETE.' LOCATION TOLERANCE SHALL BE AS FOLLOWS:
- SINGLE PILE AND 2 PILE CAPS TRANSVERSE TO LINE OF PILES \_\_\_\_\_ 2'
- ALL OTHERS \_\_\_\_\_ 3'

12. WHERE AS BUILT PILES ARE OUT OF POSITION BY MORE THAN THE TOLERANCES, OR REJECTED BY THE SUPERVISING GEOTECHNICAL ENGINEER, THE CONTRACTOR SHALL BEAR ALL COSTS OF REVIEWING, CHECKING, AND REDESIGNING THE PILE CAPS, FOR ADDITIONAL MATERIALS AND LABOR TO CONSTRUCT THE REVISED CAPS, AND FOR ANY ADDITIONAL FILES THAT ARE REQUIRED TO SATISFY THE DESIGN CRITERIA.

STRUCTURAL DESIGN LLC

OPTIMUS

CONSULTING ENGINEERS

C.A. No: 26217

61706

TANYA HOWLEID PE

7850 NW 146 STREET, SUITE 305

MIAMI LAKES, FLORIDA 33016

Tel. 305.512.5860

Fax 305.512.5861

E-mail: optimussd@bellsouth.net

MA

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www.ma.com

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Squared LLC

Raymond Jungles  
Inc.

O'Brien Lighting Inc

Ken Fulk

Nichols Brosch  
Wurst Wolfe &  
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General Notes

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PROJECT TITLE

WASHINGTON AVENUE

SITE ADDRESS:

MIAMI BEACH, FLORIDA

OPTIMUS STRUCTURAL DESIGN LLC

C.A. No: 26217 61706  
Tanya Howleid PE

7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016

Tel. 305.512.5860  
Fax 305.512.5861  
E-mail: optimussd@bellsouth.net

SEAL: STATE OF FLORIDA

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CHECKED BY: T.H.

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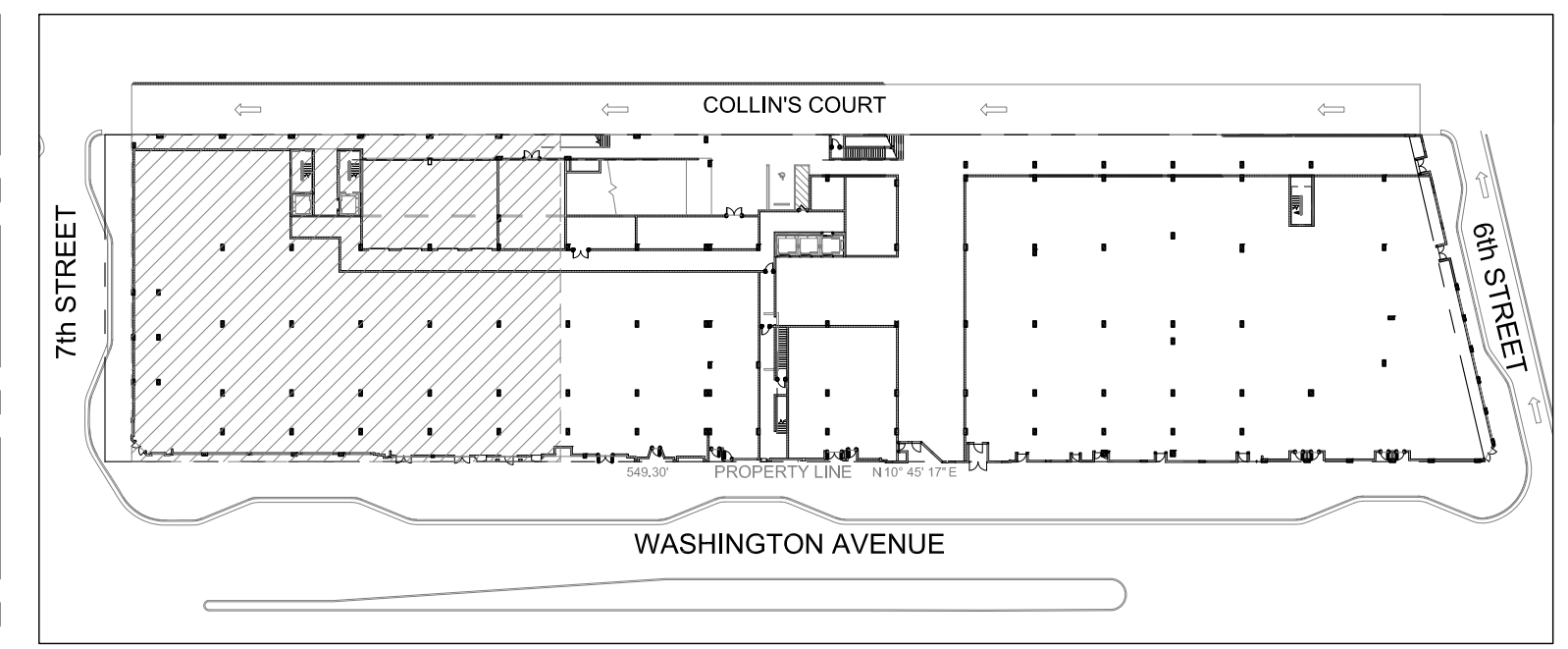
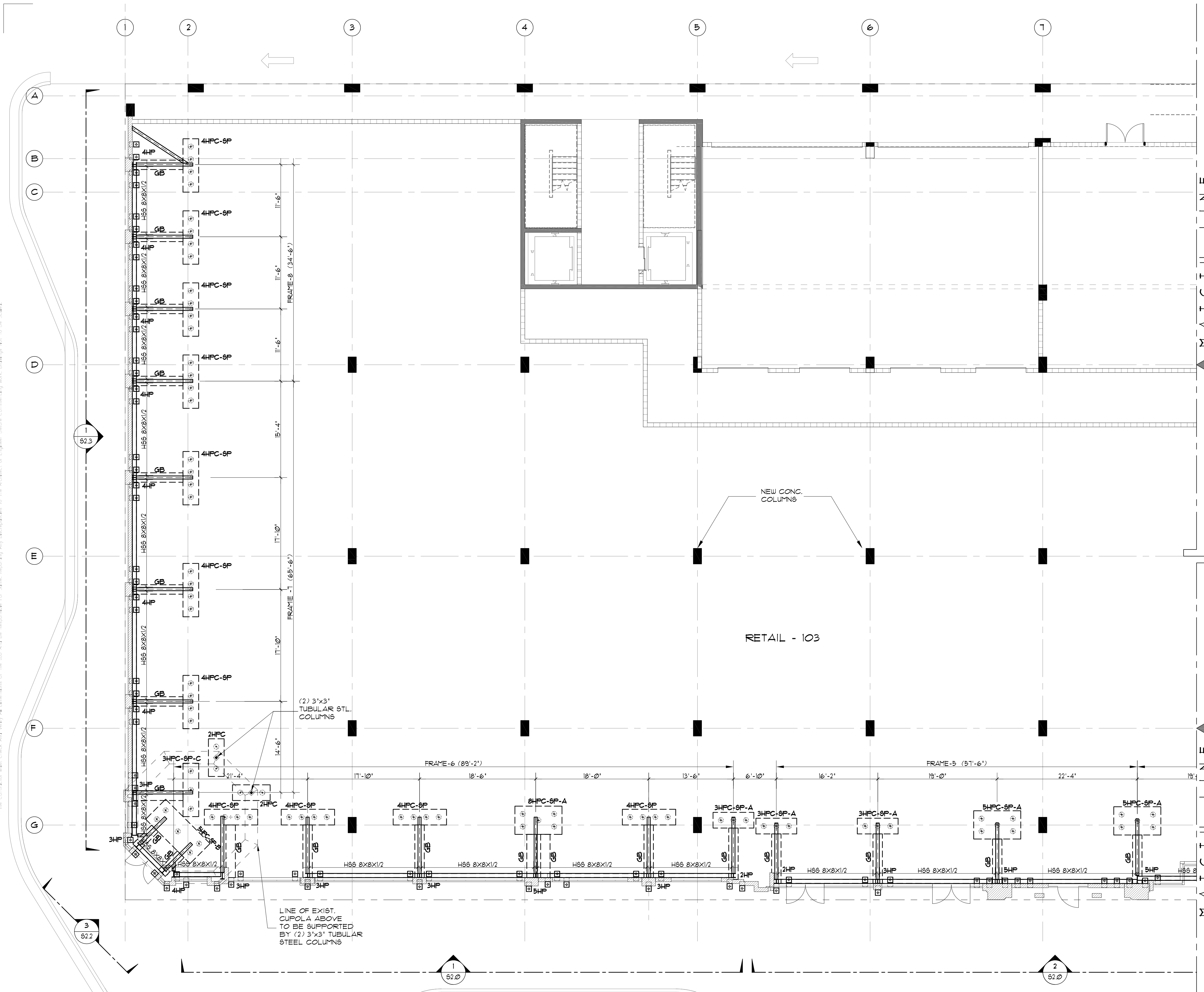
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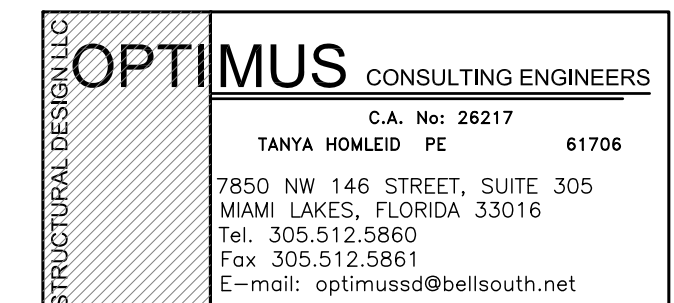
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## Partial Ground Floor Plan - 1 of 3

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OPTIMUS STRUCTURAL DESIGN LLC

Tanya Homleid PE  
C.A. No: 26217 61706  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel: 305.512.5860  
Fax: 305.512.5861  
E-mail: optimusad@bellsouth.net

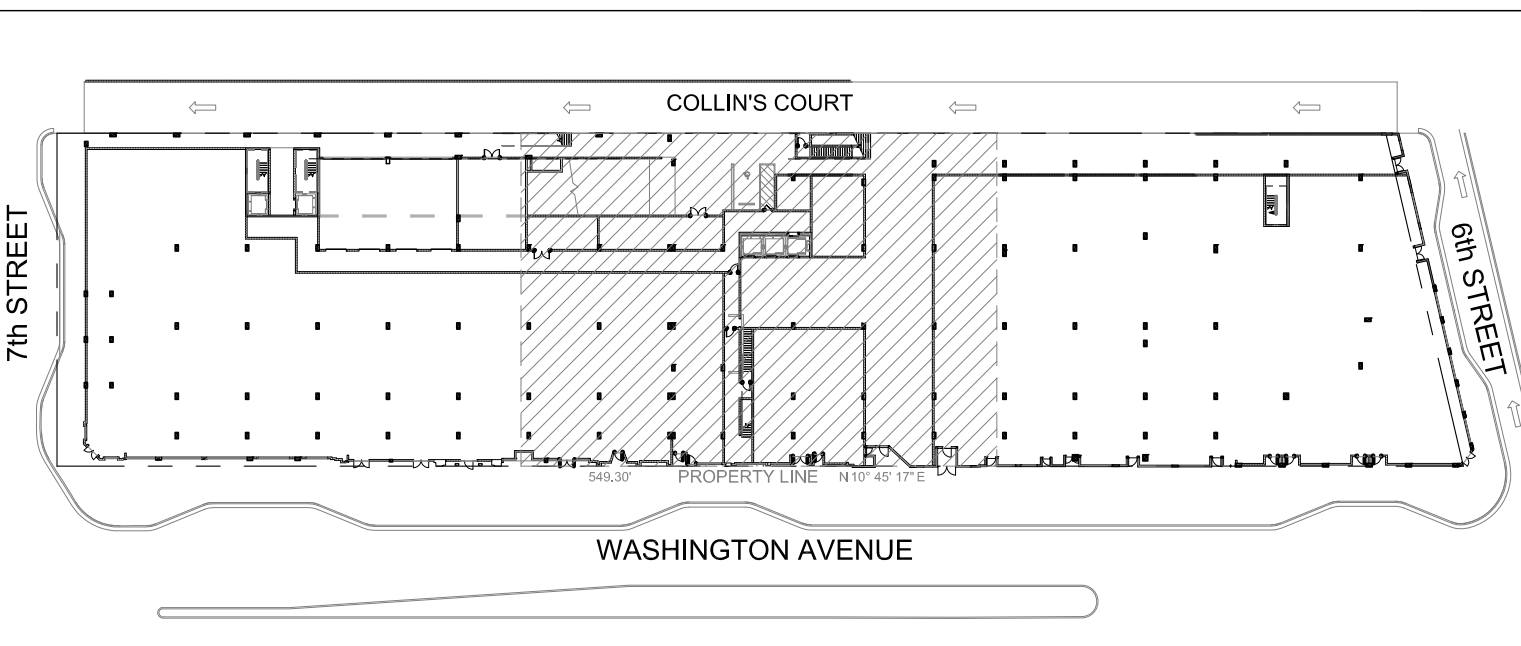
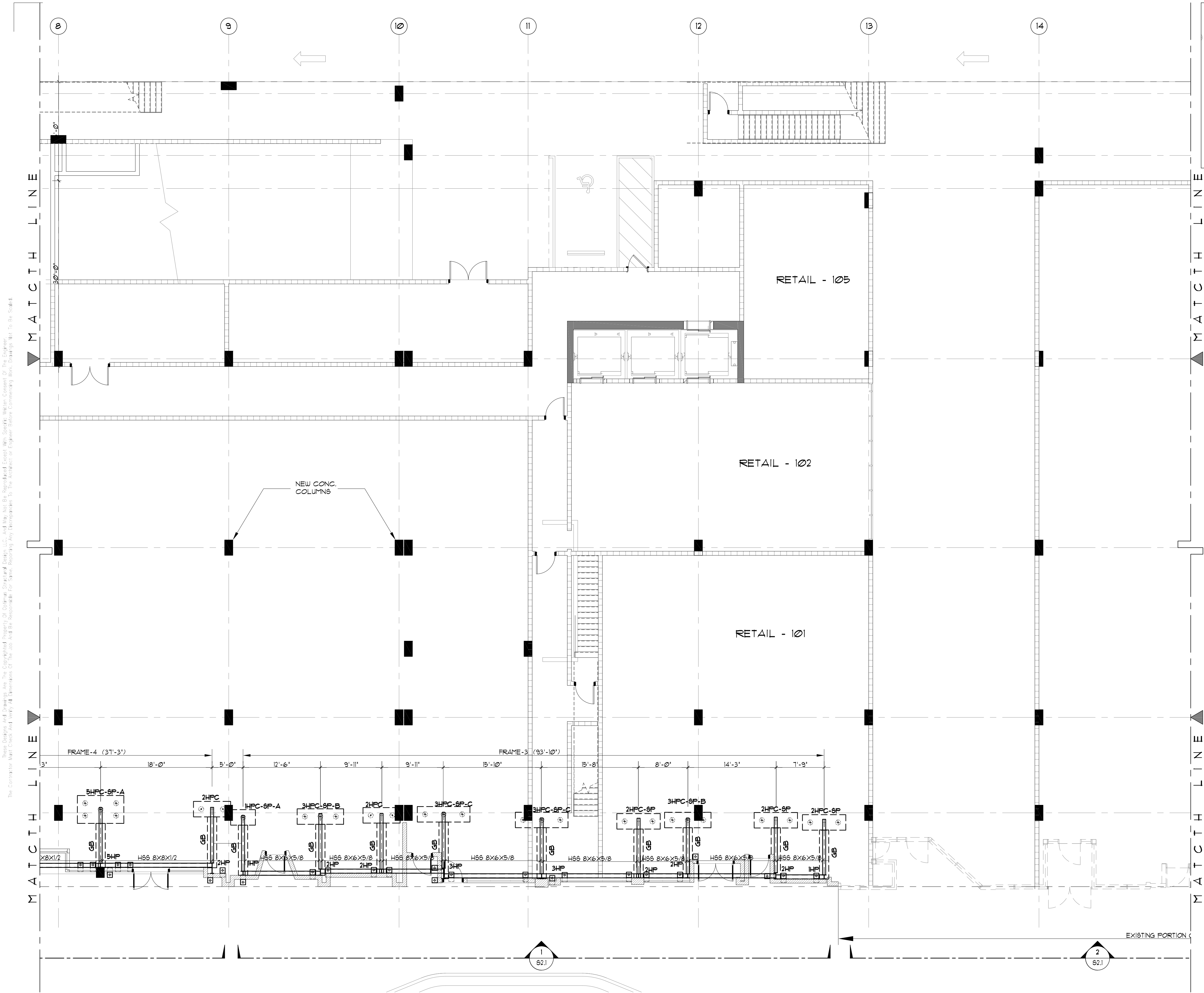
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KEY PLAN  
SCALE: 1" = 15'-0"

NOTE:  
-ALL DIMENSIONS SHOWN MUST  
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PARTIAL GROUND  
FLOOR PLAN 2 OF 3  
SCALE: 1/8" = 1'-0"

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STRUCTURAL DESIGN LLC

OPTIMUS

CONSULTING ENGINEERS

C.A. No: 26217  
TANYA HOMLEID PE 61706  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel: 305.512.5860  
Fax: 305.512.5861  
E-mail: optimusd@bellsouth.net

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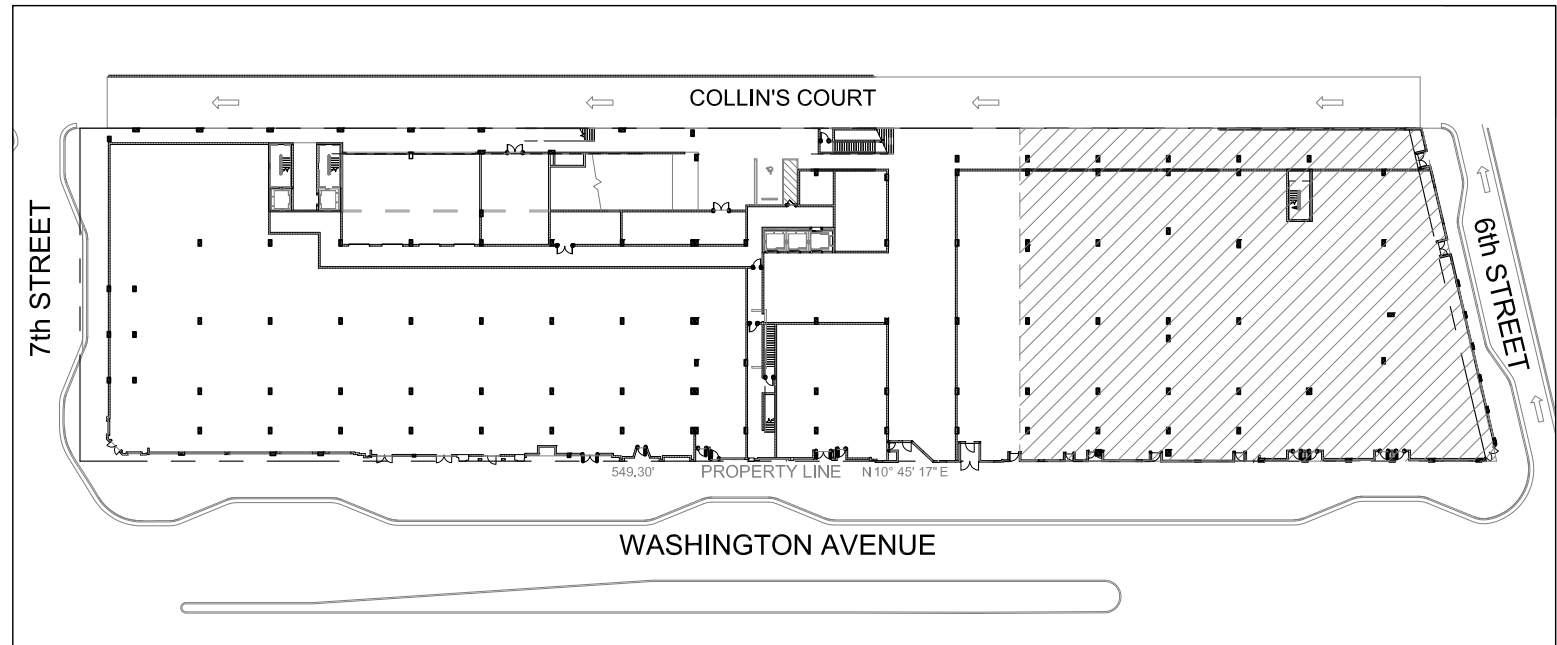
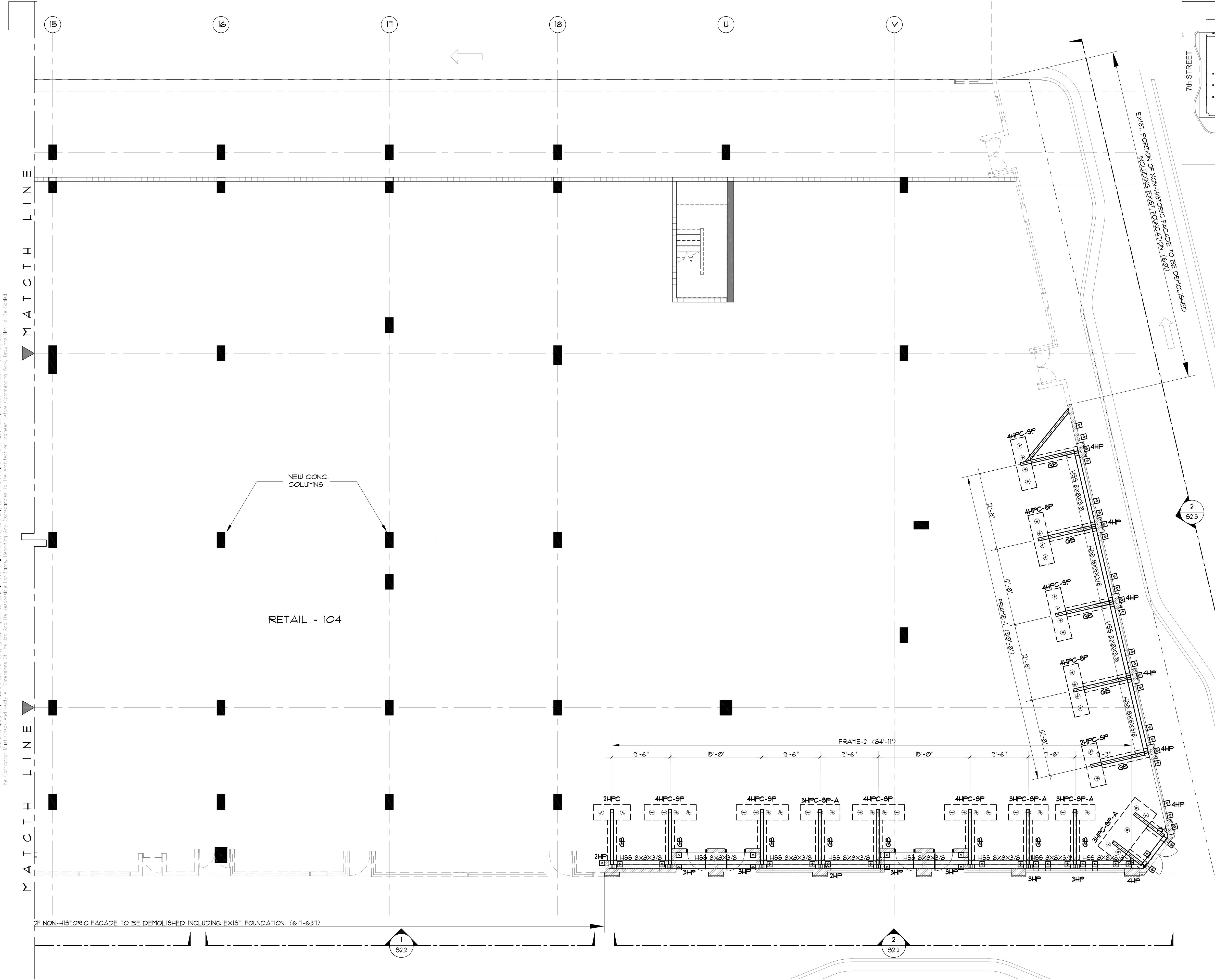
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Tanya Homleid PE  
C.A. No: 26217 61706  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel: 305.512.5860  
Fax: 305.512.5861  
E-mail: optimusd@bellsouth.net

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KEY PLAN  
SCALE: 1" = 15'-0"

NOTE:  
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PARTIAL GROUND  
FLOOR PLAN 3 OF 3  
SCALE: 1/8" = 1'-0"



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## Partial Ground Floor Plan - 3 of 3

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**OPTIMUS** CONSULTING ENGINEERS  
C.A. No: 26217 61706  
TANYA HOMLEID PE  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel: 305.512.5860  
Fax: 305.512.5861  
E-mail: optimussd@bellsouth.net

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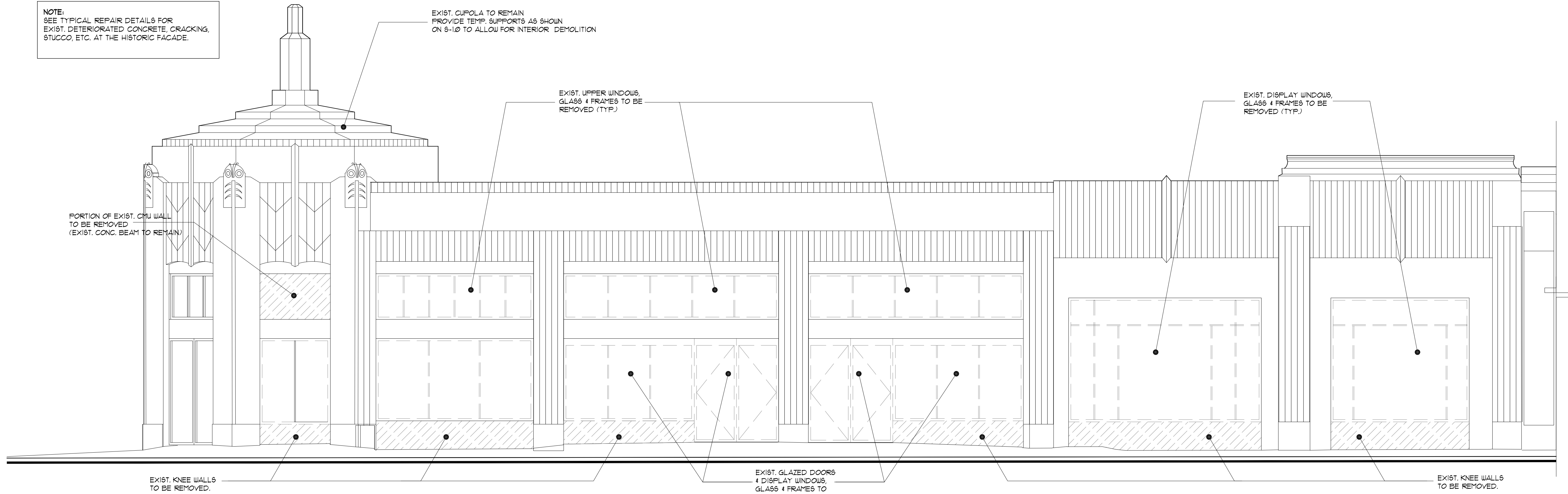
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Tanya Homleid PE  
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Tel: 305.512.5860  
Fax: 305.512.5861  
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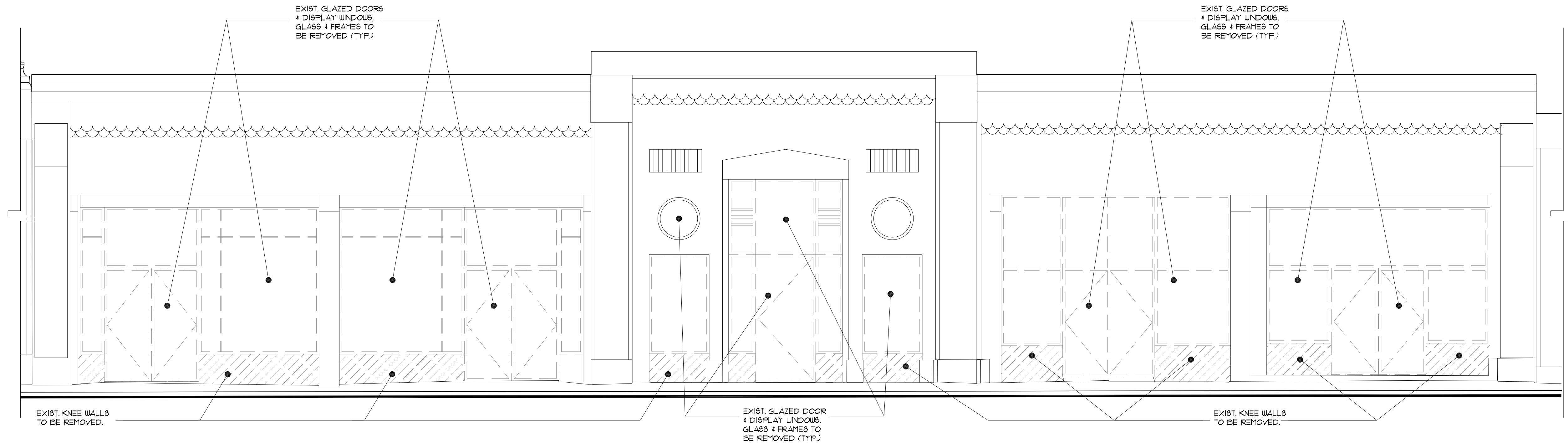
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① SOUTHWEST DEMOLITION: PARTIAL EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



② SOUTHWEST DEMOLITION: PARTIAL EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



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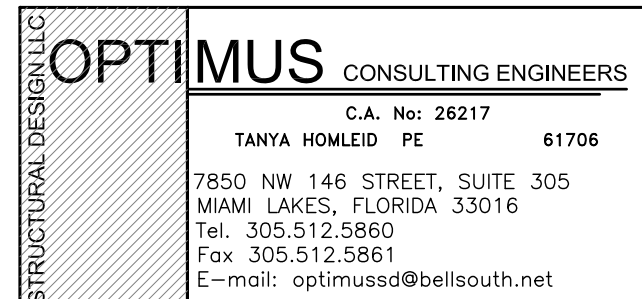
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## Partial Elevations

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C.A. No: 26217 61706  
Tanya Homleid PE  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel: 305.512.5860  
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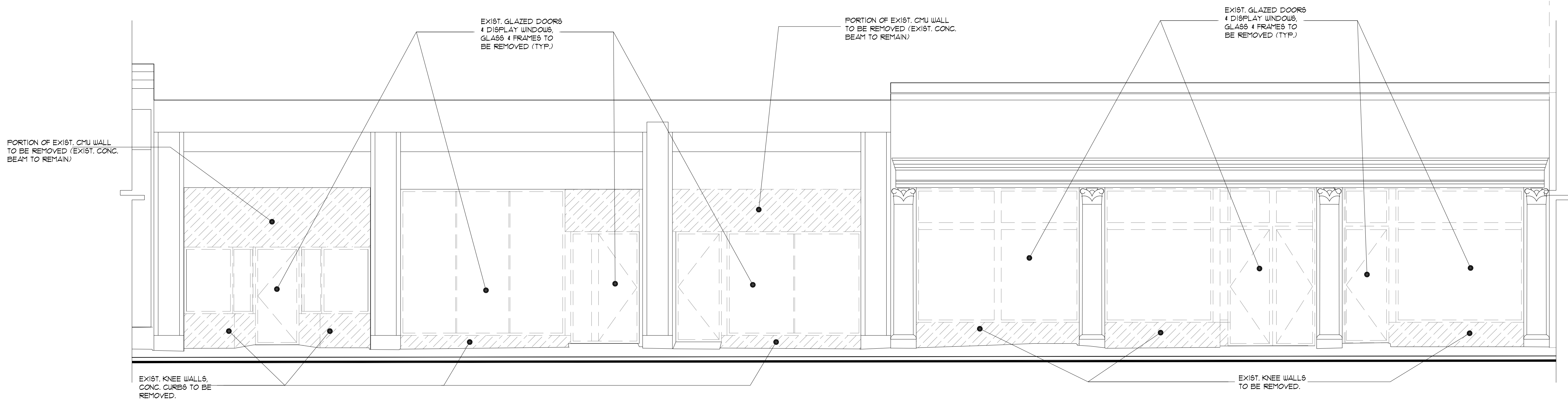
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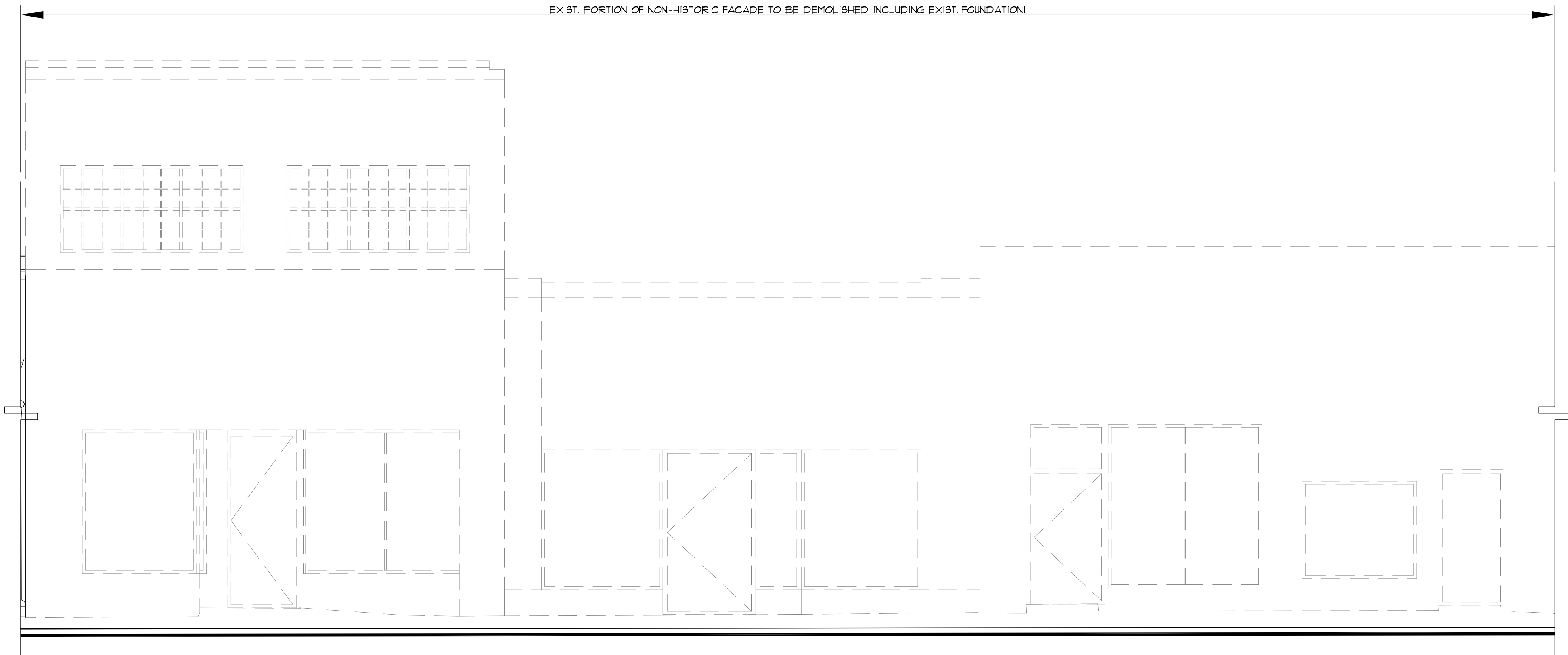
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SCALE: 1/4"=1'-0"



2 SOUTHWEST DEMOLITION: PARTIAL EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



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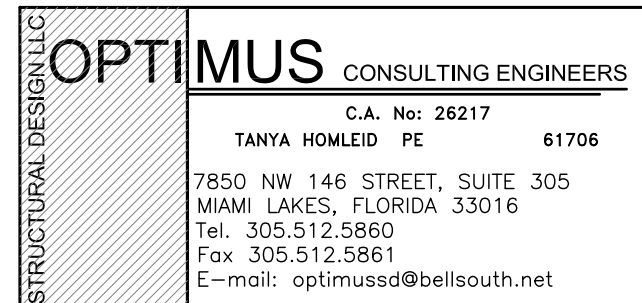
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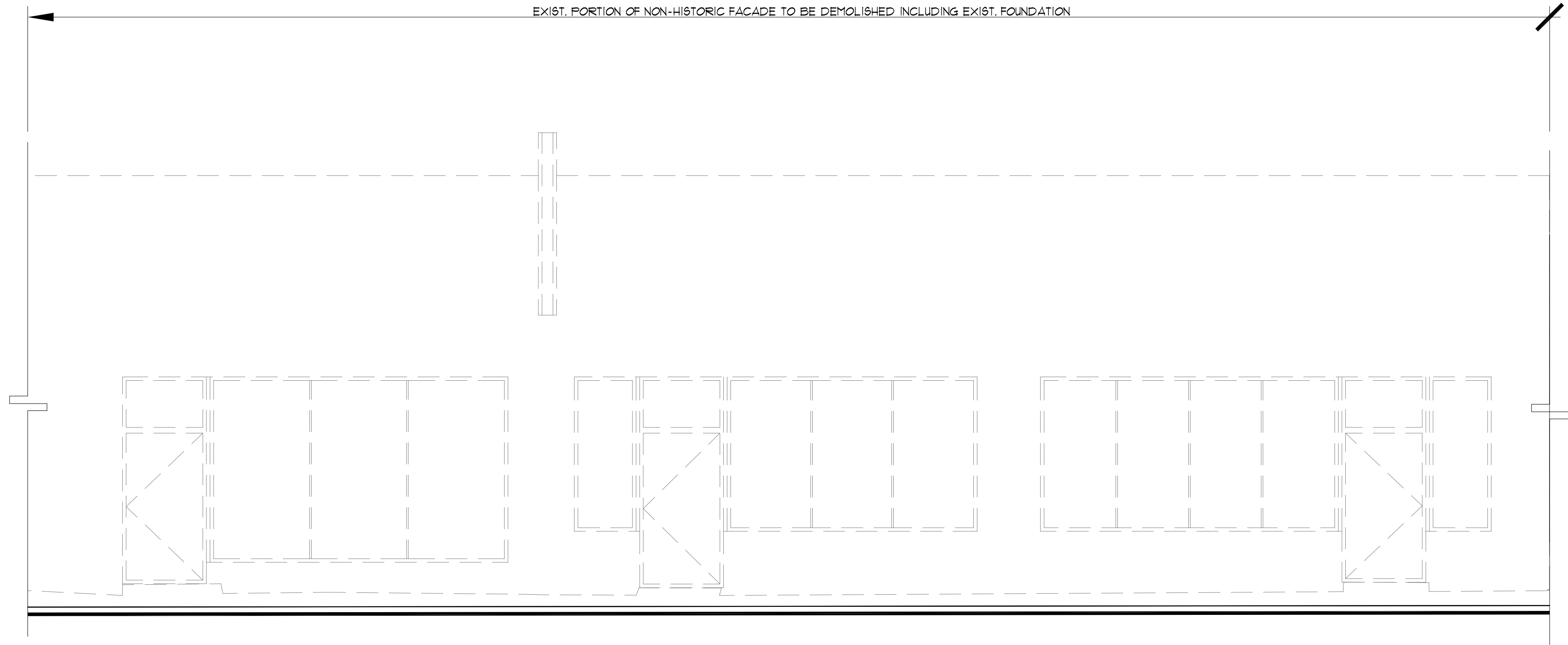
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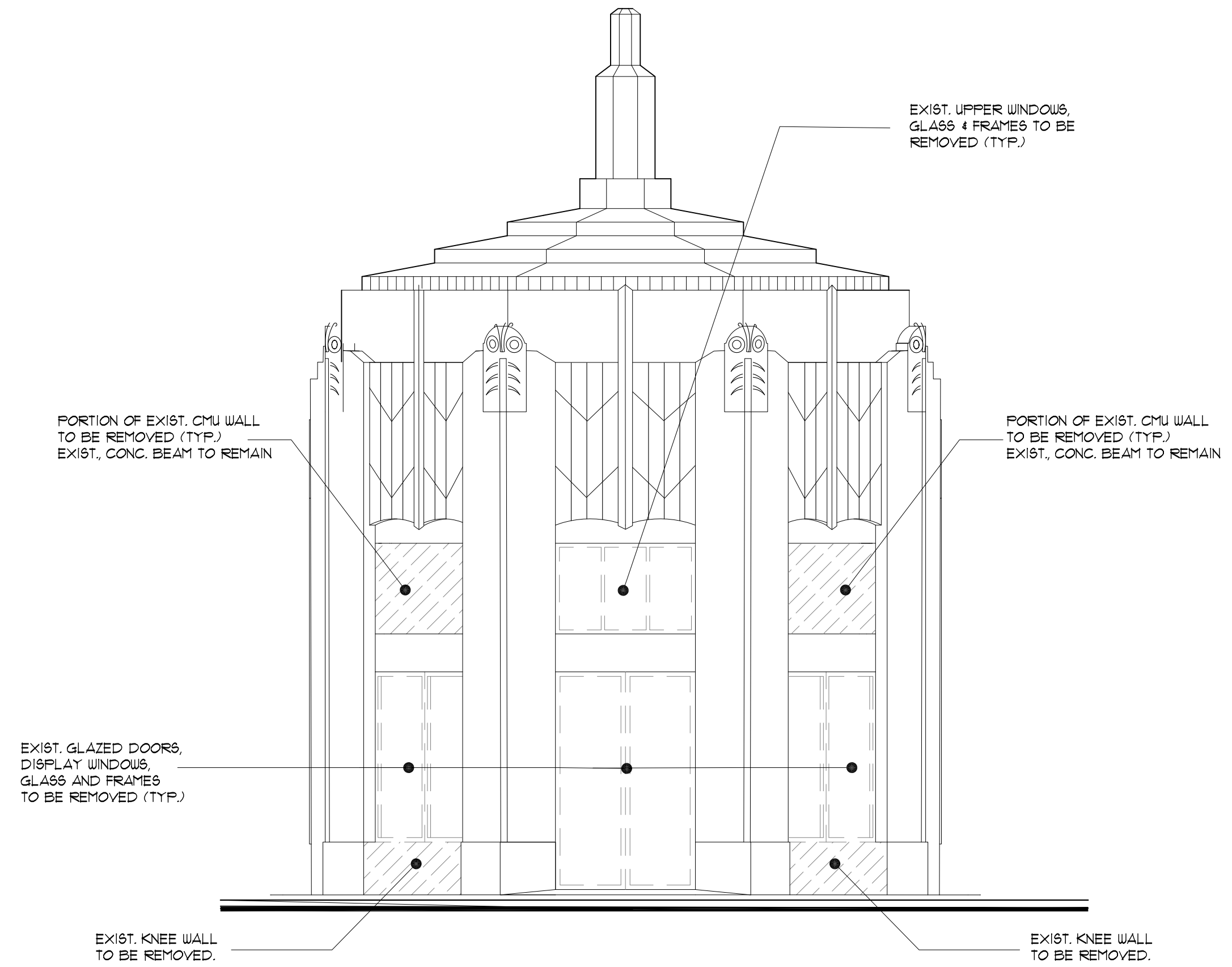
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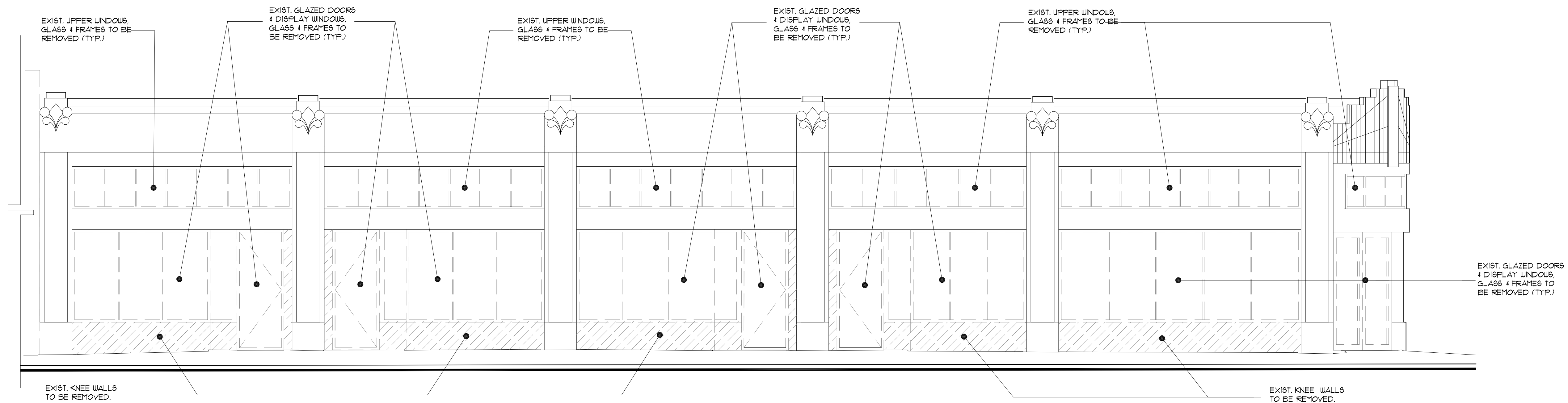
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3 WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 SOUTHWEST DEMOLITION: PARTIAL EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



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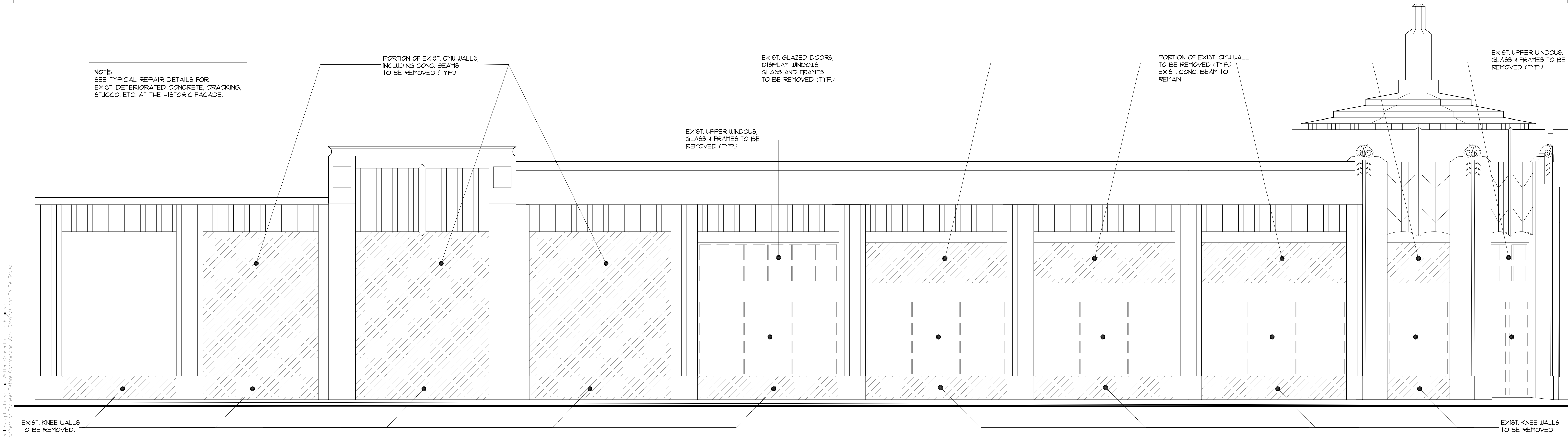
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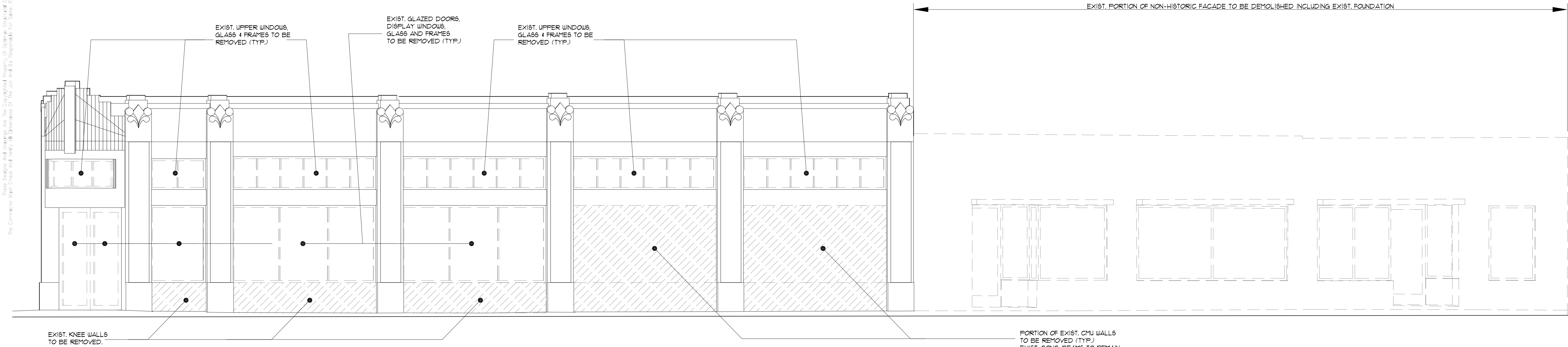
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1 NORTHWEST DEMOLITION: EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



2 SOUTHEAST DEMOLITION: EXIST. ELEVATION  
SCALE: 1/4"=1'-0"



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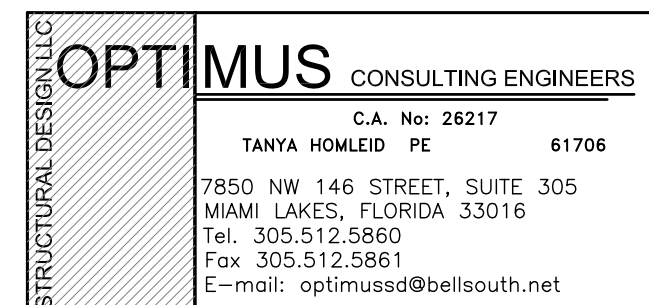
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Tanya Homleid PE  
C.A. No: 26217 61706  
7850 NW 146 STREET, SUITE 305  
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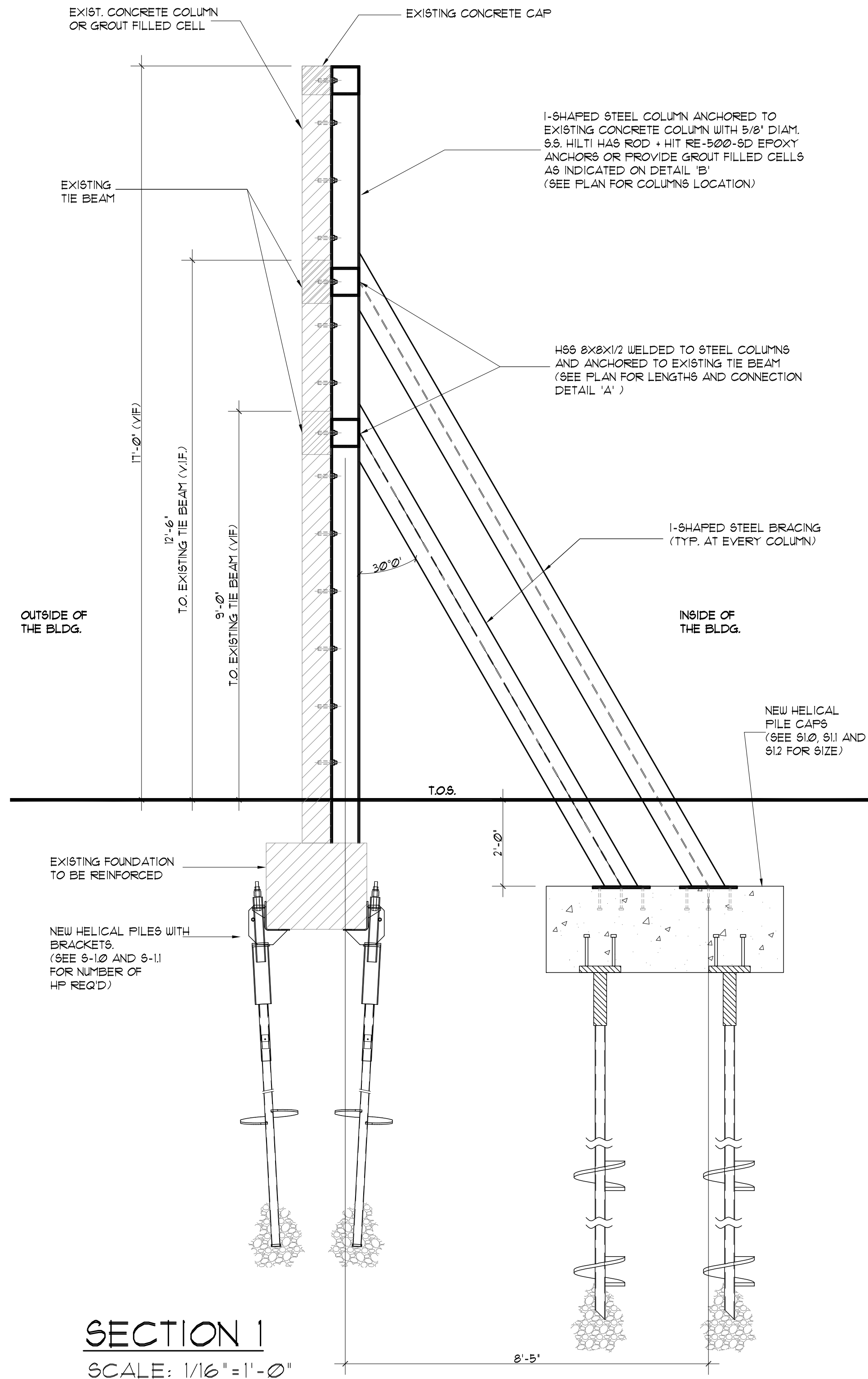
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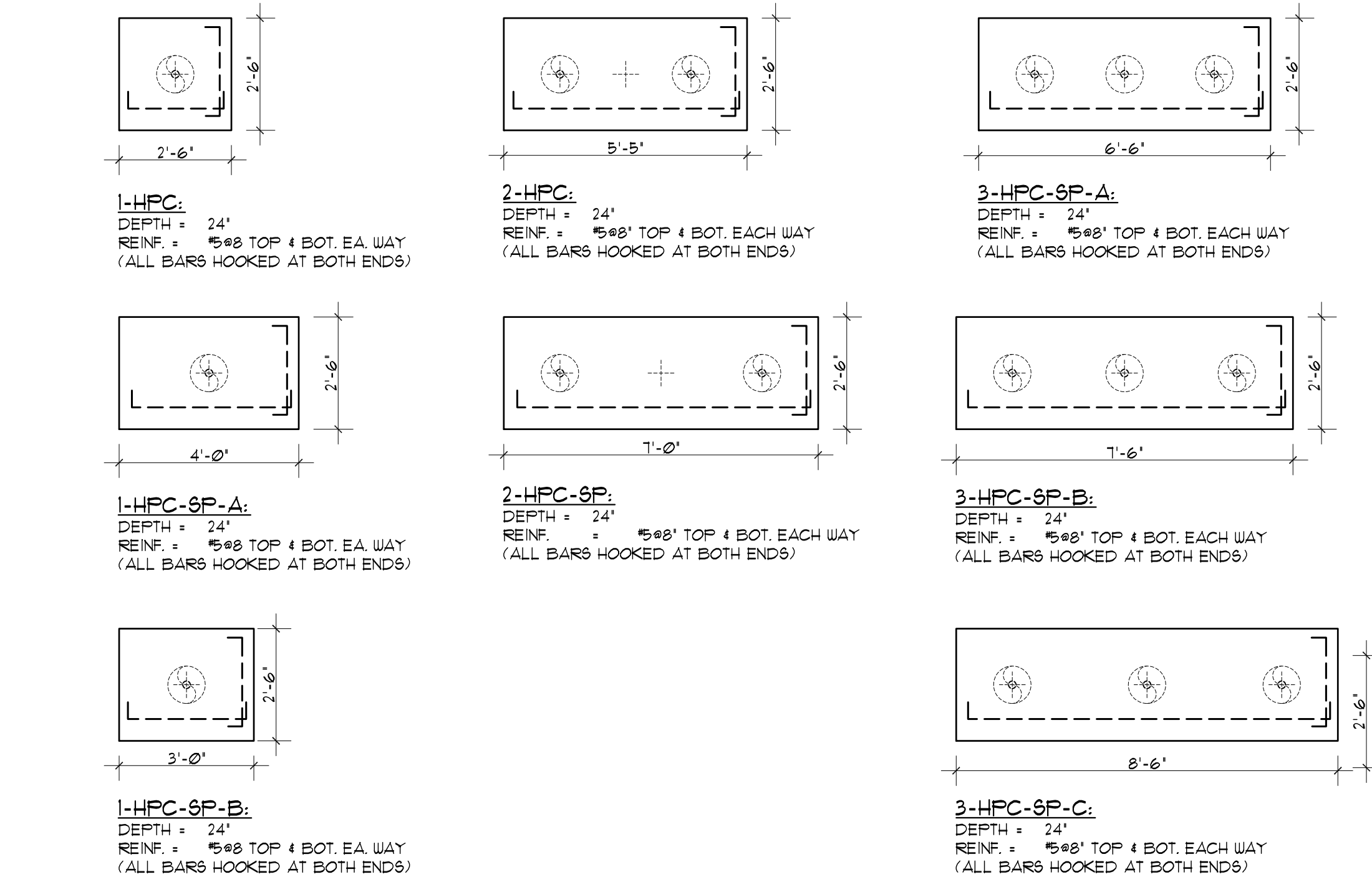
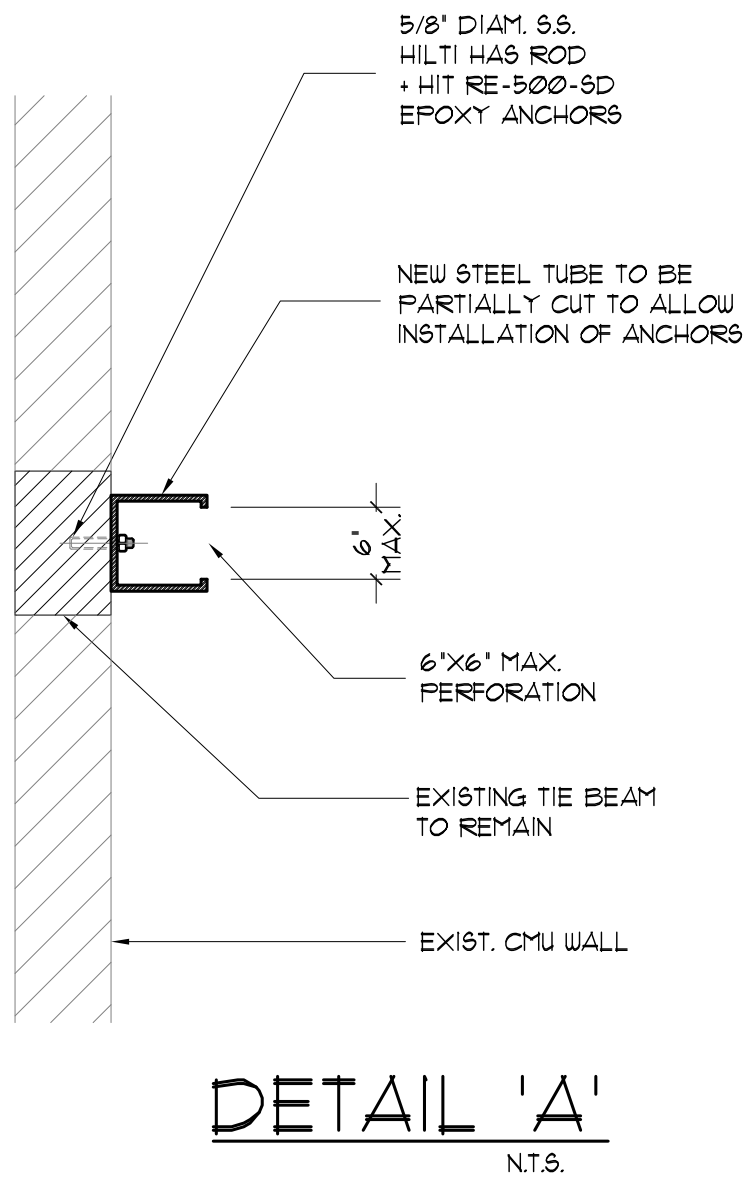
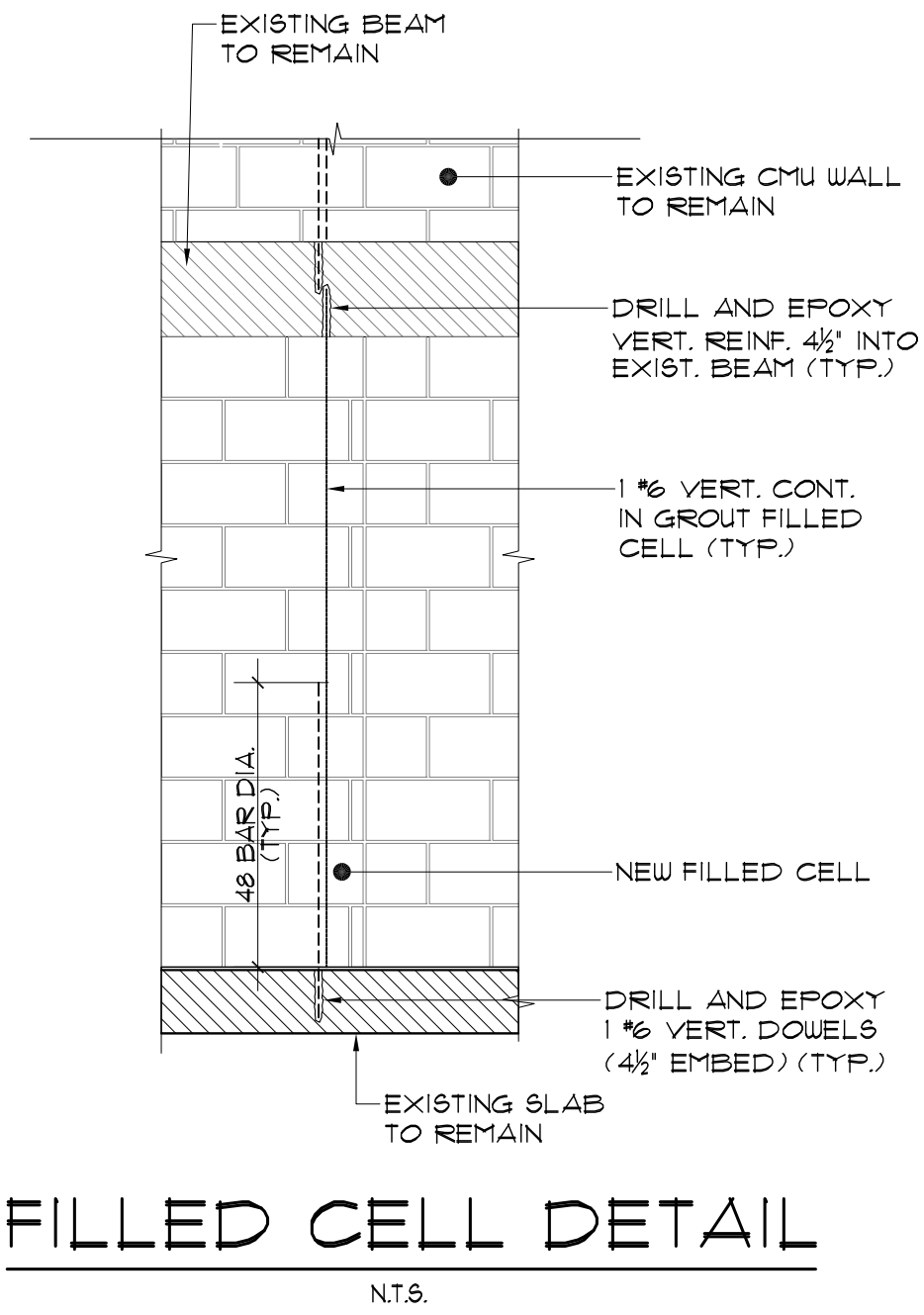
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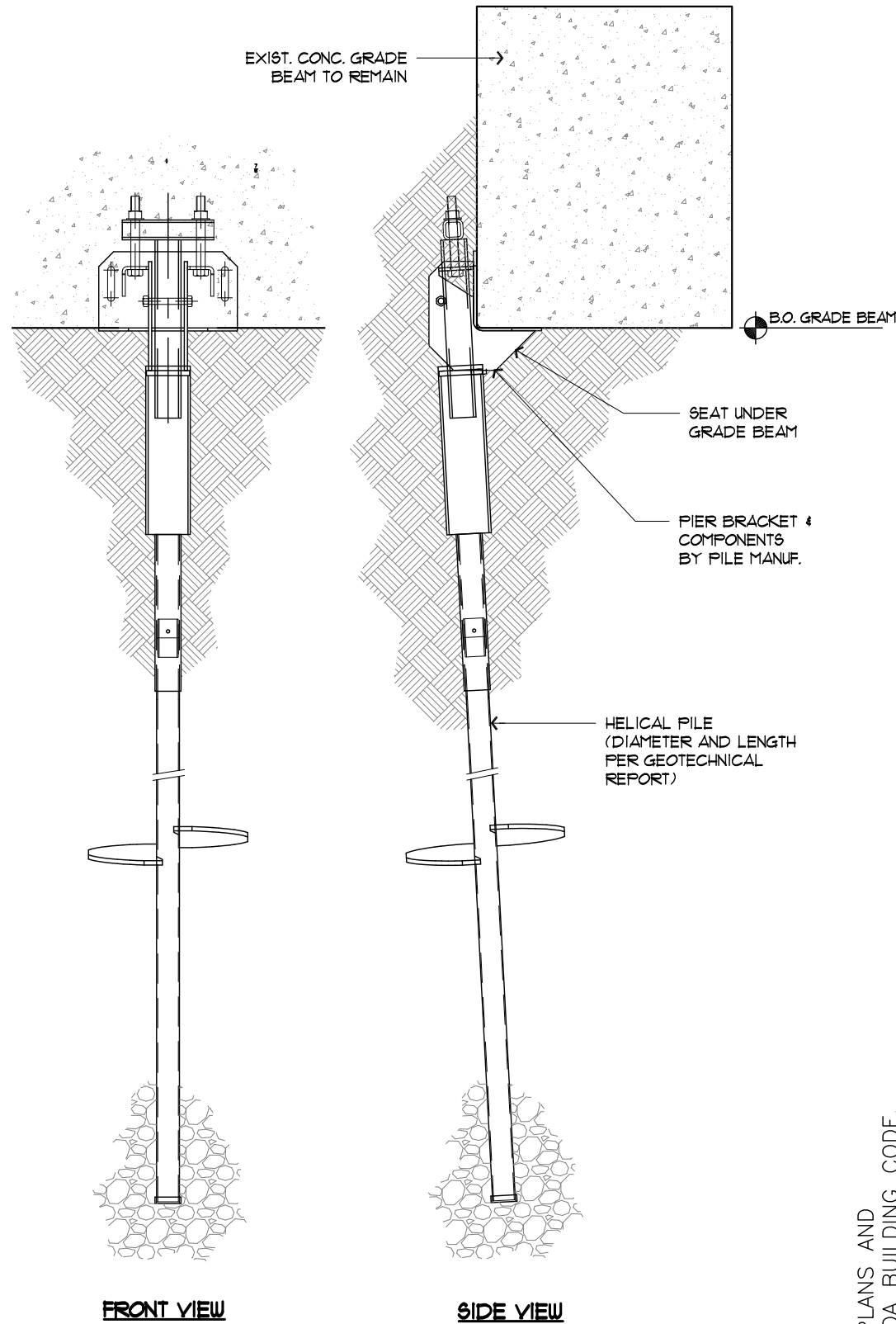
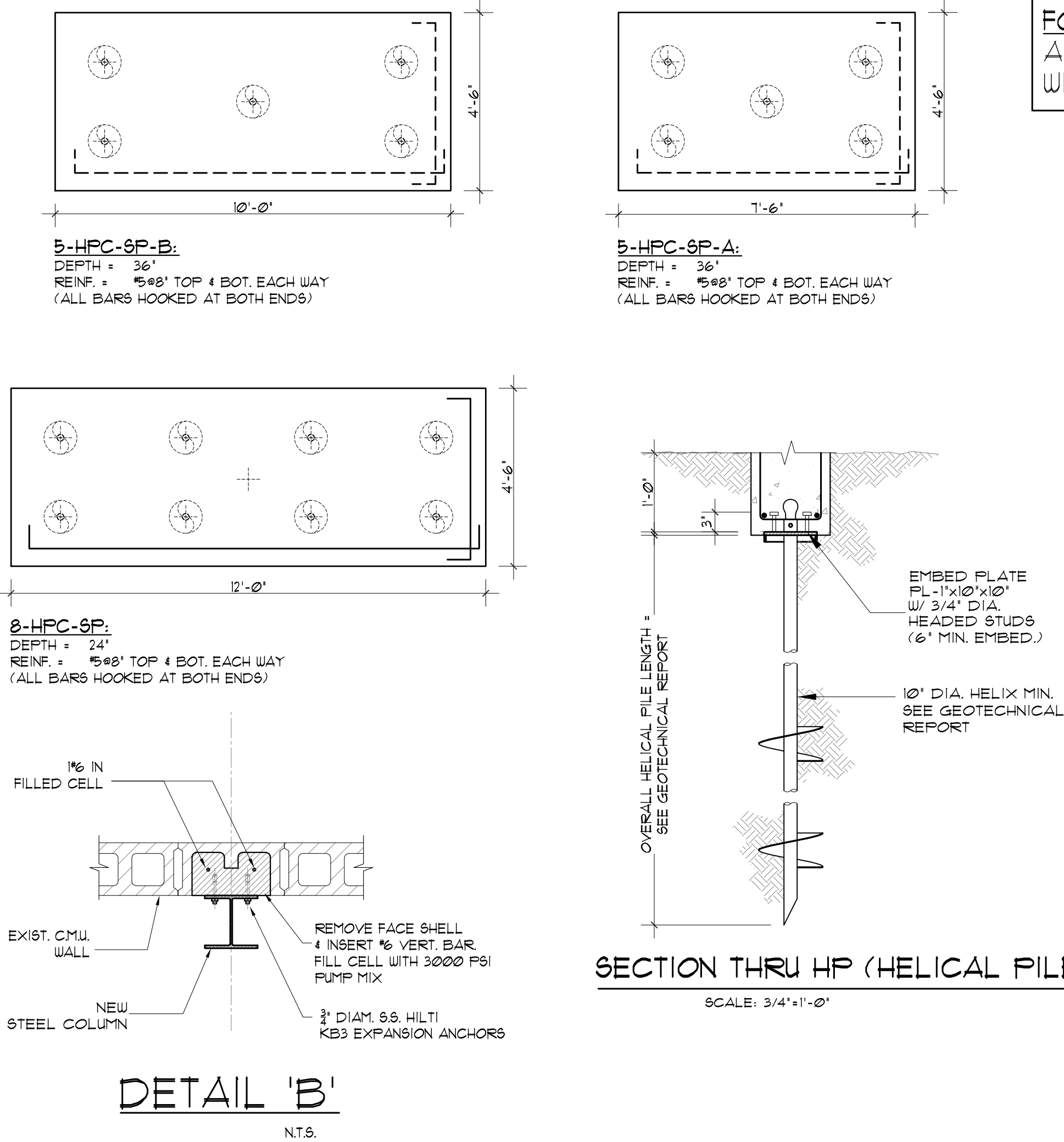
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CONCRETE BEAM SCHEDULE													
MARK	ELEVATION	SIZE	BOTTOM		TOP CONT.		'C' BARS		'E' BARS		STIRRUPS		REMARKS
		B x D	No.	SIZE	No.	SIZE	No.	SIZE	No.	SIZE	SIZE	SPACING	
GB	TO MATCH EXISTING	18"x18"	3	#6	3	#6					#3	1' O.C.	



FOUNDATION NOTE:  
ALL FOUNDATION CONCRETE TO BE 5000 PSI  
WITH 0.4 WATER/CEMENT RATIO



NO.	DATE	REVISION

PROJECT TITLE  
**WASHINGTON AVENUE**  
SITE ADDRESS:  
MIAMI BEACH, FLORIDA

OPTIMUS STRUCTURAL DESIGN LLC  
Tanya Homleid PE  
C.A. No: 26217 61706  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel. 305.512.5860  
Fax 305.512.5861  
E-mail: optimussd@bellsouth.net

SEAL: STATE OF FLORIDA

DRAWN BY : J.P.  
CHECKED BY: T.H.  
DATE : 03-02-16  
SCALE : AS SHOWN  
JOB. NO. :

**S3.0**  
9 of 11

MA

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O'Brien Lighting Inc

Washington Squared LLC  
Ken Fulk

Raymond Jungles Inc.  
Nichols Brosch  
Wurst Wolfe &  
Associates

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Miami Beach, FL

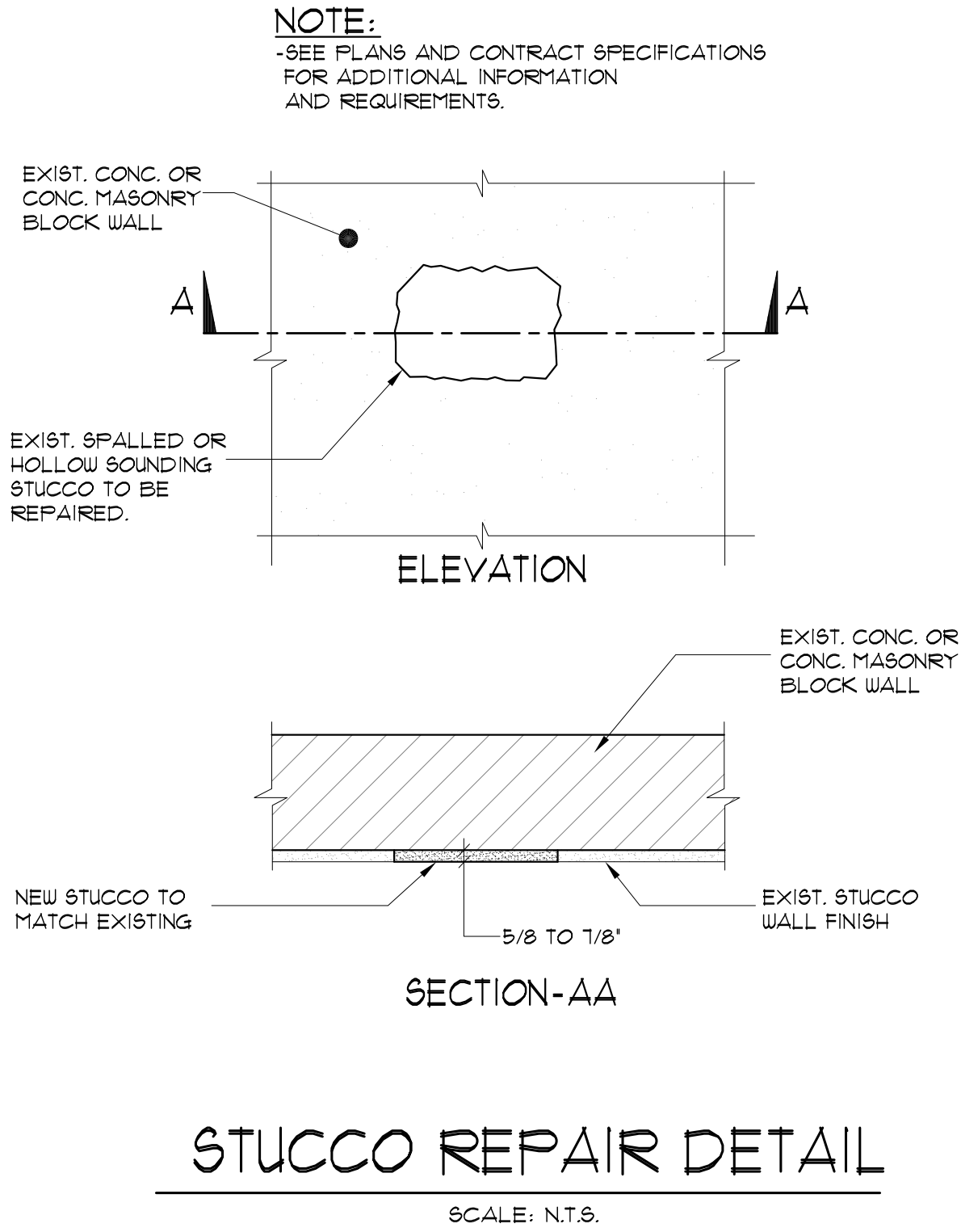
General Details

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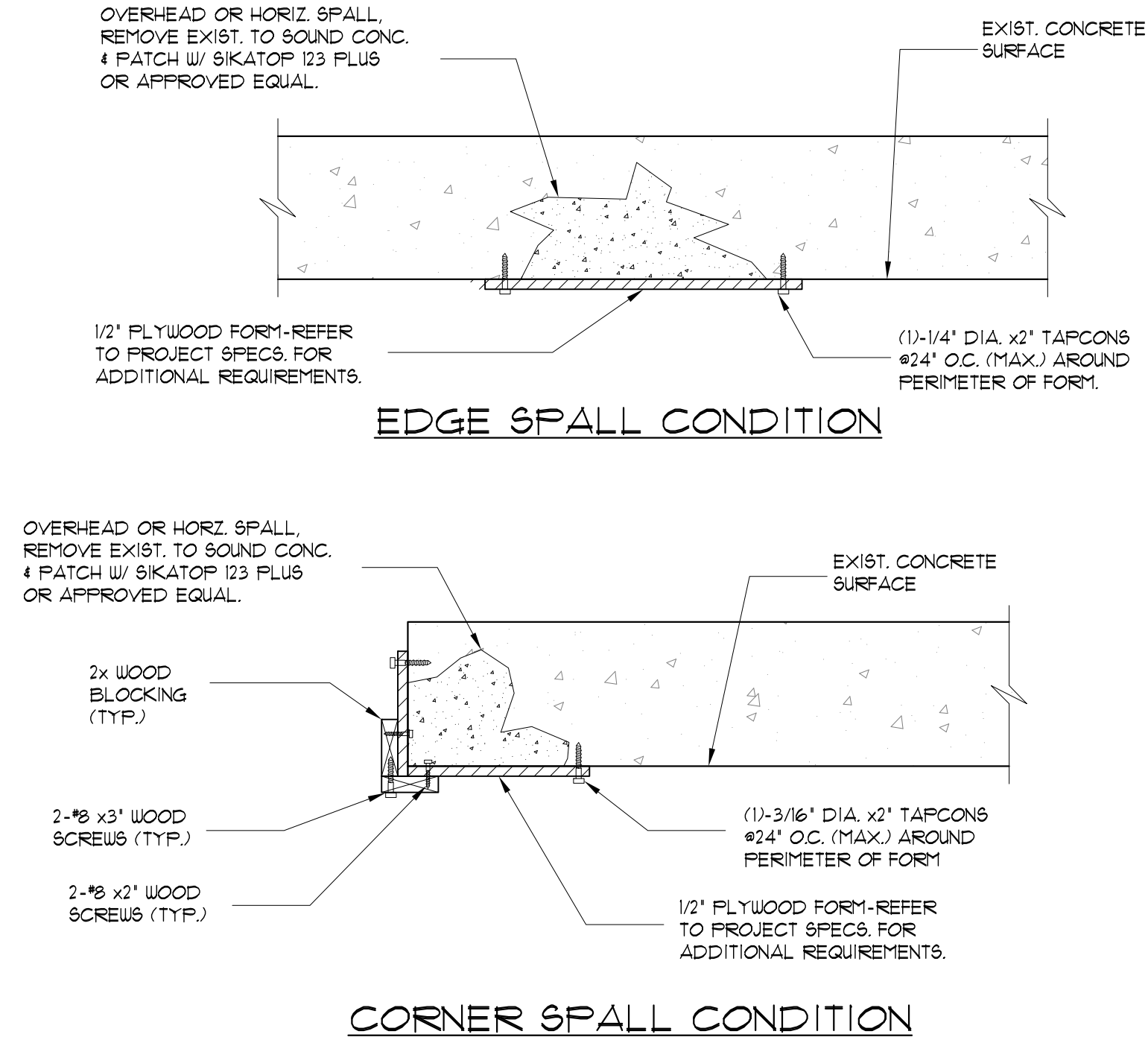
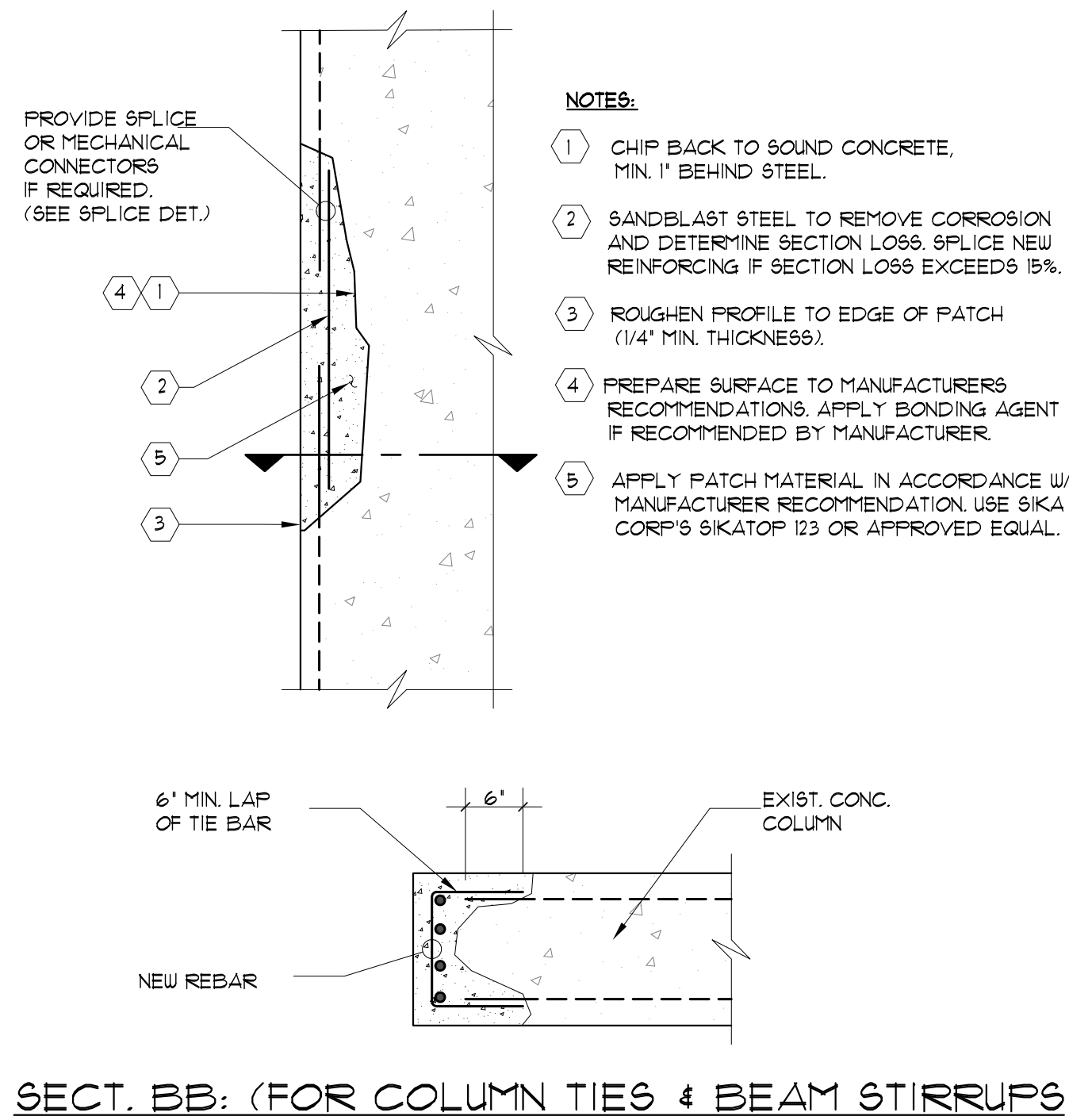
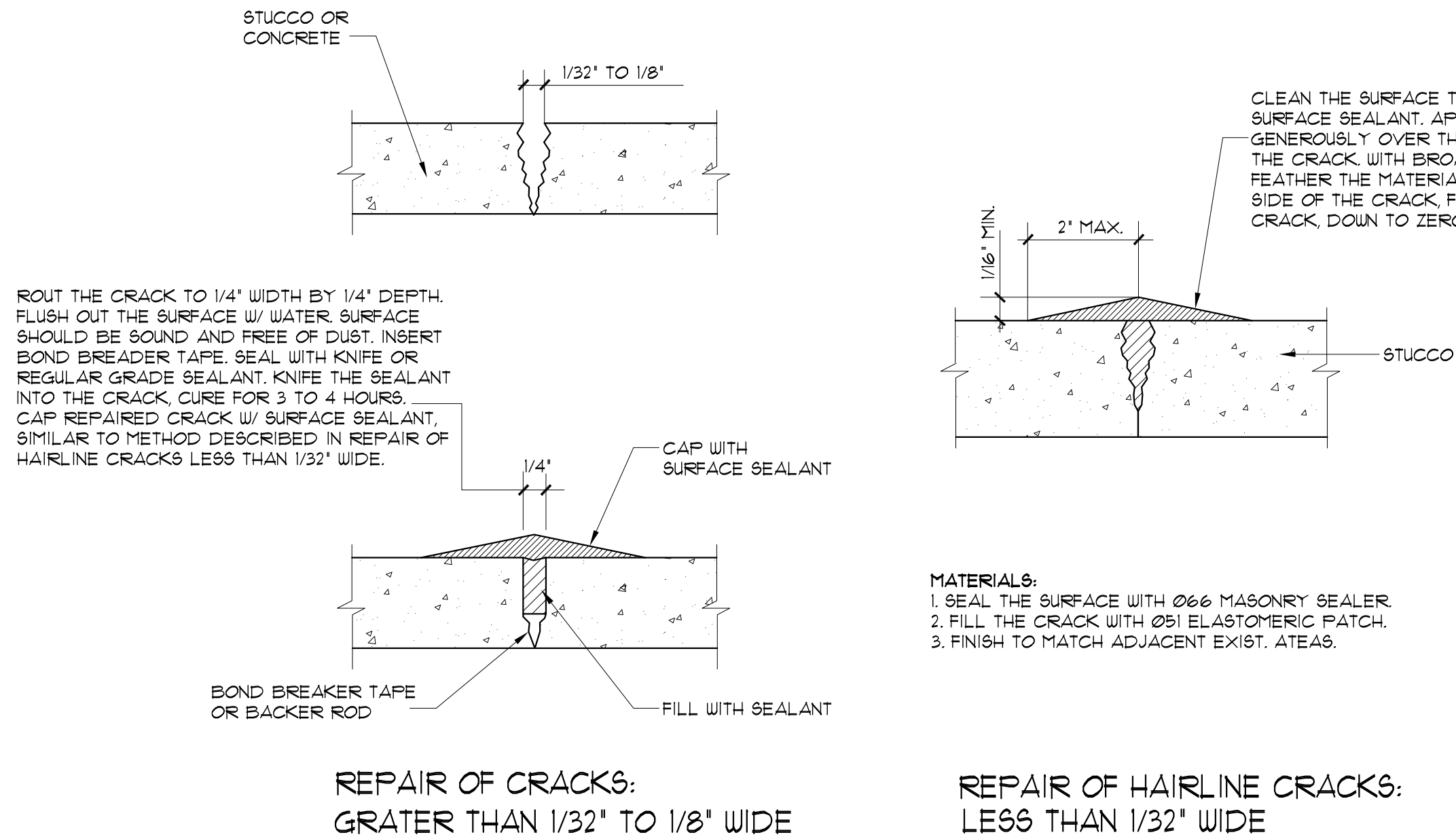
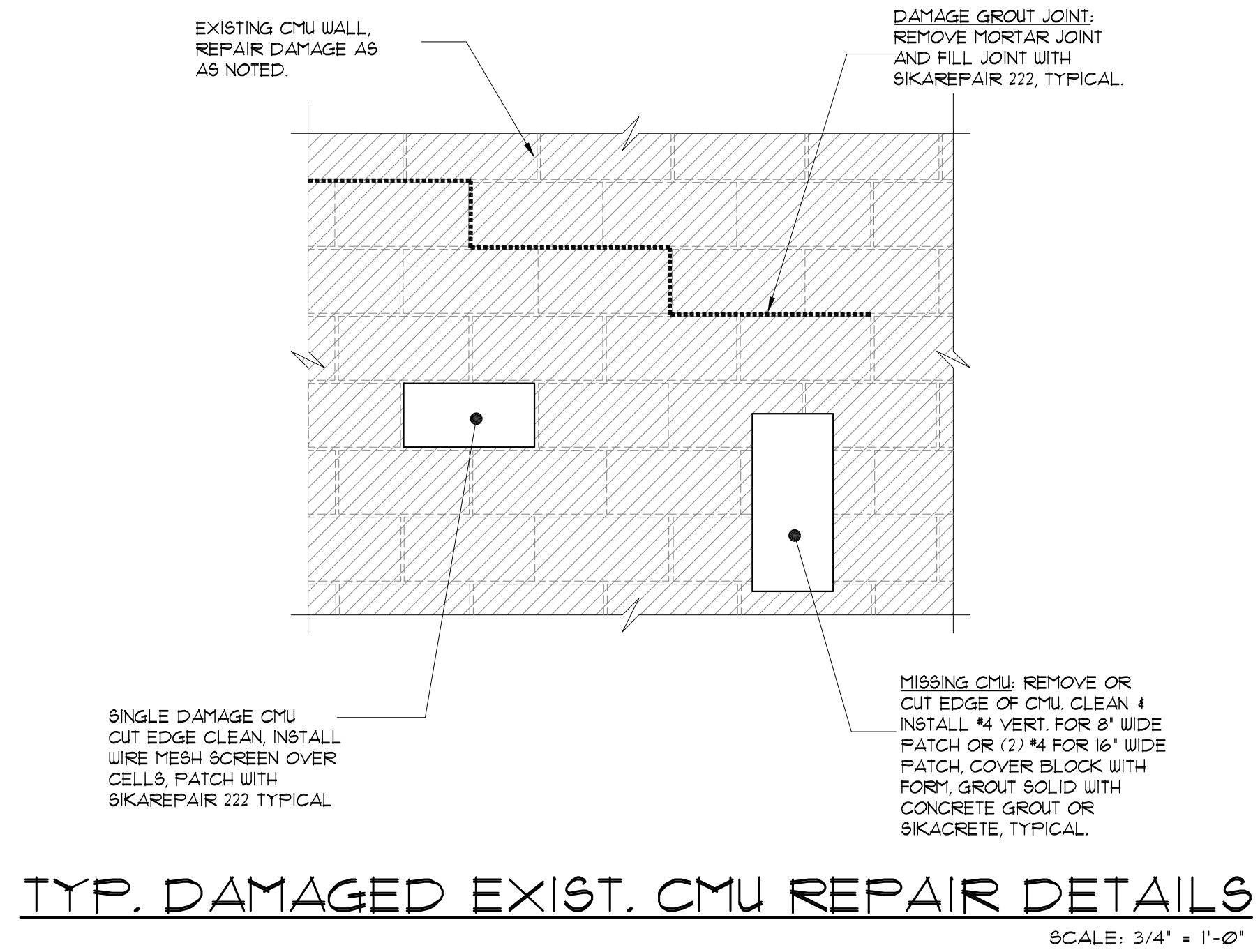
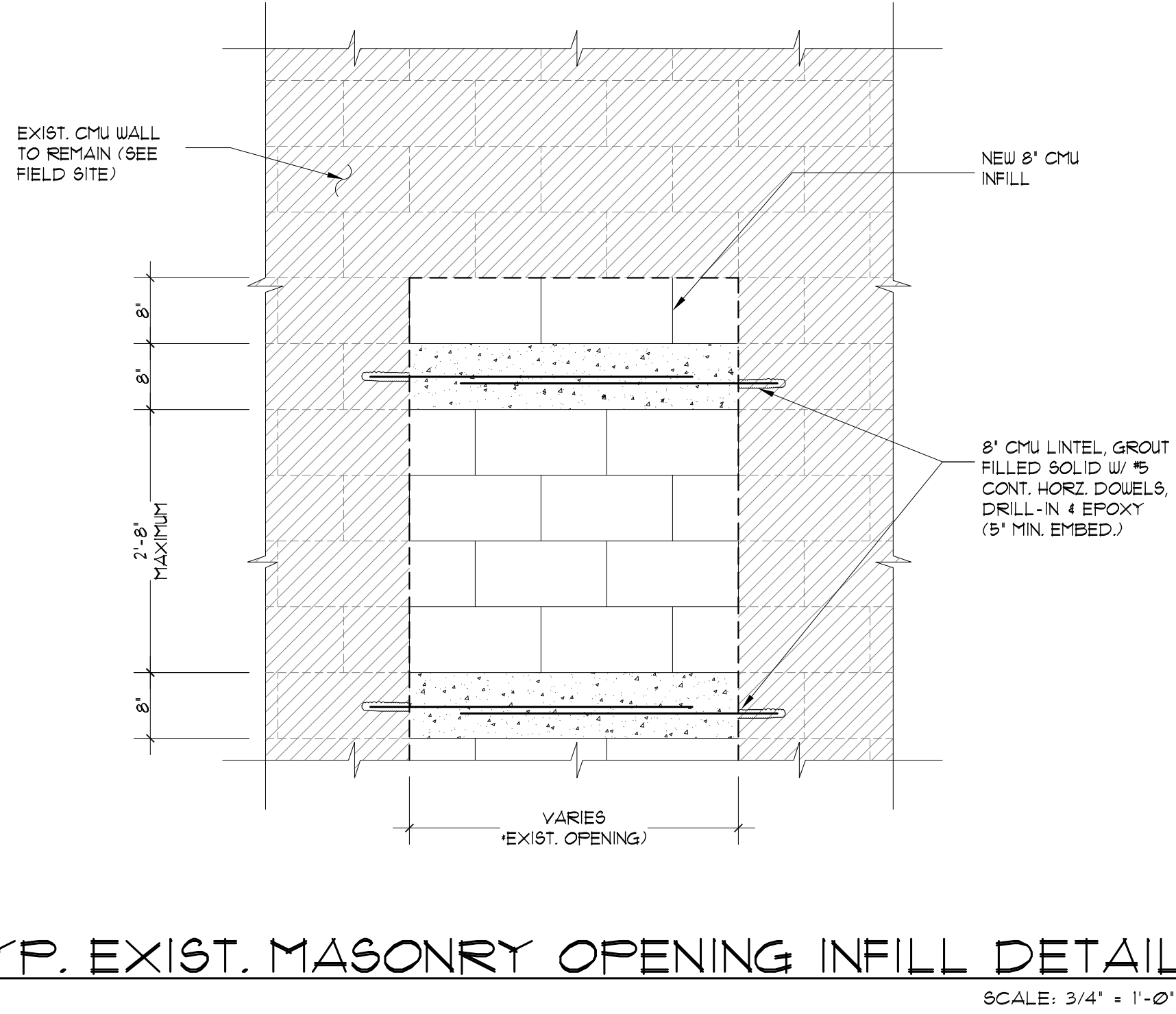
OPTIMUS CONSULTING ENGINEERS  
C.A. No: 26217 61706  
TANYA HOMLEID PE  
7850 NW 146 STREET, SUITE 305  
MIAMI LAKES, FLORIDA 33016  
Tel. 305.512.5860  
Fax 305.512.5861  
E-mail: optimussd@bellsouth.net

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- PROCEDURE:**
1. CHIP-OFF DELAMINATED STUCCO WITH CHISEL AND HAMMER
  2. CLEAN EXIST. SURFACE TO RECEIVE STUCCO.
  3. MECHANICALLY ROUGHEN EXIST. CONG. SURFACE WITH SAND BLASTING OR LIGHT CHIPPING HAMMER AND CHISEL TO EXPOSE FREE CONG. FOR PROPER BONDING. SURFACE MUST BE STRUCTURALLY SOUND, AND CLEAN, FREE OF NY AND ALL OIL, GRASE WAX, DUST, SAND, DIRT, LIATANCE, PAINT, EFFLORESCENCE, CURRING COMPOUNDS, FORM RELEASE AGENTS AND BASE MATERIAL OF ANY KIND.
  4. COAT PREPARED SURFACE WITH STO BONDING AGENT BY STO PRODUCTS. STUCCO TO PROPERLY BOND WITH EXISTING CONCRETE SURFACE.
  5. APPLY STO ONE COAT No. 501 OVER PREPARED SURFACE.
  6. INSTALL BROWN COAT AND FINISH COAT STUCCO TO MATCH EXIST. COLOR, THICKNESS AND APPEARANCE.



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7850 NW 146 STREET, SUITE 305

MIAMI LAKES, FLORIDA 33016

Tel: 305.512.5860

Fax 305.512.5861

E-mail: optimusd@bellsouth.net

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10 of 11

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7850 NW 146 STREET, SUITE 305

MIAMI LAKES, FLORIDA 33016

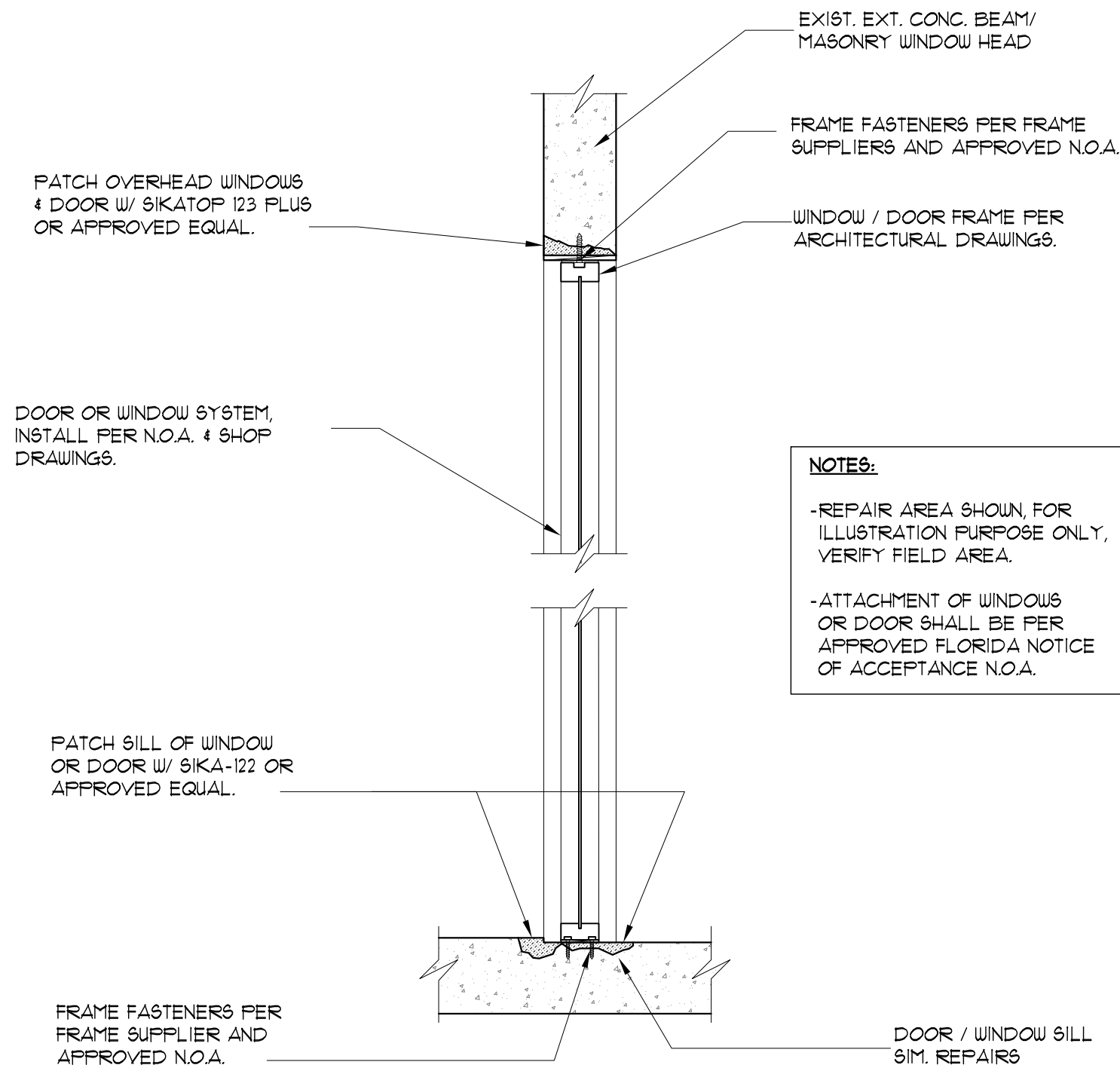
Tel: 305.512.5860

Fax 305.512.5861

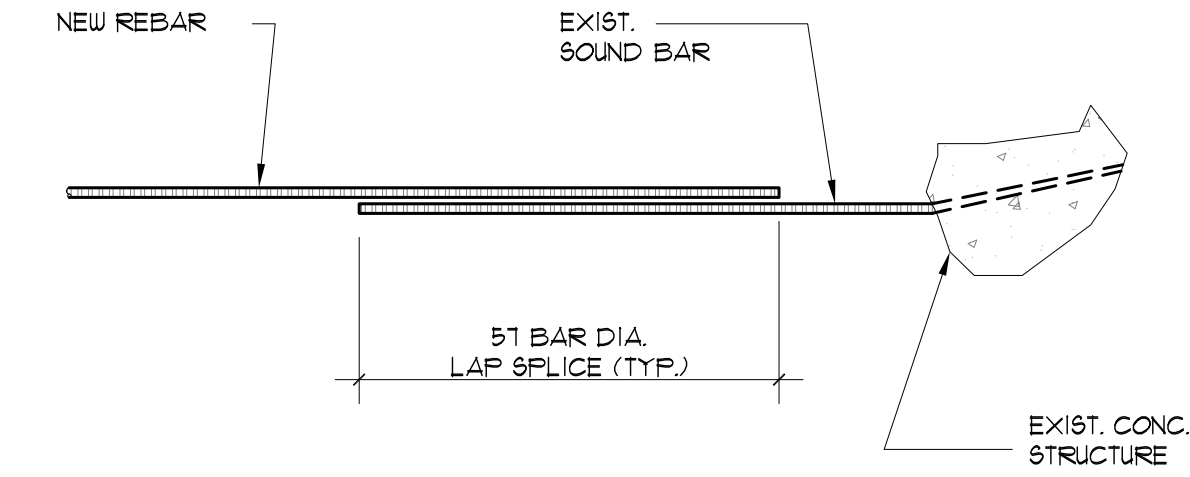
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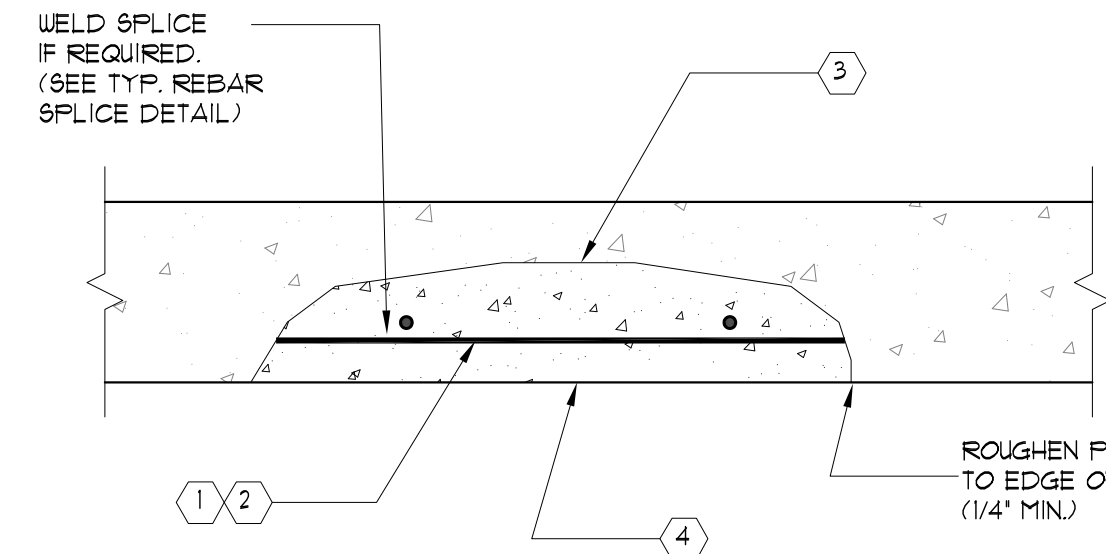
**TYP. DOOR / WINDOW  
EDGE REPAIR DETAILS**  
SCALE: 3/4" = 1'-0"



**OPTION 1:** LAP SPLICE TYP. REINFORCING BAR

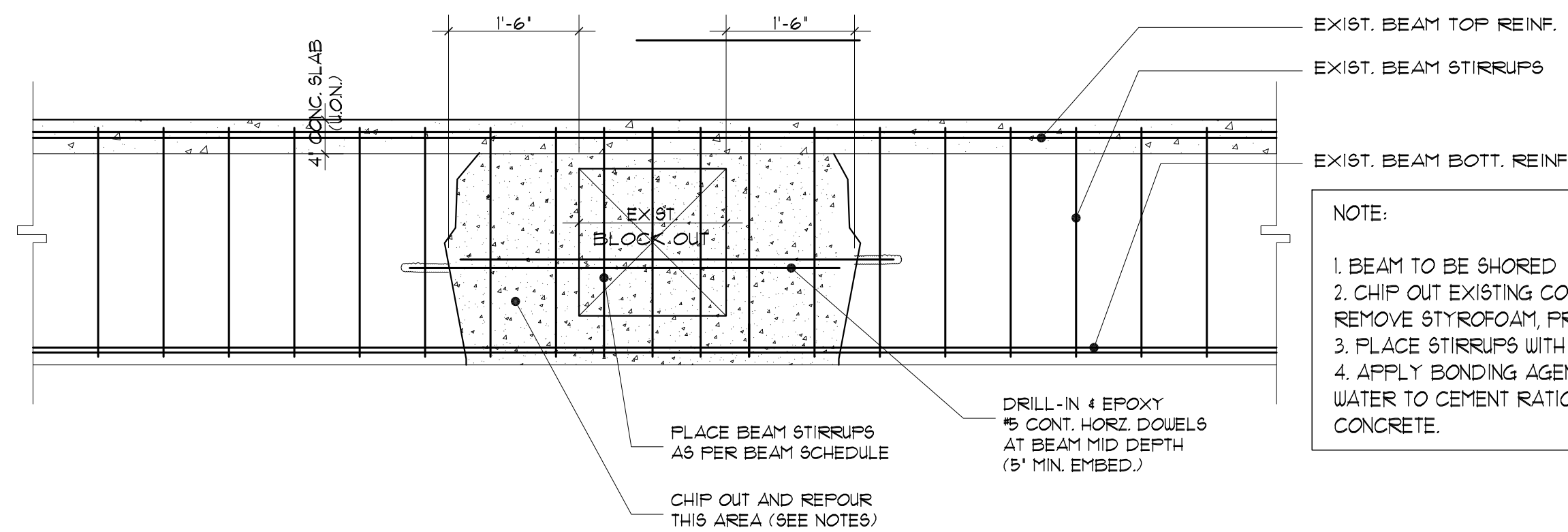
**OPTION 2:** USE MECHANICAL SPLICES, SUBMIT MANUFACTURER INFORMATION FOR APPROVAL. MECHANICAL SPLICE TO PROVIDE 125% MIN. CAPACITY OF YIELD STRENGTH OF SPLICED REBAR.

**TYP. REBAR SPLICE DETAILS**  
SCALE: 3/4" = 1'-0"

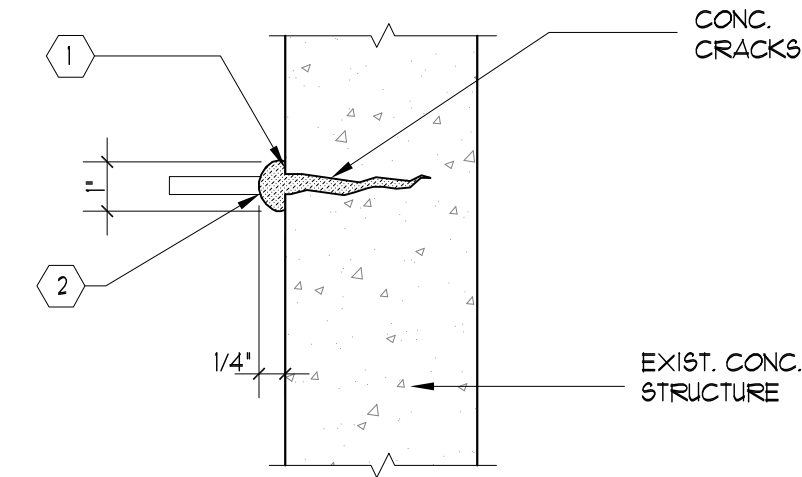


- NOTES:**
1. REMOVE MIN. 1/2" BEHIND STEEL FOR MORTAR.
  2. SANDBLAST STEEL TO REMOVE CORROSION. SPLICE WHERE GREATER THAN 15% LOSS.
  3. PREPARE SURFACE PER MANUFACTURERS RECOMMENDATIONS. APPLY BONDING AGENT IF RECOMMENDED BY MANUFACTURER.
  4. APPLY TROWEL PATCHING MATERIAL PER MANUF. RECOMMENDATIONS. PATCHING MATERIAL SHALL BE SIKATOP 123 BY Sika CORP OR APPROVED EQUAL.
- UTILIZE THIS REPAIR DETAIL FOR SPALLS OVER 4" DIA. OR EQUAL SIZE.

**TYP. OVERHEAD SPALL REPAIR DETAILS**  
SCALE: 3/4" = 1'-0"

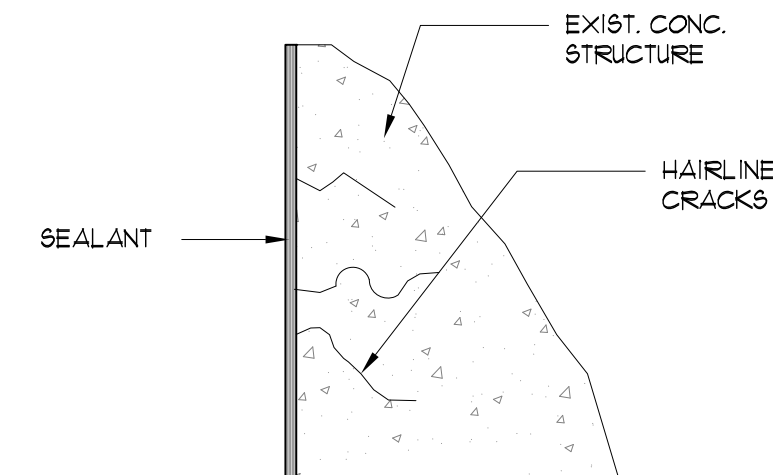


**BEAM REPAIR DETAIL**  
SCALE: 3/4" = 1'-0"



- NOTES:**
1. CLEAN AREA ADJACENT TO CRACK OF BOND INHIBITING MATERIALS W/ TRISODIUM PHOSPHATE / WATER SOLUTION.
  2. SET PORTING DEVICES OVER CRACKS.
  3. PLACE EPOXY RESIN ADHESIVE OVER CRACKS AROUND EACH INJECTION PORT W/ MIN. 1" WIDE BY 1/4" THICK. THEN, ALLOW TO SET.
  4. USE MANUAL METHOD OR AUTOMATED INJECTION EQUIPMENT TO INJECT EPOXY RESIN ADHESIVE.
- UTILIZE THIS REPAIR FOR CRACKS FROM 20 MILS TO 1/4" WIDE. (VERIFY EXIST. FIELD CONDITIONS).

**TYP. LARGER CRACKS REPAIR DETAILS**  
SCALE: 3/4" = 1'-0"



- NOTES:**
1. CLEAN AREA ADJACENT TO CRACK OF BOND INHIBITING MATERIALS W/ TRISODIUM PHOSPHATE / WATER SOLUTION.
  2. APPLY SEALER BY ROLLER, BRUSH OR HAND PRESSURE SPRAY. SEE MANUF. RECOMMENDATION FOR ADDITIONAL INFORMATION.
  3. SEALANT PRODUCTS SHALL BE SIKADUR 32 HIGH MOD EPOXY OR APPROVED EQUAL.
- UTILIZE THIS REPAIR FOR CRACKS LESS THAN 20 MILS WIDE. (VERIFY EXIST. FIELD CONDITIONS).

**TYP. HAIRLINE CRACKS REPAIR DETAILS**  
SCALE: 3/4" = 1'-0"

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