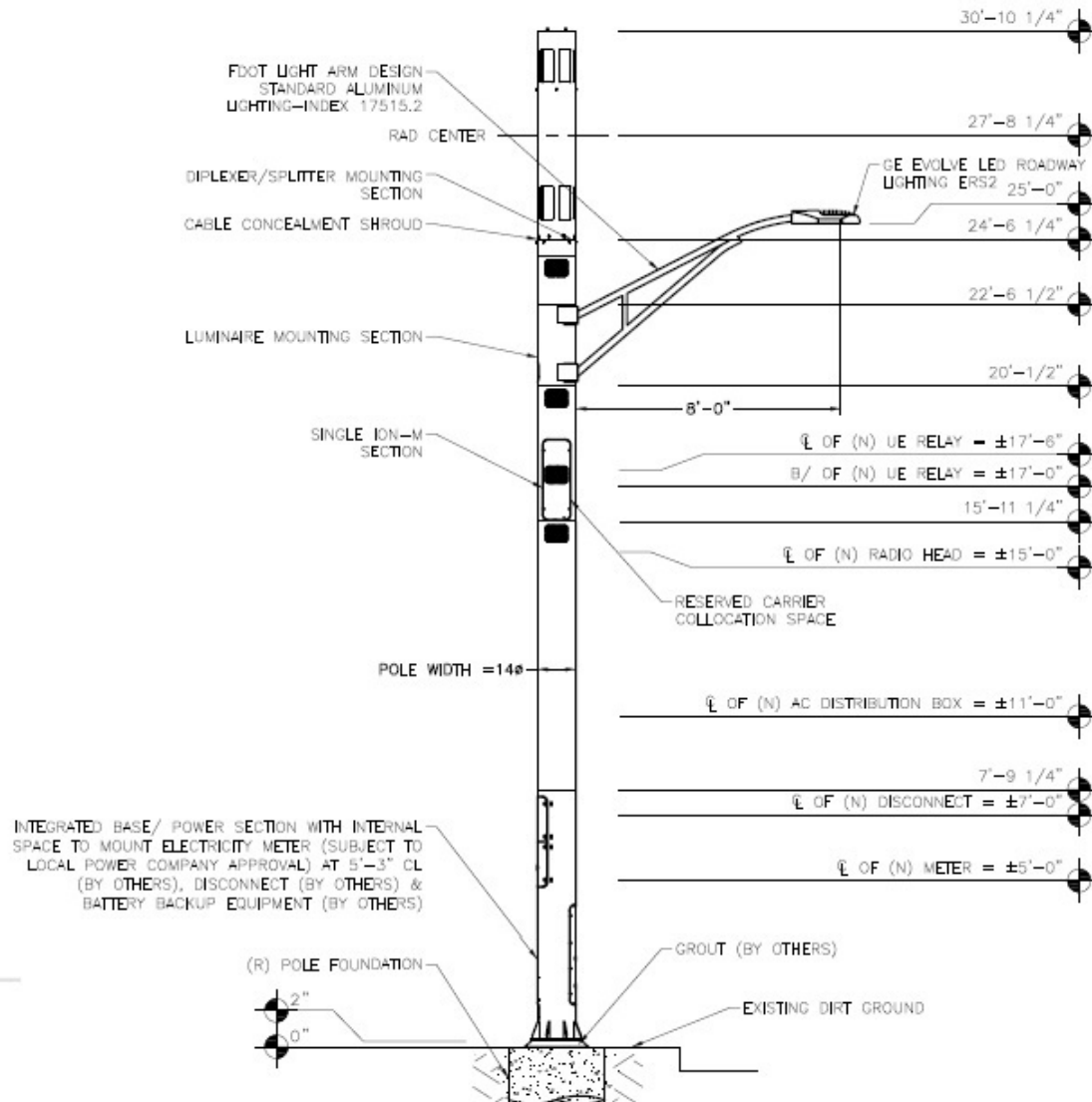


SMALL-CELL LIGHT POLE PROJECTS

City of Miami Beach - Board Applications

MOBILITIE CANDIDATE #

9FLB000989C/MI90XS535C





ITEM # 2—COPY OF SIGNED AND DATED CHECKLIST

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Property address:

Das Nodes

Board:

HPB

Date:

8/3/17

BOARD APPLICATION CHECK LIST

A pre-application meeting must be scheduled with the Board staff to review all submittals.

Pre-application meetings for applications that do not require a traffic study are scheduled on a first come first served basis and must occur no later than five(5) business days prior to the CAP first submittal.

Applications that require a traffic study must meet 60 days* prior to CAP first submittal deadline with Planning staff, Transportation Department and peer reviewer to determine the methodology for the traffic impact study. After this meeting the applicant must create a CAP application in order to be invoiced and pay fees. Applicant must submit online (CAP) the traffic study 30 days prior to CAP first submittal (see Transportation Department list requirements)

Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to first submittal. Applicant must address comments and submit revised traffic study/plans for CAP first submittal deadline

Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

ITEM #	CAP FIRST SUBMITTAL To be uploaded online (CAP) by the applicant before 5:00 pm on first submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee shall be paid after pre-application meeting and before the first submittal.	X
2	Copy of signed and dated check list issued at pre-application meeting.	X
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	X
4	Letter of Intent dated and signed with details of application request. (see also Items # 43,44 and 45).	X
5	Mailing Labels (2 printed sets and a CD including: Property owner's list and Original certified letter from provider, see Item #52).	X
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application, for projects with a net increase in residential units (no SFH). (Provide Planning Department - Miami Dade - School Concurrency list).	
8	Survey (original signed & sealed) dated less than 6 months old at the time of application. Provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	X
9	Architectural Plans and Exhibits (must be 11"x 17" size):	X
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.	X
b	Copy of the original survey	X
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	X
d	Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.	X
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document if necessary).	X
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	X
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	X
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	X
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	X

* 60 day lead time for projects including traffic studies is necessary to ensure completion of review by final submittal deadline and scheduling for hearing.

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address:

l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	X
m	Demolition Plans (Floor Plans & Elevations with dimensions)	X
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks. <i>specs of pole</i>	X
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	X
p	Proposed Section Drawings	X
q	Color Renderings (elevations and three dimensional perspective drawings). <i>photo simulation</i>	X
10	Landscape Plans and Exhibits (must be 11"x 17" size):	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	

ITEM #	CAP FIRST SUBMITTAL ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING	Required
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Copy of previously recorded Final Orders if applicable.	
14	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recordation data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
15	Vacant or Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Department.	
16	Historic Resources Report (This report shall include, but shall not be limited to, copy of the original Building Permit Card and any subsequent evolution, Microfilm, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure).	
17	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
18	Line of Sight studies.	
19	Structural Analysis of existing building including methodology for shoring and bracing.	
20	Proposed exterior and interior lighting plan, including photometric calculations.	
21	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
22	Neighborhood Context Study.	
23	Required yards open space calculations and shaded diagrams.	
24	Required yards section drawings.	
25	Variance and/or Waiver Diagram	
26	Schematic signage program	
27	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
28	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
29	Daytime and nighttime renderings for illuminated signs.	
30	Floor Plan Indicating area where alcoholic beverages will be displayed.	
31	Survey showing width of the canal (Dimension shall be certified by a surveyor)	

Indicate N/A If Not Applicable

Initials: *[Signature]*

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address:

32	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
33	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
34	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
35	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
36	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
37	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
38	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
39	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review.	
40	Sound Study report (Hard copy) with 1 CD.	
41	Site Plan (Identify streets and alleys)	
a	Identify: setbacks ____ Height ____ Drive aisle widths ____ Streets and sidewalks widths ____	
b	# parking spaces & dimensions ____ Loading spaces locations & dimensions ____	
c	# of bicycle parking spaces ____	
d	Interior and loading area location & dimensions ____	
e	Street level trash room location and dimensions ____	
f	Delivery route ____ Sanitation operation ____ Valet drop-off & pick-up ____ Valet route in and out ____	
g	Valet route to and from ____ auto-turn analysis for delivery and sanitation vehicles ____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
42	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors ____ outdoors ____ seating in public right of way ____ Total ____	
c	Occupancy load indoors and outdoors per venue ____ Total when applicable ____	
43	In the Letter of Intent include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	
44	In the Letter of Intent for Variances include and respond to all review guidelines in the code as follows:	
a	Section 118-53 (a) of the City Code for each Variance.	
45	In the Letter of Intent for Planning Board include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU -Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550


Property Address:

ITEM #	CAP FINAL SUBMITTAL: Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. To be uploaded online (CAP) by the applicant before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper final submittal or to continue if the application is still incomplete.
46	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior CAP Final submittal.

ITEM #	PAPER FINAL SUBMITTAL:	Required
47	Original application with all signed and notarized applicable affidavits and disclosures.	X
48	Original of all applicable items.	X
49	One (1) signed and sealed 11"x17" bound, collated set of all the required documents.	X
50	14 collated copies of all the above documents	X
51	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see details for CD/DVD formatting.	X
52	Traffic Study (Hard copy)	
53	Mailing Labels - 2 printed sets and a CD including: Property owner's list and Original certified letter from provider.	X

NOTES:

- A. Other information/documentation required for first submittal will be identified during pre-application meeting.
- B. Is the responsibility of the applicant to make sure that the CAP submittal, Paper Submittal (sets, 14 copies) and electronic version on CD are consistent.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval, as applicable.


 Applicant's or designee's signature

8-18-17
 Date

Indicate N/A If Not Applicable

Initials: 

ITEM # 3—BOARD APPLICATION

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
 MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
 305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
- ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☒ DESIGN REVIEW BOARD
- ☒ DESIGN REVIEW APPROVAL
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☐ HISTORIC PRESERVATION BOARD
- ☐ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - ☐ HISTORIC DISTRICT / SITE DESIGNATION
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☐ PLANNING BOARD
- ☐ CONDITIONAL USE PERMIT
 - ☐ LOT SPLIT APPROVAL
 - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
- ☐ FLOOD PLAIN WAIVER
- ☐ OTHER _____

SUBJECT PROPERTY ADDRESS: _____ (Approximate Pole Address)
 Proposed Wireless Infrastructure at 25.850695, -80.120660; 215 67th Street, Miami Beach, FL
 X: 985461.538, Y: -5658486.124

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A" - See Survey (Public Right of way)

FOLIO NUMBER (S) _____

1. APPLICANT: ☐ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☒ OTHER (infactructure owner)

NAME MOBILITIE, LLC

ADDRESS 3475 Piedmont Rd NE, Suite 1000, Atlanta, GA, 30305

BUSINESS PHONE (786) 910-4309

CELL PHONE (786) 910-4309

E-MAIL ADDRESS Oraez@mobilitie.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME Same as applicant

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S): N/A

☐ ATTORNEY:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

☒ AGENT:

NAME Orlando Raez

ADDRESS 3450 Lakeside Drive, Suite 301, Miramar, FL 33027

BUSINESS PHONE (786) 910-4309

CELL PHONE (786) 910-4309

E-MAIL ADDRESS oraez@mobilite.com

☐ CONTACT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☐ ARCHITECT ☐ LANDSCAPE ARCHITECT ☒ ENGINEER ☐ CONTRACTOR

☐ OTHER: _____

NAME Stephen Bray

ADDRESS 1800 Route 34 Wall NJ 07719

BUSINESS PHONE (732) 280-5623

CELL PHONE _____

E-MAIL ADDRESS sbray@kmbcompanies.com

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

MOBILITIE, LLC seeks to replace an existing street light with one wireless infrastructure integrated with a streetlight in the public rights of way in the City of Miami Beach in order to improve the capacity and coverage of cellular devices within the City.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☐ YES ☒ NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☐ YES ☒ NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) n/a SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). _____ SQ. FT.

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

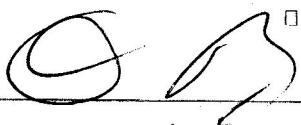
- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☐ OWNER OF THE SUBJECT PROPERTY

☐ AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

PRINT NAME: _____



Orlando Raez

FILE NO. _____

OWNER AFFIDAVIT FOR INDIVIDUAL OWNERSTATE OF
COUNTY OF

NOT APPLICABLE

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY
(Circle one)

STATE OF Georgia
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn, depose and certify as follows: (1) I am the NRE Manager (print title) of MOBILITIE, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.


SIGNATURE

Sworn to and subscribed before me this 18th day of August, 2017. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires:



NOTARY PUBLIC

Erin E. Scott
Gadiel Rosario-Rivera, NRE Manager

PRINT NAME

FILE NO. _____

POWER OF ATTORNEY AFFIDAVIT

STATE OF Georgia
COUNTY OF Fulton

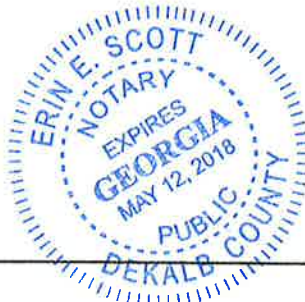
I, Gadiel Rosario-Rivera, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Orlando Raez to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a **Notice** of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Gadiel Rosario-Rivera, NRE Manager
PRINT NAME (and Title, if applicable)

[Signature]
SIGNATURE

Sworn to and subscribed before me this 18th day of August, 20 17. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



[Signature]
NOTARY PUBLIC

My Commission Expires

Erin E. Scott
PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.*

NOT APPLICABLE

NAME	DATE OF CONTRACT
NAME, ADDRESS, AND OFFICE	% OF STOCK
_____	_____
_____	_____
_____	_____
_____	_____

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

NOT APPLICABLE

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATIONDISCLOSURE OF INTEREST1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

NOT APPLICABLE

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME

NAME AND ADDRESS

% INTEREST

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	NONE		
b.			
c.			

Additional names can be placed on a separate page attached to this form.

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

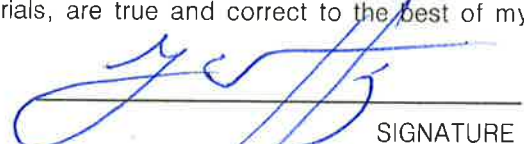
APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Georgia

COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

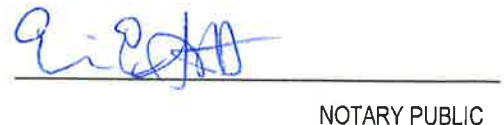

SIGNATURE

Sworn to and subscribed before me this 18th day of August, 20 17. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:


NOTARY PUBLIC

Erin E. Scott

PRINT NAME

FILE NO. _____

ITEM # 4—LETTER OF INTENT

August 18th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Board Applications for Light Pole replacements with Small-Cell Stealth Light Poles on the public right-of-way

Dear Board Members and City Staff:

This letter intends to serve as Mobilitie, LLC's "Letter of Intent" in regards to our proposed small-cells infrastructure on the public rights-of-way within the City of Miami Beach, FL. Mobilitie is a wireless infrastructure company that develops intelligent infrastructure solutions to densify and optimize wireless carriers services and geographic reach. Mobilitie LLC possesses a Certificate to provide Alternative Access Vendor services from the Florida Public Service Commission. Mobilitie LLC is also registered with the City of Miami Beach, pursuant to City Code Section 104-4, as a communications services provider.

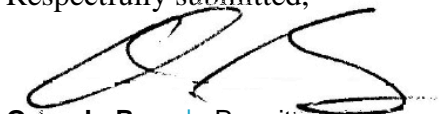
Mobilitie LLC works with all wireless carriers to enhance services throughout the country. Our design optimizes the performance of wireless networks by taking into consideration customer usage behaviors, terrain, obstructions, points-of-interest, and local guidance and ordinances. Mobilitie LLC's small-cell network within the City of Miami Beach will be utilized by Sprint, a wireless carrier, to fill in network deficiencies as a result of high demand for high-speed wireless service in the City.

During pre-application meetings with the City of Miami Beach Planning Department staff, it was expressed that the City of Miami Beach had spent two years developing an acceptable stealth design with a competitor. Although there are additional costs associated with the stealth design for our company, Mobilitie, LLC decided to work cooperatively with the City of Miami Beach and integrated the stealth design for our small-cell equipment installations. Our competitor has already pulled and replaced dozens of street light poles with stealth telecommunication light poles after getting permits from the City. Mobilitie LLC is effectively proposing to do the same. As required during our meetings with Planning Department staff, we have also reserved an area inside each pole should another wireless carrier which to utilize our poles for their equipment (reserved area is marked on plans).

REQUEST FOR APPROVAL

Mobilitie respectfully requests that the City review and approve the attached applications supplemented with the enclosed information. Mobilitie values the City's input on our proposal, and will work closely with the City to address any other concerns with our proposal, such as location, height, and pole color. Mobilitie looks forward to working with the City of Miami Beach and values its partnership in order to provide your constituents and visitors with high-speed connectivity. Thank you for your attention to this matter.

Respectfully submitted,



Orlando Raez | Permitting Manager
oraez@mobilitie.com
786 910 4309 mobile
www.mobilitie.com

August 20th, 2017

Photo-Simulation

Candidate # 9FLB000989C/MI90XS535C

Subject: 215 67 Street, Miami Beach, FL 33141

Note: pole color will match existing street light pole color unless otherwise directed by the City of Miami Beach. Photo-simulation is not to scale.



ITEM # 5—MAILING LABELS

August 20th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Property Owners list within 400 feet of:

Subject: 215 67th St, Miami Beach, FL 33139

Folio # 0232110071240

Legal Description: Public right of way

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 400 feet radius of the external boundaries of the subject property listed above. This reflects the most current records on file within the Miami-Dade County Property Appraisers' Office.

Total number of property owners without repetition: 771, including 21 international.

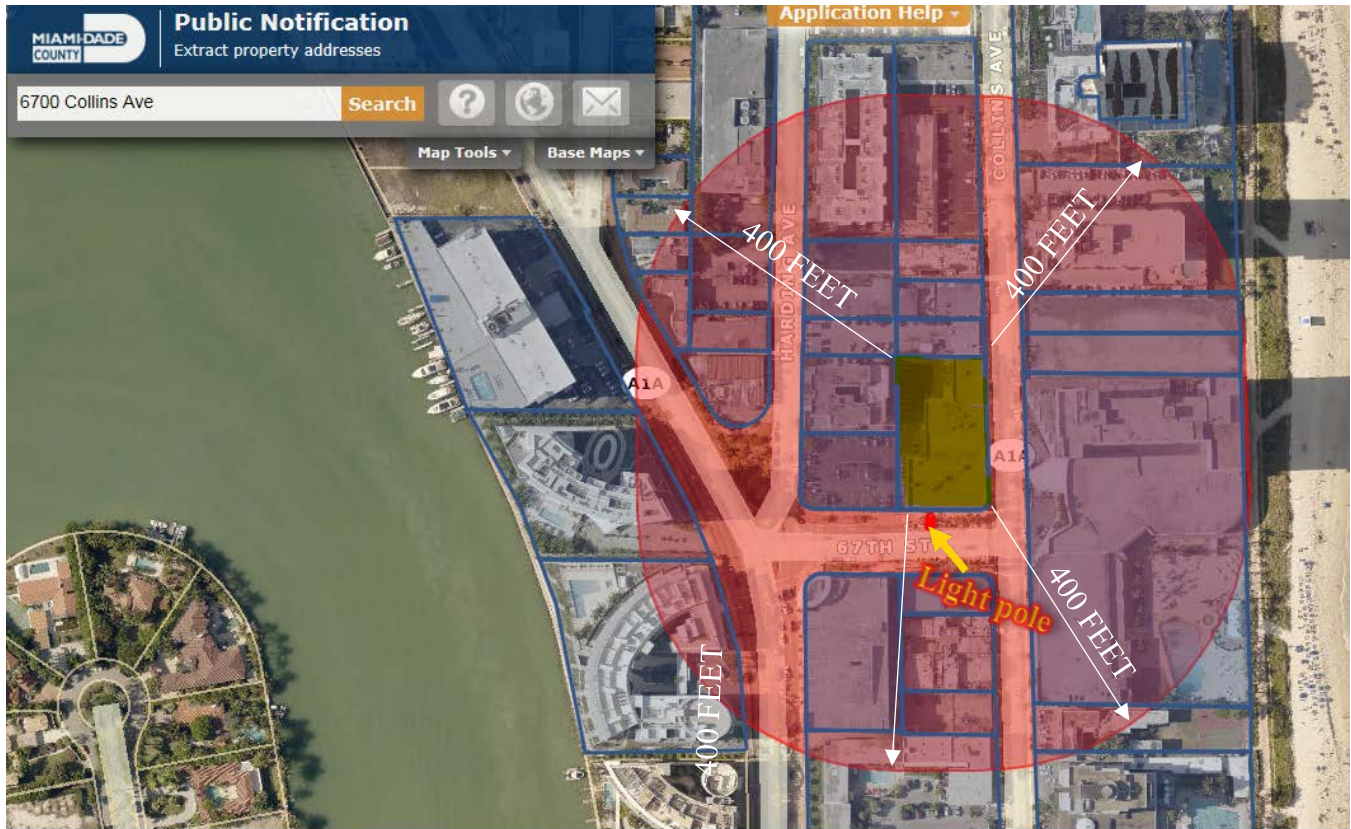
Respectfully submitted,



Orlando Raez | Permitting Manager
oraez@mobilitie.com
786 910 4309 mobile
www.mobilitie.com

August 20th, 2017

400-Foot Radius Map



Subject: 215 67th St, Miami Beach, FL 33139

Legal Description: Public right of way

Source: Miami Dade County Property Appraiser, <http://gisweb.miamidade.gov/PublicNotification/>

Property Owner Name	Address	City	State	Zip Code	Country
ANDREA CLAUDIA ROSAS HERRERO	LA PAZ 145 VILLA CARLOS PAZ	CORDOBA		-	Argentina
LEOPOLDINE STANGL	HAMERLINGPLATZ 21M	VIENNA 1080		-	Austria
BERBPART INTERNATIONAL SERVICES	KINGS COURT 3RD FL BAY STREET	NASSAU		-	Bahamas
PEDRO RIVERO MERCADO &W ROSA J	CASILLA 2144	SANTA CRUZ		-	Bolivia
PEDRO L CORREA	RUA CORONEL QUIRINO 1343 APT 132	CAMPINAS SAO PAULO 13025-002		-	Brazil
ROGERIO SIMIONATO	RUA CONEGO AMARAL MELLO 28	SAO PAULO		-	Brazil
ALFAMED INDIAN CREEK LLC	AV BARAO DE ITAPURA 772	13020-431 CAMPINAS	SP	-	Brazil
CMZ LLC	PO BOX 3099	TORTOLLA BVI		-	British Virgin Islands
ANNA SKREBUNAS LE	14 ROBALDON RD ISLINGTON	ONTARIO M9A 5A7		-	Canada
PAUL DELKUS	562 E HUNGRY BAY RD RR#1 PORT SEV	ONTARIO L0K 1S0		-	Canada
JAMES MICHAEL DEAN JR	62 OVERBANK CRESCENT	TORONTO ONTARIO M3A 1W2		-	Canada
DANIELE DIVITO	26 MARYDALE PLACE	WINNIPEG MB R2V 1R3		-	Canada
OXANA PODOPRIGORA	1 PLACE MONTGOMERY	ROXBORO		-	Canada
MARCIN SKIBA	127 MAJESTIC DR	MARKHAM ONTARIO L6C 2N5		-	Canada
YANIC SIMARD	2408 LAKESHORE BLVD WEST #14070	ETOBICOKE	ONTARIO	M8V 4A2	Canada
MARIO NARDONE	VIA TOLMINO 44	ROMA 00198		-	Italy
FABIO LOMBARDO	VIA DI CAMPO MARZIO 12	TRIESTE 34123		-	Italy
JOSE RAMON ANDREU ZERMENO	LORENZO DE HIGALDA 413	SANTA FE CP 05348 CUIJIMALPA		-	Mexico
MYRIAM F LANTERI	4 RUE DE VEDEL	MONTE CARLO 98000		-	Monaco
PEDRO MONT	LA ALBERCAL #180	LA MOLINA LIMA		-	Peru
YOHNNY RAMIREZ NUNEZ	AVENIDA TOMAS MARSANO	MIRAFLORES LIMA		2260	Peru
S F LAND LLC	6565 COLLINS AVE	MIAMI BEACH	FL	33141	USA
DEAUVILLE ASSOCIATES LLC	6701 COLLINS AVE ST JULIEN ROOM	MIAMI BEACH	FL	33141	USA
CCCC MIAMI BEACH LLC	1101 BRICKELL AVE STOWER 8 FL	MIAMI	FL	33131	USA
Z CAPITAL FLORIDA RESORT LLC	150 FIELD DR STE 300	LAKE FOREST	IL	60045	USA
JESUS CAMARAZA	15040 SW 183 TER	MIAMI	FL	33187	USA
BEE JAY INC	15921 DORNOCH ROUND	MIAMI LAKES	FL	33014-6580	USA
REAL ESTATE FUNDING COMPANY	6565 COLLINS AVE	MIAMI BEACH	FL	33141	USA
SOUTHERN BELL TEL & TEL CO	PO BOX 7207	BEDMINSTER	NJ	07921	USA
C & F ON INDIAN CREEK LLC	6350 PINETREE DR	MIAMI BEACH	FL	33141	USA
RICHARD GIOVANNI SKOLD	147 ALHAMBRA CIRCLE #240	CORAL GABLES	FL	33134-4513	USA

GREENBERG ASSOCIATES	PO BOX 1159	DEERFIELD	IL	60015	USA
6742 COLLINS AVENUE CORP.	555 NE 185 ST SUITE 201	MIAMI	FL	33179	USA
6752 COLLINS AVE CORP	555 NE 185 ST #201	MIAMI	FL	33179	USA
INFINITY NORMANS LLC	1920 E HALLANDALE BEACH BLVD #505	HALLANDALE BEACH	FL	33009	USA
NORTH BEACH PROPERTIES II LLC	PO BOX 414198	MIAMI BEACH	FL	33141	USA
6742 COLLINS AVENUE CORP	555 NE 185 ST #201	MIAMI	FL	33179	USA
RIST PROPERTIES LLC	6600 COLLINS AVE	MIAMI BEACH	FL	33141	USA
D & Y COLLINS LC	500 W CYPRESS CREEK RD SUITE 350	FORT LAUDERDALE	FL	33309	USA
PADRIAC A BERGIN TR	20185 E COUNTRY CLUB DR	AVENTURA	FL	33180-3048	USA
BERTHA MILAGROS GONZALEZ &	6725 HARDING AVE #201	MIAMI BEACH	FL	33141-5725	USA
STEFANO ARENA	1186 NE 210 TER	MIAMI	FL	33179	USA
ROGELIO BAEZ	6725 HARDING AVE #401	MIAMI BEACH	FL	33141	USA
MARK NADEL TRS	160 W 97 ST 10E	NEW YORK	NY	10025	USA
ANTINOGENES SOCORRO &W BERTHA	6725 HARDING AVE #601	MIAMI BEACH	FL	33141-5730	USA
HECTOR FERREYRA &W FABIOLA	6725 HARDING AVE #202	MIAMI BEACH	FL	33141-5725	USA
MANUEL H ELGARRESTA	6725 HARDING AVE 302	MIAMI BEACH	FL	33141	USA
ROSARIO ALONSO LE	8101 BYRON AVE 209	MIAMI BEACH	FL	33141	USA
AGOSTINO DIPIETRO	6725 HARDING AVE 502	MIAMI BEACH	FL	33141	USA
DONNA T SKARR	6725 HARDING AVE UNIT 602	MIAMI BEACH	FL	33141-5730	USA
ANTONIO POO GARCIA	6725 HARDING AVE 203	MIAMI BEACH	FL	33141	USA
ROGELIO JUSTINIANI &W MARIA V	6725 HARDING AVE UNIT 303	MIAMI BEACH	FL	33141-5726	USA
ANDREW ZILINSKAS &W MARY	2120 SO 50 AVE	CICERO	IL	60650	USA
LOURDES BARCENA	6725 HARDING AVE #503	MIAMI BEACH	FL	33141	USA
RENATO A GUTIERREZ	6725 HARDING AVE #204	MIAMI	FL	33141-5725	USA
JOSE E PERRONI &W ELENA M	6725 HARDING AVE APT 304	MIAMI BEACH	FL	33141-5726	USA
ISABEL ELGARRESTA	6725 HARDING AVE UNIT 404	MIAMI BEACH	FL	33141-5728	USA
MAURA C GOODMAN	1219 WEST FOSTER #1E	CHICAGO	IL	60640	USA
JESUS PENA &W FRANCYS	7870 SW 82 CT	MIAMI	FL	33143-3837	USA
CELIA MARIA SANTOS	6725 HARDING AVE #305	MIAMI BEACH	FL	33141-5726	USA
URUBO GROUP LLC	2020 NE 163 ST STE 300 D	MIAM	FL	33162	USA
ROZENILDES DE ALMEIDA PIMENTEL &	6725 HARDING AVE #505	MIAMI	FL	33141-5729	USA
AMPARO D SPRINGER	6725 HARDING AVE #206	MIAMI BEACH	FL	33141	USA
FERNANDO MARTI	6725 HARDING AVE APT 306	MIAMI BEACH	FL	33141-5727	USA
CHRISTIAN IVENS	6725 HARDING AVE UNIT 406	MIAMI BEACH	FL	33141-5728	USA
DRAGISA TOMIC &W VESNA TOMIC	6725 HARDING AVE #506	MIAMI	FL	33141-5729	USA
LOUIS TATTA	6725 HARDING AVE #207	MIAMI BEACH	FL	33141-5726	USA

JESUS H MACHADO &W ADA M DURAN	6725 HARDING AVE #307	MIAMI BEACH	FL	33141-5727	USA
LUIS HERNANDEZ	4291 SW 6 ST	MIAMI	FL	33134-1905	USA
JACQUES STAUDER	PO BOX 600368	N MIAMI BEACH	FL	33160	USA
NAZIRA ABDO-DECOSTER	6767 COLLINS AVE #200	MIAMI BEACH	FL	33141-3245	USA
RHAHIME AARON BELL	6767 COLLINS AVE #2100	MIAMI BEACH	FL	33141	USA
CARLOS L MIRAMONTES &W BARBARA	674 GRAND CONC	MIAMI	FL	33138	USA
PABLO A LARREA &W TESSIE	6767 COLLINS AVE UNIT 301	MIAMI BEACH	FL	33141-3204	USA
SANDRA ECHEVERRI	6767 COLLINS AVE #401	MIAMI	FL	33141-3204	USA
GENA LYNN MCFARLAND PARSONS TRS	1058 BUTTONWOOD DR E	SUGARLOAF KEY	FL	33032	USA
FRANCISCO D CORDERO CORDOVEZ	6767 COLLINS AVE UNIT 601	MIAMI BEACH	FL	33141-3204	USA
GEORGINA ABICH	1024 E JERSEY ST	ELIZABETH	NJ	07201	USA
DOUGLAS J M DE SOUZA	6767 COLLINS AVE #1801	MIAMI BEACH	FL	33141	USA
STERLING 901 LLC	6767 COLLINS AVE #901	MIAMI	FL	33141	USA
JOSE A PELAYO	6767 COLLINS AVE #1001	MIAMI BEACH	FL	33141-3265	USA
MARC KASPAR	6767 COLLINS AVE #1101	MIAMI BEACH	FL	33141-3265	USA
SRS SOUTHERN LLC	9 ORCHARD CIRCLE	SUFFERN	NY	10901	USA
SYLVIANE ROKAB TRUST	6767 COLLINS AVE #1401	MIAMI BEACH	FL	33141-3266	USA
STERLING CONDO LLC	2990 SW3 18 ST	MIAMI	FL	33145	USA
SIRICHA ASSAPIMONWAIT	7761 SW 145 ST	MIAMI	FL	33158	USA
MANUEL A BARBIERI &W	6767 COLLINS AVE #1701	MIAMI BEACH	FL	33141-3267	USA
TOMOKO N SUPAK TR	6767 COLLINS AVE #1901	MIAMI BEACH	FL	33141-3267	USA
MYRTA EL KASTAUI KAEGI TRS	6767 COLLINS AVE #2001	MIAMI BEACH	FL	33141	USA
ANITA SAU FUN NG	6767 COLLINS AVE #302	MIAMI BEACH	FL	33141-3204	USA
SAUVIMAR LEDEZMA TURNER	6767 COLLINS AVE #402	MIAMI BEACH	FL	33141	USA
CARIDAD LINERA	6767 COLLINS AVE #502	MIAMI BEACH	FL	33141-3204	USA
KAZIMIERZ SULKOWSKI &W ISABELLA	6767 COLLINS AVE #602	MIAMI BEACH	FL	33141-3264	USA
NUTE LLC	915 FAIRWAY DR	MIAMI BEACH	FL	33141	USA
GUILLERMO T SEGREDO TRS	5582 CAPE AQUA DR	SARASOTA	FL	34242	USA
EDGARDO ROMANO JR JTRS	6767 COLLINS AVE # 902	MIAMI BEACH	FL	33141	USA
ANTONIO RIZZI	6767 COLLINS AVE #1102	MIAMI BEACH	FL	33141-3265	USA
JOSEPH M & MANNELIA CARAM &	6767 COLLINS AVE #1202	MIAMI BEACH	FL	33141-3266	USA
ALCR INVEST II LLC	21711 FRONTENAC CT	BOCA RATON	FL	33433	USA
HUGO ALFREDO TORRIJOS DAJER	6767 COLLINS AVE 1502	MIAMI BEACH	FL	33141	USA
ROUGER BARREAL &W	1660 S TREASURE DR	MIAMI	FL	33141-4129	USA
CASTANEDA FAMILY LTD PARTNERSHIP	8135 SW 72 ST	MIAMI	FL	33143-3933	USA
PAUL D CLIFFORD	6767 COLLINS AVE #1802	MIAMI BEACH	FL	33141	USA
LUIS COURET &W LOURDES	6767 COLLINS AVE #1902	MIAMI BEACH	FL	33141-3267	USA
JESUS SANCHEZ TR & ARMANDO PEREZ &W SILVIA M &	7575 SW 60 ST 6767 COLLINS AVE #203	MIAMI MIAMI BEACH	FL FL	33143 33141-3204	USA USA

6767 COLLINS AVE LLC	6767 COLLINS AVE #303	MIAMI BEACH	FL	33141-3245	USA
JORGE L ESCALA &W SILVIA M	2450 SW 102 PL	MIAMI	FL	33165-2528	USA
ZUGEILYS PORRUA	6767 COLLINS AVE #503	MIAMI BEACH	FL	33141-3204	USA
JUAN A RODRIGUEZ	3295 W 4 AVE	HIALEAH	FL	33012	USA
JOSE S JACOBO &W ALMA P	6767 COLLINS AVE #703	MIAMI BEACH	FL	33141-3264	USA
SIRA VECIANA MUINO	6767 COLLINS AVE 803	MIAMI BEACH	FL	33141	USA
MADELINE MAZAIRA	16902 SW 79th PI	Palmetto Bay	FL	33157-4751	USA
CARMEN VILALLONGA	6767 COLLINS AVE #1003	MIAMI BEACH	FL	33141-3265	USA
LEMUEL A GONZALEZ &W OSANA	PO BOX 830443	MIAMI	FL	33283-0443	USA
JANET EUBANKS	6767 COLLINS AVE 1203	MIAMI BEACH	FL	33141	USA
TERESITA L LOPEZ	1320 SW 76 AVE	MIAMI	FL	33144-4438	USA
GC & AA INVESTMENTS LLC	6767 COLLINS AVE #1503	MIAMI BEACH	FL	33141	USA
CHRISTIAN WILLIAM HANSEN	6767 COLLINS AVE #1703	MIAMI BEACH	FL	33141	USA
TLF LAND INC	16 KENNEDY DR	MARLBORO	NJ	07746-2237	USA
MIRALLES INC	1390 BRICKELL AVE #200	MIAMI	FL	33131	USA
GLORIA A AGUILAR LIVING TRUST	7200 NW 1 AVE	MIAMI	FL	33150-3757	USA
WILFREDO FALCON TRS	251 SW 26 RD	MIAMI	FL	33129	USA
ESTHER ESMAT	6767 COLLINS AVE 404	MIAMI BEACH	FL	33141	USA
MARINA B SILVEIRA DE MAGALHAES	6767 COLLINS AVE # 504	MIAMI BEACH	FL	33141-3204	USA
ALCIDES CASTAGNA	25 SE 2 AVE STE 435	MIAMI	FL	33131-1548	USA
STAR ONE HOMES LTD	26 PALERMO AVE	CORAL GABELS	FL	33134	USA
DACOR ENTERPRISES LLC	6767 COLLINS AVE #804	MIAMI BEACH	FL	33141	USA
NYLLANDX CORPORATION	2221 NE 164 ST # 371	NORTH MIAMI BEACH	FL	33160	USA
CARLOS JOSE MANGABEIRA	6767 COLLINS AVE #1004	MIAMI BEACH FL	FL	33141	USA
GIUSEPPINA LUCIANO	6767 COLLINS AVE #1104	MIAMI BEACH	FL	33141-3265	USA
MARIO L GUERRIER	14301 SW 29 CT	FORT LAUDERDALE	FL	33330	USA
PATRICK R BRAGGER	6767 COLLINS AVE #1404	MIAMI BEACH	FL	33141	USA
GILBERTO ANTONIO GONZALEZ	6767 COLLINS AVE #1504	MIAMI	FL	33141	USA
GEMMA MARIA GARCIA	6767 COLLINS AVE UNIT 1604	MIAMI BEACH	FL	33141	USA
WILLIAM BABICK	6 MOLSBURY LN	CLARKSBURG	NJ	08510	USA
GAMSA ANSTALT	6767 COLLINS AVE UNIT 1804	MIAMI BEACH	FL	33141-3267	USA
ARMINDA ROMANO JTRS	6767 COLLINS AVE #1904	MIAMI BEACH	FL	33141	USA
NINOSKA VEGA TRS	13241 SW 25 ST	MIAMI	FL	33175	USA
GIULIA RIZZI	6767 COLLINS AVE #2104	MIAMI BEACH	FL	33141	USA
FRANK LOZANO &W LISETTE	6767 COLLINS AVE #TS- 2204	MIAMI BEACH	FL	33141-3245	USA
ALBERTO A FERNANDEZ &W	6330 SW 90 CT	MIAMI	FL	33173	USA
BORISLAV TODOROVIC	6767 COLLINS AVE #305	MIAMI BEACH	FL	33141	USA
PORFIRIO ROSALES TRS	6767 COLLINS AVE #405	MIAMI BEACH	FL	33141	USA
NORMAN MCKOY	6767 COLLINS AVE #505	MIAMI BEACH	FL	33141-3204	USA
ALFRA INVERSIONES LLC	546 COOVER RD	ANNAPOLIS	MD	21401	USA

LUIS JORGE RAFAEL ROJAS	6767 COLLINS AVE 705	MIAMI	FL	33141	USA
FRANCISCO GONZALEZ &W MARIA	6767 COLLINS AVE #805	MIAMI BCH	FL	33141-3264	USA
YAMILA ALI	6767 COLLINS AVE #905	MIAMI BEACH	FL	33141-3265	USA
UNIT 1005 STERLING LLC	901 PONCE DE LEON BLVD #204	CORAL GABLES	FL	33134	USA
ROBERTO VARGA	6767 COLLINS AVE # 1105	MIAMI BEACH	FL	33141	USA
I WAS WRONG INC	100 BISCYANE BLVD 3000	MIAMI	FL	33132	USA
VIMI BHATIA	7 PARK AVE #7F	NEW YORK	FL	10016	USA
RAFAEL BURGOS SR JTRS	6767 COLLINS AVE #1505	MIAMI BEACH	FL	33141	USA
RUBEN RODRIGUEZ	62 KENSINGTON DR	FORT LEE	NJ	07024	USA
THOUKIDIDIS STAVRIS	16 REEDS LANE	WOODCLIFF LAKE	NJ	07677	USA
MARIA R TARTAGLIA TRS	241 SW 19 RD	MIAMI	FL	33129	USA
HAL KATZEN	305 EAST 40 ST UNIT 7-S	NEW YORK	NY	10016	USA
KETTYJOE LLC	6767 COLLINS AVE # 2005	MIAMI BEACH	FL	33141	USA
GASPAR HERRERA	19700 SW 180 ST	MIAMI	FL	33187	USA
JOSEPH VICTOR BEHAR	6767 COLLINS AVE UNIT 2205	MIAMI BEACH	FL	33141	USA
MARTIN J GAVITO	64 WESSKUM WOOD ROAD	RIVERSIDE	CT	06878	USA
HSB CONDO LLC	6767 COLLINS AVE 306	MIAMI BEACH	FL	33141	USA
RAFAEL ABUGATTAS	6767 COLLINS AVE #406	MIAMI BEACH	FL	33141-3204	USA
LUIS C PINHO & TATIANA CASANOVA &	6767 COLLINS AVE #506	MIAMI BEACH	FL	33141-3204	USA
ROSA LARUE & MERCEDES SOSA	6767 COLLINS AVE #606	MIAMI BEACH	FL	33141-3264	USA
ANTONIO LEON	10421 SW 142 AVE	MIAMI	FL	33186	USA
ROBERT A MASTRAPA &W CECILIA	9350 SW 108 ST	MIAMI	FL	33176	USA
GEORGE IRSAY TRS	6767 COLLINS AVE 906	MIAMI BEACH	FL	33141	USA
ASCOT MIAMI LLC	6767 COLLINS AVE #1006	MIAMI BEACH	FL	33141	USA
LUIS ORTIZ &W IRIS	6767 COLLINS AVE APT 1106	MIAMI	FL	33141-3265	USA
FERNANDO LOPEZ PARAVICINI TRS	6767 COLLINS AVE 1206	MIAMI BEACH	FL	33141	USA
SARA R CORRADO &H SAM CORRADO	6767 COLLINS AVE #1406	MIAMI BEACH	FL	33141-3266	USA
REMIGIO GARCIA	6767 COLLINS AVE #1606	MIAMI BEACH	FL	33141-3267	USA
ORLANDO E SUERO &W ANA	6767 COLLINS AVE #1706	MIAMI BEACH	FL	33141-3267	USA
LOURDES Z MENESES JTRS	105 SW 96 CT	MIAMI	FL	33174	USA
DMITRY MELNIKOV	6767 COLLINS AVE #1906	MIAMI BEACH	FL	33141	USA
BENIGNO RODRIGUEZ PEREZ	10063 SW 156 AVE	MIAMI	FL	33196	USA
JASEN WALKER &W ESTHER W	22 COOL VALLEY RD	MALVERN	PA	19355	USA
FRANK E LOZANO &W	6767 COLLINS AVE #2206	MIAMI BEACH	FL	33140	USA
MANUEL SOTOMAYOR (EST OF)	6767 COLLINS AVE UNIT 307	MIAMI BEACH	FL	33141-3204	USA
AMY GONZALEZ	320 FLAGAMI BLVD	MIAMI	FL	33144-2660	USA

MESIROKALA LLC	6767 COLLINS AVE UNIT #507	MIAMI	FL	33141	USA
STERLING 6767 LLC	2287 NW 36 ST	MIAMI	FL	33142	USA
TEREZINHA WANDERLEY CHRYSAKIS TRS	4515 WILLARD AVE#604	CHEVY CHASE	MD	20815	USA
LUIS & CARLOTA DE LERMA TRS	6767 COLLINS AVE #807	MIAMI	FL	33141-3264	USA
OSCAR D LOPEZ &W TERESITA	6767 COLLINS AVE #907	MIAMI BEACH	FL	33141-3265	USA
ZOHAIR S ALAM	17621 AUBURN VILLAGE DR	SANDY SPRING	MD	20860	USA
HORACIO VALDES &W MARGARITA D	6767 COLLINS AVE #1107	MIAMI BEACH	FL	33141-3265	USA
SURETY TECH CORP	1210 WREN AVE	MIAMI SPRINGS	FL	33166	USA
JOHN BARTOLONE	160 BALMFORTH ST	BRIDGEPORT	CT	06605	USA
TROVATELLO MIAMI BEACH LLC	310 ARTHUR GODFREY RD	MIAMI BEACH	FL	33139	USA
FLFJ CUELLO FAMILY LLLP	4425 ALTON RD	MIAMI BEACH	FL	33140	USA
LUIS LLC	2328 NW 7 ST	MIAMI	FL	33125-3249	USA
CARMEN LUZ DE LERMA	6767 COLLINS AVE UNIT 1807	MIAMI BEACH	FL	33141-3267	USA
TANER GUVEN	6767 COLLINS AVE 1907	MIAMI BEACH	FL	33141	USA
LUIS A DIAZ-SECADES &W ESTHER	10455 SW 56 ST	MIAMI	FL	33165-7060	USA
IARA M GASPAR	6767 COLLINS AVE #2107	MIAMI BEACH	FL	33141-3268	USA
MODESTO LEON	6767 COLLINS AVE #308	MIAMI BEACH	FL	33141	USA
ROSE SAYRE	PO BOX 414814	MIAMI BEACH	FL	33141-0814	USA
MARCO A NUNES SA	6767 COLLINS AVE # 508	MIAMI BEACH	FL	33141	USA
JOSE PARRA	9900 NW 137 ST	HIALEAH GARDENS	FL	33016	USA
JOSE ABOUAF	19351 SW 14 STREET	PEMBROKE PINES	FL	33029	USA
SENEN MAZAIRA &W MARIA F	PO BOX 414068	MIAMI BEACH	FL	33141-0068	USA
ALEXIS MANTECON & RICHARD KAPLAN	6767 COLLINS AVE 2700 LAUREL PASS	MIA LOS ANGELES	FL CA	33140 90046	USA USA
EDDY J AZCUY &W MIRIAM	6767 COLLINS AVE UNIT 1208	MIAMI BEACH	FL	33141-3266	USA
VIDASIL HOLDINGS LTD	6767 COLLINS AVE #1408	MIAMI BEACH	FL	33141	USA
JOKAB ENTERPRISES INC	6767 COLLINS AVE 2005	MIAMI BEACH	FL	33141	USA
FOTERO ETXEA LLC	11744 NW 47 DR	CORAL SPRINGS	FL	33076	USA
JOHN MARSHALL	49 KENT DRIVE	CORTLANDT MANOR	NY	10567	USA
PEDRO A GOICOURIA &W BERTA G	6767 COLLINS AVE UNIT 1808	MIAMI BEACH	FL	33141-3267	USA
ARMANDO GUTIERREZ	604 MAJORCA AVE	CORAL GABLES	FL	33134	USA
MARIO J VERDEJA SR	2122 NW 7 AVE	MIAMI	FL	33127	USA
LUCRECIA A & AMY L GONZALEZ &	12995 NW 2 ST	MIAMI	FL	33182-1105	USA
ANTONIO E LEON TRS	6301 COLLINS AVE #2601	MIAMI BEACH	FL	33141	USA
JAMES E TALAMAS	6767 COLLINS AVE UNIT 609	MIAMI BEACH	FL	33141-3264	USA
PETER E PADRON TRS	6767 COLLINS AVE 709	MIAMI BEACH	FL	33141	USA
CHARLES A MACIAS	8355 NW 158 TER	MIAMI LAKES	FL	33016	USA
OFELIA D ALVAREZ	6767 COLLINS AVE UNIT 909	MIAMI BEACH	FL	33141-3265	USA

JORGE A & IVIA ORTEGA (TRS)	345 PIONEER DR #1604W	GLENDALE	CA	91203	USA
BLACKHAWK MANAGEMENT LTD	6767 COLLINS AVE #1109	MIAMI BEACH	FL	33141-3265	USA
INGRID MACHADO	7374 SW 93RD AVE STE 202	MIAMI	FL	33173-3246	USA
AMPARO LAGE LE	6767 COLLINS AVE #1409	MIAMI BEACH	FL	33141-3266	USA
MICHAEL A ROBBINS	6767 COLLINS AVE #1509	MIAMI BEACH	FL	33141-3266	USA
JORGE GUERRA &W MARTHA B	8440 SW 58 ST	MIAMI	FL	33143-1506	USA
ALEJANDRO HADAD	10357 NW 45 LN	MIAMI	FL	33178-2252	USA
METZ & MAIOR LLC	6767 COLLINS AVE #1809	MIAMI BEACH	FL	33139	USA
ANTHONY STISO	6767 COLLINS AVE #1909	MIAMI BEACH	FL	33141-3268	USA
VAYU PRIVATE LLC	7258 SW 120 CT	MIAMI	FL	33183	USA
MIGUEL A NUNEZ &W JEANNETTE	11000 SW 74 CT	MIAMI	FL	33156-4516	USA
SUSAN CULLIGAN	1900 PURDY AVE 2310	MIAMI BEACH	FL	33139	USA
NEY R K LESSA &W ELIANE S	6767 COLLINS AVE UNIT 410	MIAMI BEACH	FL	33141-3204	USA
CARLOS A NUNEZ &W DENISE	6767 COLLINS AVE #510	MIAMI BEACH	FL	33141-3204	USA
JUAN A RODRIGUEZ &W MIRTA C	3295 WEST 4 AVE	HIALEAH	FL	33012-5308	USA
MARGARITA I MUINA TRUSTEE	6767 COLLINS AVE #710	MIAMI BEACH	FL	33141	USA
HELOISA MARIA PEZZI MAIA	6767 COLLINS AVE #810	MIAMI BEACH	FL	33141	USA
JACINTO J & NEREYDA RESTOY	6767 COLLINS AVE UNIT 910	MIAMI BEACH	FL	33141-3265	USA
BENEDICTO F ALVAREZ LE	6767 COLLINS AVE 1010	MIAMI BEACH	FL	33141-3245	USA
DAVID KWILECKI	17 MILE RD	SUFFERN	NY	10901-3505	USA
ROGER CRUZ &W CLARIVEL	6767 COLLINS AVE #1210	MIAMI BEACH	FL	33141-3266	USA
NELSON P MENDES	6767 COLLINS AVE #1410	MIAMI BEACH	FL	33141-3266	USA
GABRIEL A FALLA TR	6767 COLLINS AVE #1510	MIAMI BEACH	FL	33141-3290	USA
DAYNET HERNANDEZ RODRIGUEZ	13780 SW 38 ST	MIAMI	FL	33175	USA
THE GRAND 1536 LLC	1717 N BAYSHORE DR A1536	MIAMI	FL	33132	USA
VIKTOR WAGNER	6767 COLLINS AVE UNIT 1810	MIAMI BEACH	FL	33141-3267	USA
KENNETH M WERNER	PO BOX 5820	MIAMI BEACH	FL	33141	USA
JAVIER PERAL	11300 SW 65 AVE	PINECREST	FL	33156-4847	USA
MAYURI RAVAL	3640 YACHT CLUB DR #202	MIAMI	FL	33180-3569	USA
ZENAIDA PAREDES	6801 HARDING AVE #201	MIAMI BEACH	FL	33141-3829	USA
NALDY PETITTO	3751 NE 170 ST UNIT 2	NORTH MIAMI BEACH	FL	33160	USA
TERESA RODRIGUEZ	1150 COLLINS AVE UNIT 205	MIAMI BEACH	FL	33139-4629	USA
HAYDEE AVILA	6801 HARDING AVE #202	MIAMI BEACH	FL	33141	USA
JOSE MARTINEZ &W OLGA	231 NW 57 CT	MIAMI	FL	33126	USA
PAVOL MUDRIK	6801 HARDING AVE 402	MIAMI BEACH	FL	33141	USA
EMILIO R CORRALES JTRS	251 NW 177 ST #A223	MIAMI	FL	33169	USA
ALBERT V MARTI TRS	6461 W 73 PL	ARVADA	CO	80003	USA

JUAN REYES	48 SW 136 PLACE	MIAMI	FL	33184	USA
MARCOS CAMERON	6023 KENNEDY BLVD E APT 4	WEST NEW YORK	NJ	07093-3865	USA
DHURATA LALA	7921 BYRON AVE #501	MIAMI BEACH	FL	33141	USA
LILIA B HOWARD	6801 HARDING AVE #204	MIAMI BEACH	FL	33141	USA
JOSE E BLANCO LE	6801 HARDING AVE 304	MIAMI BEACH	FL	33141	USA
PAOLO SCOTUZZI &W MARIA CO-TRS	6801 HARDING AVE APT 404	MIAMMI BEACH	FL	33141-3850	USA
JOSE ENRIQUE CONDE TRS	1023 NW 130 AVE	MIAMI	FL	33182	USA
NOEL SOCORRO	6820 INDIAN CREEK DR 303	MIAMI	FL	33141	USA
ASELA SARABIA LE	6801 HARDING AVE #305	MIAMI BEACH	FL	33141	USA
BLANCA ESCOBAR	6801 HARDING AVE # 405	MIAMI	FL	33141	USA
EZEQUIEL GUANIRE	6801 HARDING AVE 505	MIAMI BEACH	FL	33141	USA
IGNACIO J CABALLERO	2899 COLLINS AVE UNIT 1101	MIAMI BEACH	FL	33140	USA
RUFO J GUTIERREZ &W AMARILYS	13227 NW 8 TERR	MIAMI	FL	33182-2316	USA
ROBERTILIO BERMUDEZ	20430 SW 53 PL	FORT LAUDERDALE	FL	33332	USA
ROSA RODRIGUEZ	6801 HARDING AVE #506	MIAMI BEACH	FL	33141-3851	USA
MARIA L RAMIREZ	6801 HARDING AVE # 307	MIAMI BEACH	FL	33140	USA
CARMEN MENDEZ	222 RIVERSIDE DRIVE #11D	NEW YORK	NY	10025	USA
ANTONIA LLIRALDI	6801 HARDING AVE UNIT# 507	MIAMI BEACH	FL	33141	USA
HECTOR FRAGUELA	14200 SW 47 ST	MIAMI	FL	33175	USA
GLADYS VENEGAS	4071 N DIXIE HWY #19	OAKLAND PARK	FL	33334	USA
MAYRA J COLLAZO LE	600 SW 19 RD	MIAMI	FL	33129	USA
EUDELIO PINO TRS	9240 COLLINS AVE	SURFSIDE	FL	33154-3042	USA
CHICAGO PRODUCE HOLDINGS	1344 NW 23 ST	MIAMI	FL	33142	USA
CARLOS CASTILLO LE	6801 HARDING AVE 309	MIAMI BEACH	FL	33141	USA
NICOLAS RODRIGUEZ &W JOSEFINA	11815 SW 37 ST	MIAMI	FL	33175	USA
GEORGINA ZAYAS	PO BOX 821911	PEMBROKE PINES	FL	33082-1911	USA
GUILLERMO RODRIGUEZ	6801 HARDING AVE 210	MIAMI BEACH	FL	33141	USA
ELISA G GARCIA LE	2642 COLLINS AVE 401	MIAMI BEACH	FL	33140	USA
PATRICIO HERNANDEZ &W SONIA	5480 W 21 CT APT 302	HIALEAH	FL	33016-7047	USA
YOLANDA MARTINEZ	255 W 88 ST APT 8E	NEW YORK	NY	10024	USA
ABEL QUIROS	31 WILLIAMS ST	OSSINING	NY	10562	USA
ANTONIO RUIZ &W MARIA T PRIETO	12350 SW 96 ST	MIAMI	FL	33186-2524	USA
FREDY FERNANDEZ TRS	6801 HARDING AVE #411	MIAMI BEACH	FL	33141	USA
RAGNAR BRAVO &W	6801 HARDING AVE #511	MIAMI BEACH	FL	33141-3851	USA
ENRIQUE RUIZ &W ANTONIA	801 LIBERTY AVE	NO BERGEN	NJ	07047	USA
PAOLO SCOTUZZI &W MARIA E NION	6801 HARDING AVE #404 6801 HARDING AVE UNIT 412	MIAMI BEACH MIAMI BEACH	FL FL	33141-3850 33141-3850	USA USA
MAX GUZMAN LE	7735 ABBOTT AVE 5F	MIAMI BEACH	FL	33141	USA
NORMA MORENO	6801 HARDING AVE #213	MIAMI BEACH	FL	33141-3829	USA
FRANCISCO TIBURCIO VALHUERDI	6050 NW 179 TER	MIAMI	FL	33015	USA
LILLIAN P BLONDET	2000 N BAYSHORE DR #1007	MIAMI	FL	33137-5122	USA

ISIDRO SUAREZ	6801 HARDING AVE #513	MIAMI BEACH	FL	33141-3851	USA
ALEJANDRO MATEO DE ACOSTA	9015 SW 56 TER	MIAMI	FL	33173	USA
EMELINA GONZALEZ	6801 HARDING AVE #314	MIAMI	FL	33141-3849	USA
MIGUEL RODRIGUEZ	6801 HARDING AVE UNIT 414	MIAMI BEACH	FL	33141-3850	USA
NORA V BERGASA & PILAR ALVAREZ	6801 HARDING AVE #215	MIAMI BEACH	FL	33141-3829	USA
LUIZ LAGE TRS	6767 COLLINS AVE APT 1409	MIAMI BEACH	FL	33141-3266	USA
MARCEL ROVIRA (BEN OF)	6801 HARDING AVE #415	MIAMI BEACH	FL	33141-3850	USA
RAMON RODRIGUEZ &W MARTA	6801 HARDING AVE UNIT 515	MIAMI BEACH	FL	33141-3851	USA
SUNSHINE DEVELOPMENT USA CO INC	9963 SW 27 TERR	MIAMI	FL	33165-2601	USA
TERESITA RODRIGUEZ	1150 COLLINS AVE # 305	MIAMI BEACH	FL	33139	USA
IVAN BALLATE	6801 HARDING AVE APT # 515	MIAMI BEACH	FL	33141	USA
EVA SANCHEZ & RICARDO GUTIERREZ	6801 HARDING AVE UNIT 516	MIAMI BEACH	FL	33141-3851	USA
RODZ FAMILY SERIES 3	2124 MOUNTAIN RAIL DR NO	LAS VEGAS	NV	89084	USA
FEDERAL NATIONAL MORTGAGE ASSN	14221 DALLAS PARKWAY STE 1000	DALLAS	TX	75254	USA
RODZ FAMILY SERIES 4	2124 MOUNTAIN RAIL DRIVE NO	LAS VEGAS	NV	89084	USA
SERGIO SARACENI &W SONIA	6801 HARDING AVE #517	MIAMI BEACH	FL	33141-3851	USA
JESUS GENER &W MAUREEN GONZALEZ	6801 HARDING AVE UNIT 218	MIAMI BEACH	FL	33141-3829	USA
MARIO D RODRIGUEZ	4501 PALM AVE #104	HIALEAH	FL	33012-4075	USA
FREDDY SANCHEZ	6801 HARDING AVE #418	MIAMI BEACH	FL	33141-3850	USA
EDUARDO J CASTINEIRA	1315 SW 94 AVE	MIAMI	FL	33174	USA
MONICA RODRIGUEZ	6801 HARDING AVE #219	MIAMI BEACH	FL	33141-3829	USA
MARTA SAENZ	6801 HARDING AVE #319	MIAMI BEACH	FL	33141-3849	USA
LILIANA EDITH DIALUCE	6801 HARDING AVE 419	MIAMI BEACH	FL	33141	USA
ALVARO BORRELL &W FLOR G	152 CORTLAND ST # 1	SLEEPY HOLLOW	NY	10591	USA
JOSE L SANTIAGO &W MARIA C	6801 HARDING AVE UNIT 220	MIAMI BEACH	FL	33141-3829	USA
ALFREDO AROCHA &W	6801 HARDING AVE #320	MIAMI BEACH	FL	33141-3849	USA
CARLOS &W VILLET	6801 HARDING AVE #420	MIAMI	FL	33141-3850	USA
SILVIA G LLENIN	6801 HARDING AVE UNIT 221	MIAMI BEACH	FL	33141-3829	USA
ELIANA LOYOLA	6801 HARDING AVE UNIT 321	MIAMI BEACH	FL	33141-3849	USA
MANUEL O SANTANA	6801 HARDING AVE #421	MIAMI BEACH	FL	33141-3850	USA
MIGUEL CASTINEIRA	6801 HARDING AVE #521	MIAMI	FL	33141-3851	USA
ALEIDA ALVAREZ	6801 HARDING AVE UNIT 222	MIAMI BEACH	FL	33141-3829	USA
YOLANDA ALVAREZ DE LA CAMPA	6801 HARDING AVE UNIT 322	MIAMI BEACH	FL	33141-3849	USA
TATIANA C SIQUIERA	6801 HARDING AVE #422	BAY HARBOR ISLANDS	FL	33141	USA
LIVIA REVO	6801 HARDING AVE #522	MIAMI BEACH	FL	33141-3851	USA

CARLOS ERNESTO GURRI	6801 HARDING AVE 223	MIAMI BEACH	FL	33141	USA
IVAN HERNANDEZ & MANUEL VALDES	12374 NW 98 PL	HIALEAH GARDENS	FL	33018	USA
ZOILA DIAZ	6801 HARDING AVE #523	MIAMI	FL	33141-3851	USA
1135 97TH ST LLP	1951 NE 149 ST	NORTH MIAMI	FL	33181	USA
JEANETTE MONTENEGRO	6770 INDIAN CREEK DR #4-A	MIAMI	FL	33141-5709	USA
JAMES BLATT	85 COLES ST	JERSEY CITY	NJ	07302	USA
CERNAUTI LLC	2899 COLLINS AVE 606	MIAMI BEACH	FL	33140	USA
CHAZON CITY LLC	7135 COLLINS AVE #631	MIAMI	FL	33141	USA
CADILLAC HOTEL LTD	6565 COLLINS AVE	MIAMI BEACH	FL	33141	USA
YSABEL J LUZARRAGA	14398 SW 25 TERR	MIAMI	FL	33175	USA
FRAC GROUP LLC	1090 KANE CONCOURSE STE 207	BAY HARBOR ISLANDS	FL	33154	USA
ROBERT PRIZONT	3411 INDIAN CREEK DR #1402	MIAMI BEACH	FL	33140	USA
JAVIER MARTINEZ	6770 INDIAN CREEK DRIVE #12A	MIAMI BEACH	FL	33141	USA
DANIEL CICILIA	6770 INDIAN CREEK DR #14A	MIAMI BEACH	FL	33141	USA
SEAN SHEER	6770 INDIAN CREEK DR 15-A	MIAMI	FL	33141	USA
ELIJAM HOLDINGS LLC	8772 SW 61 AVE	MIAMI	FL	33143	USA
SRDJAN RELJIN	100 KINGS POINT DR 1602	SUNNY ISLES BEACH	FL	33160	USA
HERIBERTO BARRIO &W GRASSY BLUE LLC	1409 45 ST	N BERGEN	NJ	07047	USA
	100 N BISCAYNE BLVD STE 500	MIAMI	FL	33132	USA
SILVIA CLEMENTE	6770 INDIAN CREEK DR 6-B	MIAMI	FL	33141	USA
IRIS SOTO	6770 INDIAN CREEK DR #7-B	MIAMI BEACH	FL	33141-5750	USA
WALTER MENCIO	2001 SW 82 CT	MIAMI	FL	33155-1209	USA
ALEJANDRO M DE LA FUENTE	27 LORING RD	WESTON	MA	02493	USA
RAIMUNDO GONZALEZ	670 NE 73 ST	MIA	FL	33138-5112	USA
JUAN L RAMIREZ &W GLADYS C	102 60 ST	WEST NEW YORK	NJ	07093	USA
EMILIO D CASTRO	14811 SW 9 LN	MIAMI	FL	33194	USA
BRUCE R FISH	6640 ALLISON ROAD	MIAMI BEACH	FL	33141-4511	USA
MARGARITA LULO	6770 INDIAN CREEK DR #15B	MIAMI BEACH	FL	33141	USA
ELIANE GONCALVES	6770 INDIAN CREEK DR #PH-B	MIAMI BEACH	FL	33141	USA
LUC HINTERMANN	6770 INDIAN CREEK DR APT TSB	MIAMI BEACH	FL	33141	USA
A AND R HOME SOLUTIONS LLC	1414 NW 107 AVE STE 215	MIAMI	FL	33172	USA
LAURA L SANCHEZ	6770 INDIAN CREEK DR #4 -C	MIAMI BEACH	FL	33141-5710	USA
CONSUELO GARCIA	6770 INDIAN CREEK DR 5C	MIAMI	FL	33141-5710	USA
NORMA F BUIDE TRS	6770 INDIAN CREEK DR #6 -C	MIAMI BEACH	FL	33141-5749	USA
VANESSA & GLADYS MUNOZ	6770 INDIAN CREEK DR #7-C	MIAMI	FL	33141-5750	USA

JOSEPH RYAN	6770 INDIAN CREEK DR UNIT 8-C	MIAMI BEACH	FL	33141	USA
GLENN A DRYFOOS TR	5214 LA GORCE DR	MIAMI BEACH	FL	33140-2106	USA
LUIS A DIAZ SECADES & RICHARD AGUILAR	10455 SW 56 ST	MIAMI	FL	33165-7060	USA
	6770 INDIAN CREEK DR #11-C	MIAMI BEACH	FL	33141-5752	USA
LUBIN REYES	6770 INDIAN CREEK DR #12-C	MIAMI BEACH	FL	33141-5712	USA
CARMELA JACOBITTI	6770 INDIAN CREEK DR APT 14C	MIAMI	FL	33141-5755	USA
GUILLERMO LUIS BOLGER	6770 INDIAN CREEK DR 15-C	MIAMI BEACH	FL	33141	USA
ALFONSO E PARDO	14958 SW 11 LN	MIAMI	FL	33194	USA
HECTOR L FIGALLO	7300 SW 67 CT	MIAMI	FL	33143	USA
CRISTIAN LONGO	6770 INDIAN CREEK DR #4-D	MIAMI BEACH	FL	33141-5710	USA
CHARLOTTE RICHMOND	6770 INDIAN CREEK DR #5-D	MIAMI BEACH	FL	33141-5710	USA
TEO INVESTMENTS GROUP LLC	6770 INDIAN BEACH DR # 6D	MIAMI BEACH	FL	33141	USA
ONE HEAD LLC	2875 NE 191 ST TURNBERRY PLAZA	AVENTURA	FL	33180	USA
MBBR LLC	7501 E TREASURE DR 5 S	MIAMI	FL	33141	USA
AQUASOL CONDOMINIUM	6925 NW 42 ST	MIAMI	FL	33166	USA
LEI Y PRINCE	6770 INDIAN CREEK DR #10-D	MIAMI BEACH	FL	33141-5754	USA
GUILLERMO SANCHEZ	6770 INDIAN CREEK DR #11-D	MIAMI BEACH	FL	33141-5752	USA
ELIJAM HOLDINGS LLC TRS	8772 SW 61 AVE	MIAMI	FL	33143	USA
LUCREZZIA L DAVIDSON	6770 INDIAN CREEK SR #14D	MIAMI	FL	33141	USA
MANUEL P TORRECILLA	6770 INDIAN CREEK DR #15D	MIAMI BEACH	FL	33141-5713	USA
NORA V BERGASA	245 E 93 ST APT #4-C	NEW YORK	NY	10128	USA
BRUCE R FISH & MARIELA MARTINEZ	6640 ALLISON RD	MIAMI BEACH	FL	33141-4511	USA
	6770 INDIAN CREEK DR T E	MIAMI BEACH	FL	33141	USA
SONYA ARNOLD	6770 INDIAN CREEK DRIVE # 4E	MIAMI BEACH	FL	33141-5710	USA
CLAUDIA HUNSCHE PINTO RIBEIRO	6770 INDIAN CREEK DR UNIT #5-E	MIAMI BEACH	FL	33141	USA
MARIA ISABEL SCHAMBACH	137 E 36 ST 12A	NEW YORK	NY	10016	USA
DONALD INNISS &W GLORIA	6770 INDIAN CREEK DR 7- E	MIAMI BEACH	FL	33141-5750	USA
MARIA NAPOLITANO &H RALPH	11 WEST20 ST 8TH FL	NEW YORK	NY	10011	USA
UMUT KESKIN	6770 INDIAN CREEK DR 9E	MIAMI BEACH	FL	33141	USA
DIEGO SOTO	6770 INDIAN CREEK DR #10-E	MIAMI BEACH	FL	33141-5754	USA
CATAMARAN CORP UV ASSETS LLC	305 ALCAZAR AVE 3 3332 NE 190 STREET #1010	CORAL GABLES AVENTURA	FL FL	33134 33180	USA USA

JASMIN ELIZABETH PAULSON	6770 INDIAN CREEK DR #14E	MIAMI BEACH	FL	33141	USA
MITHAT ERHAN YENEL	6770 INDIAN CREEK RD #15E	MIAMI BEACH	FL	33141	USA
BINH TAM LAM	6770 INDIAN CREEK DR PHE	MIAMI	FL	33141	USA
ERNA BERGER	6770 INDIAN CREEK DR TS-E	MIAMI BEACH	FL	33141-5716	USA
NUMERO 99 LLC	6770 INDIAN CREEK DR TF	MIAMI BEACH	FL	33141	USA
ROSELLA DE LEONARDIS	1300 PARK NEWPORT APT 317	NEWPORT BEACH	CA	92660-5032	USA
ROBERT W VALE	7175 NW 48 CT	LAUDERHILL	FL	33319	USA
TIMOTHY M JOHNSON	6770 INDIAN CREEK DR 7 F	MIAMI	FL	33141	USA
KAUSTUBH NADKARNI	6770 INDIAN CREEK DR #8-F	MIAMI BEACH	FL	33141-5711	USA
JORGE E ALONSO	6770 INDIAN CREEK DR #9-F	MIAMI BEACH	FL	33141-5751	USA
GENAKER CORP	8603 S DIXIE HWY # 218	MIAMI	FL	33143	USA
JIMMY HENRIQUEZ	6770 INDIAN CREEK DR #11-F	MIAMI BEACH	FL	33141-5752	USA
EDUARDO STRAUCH	6770 INDIAN CREEK DR #12-F	MIAMI BEACH	FL	33141-5712	USA
DAVID HADDOW	6770 INDIAN CREEK DR #14-F	MIAMI BEACH	FL	33141-5755	USA
NICOLAS POSSELT	6355 NW 36 ST # 505B	VIRGINIA GARDENS	FL	33166	USA
LTZ LLC	6770 INDIAN CREEK DR T G	MIAMI BEACH	FL	33141	USA
MALELU MIAMI LLC	2030 GREENWOOD AVE	WILMETTE	IL	60091	USA
VELISA SAVIC	6770 INDIAN CREEK DR 5 G	MIAMI BEACH	FL	33141	USA
ROSARIO MELIAN	14398 SW 25 TER	MIAMI	FL	33175	USA
RITA DE CACIA OLIVEIRA SANTOS	6770 INDIAN CREEK DR #7-G	MIAMI BEACH	FL	33141	USA
DARLENE HORTON	6770 INDIAN CREEK DR #10-G	MIAMI BEACH	FL	33141-5754	USA
BINH T LAM	6770 INDIAN CREEK DR #11G	MIAMI BEACH	FL	33141	USA
WHITE STEEL LLC	1621 CORNWALL AVE	BELLINGHAM	WA	98225	USA
SYLVAIN CALVO &W FRANCINE &	6770 INDIAN CREEK DR #14-G	MIAMI BEACH	FL	33141-5712	USA
DONNA GIORDANO &H MATHEWJTRS	37 FERNDAL AVENUE	MORRISTOWN	NJ	07960	USA
PAUL E FRASCOIA TRS	6770 INDIAN CREEK DR PH G	MIAMI BEACH	FL	33141	USA
DANILO NANNI	6770 INDIAN CREEK DR #4-H	MIAMI BEACH	FL	33141-5710	USA
MAITE FERNANDEZ DOMINGO	6770 INDIAN CREEK DR #5-H	MIAMI BEACH	FL	33141-5710	USA
YEZENIA CASILLAS	6770 INDIAN CREEK DR #6-H	MIAMI BEACH	FL	33141-5749	USA
NAMILOR CORP	5600 COLLINS AVE # 10A	MIAMI BEACH	FL	33140	USA
AGNES AMIACH	6770 INDIAN CREEK DR #8	MIAMI BEACH	FL	33141	USA
TENNESEE O BACELLAR	84 TOP SAIL CT	BAYVILLE	NJ	08721	USA

NICHOLAS PORRAS	6770 INDIAN CREEK DR 10H	MIAMI	FL	33141-5754	USA
TRIMARAN CORP	1820 N CORPORATE LAKES 306	WESTON	FL	33326	USA
ROBERT & MARGARITA GRASING	551 WATEREDGE AVE	BALDWIN	NY	11510	USA
REGINA VERDEZA	6770 INDIAN CREEK DR #14-H	MIAMI BEACH	FL	33141-5755	USA
VITALI INVESTMENTS LLC	7306 COLLINS AVE 75	MIAMI BEACH	FL	33141	USA
NUBIA CONSUELO RAGONE	6770 INDIAN CREEK DR PH H	MIAMI	FL	33141	USA
SAGUARO LTD	6770 INDIAN CREEK DR TS-H	MIAMI BEACH	FL	33141	USA
GARY S MARGULES &W IVY M	1065 STILLWATER DR	MIAMI BEACH	FL	33141-1023	USA
MARICELA PRIETO & SAXO INVESTMENT LLC	12281 SW 194ST	MIAMI	FL	33177	USA
	6770 INDIAN CREEK DR #6-J	MIAMI BEACH	FL	33141	USA
NICE ONE LLC	8816 COLLINS AVE # 301	MIAMI BEACH	FL	33154	USA
BISAZZA REAL ESTATE LLC	8301 NW 197 ST	MIAMI	FL	33015	USA
ROGER A VALECILLOS JR	6770 INDIAN CREEK DR #10-J	MIAMI BEACH	FL	33141-5754	USA
MIRTHA SANCHEZ	6770 INDIAN CREEK DR #12-J	MIAMI BEACH	FL	33141-5712	USA
BRENDA VEMICH TRS	6770 INDIAN CREEK DR #14J	MIAMI BEACH	FL	33141	USA
ELIGIO MUNIZ &W MARIA L GARCIA	4328 SW 136 PL	MIAMI	FL	33175	USA
SILVIA BOLET LE	5673 S WINDSONG LN	STUART	FL	34997	USA
CARMINA GIRALDO	6770 INDIAN CREEK DR #5-K	MIAMI BEACH	FL	33141-5710	USA
ALICIA GOMEZ SORIANO	9811 SW 145 AVE	MIAMI	FL	33186-8413	USA
MARIA E FAUNDE	18694 SW 16 ST	PEMBROKE PINES	FL	33029	USA
CARLOTA REYNA VIDAL	6770 INDIAN CREEK DR #8-K	MIAMI BEACH	FL	33141-5711	USA
INES BEDRAN	6770 INDIAN CREEK DR #9-K	MIAMI BEACH	FL	33139	USA
LAURIE R GALVIN TRS	6770 INDIAN CREEK DR #10K	MIAMI BEACH	FL	33141	USA
HERLINDA BATISTA	6770 INDIAN CREEK DR APT 12K	MIAMI BEACH	FL	33141	USA
MARTHA GODOY	7611 MIAMI VIEW DR	NORTH BAY VILLAGE	FL	33141-4036	USA
WILLIE FELDMAN	49 CARROLL ST #2R	BROOKLYN	NY	11231	USA
LUMA INTERNATIONAL INC	6770 INDIAN CREEK DR #PH-K	MIAMI	FL	33141	USA
SANTA FE INVESTMENTS LLC	7306 COLLINS AVE #75	MIAMI BEACH	FL	33141	USA
SILVER ONE LLC	8816 COLLINS AVE	SURFSIDE	FL	33154	USA
DOEL USA LLC	150 SE 2 AVE STE #1010	MIAMI	FL	33131	USA
KATHRYN OXENHORN	6770 INDIAN CREEK DR #6L	MIAMI EBACH	FL	33141	USA
LILIA PEREZ	6725 SW 28 ST	MIAMI	FL	33155-3801	USA
PATRICIA MATIA	6770 INDIAN CREEK DR #8L	MIAMI	FL	33141	USA
GUSTAVO A LAURIA	5700 COLLINS AVE #3X	MIAMI BEACH	FL	33140	USA

VIVASLAVA LLC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
JEROME FIELDS TRS	5 ADDISON LN	GREENVALE	NY	11548	USA
GABRIELA H BRORSON JORGENSEN	6770 INDIAN CREEK DR # 12 L	MIAMI BEACH	FL	33141	USA
SERHAN KILIC CETIN	6770 INDIAN CREEK DR #14L	MIAMI	FL	33141	USA
NIEVES CONDE	500 93 ST	SURFSIDE	FL	33154	USA
SMART ENTERPRISES LLC	2600 ISLAND BLVD APT 2002	AVENTURA	FL	33160	USA
CARLOS A HERRERA	13320 SW 98TH PL	MIAMI	FL	33176-6159	USA
RICHARD H CRISCI &W BARBARA L	55 AMHERST RD	ALBERTSON	NY	11507	USA
CORSAIR ESTATE FL LLC	715 N HUDSON #B	OKLAHOMA CITY	OK	73102	USA
CAROLINE MURRAY	6770 INDIAN CREEK DR #6-M	MIAMI BEACH	FL	33141-5749	USA
JACOB EKSTEIN	1 IRVING PL P-9A	NEW YORK	NY	10003	USA
MARIA D VENTURA TRAVESET	6770 INDIAN CREEK DR #8-M	MIAMI BEACH	FL	33141-5711	USA
MARIA VELEZ MUSKUS	6770 INDIAN CREEK DR #9-M	MIAMI BEACH	FL	33141-5751	USA
TURQUOISE 2016 LLC	6770 INDIAN CREEK DR 10 M	MIAMI BEACH	FL	33141	USA
FERNANDO LINARES &W SUNSHINE HOLDING GROUP LLC	1697 W 79 ST 201 ALHAMBRA CIRCLE #1205	HIALEAH CORAL GABLES	FL	33014 33134	USA
RAMON E JIBAJA	6770 INDIAN CREEK DR#15M	MIAMI	FL	33141	USA
MARLIN P GALVIN TRS	6770 INDIAN CREEK DR #PHM	MIAMI	FL	33141	USA
DAVIDE VACCA	350 WEST 53 ST APT 4G	NEW YORK	NY	10019	USA
FLAWILL MIAMI LLC	1150 SW 22 ST	MIAMI	FL	33129	USA
ALAIN P ROBILLARD	6770 INDIAN CREEK DR #4-O	MIAMI BEACH	FL	33141-5710	USA
EDMUNDO M GEREZ	6770 INDIAN CREEK DR 5O	MIAMI BEACH	FL	33141	USA
RAYMOND J CLAMENS JR	1741 SE 17 AVE	HOMESTEAD	FL	33035	USA
MIGUEL A COLLAZO	6770 INDIAN CREEK DR #7-0	MIAMI BEACH	FL	33141	USA
BALDO CAMPISI	6770 INDIAN CREEK DR #8-O	MIAMI BEACH	FL	33141-5711	USA
EUGENE PABON	6770 INDIAN CREEK DR #9-O	MIAMI BEACH	FL	33141-5751	USA
CASTAFORTE LLC	6770 INDIAN CREEK DR 10 O	MIAMI BEACH	FL	33141	USA
JAMES L FELDER	3444 COLUMBIA ST	SAN DIEGO	CA	92103	USA
RENE J GARCIA &	6770 INDIAN CREEK DR 15R	MIAMI BEACH	FL	33141-5713	USA
SPECTRUM GLOBAL INVESTMENT LLC	6770 INDIAN CREEK DR 14 O	MIAMI BEACH	FL	33141	USA
M L E INVESTMENT GROUP LLC	7501 E TREASURE DR #5S	NORTH BAY VILLAGE	FL	33141	USA
MARK SANDERS JOHNSON TRS	6770 INDIAN CREEK DR #PH-0	MIAMI BEACH	FL	33141	USA
MELISSA D SORIANO	6770 INDIAN CREEK DR TS-0	MIAMI BEACH	FL	33141	USA

MARIFELY ROJAS	6770 INDIAN CREEK DR #4-P	MIAMI BEACH	FL	33141-5710	USA
ROSA MARIA CANAO	6770 INDIAN CREEK DR #5P	MIAMI BEACH	FL	33141	USA
JUAN CARLOS CURZI	6770 INDIAN CREEK DR #6P	MIAMI BEACH	FL	33141	USA
BLUE BOARD LLC	7501 E TREASURE DR #5S	NORTH BAY VILLAGE	FL	33141	USA
ENEIDA A PEREZ MENDEZ	6770 INDIAN CREEK DR 8P	MIAMI BEACH	FL	33141	USA
NICOLAS HERNAN POSSELT CAMPOS	6770 INDIAN CREEK DR 9 P	MIAMI BEACH	FL	33141	USA
LEOMAR INTERNATIONAL INVESTMENTS	20000 E COUNTRY CLUB DR 1211	AVENTURA	FL	33180	USA
CAROLINA FACCILOLO	6770 INDIAN CREEK DR 11P	MIAMI BEACH	FL	33141	USA
ROSANE M GUTERRES SANTANA JTRS	6770 INDIAN CREEK DR #12P	MIAMI BEACH	FL	33141	USA
ESTHER DIAZ SECADES	10455 SW 56 ST	MIAMI	FL	33165-7060	USA
LUIS MEJIA	6770 INDIAN CREEK DR #15P	MIAMI	FL	33141-5713	USA
MICHAEL GAINE	6770 INDIAN CREEK DR PH P	MIAMI BEACH	FL	33141	USA
MEGAN POINT LLC	9130 S DADELAND BLVD 1509	MIAMI	FL	33156	USA
ALPA PROPERTIES LLC	2875 NE 191 ST STE 801	AVENTURA	FL	33180	USA
ABBY L GREENBERG	6770 INDIAN CREEK DR #9R	MIAMI BEACH	FL	33141	USA
BIBIANA GONZALEZ	6770 INDIAN CREEK DRIVE UNIT 10R	MIAMI BEACH	FL	33141	USA
VIMAL THIYAKARAJAH	6770 INDIAN CREEK DR 11-R	MIAMI BEACH	FL	33141	USA
LUIS A GARCIA	6770 INDIAN CREEK DR #12-R	MIAMI BEACH	FL	33141-5712	USA
ARIES 21 CORP	9290 SW 72 ST 103	MIAMI	FL	33173	USA
ENCOCHEA LLC	1180 E HALLANDALE BEACH BLVD	HALLANDALE	FL	33009	USA
JESSICA LALEH	6770 INDIAN CREEK RD # TSR	MIAMI BEACH	FL	33141	USA
ELENA BOGATOVA	6770 INDIAN CREEK DRIVE #5-S	MIAMI BEACH	FL	33141	USA
GUSTAVO BATISTA	1065 COLERIDGE WY	SUWANEE	GA	30024	USA
ANGELA DELLA LOGGIA	7832 COLLINS AVE 206	MIAMI BEACH	FL	33141	USA
PAOLO DAL GALLO	6770 INDIAN CREEK DR 9S	MIAMI	FL	33141	USA
RAUL BLANCO	6770 INDIAN CREEK DR #11-S	MIAMI BEACH	FL	33141-5712	USA
ROXANA SANCHEZ	6770 INDIAN CREEK DR # 12S	MIAMI BEACH	FL	33141	USA
GABRIELLA MARIE BALDOMERO	6770 INDIAN CREEK DR 14 S	MIAMI BEACH	FL	33141	USA
MICHAEL S BALLMAN	525 NORTH HALSTED UNIT 605	CHICAGO	IL	60642	USA
FIFTH THIRD BANK	225 E ROBINSON ST STE 155	ORLANDO	FL	32801	USA
ARTHUR BAKER	3522 NW 61 ST CIR	BOCA RATON	FL	33496	USA

MARC IAIENTI JTRS	6770 INDIAN CREEK DR #4-T	MIAMI BEACH	FL	33141	USA
MOURELOS LLC	14 NE 1 AVE #805	MIAMI	FL	33131	USA
PAULA SADLER WIPPLER	6770 INDIAN CREEK DR #6-T	MIAMI BEACH	FL	33141-5749	USA
ROBERT A WOLFE	7344 N RIDGE BLVD	CHICAGO	IL	60645	USA
GRETA B HIRSCH	2120 WYOMING AVE NW APT 2	WASHINGTON	DC	20008-3904	USA
NATALIZ PROP LLC	100 LINCLON ROAD #833	MIAMI BEACH	FL	33139-2013	USA
MEHNERT GROUP LLC	5283 GARDEN HILLS CR	WEST PALM BEACH	FL	33415	USA
ACQUA BLUE OVERSEAS LTD	6770 INDIAN CREEK DR #11-T	MIAMI BEACH	FL	33141-5712	USA
JOHN E KOHN	6770 INDIAN CREEK DR # 14-T	MIAMI	FL	33141	USA
DANIEL D FARAGURE	6770 INDIAN CREEK DR #15-T	MIAMI	FL	33141	USA
RAUL JULIO FRANCES	6770 INDIAN CREEK DR PHT	MIAMI BEACH	FL	33141	USA
ROCIO ESPINOSA	10101 SW 154 CR CT #106	MIAMI	FL	33196	USA
XNP LLC	6161 SW 157 PL	MIAMI	FL	33193	USA
AQUASOL CONDO ASSOCIATION INC	6925 NW 42 ST	MIAMI	FL	33166-6820	USA
DAVID BUZAGLO	1435 COLLINS AVE	MIAMI BEACH	FL	33139-4103	USA
AQUASOL CONDO ASSN INC	6925 NW 42 ST	MIAMI	FL	33166-6820	USA
ALEJANDRO J KALAF	12281 SW 194 ST	MIAMI	FL	33177-6527	USA
KAYCE DRISCOLL	255 N HIBISCUS DR	MIAMI BEACH	FL	33139	USA
INES MARIA BEDRAN	6770 INDIAN CREEK DR #9K	MIAMI BEACH	FL	33141	USA
MATTHEW GIORDANO	37 FENDALE AVE	MORRISTOWN	NJ	07960	USA
EDMUNDO GEREZ	6770 INDIAN CREEK DR 50	MIAMI BEACH	FL	33141	USA
ZSA ZSA BEE	6770 INDIAN CREEK DR TS E	MIAMI BEACH	FL	33140	USA
JORGE E ALONSO &W MARIA S	6770 INDIAN CREEK DR #9F	MIAMI BEACH	FL	33141-5751	USA
INDIAN CREEK MARINE LLC	2868 SW 38 AVE	MIAMI	FL	33134	USA
TEOMAN ALPAY	6770 INDIAN CREEK DR # 14 O	MIAMI BEACH	FL	33141	USA
RENE GARCIA	6770 INDIAN CREEK DR #15R	MIAMI BEACH	FL	33141-5713	USA
SWEET PICKLE HOLDINGS LLC	11757 SW 93 TERR	MIAMI	FL	33186-2168	USA
MILWAUKEE TRADING LLC	7032 NW 50 ST	MIAMI	FL	33166	USA
MANUEL TORRECILLA	6770 INDIAN CREEK DR #15D	MIAMI BEACH	FL	33141-5713	USA
RIO BUENO LLC	6770 INDIAN CREEK DR #15 F	MIAMI BEACH	FL	33141	USA
RIOSTECH LLC	12305 SW 97 CT	MIAMI	FL	33176	USA
ELIGIO MUNIZ	4328 SW 136 PL	MIAMI	FL	33175	USA
ULYSSES FELDER	100 BAYVIEW DR APT 525	SUNNY ISLES BEACH	FL	33160-4753	USA
RAFAEL J MARTINEZ &W	6767 INDIAN CREEK DR #1A	MIAMI BEACH	FL	33141-5708	USA

ZOILA R ROSALES LE	6830 INDIAN CREECK DR 3F	MIAMI BEACH	FL	33141	USA
YOLIMA TIGER	8918 SW 150 N CT CIR	MIAMI	FL	33196	USA
LIVIO BELLOMARE	16699 COLLINS AVE #2203	SUNNY ISLES BEACH	FL	33160	USA
MARIO A RODRIGUEZ &W MATTY &	6767 INDIAN CREEK DR 2B	MIAMI BEACH	FL	33141-5708	USA
BRETT ELLIS	300 71 ST #430	MIAMI BEACH	FL	33141	USA
MAURICIO DUQUE	6767 INDIAN CREEK DR 1C	MIAMI BEACH	FL	33141-5708	USA
ECHOES OF SOUTH FLORIDA CORP	240 COLLINS AVENUE #5C	MIAMI BEACH	FL	33139	USA
TYLER FIELD	3700 MARIOLA RD	SEBASTOPOL	CA	95472	USA
VIKING EDEN CORP	1000 BRICKELL AVE #400	MIAMI	FL	33131	USA
LALOLA PROPERTIES LLC	2875 NE 191 ST #801	AVENTURA	FL	33180	USA
ELENA ARTAMASHEVA	6700 INDIAN CREEK DR 401	MIAMI BEACH	FL	33141	USA
501 EDEN HOUSE INVESTMENTS LLC	9011 SW 227 ST #8	CUTLER BAY	FL	33190	USA
HORIZON INN INC	6700 INDIAN CREEK DR 701	MIAMI	FL	33140	USA
CRASHPAD EDEN HOUSE LLC	1 QUINCY ST 2B	BROOKLYN	NY	11238	USA
EDEN HOUSE 901 LLC	110 WALL ST #11FL	NEW YORK	NY	10005	USA
ANA PATRICIA PINNEL JTRS	6700 INDIAN CREEK DR UNIT 1001	MIAMI BEACH	FL	33141	USA
BARROS MIAMI BEACH LLC	4835 HOLLYWOOD BLVD #4	HOLLYWOOD	FL	33021	USA
VIVIANA DIMICOVA	6700 INDIAN CREEK DR #1201	MIAMI BEACH	FL	33141	USA
CUPRA GROUP CORP	1390 BRICKELL AVE 275	MIAMI BEACH	FL	33131	USA
SEASIDE LIVING US LLC	6700 INDIAN CREEK #PH1	MIAMI BEACH	FL	33141	USA
INVERSIONES TERRA LATINA INC	6700 INDIAN CREEK DR #402	MIAMI BEACH	FL	33141	USA
ALAN P SILVERSTEIN	6700 INDIAN CREEK DR 502	MIAMI	FL	33141	USA
MARIANO DOMINGUES DA SILVA FILHO	6700 INDIAN CREEK DR UNIT 602	MIAMI	FL	33141	USA
DAVID ROSS PEDERSEN	6700 INDIAN CREEK DR 702	MIAMI BEACH	FL	33141	USA
EDEN 802 CORPORATION	848 BRICKELL AVE #1200	MIAMI	FL	33131	USA
ZULEXY RODRIGUEZ	6700 INDIAN CREEK DR 902	MIAMI	FL	33141	USA
MGA DEVELOPMENT LLC	6505 AUBURN RD STE B	UTICA	MI	48317	USA
VOIR MIAMI CORP	6700 INDIAN CREEK UNIT 1102	MIAMI BEACH	FL	33141	USA
CESAR ODRIA	6700 INDIAN CREEK DR 1202	MIAMI BEACH	FL	33141	USA
PGI USA LLC	1100 S FEDERAL HWY #1151	DEERFIELD BEACH	FL	33441	USA
DAVID WALSH	840 MADISON CT	PALM BEACH GARDENS	FL	33410	USA
SONIA REGINA HESS DE SOUZA	6700 INDIAN CREEK DRIVE #PH-02	MIAMI	FL	33141	USA
EDEN HOUSE 403 LLC	2136 NE 123 ST	NORTH MIAMI	FL	33181	USA

VISHNU NARINE	4141 KENTMERE SQUARE	FAIRFAX	VA	22030	USA
RICARDO RAVELO	6700 INDIAN CREEK DR #601	MIAMI BEACH	FL	33141	USA
CHEBI INVEST GROUP L L C	1390 BRICKELL AVE #104	MIAMI	FL	33131	USA
JONIFLO INVESTMENTS INC	1200 BRICKELL AVE # 1800	MIAMI	FL	33131	USA
RICHARD DUNN	6700 INDIAN CREEK DR #903	MIAMI BEACH	FL	33141	USA
BRUPE LLC	19262 NE 6 AVE	MIAMI	FL	33179	USA
6700 INDIAN CREEK DRIVE PROPERTY	3365 NE 167 ST	NORTH MIAMI BEACH	FL	33160	USA
BEGAL TRADE CORP	2121 PONCE DE LEON BLVD #1050	CORAL GABLES	FL	33134	USA
ROBERT PITARO	1 WITTMAN DR	KATONAH	NY	10536	USA
JOSE RAMON QUINTANA MACOUZET	14912 SW 74 PL	PALMETTO BAY	FL	33158	USA
CHRISTOPHER JOHN GOODE	6700 INDIAN CREEK DR PH3	MIAMI	FL	33141	USA
ARGESA CORP	1000 BRICKELL AVE #400	MIAMI	FL	33131	USA
ANTONIO TELLADO	5288 DERBY HILL PT	SAN DIEGO	CA	92130-4882	USA
RESISTANCE LLC	7735 NW 146 ST #300	MIAMI LAKES	FL	33016	USA
LANDGRAF CORP	999 PONCE DE LEON BLVD #625	CORAL GABLES	FL	33134	USA
ALSTON COMMERCIAL CORP	600 BRICKELL AVE 37TH FLR	MIAMI	FL	33131	USA
JOAO LUIZ FORTE	6700 INDIAN CREEK DR #904	MIAMI BEACH	FL	33141	USA
BUENA VISTA 406 INC	3370 MARY ST	MIAMI	FL	33133	USA
EDEN MIAMI BEACH LLC	1331 BRICKELL BAY DR 3701	MIAMI	FL	33131	USA
CDV INVESTMENTS LLC	4730 CHEVY PL	ORLANDO	FL	32811	USA
SB AND EB LLC	444 BRICKELL AVE #828	MIAMI	FL	33131	USA
LIORA H CANNON TRS	6700 INDIAN CREEK DR 1504	MIAMI BEACH	FL	33141	USA
MARKO ALEXOPOULOS	6700 INDIAN CREEK PH4	MIAMI BEACH	FL	33141	USA
MICHAL HUBERT MROZEK	6700 INDIAN CREEK DR 405	MIAMI BEACH	FL	33141	USA
RICHARDO LUIS PARES ARCE	6899 COLLINS AVE #904	MIAMI BEACH	FL	33141	USA
AZUL PROPERTY INC	407 LINCOLN RD PH-NE	MIAMI BEACH	FL	33139	USA
DAVID GOLDENBERG	235 E 22 STREET #10J	NEW YORK	NY	10010	USA
OMIG LLC	6700 INDIAN CREEK RD UNIT 905	MIAMI BEACH	FL	33140	USA
EDEN VIEW REAL ESTATE LLC	6700 INDIAN CREEK DR 1005	MIAMI BEACH	FL	33141	USA
JAMES H LAPPLE	515 EAST 72 ST # 21F	NEW YORK	NY	10021	USA
INDIAN 1205 LLC	520 WEST AVE # 703	MIAMI BEACH	FL	33139	USA
TOBB 6700 LLC	801 BRICKELL AVE #1610	MIAMI	FL	33131	USA
MINERPAL FLORIDA CORP	6700 COLLINS AVE UNIT 1505	MIAMI BEACH	FL	33141	USA
HUSMER TRADING INC	6700 INDIAN CREEK DR PH5	MIAMI BEACH	FL	33141	USA
GOTHAM ENTERPRISES LLC	110 MERRICK WAY 3A	CORAL GABLES	FL	33134	USA

KENSINGTON GLOBAL LLC	2000 PONCE DE LEON BLVD #617	CORAL GABLES	FL	33134	USA
EDENHOUSE INTERNATIONAL INC	1925 BRICKELL AVE #D205	MIAMI	FL	33129	USA
HALMORAL GROUP INC	2665 SOUTH BAYSHORE DR #435	COCONUT GROVE	FL	33133	USA
GREAT BRAZIL LLC	2903 SALZEDO ST #2	CORAL GABLES	FL	33134	USA
ATHENA EDEN HOUSE 1106 LLC	6700 INDIAN CREEK DR #1106	MIAMI BEACH	FL	33141	USA
EDEN HOUSE HOLDINGS LLC	444 BRICKELL AVE UNIT 828	MIAMI	FL	33131	USA
ALEXANDRE GURGEL	6700 INDIAN CREEK DR #1406	MIAMI BEACH	FL	33141	USA
ELDER SIGN LLC	6700 INDIAN CREEK 1506	MIAMI	FL	33141	USA
NEW ALLIANCE USA LLC	446 W HILLSBORO BLVD	DEERFIELD BEACH	FL	33441	USA
GEJ & GEG FLORIDA LLC	19387 SW 79 PL	CUTLER BAY	FL	33157	USA
EDEN HOUSE 607 LLC	110 WALL STREET 11 FLOOR	NEW YORK	NY	10005	USA
HORIZON BAY LLC	6700 INDIAN CREEK DR #707	MIAMI BEACH	FL	33141	USA
EH 807 CORP	6700 INDIAN CREEK DR UNIT 807	MIAMI BEACH	FL	33140	USA
ENRIQUE SALCIDO COTA	6700 INDIAN CREEK DR UNIT 907	MIAMI BEACH	FL	33141	USA
EH 1007 CORP	6700 INDIAN CREEK DR #807	MIAMI BEACH	FL	33140	USA
NIQUE PROPERTIES LLC	2875 NE 191 ST STE 801	AVENTURA	FL	33180	USA
SUNSET BAY LLC	12555 BISCAYNE BLVD #981	NORTH MIAMI	FL	33181	USA
ARASH BORNAK	6700 INDIAN CREEK DR #1407	MIAMI BEACH	FL	33141	USA
THE MARIAS REAL ESTATE CORP	6700 INDIAN CREEK DR 1507	MIAMI	FL	33141	USA
JOHN A MAY	6700 INDIAN CREEK DR #PH7	MIAMI BEACH	FL	33141	USA
ANTHONY ACCETTA	6700 INDIAN CREEK DR #408	MIAMI	FL	33141	USA
GEJ AND GEG FLORIDA LLC	19387 SW 79 PL	CUTLER BAY	FL	33157	USA
FRANK N DESTRA	540 W 49TH ST APT 401N	NEW YORK	NY	10019-7675	USA
EL FARO REAL ESTATE LLC	1390 BRICKELL AVE #200	MIAMI	FL	33131	USA
JOSEPH ZEBEDE	6700 INDIAN CREEK DR 808	MIAMI BEACH	FL	33141	USA
EDEN HOUSE 908 LLC	6700 INDIAN CREEK DR #908	MIAMI BEACH	FL	33141	USA
EDEN HOUSE PROPERTY LLC	407 LINCOLN RD PH-NE	MIAMI BEACH	FL	33139	USA
LAURA CAMARENA	6700 INDIAN CREEK DR #1108	MIAMI BEACH	FL	33140	USA
REINALDO T PAPAIOORDANOU	1000 BRICKELL AVE STE 400	MIAMI	FL	33131	USA
JULIO C BARBOSA	6700 INDIAN CREEK DR #1508	MIAMI BEACH	FL	33141	USA
COCOBAY MIAMI LLC	1700 MERIDIAN AVE S 212	MIAMI BEACH	FL	33139	USA

EURO RE GROUP LLC	1390 BRICKELL AVE STE 200	MIAMI	FL	33131	USA
EDEN HOUSE MIAMI BEACH CONDO ASSN	6700 INDIAN CREEK DR	MIAMI BEACH	FL	33140	USA
SAI ENTERPRISE GROUP LLC	6610 INDIAN CREEK DR	MIAMI BEACH	FL	33141	USA
HAB INVESTMENTS LLC	1410 MERCADO AVE	CORAL GABLES	FL	33146	USA
MILTON URCIOLI JUNIOR	3363 NE 163 ST 506	NORTH MIAMI BEACH	FL	33160	USA
BRICKELL HOUSE 4202 LLC	1113 SW 147 TER	PEMBROKE PINES	FL	33027	USA
LENTAUN SA CORPORATION	6610 INDIAN CREEK DR 601	MIAMI	FL	33141	USA
DILAY D ESCALANTE CONTRERAS	9782 NW 46 TER	MIAMI	FL	33178	USA
PELORO BUSINESS 402 LLC	2750 NE 185 ST 204	AVENTURA	FL	33180	USA
PELORO 502 LLC	5280 NW 109 AVE 3	DORAL	FL	33178	USA
INTERNATIONAL VACATION VICTORIA	6620 INDIAN CREEK DR 602	MIAMI BEACH	FL	33141	USA
MELSZYM INVESTMENTS LLC	2828 CORAL WAY 100	CORAL GABLES	FL	33145	USA
FASHION 204 LLC	2750 NE 185 ST STE 204	AVENTURA	FL	33180	USA
FERDINANDO RAFAEL PETRUCCI	6610 INDIAN CREEK DR 403	MIAMI BEACH	FL	33141	USA
LA POTOCA LLC	55 SE 6 ST 206	MIAMI	FL	33131	USA
PELORO 603 LLC	2431 NW 59 ST 404	BOCA RATON	FL	33496	USA
RIO SETE INC	1925 BRICKELL AVE # D 205	MIAMI	FL	33129	USA
JOHAN RAMIREZ CHAVARRY	CALLE SALAVERRY 274 C 121	LIMA	MA	-	USA
CAMPOSOFI LLC	701 BRICKELL AVE STE 3300	MIAMI	FL	33131	USA
PELLORO ONE LLC	6610 INDIAN CREEK DR # 604	MIAMI	FL	33141	USA
CR 1401 LLC	6899 COLLINS AVE 2203	MIAMI BEACH	FL	33141	USA
MARCIO PRADO SPINELLI MASI	1235 YELLOW HEART WAY	HOLLYWOOD	FL	33019	USA
PELORO 305 LLC	407 LINCOLN RD STE 8S	MIAMI BEACH	FL	33139	USA
JOSE PABLO GOMEZ PARRA	6610 INDIAN CREEK DR 405	MIAMI BEACH	FL	33141	USA
WALTER CARLO PETRUCCI	6610 INDIAN CREEK DR 505	MIAMI BEACH	FL	33141	USA
ARTEMIS PROPERTY LLC	1407 LINCOLN RD PH NE	MIAMI BEACH	FL	33139	USA
MERCEDES SOFIA PERIER TRS	3370 NE 190 ST 1401	AVENTURA	FL	33180	USA
SIMONET LLC	6899 COLLINS AVE	MIAMI	FL	33141	USA
ALBERT L SALAS	4418 HORSESHOE BND	MATTHEWS	NC	28104	USA
PLENITUD INVESTMENTS LLC	2665 EXECUTIVE PARK DR # 2	WESTON	FL	33331	USA
ECO 506 M F LLC	2121 PONCE DE LEON BLVD #1050	CORAL GABLES	FL	33134	USA
CARLOS R DONADI	1331 BRICKELL BAY DR 408	MIAMI	FL	33131	USA
T AND R USA LLC	6610 INDIAN CREEK DR 706	MIAMI BEACH	FL	33141	USA
WAGNER LUXURY PROPERTIES LLC	151 W 43 ST	HIALEAH	FL	33012	USA

MAURICIO ROJAS	6610 INDIAN CREEK DR 207	MIAMI	FL	33141	USA
PELORO 307 LLC	495 BRICKELL AVE 2802	MIAMI	FL	33131	USA
GARDEN VILLE LLC	4421 SHERIDAN AVE	MIAMI BEACH	FL	33140	USA
RAFAEL ORLANDO MENDOZA	6620 INDIAN CREEK DR 507	MIAMI BEACH	FL	33141	USA
SCOTT INVESTORS LLC	2665 EXECUTIVE PARK DR STE 2	WESTON	FL	33331	USA
ANDREA LEONARDI	6610 INDIAN CREEK DR 707	MIAMI	FL	33141	USA
RAFAEL ALBERTO SALAS BURGOS	6610 INDIAN CREEK DR 108	MIAMI BEACH	FL	33141	USA
EILEEN GLYNN	6620 INDIAN CREEK DR 208	MIAMI BEACH	FL	33141	USA
INVESTMENTS KALUEL LLC	6610 INDIAN CREEK DR 308	MIAMI BEACH	FL	33141	USA
ROPELO 408 INC	6610 INDIAN CREEK DR 408	MIAMI	FL	33141	USA
MWY CAPITAL INC	7750 SW 117 AVE #206	MIAMI	FL	33183	USA
MOSES SCHLESINGER	42 WALTON ST 1B	BROOKLYN	NY	11206	USA
PELORO PH708 LLC	6610 INDIAN CREEK DR 708	MIAMI BEACH	FL	33141	USA
JOSE N BASTARDO CALZADILLA	750 JEFFERSON AVE 5	MIAMI BEACH	FL	33139	USA
PELORO 209 LLC	9832 NW 10 TER	MIAMI	FL	33172	USA
HVS BUOGO CORP	1000 BRICKELL AVE 480	MIAMI	FL	33131	USA
JLT INVESTMENT GROUP INC	111251 NW 20 ST 110	MIAMI	FL	33172	USA
RIBEVAH INVESTMENTS LLC	13331 BRICKELL BAY DDR #C U2	MIAMI	FL	33131	USA
PALAU NORTH BEACH LLC	3100 NW 72 AVENUE #113	MIAMI	FL	33122	USA
PELORO 110 LLC	6610 INDIAN CREEK DR 110	MIAMI BEACH	FL	33141	USA
FARUK AGORO	6610 INDIAN CREEK DR 210	MIAMI	FL	33141	USA
VENTURE CUATRO LLC	1805 PONCE DE LEON BLVD STE 400	CORAL GABLES	FL	33134	USA
JOHN HICKEY	6610 INDIAN CREEK DR 410	MIAMI BEACH	FL	33141	USA
DAVID SMITH	6610 INDIAN CREEK DR 510	MIAMI BEACH	FL	33141	USA
MASSIMO PIOMBINI	6610 INDIAN CREEK DR	MIAMI	FL	33141	USA
KIRIL LLC	5875 COLLINS AVE 802	MIAMI	FL	33140	USA
FISHER CLUB EQUITIES LLC	2711 CENTERVILLE RD 400	WILMINGTON	DE	19808	USA
MULTIPLY INVESTMENTS LLC	6620 INDIAN CREEK DR 211	MIAMI	FL	33141	USA
INVERMERT LLC	6610 INDIAN CREEK DR 311	MIAMI BEACH	FL	33141	USA
PELORO UNIT 411 LLC	133 W 22 ST 8H	NEW YORK	NY	10011	USA
ADPNB HOLDINGS LLC	1221 S 21 AVE	HOLLYWOOD	FL	33020	USA
BABAK BAHADOR TRS	3524 RESERVOIR RD NW	WASHINGTON	DC	20007	USA
PELORO PH 711 LLC	2828 CORAL WAY 100	CORAL GABLES	FL	33145	USA
ORLANDO J G BADELL	8226 WAYFARER LANE	HOUSTON	TX	77075	USA
PAULO GUSTAVO MAIURINO	6610 INDIAN CREEK DR 212	MIAMI BEACH	FL	33141	USA

PELORO MB 312 LLC	3 ISLAND AVE #10J	MIAMI BEACH	FL	33139	USA
412 PELORO INC	6620 INDIAN CREEK DR 412	MIAMI	FL	33141	USA
EM AND MP INVESTMENTS CORP	9352 SW 77 AVE H 1	MIAMI	FL	33156	USA
SOUTH FLORIDA CONCRETE LLC	5001 SW 74 CT STE 202	MIAMI	FL	33155	USA
JEFFERY R LARSEN	5957 COLLINS AVE 1403	MIAMI BEACH	FL	33140	USA
MARCELO AUGUSTO LUSTOSA DE SOUZA	1331 BRICKELL BAY DR C02	MIAMI	FL	33131	USA
FAMAVA GROUP LLC	2875 NE 191 ST STE 801	AVENTURA	FL	33180	USA
MARIBEL L RAMIREZ GALLEGOS	1430 STILLWATER DR	MIAMI BEACH	FL	33141	USA
SOCEDA04 LLC	1000 NW 57 CT 1040	MIAMI	FL	33126	USA
PELORO 613 LLC	PO BOX 140668	CORAL GABLES	FL	33114	USA
PELORO 713 LLC	175 SW 7 ST #2307	MIAMI	FL	33130	USA
PELORO BEACH 114 LLC	5300 NW 87 AVE #1016	MIAMI	FL	33178	USA
ANA L DUTRA	6620 INDIAN CREEK DR 214	MIAMI BEACH	FL	33141	USA
PELORO 414 LLC	40 WALL ST 25TH FL STE 2506	NEW YORK	NY	10005	USA
PELORO LLC	11046 W FLAGLER ST	MIAMI	FL	33174	USA
RISING SUN INVESTMENTS GROUP LLC	5461 WEST 24 AVE	HIALEAH	FL	33016	USA
PELORO PH 714 LLC	2828 CORAL WAY 100	CORAL GABLES	FL	33145	USA
RIVI USA HOLDINGS PELORO LLC	8750 NW 36 ST STE 425	DORAL	FL	33178	USA
CHINGEN INVEST LLC	6620 INDIAN CREEK DR 315	MIAMI BEACH	FL	33141	USA
CESAR ANTONIO LAMEDA	6610 INDIAN CREEK DR 415	MIAMI BEACH	FL	33141	USA
CANTONS ENTERPRISE INC	169 EAST FLAGLER ST 1000	MIAMI	FL	33131	USA
PELORO 116	500 ATLANTIC AVE UNIT 15 B	BOSTON	MA	02210	USA
BORIS JOHN HERNANDEZ VIDAL	3020 ANTIQUE OAKS CIRLE #135	WINTER PARK	FL	32792	USA
PELORO 316 LLC	215 SW 15 RD STE 100	MIAMI	FL	33129	USA
SERLA LLC	6620 INDIAN CREEK DR 416	MIAMI BEACH	FL	33141	USA
FERNI MIAMI INVESTMENT LLC	2127 BRICKELL AVE APT 1204	MIAMI	FL	33129	USA
MICHAEL JOHN HERNANDEZ VIDAL	3020 ANTIQUE CIR 135	WINTER PARK	FL	32792	USA
ROMBROS LLC	6620 INDIAN CREEK DR 417	MIAMI BEACH	FL	33131	USA
COPREGO LLC	6610 INDIAN CREEK DR 517	MIAMI BEACH	FL	33141	USA
CARLOS E HILLER	6620 INDIAN CREEK DR 617	MIAMI BEACH	FL	33141	USA
INTERNATIONAL EFM LLC	1390 BRICKELL AVE 200	MIAMI	FL	33131	USA
PELORO 418 LLC	2704 SW 152 PL	MIAMI	FL	33185	USA
FRAMBEL ARELLANO LLC	102 SW 6 AVE 704	MIAMI	FL	33130	USA
SOFIA SCHMIDT RESING	116 JOHN ST # 1409	NEW YORK	NY	10038	USA
JANET LORENZO GARCIA	6527 CORAL WAY	MIAMI	FL	33155	USA

THE A ENTERPRISES FLORIDA LLC	60 E SIMPSON AVE BOX 2869	JACKSON	WY	83001	USA
PROGRAMAS Y PROYECTORS	1100 BISCAYNE BLVD 4903	MIAMI	FL	33132	USA
MIRKO AUFIERI	6620 INDIAN CREEK DR 719	MIAMI	FL	33141	USA
SERGIO ANDRES SERAFIN	AV CENTRAL CON C 10 RES	MARACAY		-	Venezuel a

Item # 9—Architectural Plans and Exhibits

9a: Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.

9d: Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.

9h: Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).

9i: Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)

9n: Specifications of pole and equipment

9o: Proposed elevations , materials, and finishes noted

-Survey

LATITUDE/LONGITUDE:
25.850695/-80.120660

LATITUDE/LONGITUDE:

25.850695/-80.120660

CROSS STREET:

67TH ST & COLLINS AVE
CITY, STATE, ZIP:
MIAMI BEACH, FL 33141



IF YOU DIG IN ANY STATE
DIAL 811 FOR THE LOCAL
"ONE CALL CENTER" -
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E) UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTE:
GENERAL CONTRACTOR IS REQUIRED TO CROSS CHECK COORDINATES. EXHIBIT PHOTO, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO ASSIGNED MOBILITE CM.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS (N).

SITE INFORMATION

SITE ID:	9FLB000989C
CASCADE ID:	MI90XS535C
LATITUDE:	25.850695
LONGITUDE:	-80.120660
CROSS STREET:	67TH ST & COLLINS AVE
CITY, STATE, ZIP:	MIAMI BEACH, FL 33141
COUNTY:	MIAMI-DADE COUNTY
JURISDICTION:	MIAMI BEACH CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITIE, LLC 3475 PIEDMONT ROAD NE, SUITE 1000 ATLANTA, GEORGIA 30305 PHONE: (312) 638-5400

ENGINEER

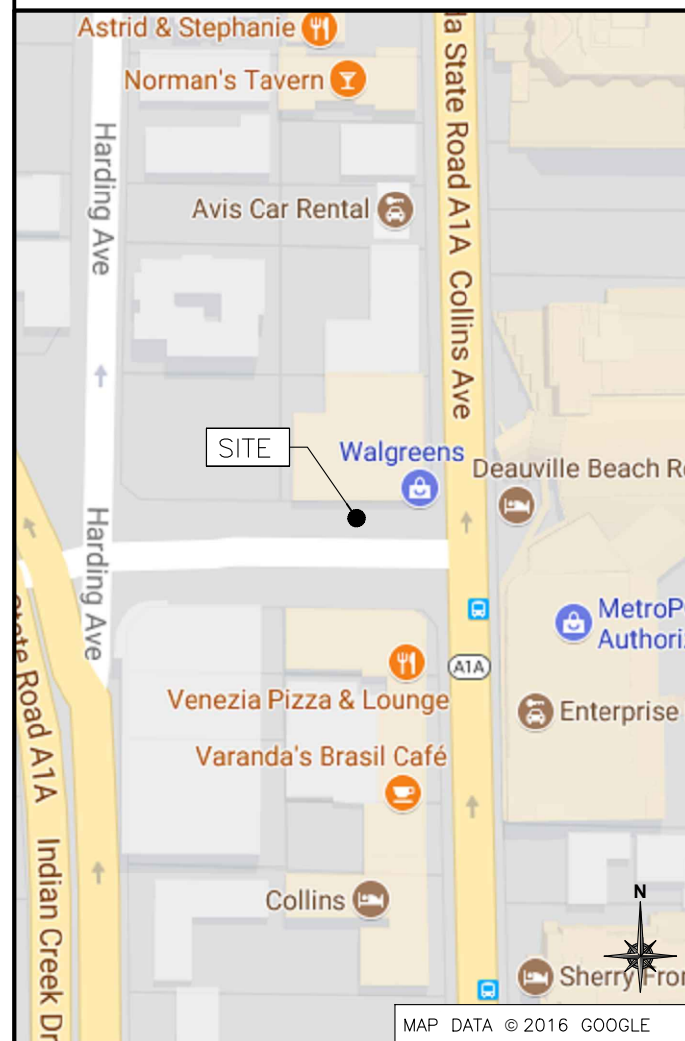
KMB DESIGN GROUP, LLC
1800 ROUTE 34, SUITE 209
WALL, NJ 07719
FOR QUESTIONS EMAIL: DESIGNTEAM@KMBDG.COM
TEL: (732) 280-5623 FAX: (732) 280-3980 www.KMBDG.com

DO NOT SCALE DRAWINGS

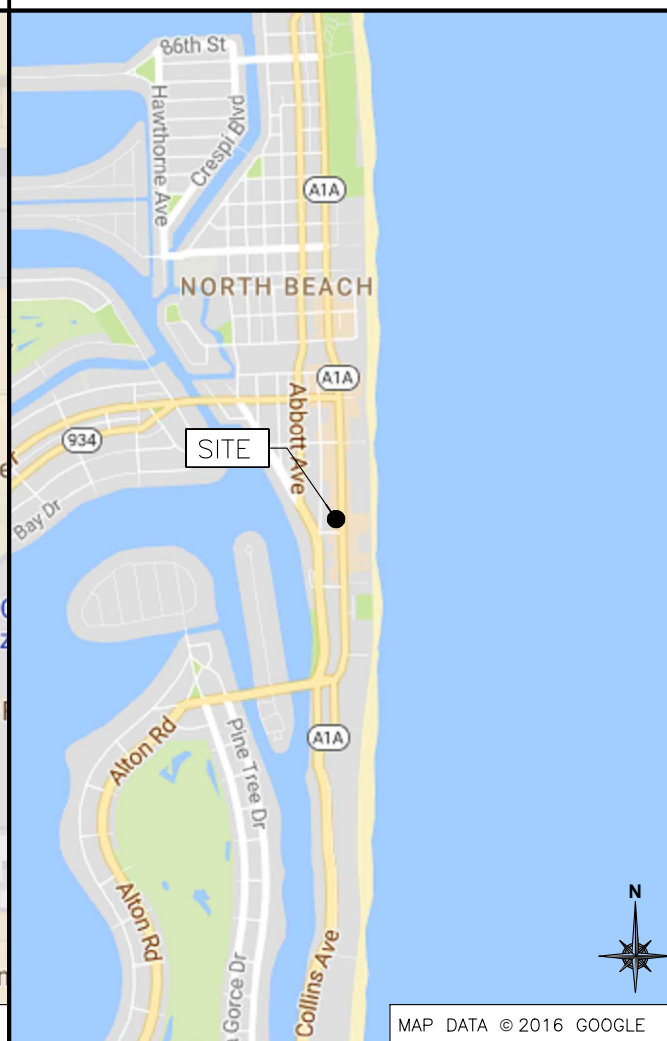
CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

LOCATION MAPS

VICINITY MAP



REGIONAL MAP



PROJECT DESCRIPTION

END USER PROPOSES TO REPLACE EXISTING STEEL POLE AND
INSTALL EQUIPMENT ON A NEW STEEL POLE WITHIN AN
EXISTING RIGHT-OF-WAY.
THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE EXISTING STEEL UTILITY POLE
- INSTALL A NEW STEEL UTILITY POLE WITH PROPOSED BACKHAUL TRANSPORT EQUIPMENT

CODES

2014 FLORIDA BUILDING CODE, 5TH EDITION
NATIONAL ELECTRICAL SAFETY CODE
TIA/EIA-222-G-2 OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	EXHIBIT PHOTO & SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
EX-1	EXCAVATION DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	EMBEDMENT DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES



FINAL SUBMITTAL:
12/8/17

Revisions Date:
10/22/17

First Submittal Date:
8/22/17

PROJECT NO:	9FLB000989C
DRAWN BY:	RC
CHECKED BY:	SJB

A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER

STEPHEN A. BRAY

LICENSE

No. 68902

STATE OF

FLORIDA

PROFESSIONAL ENGINEER

FL LICENSE # 68902 8/17/17

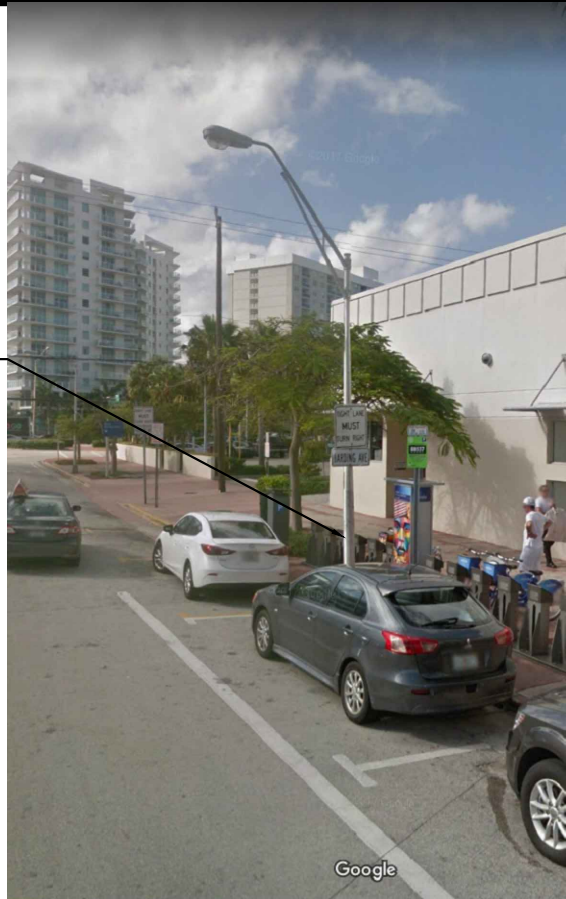
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

NOTE:
EXHIBIT PHOTO IS FOR
REFERENCE USE ONLY
AND SHOULD NOT BE
USED FOR
CONSTRUCTION
PURPOSES.



EXISTING LIGHT
POLE TO BE
REPLACED WITH
SMALL-CELL
STEALTH LIGHT
POLE

EXHIBIT PHOTO

SCALE: NOT TO SCALE

1

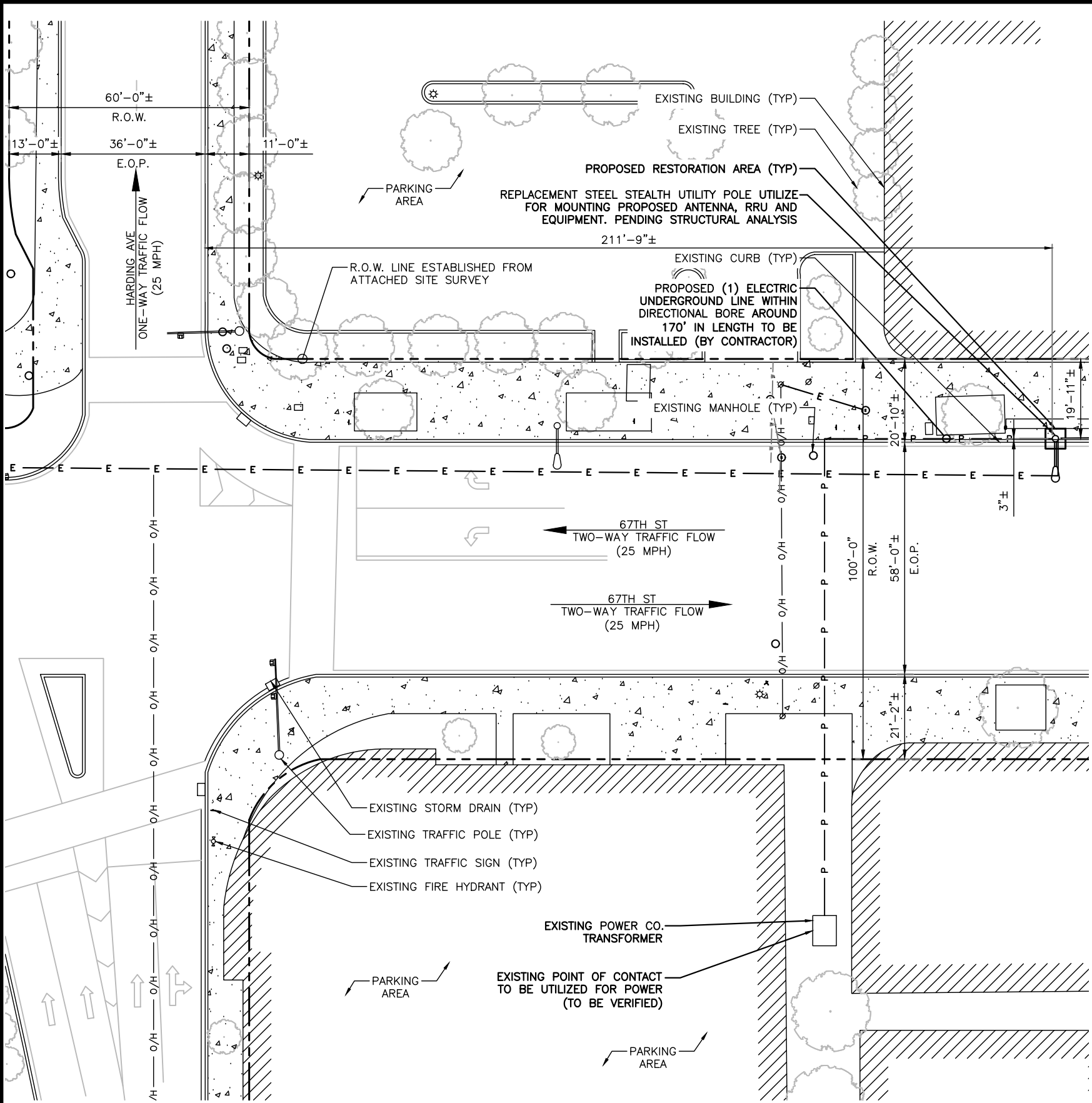


SITE LOCATION

AERIAL SITE LOCATION

SCALE: NOT TO SCALE

2



NOTE:
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.

ENLARGED SITE PLAN

SCALE: 1" = 30'-0" (1" = 15'-0" ON 24"x36" SHEET)

3

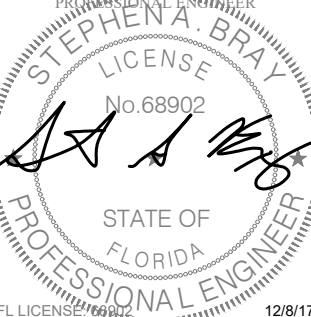
mobilitie

PROJECT NO: 9FLB000989C
DRAWN BY: RC
CHECKED BY: SJB

B 12-08-17 REVISION
A 08-17-17 FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

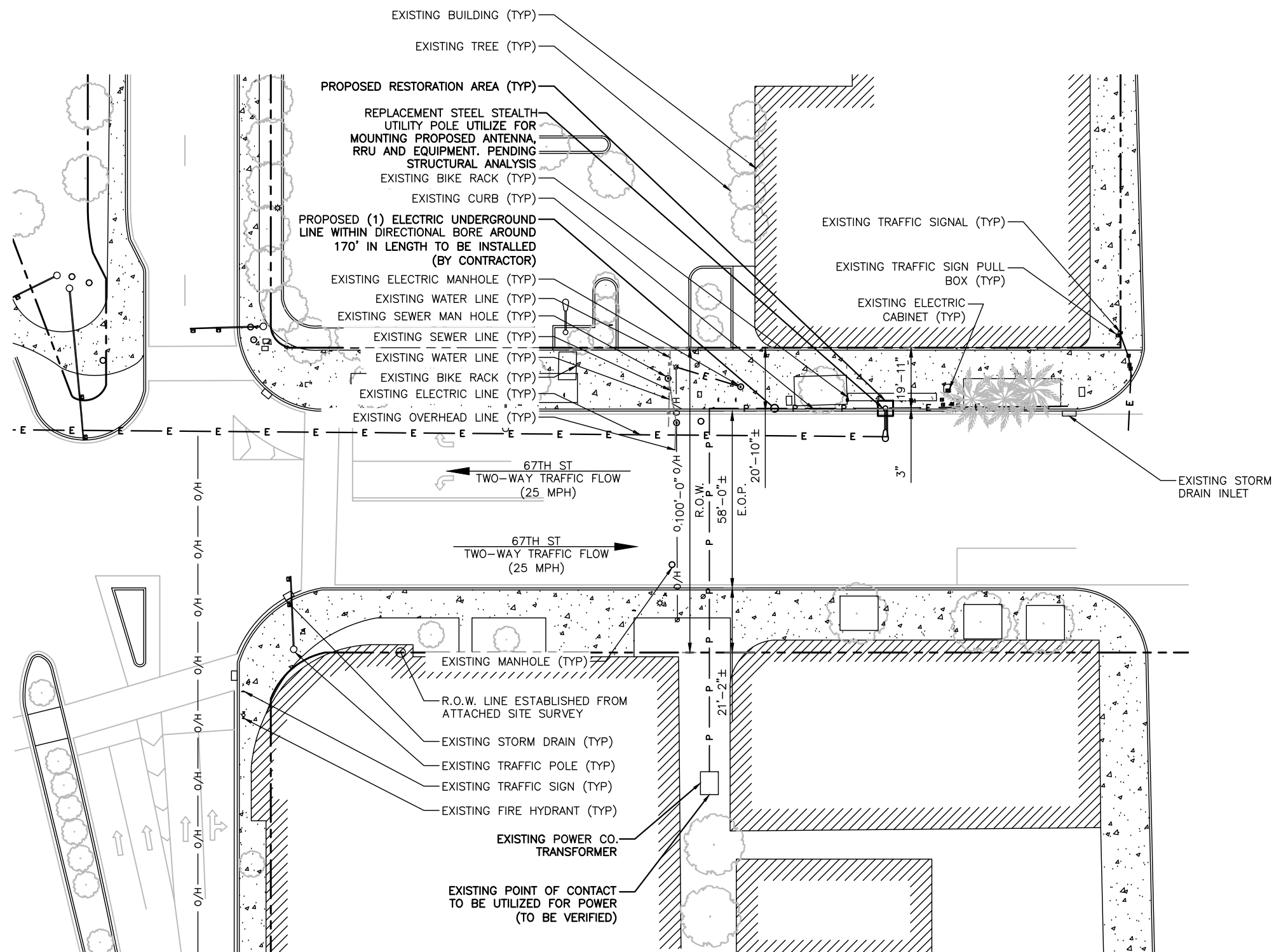


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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EXHIBIT PHOTO & SITE PLAN

SHEET NUMBER
SP-1



NOTE:

1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITE CM.



UTILITY SITE PLAN

SCALE: 1" = 40'-0" (1" = 20'-0" ON 24"x36" SHEET)

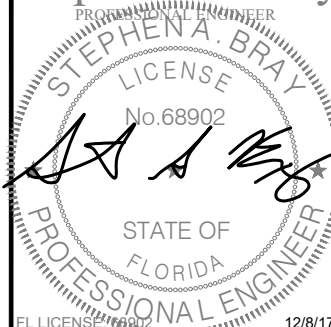
2

PROJECT NO:	9FLB000989C
DRAWN BY:	RC
CHECKED BY:	SJB

B	12-08-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

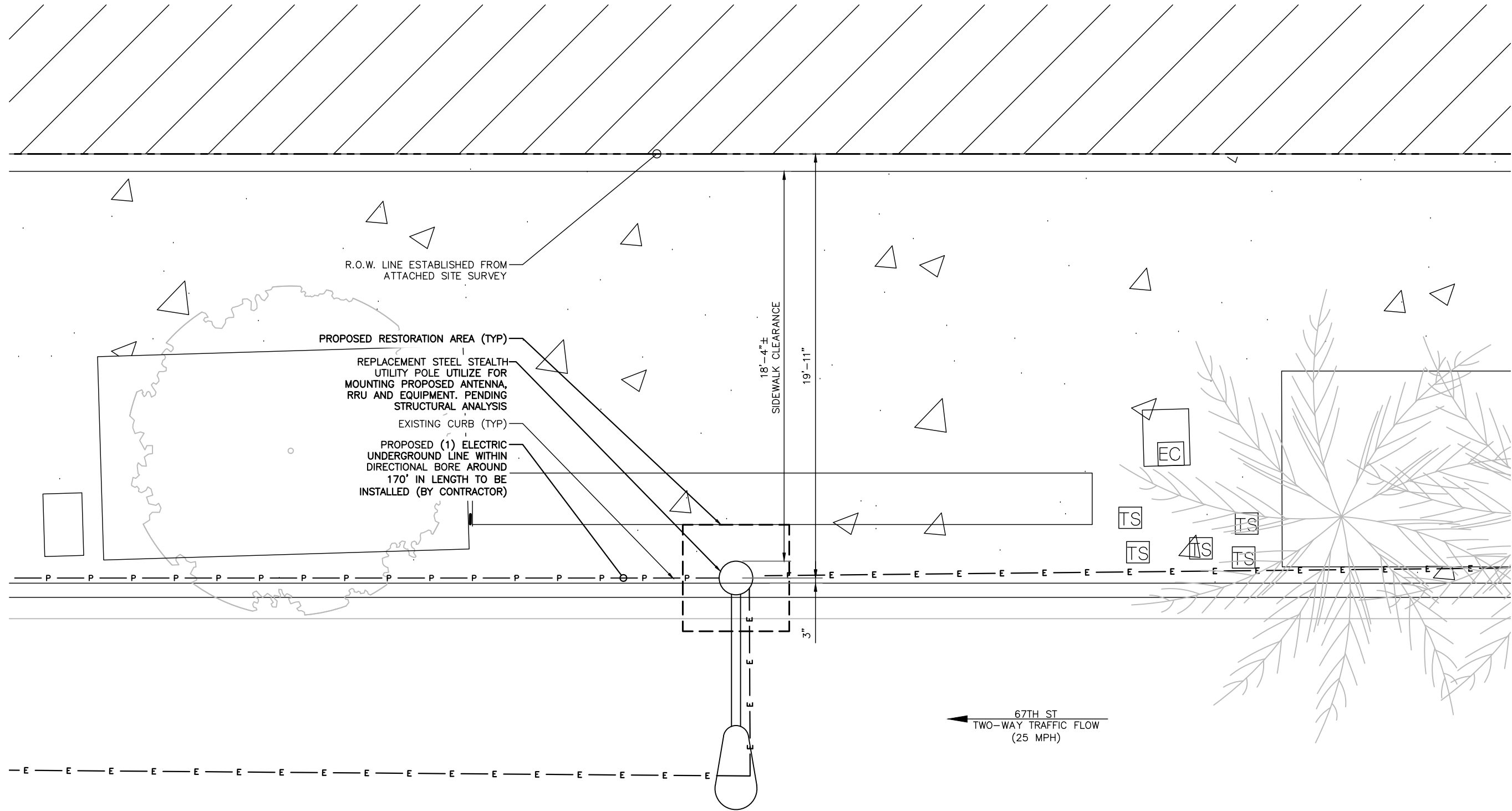


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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
UTILITY SITE PLAN

SHEET NUMBER
SP-2



NOTE:
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



ENLARGED SITE PLAN

SCALE: 1" = 5'-0"

1

mobilitie

PROJECT NO: 9FLB000989C

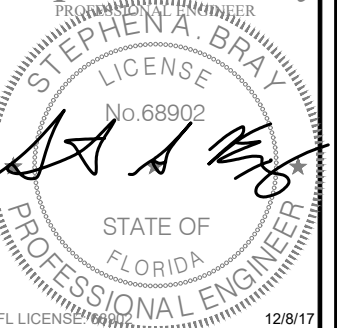
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CHECKED BY: SJB

		REVISION
B	12-08-17	
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray



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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
SP-3

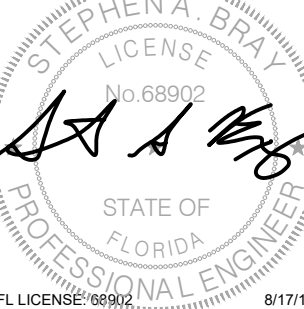
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CHECKED BY: SJB

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KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER



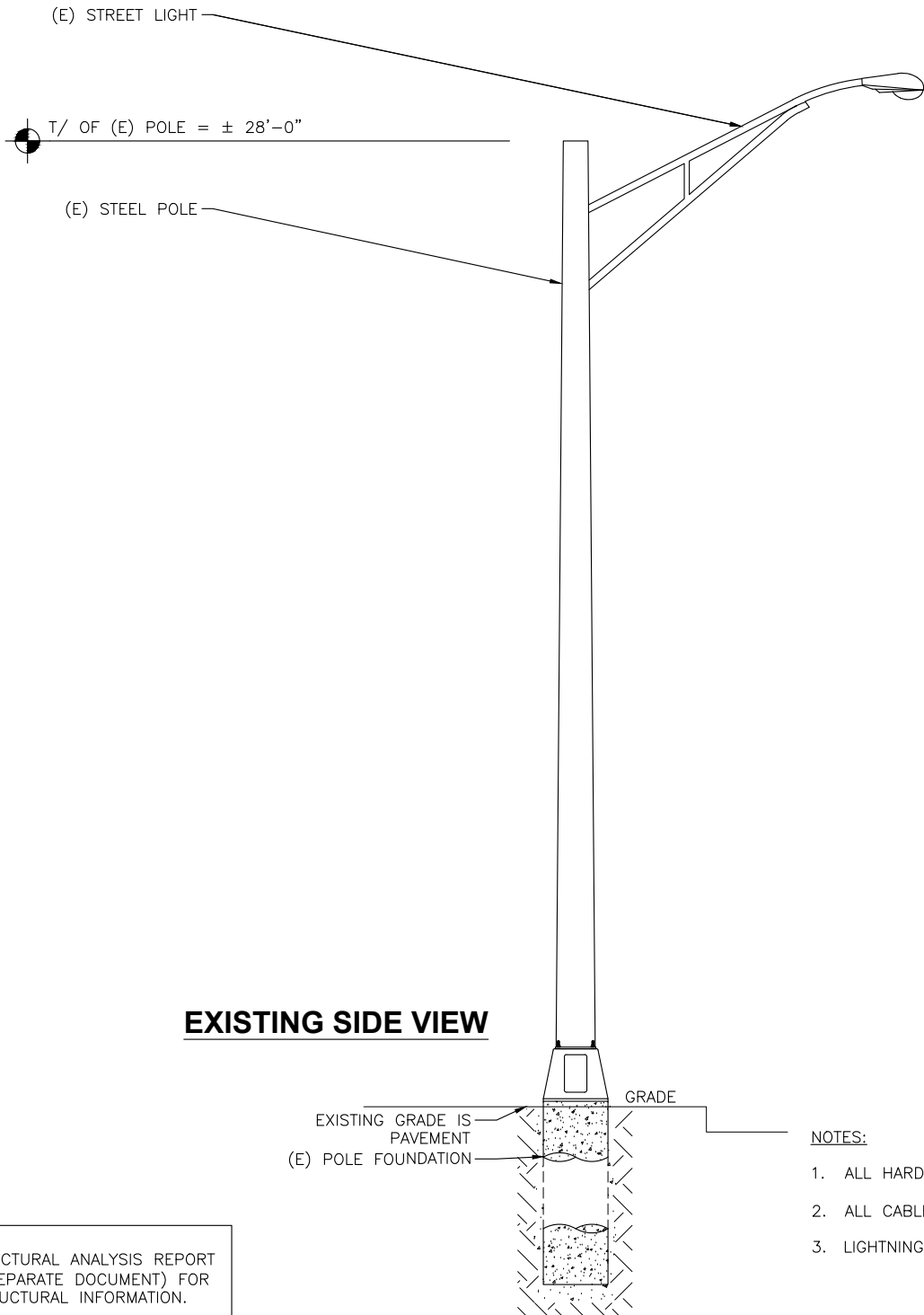
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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

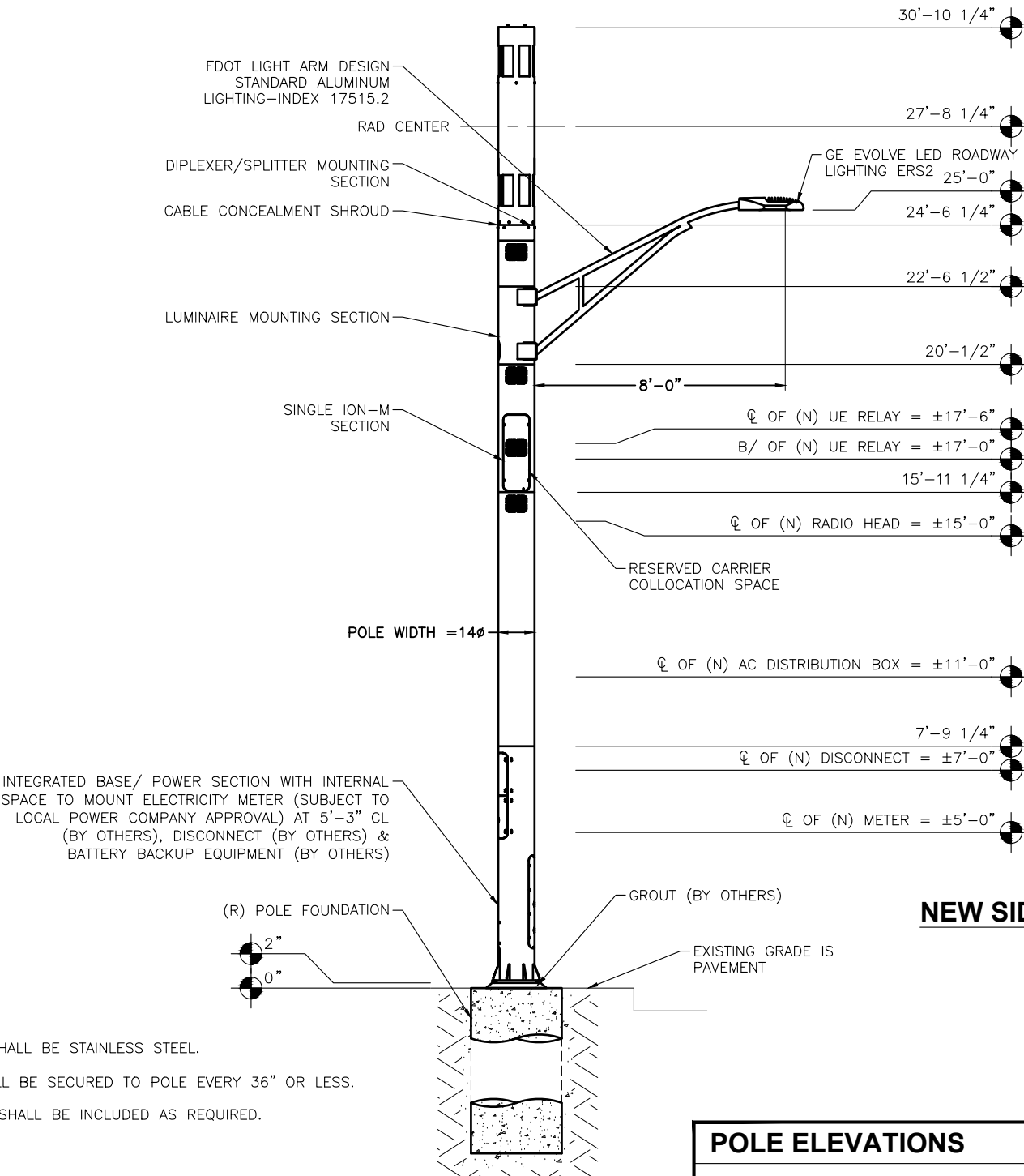
SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-1

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)



EXISTING SIDE VIEW



NEW SIDE VIEW

- NOTES:
- ALL HARDWARE SHALL BE STAINLESS STEEL.
 - ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
 - LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT
MI90XS535C (SEPARATE DOCUMENT) FOR
ADDITIONAL STRUCTURAL INFORMATION.

POLE ELEVATIONS

SCALE: 1" = 5'

PROJECT NO: 9FLB000989C
DRAWN BY: RC
CHECKED BY: SJB

A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER



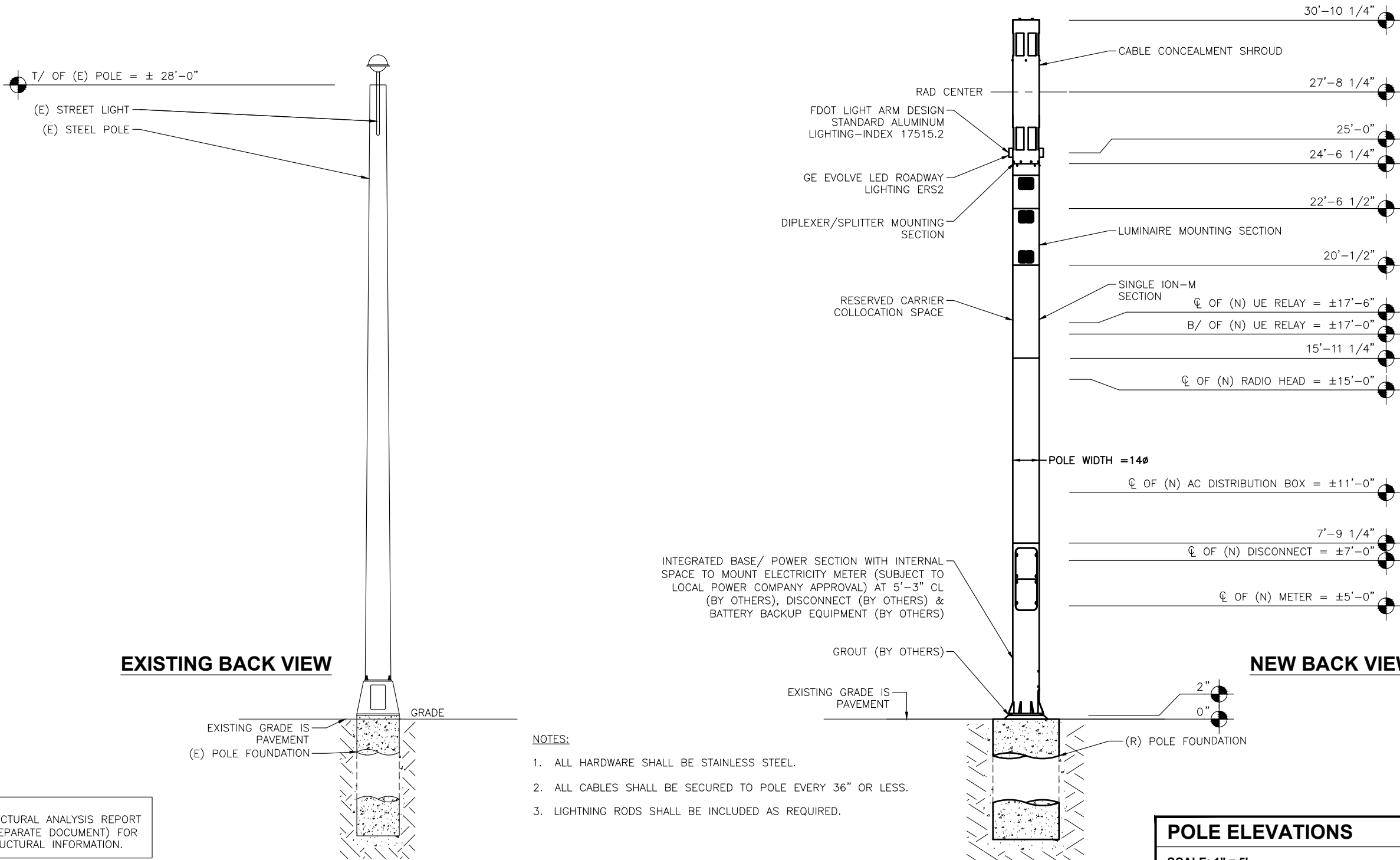
FL LICENSE: 68902 8/17/17
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-2

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)



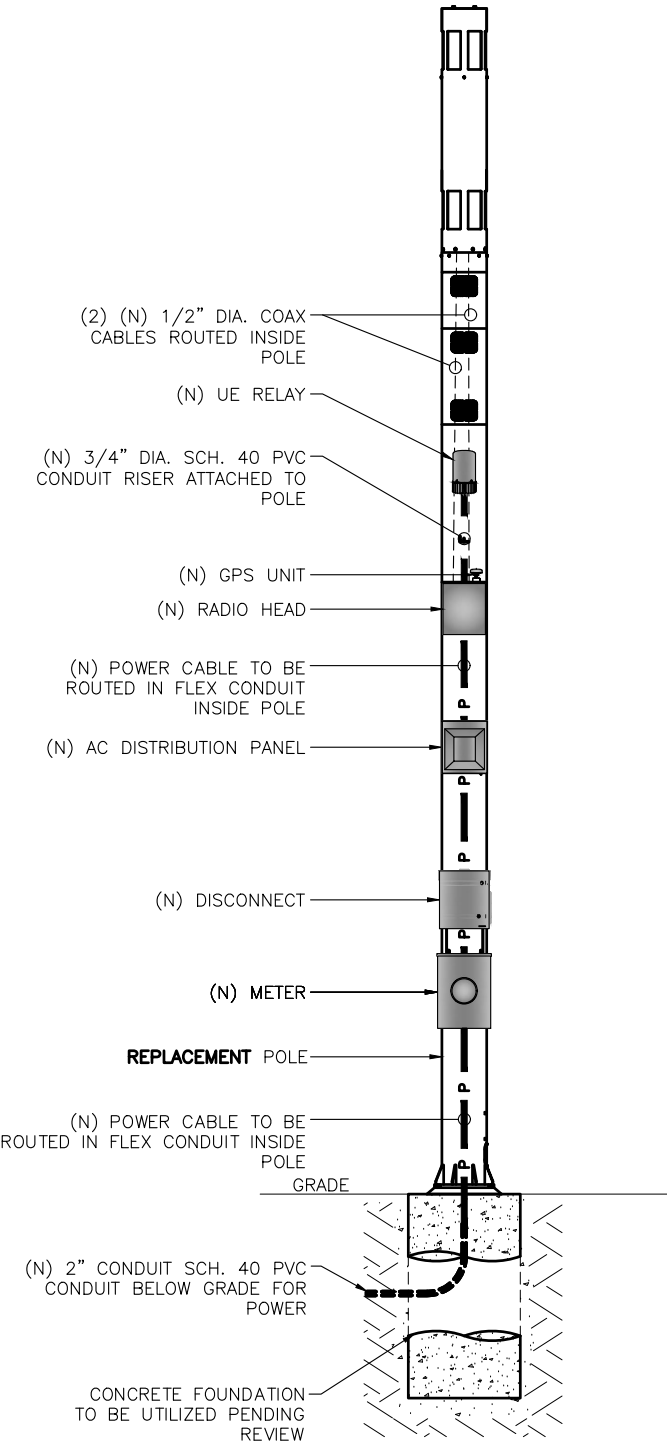
NOTES:

- ALL HARDWARE SHALL BE STAINLESS STEEL.
- ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
- LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT
MI90XS535C (SEPARATE DOCUMENT) FOR
ADDITIONAL STRUCTURAL INFORMATION.

POLE ELEVATIONS

SCALE: 1" = 5'



CABLING NOTES:

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
- I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
- II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
- III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRADE LINE.
- IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
- (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
- (2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
- V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
- VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE. NOT REQUIRED FOR COAX.
- B) NEW METALLIC POLES
- I) PROCURE NEW POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
- (1) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
- II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.

PLUMBING DIAGRAM

SCALE: NOT TO SCALE

1

NOTE:
NOTE: ALL CABLING, EQUIPMENT, AND APPURTENANCES TO BE INSTALLED INTERNAL TO STEALTH POLE

NOTE:
CABLING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION ONLY. CONTRACTOR SHALL INSTALL CABLES WITH MINIMAL VISUAL IMPACT ON **REPLACEMENT STEEL STEALTH UTILITY POLE**. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

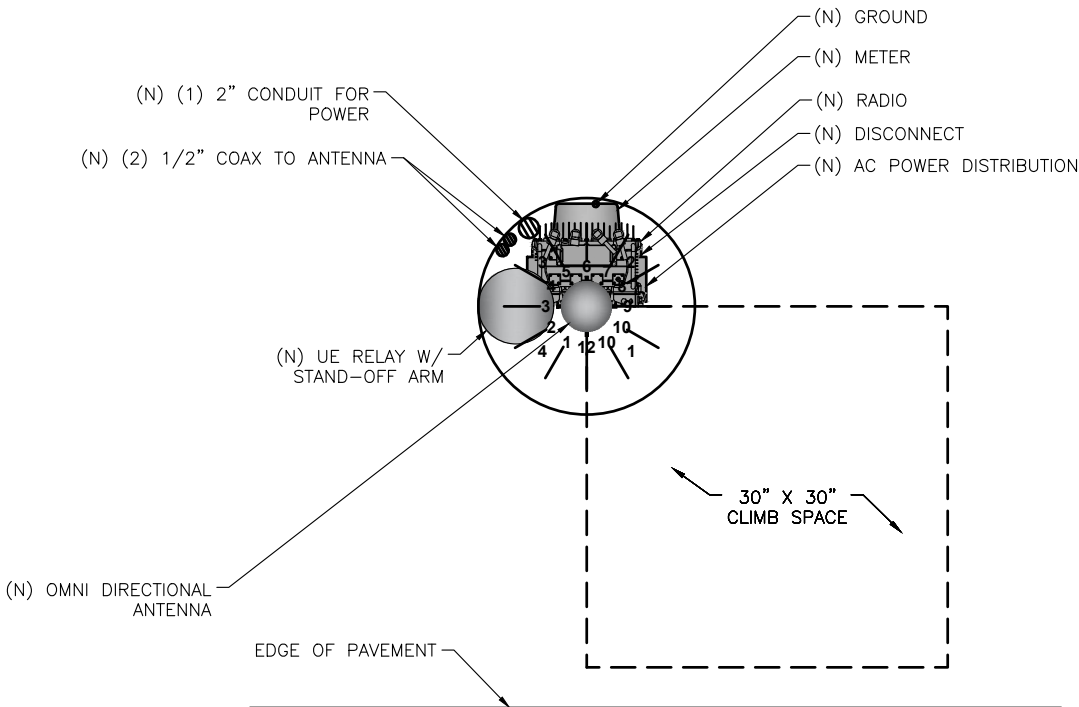
BILL OF MATERIALS							
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AZIMUTH	CABLE	DIMENSIONS (HxWxD)	WEIGHT
1	ANTENNA	ALPHA WIRELESS	AW3477-S	TBD	12'-6"±	30.7" X 4.7" DIAMETER	7 LBS
1	UE RELAY	AIRSPAN	iR460-SPB-ST-1-P-0	TBD	3'±	13" X 7" DIAMETER	8.8 LBS
-	-	-	-	-	-	-	-
1	GPS	TALLYSMAN	GPS-ANT-3	-	-	2" X 2.6" DIAMETER	0.3 LBS
1	RADIO	AIRSPAN	AH4000	-	3'±	20.3" X 10.3" X 8.3"	42 LBS
-	-	-	-	-	-	-	-
1	AC DISTRIBUTION PANEL	TRANSECTOR	1101-1207-1012	-	1'±	12" X 12" X 4"	17 LBS
1	NEMA TYPE-3R DISCONNECT	SIEMENS	GF222NR (EXAMPLE)	-	1'±	15.45" X 8.7" X 5.95"	14 LBS
1	METER SOCKET	MILBANK	U4801-XL-5T9 (EXAMPLE)	-	185'±	19" X 13" X 4.84"	21 LBS

RFDS REVISION TYPE: NOT FINAL
RFDS REVISION NUMBER: N/A
RFDS REVISION TIMESTAMP: N/A

BILL OF MATERIALS

SCALE: NOT TO SCALE

2



RISER ORIENTATION DIAGRAM

SCALE: NOT TO SCALE

3

mobilitie

PROJECT NO: 9FLB000989C

DRAWN BY: RC

CHECKED BY: SJB

A 08-17-17 FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER

STEPHEN A. BRAY
LICENSE
No. 68902
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
FL LICENSE: 68902 8/17/17

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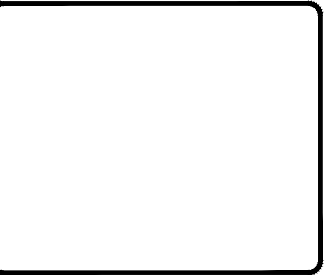
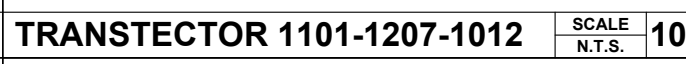
MI90XS535C

MIAMI BEACH, FL 33141

REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
PLUMBING & RISER DIAGRAM

SHEET NUMBER
PL-1



KMB DESIGN GROUP, LLC

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MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET NUMBER
EQ-1

NOT USED

SCALE: NOT TO SCALE

1

(N) 1/2" COAX FROM RADIO TO ANTENNA (TYP.)

(N) TOWER STANDOFF (VALMONT STK SERIES OR EQUIVALENT)

(N) 1/2" SNAP-IN (VALMONT 12SH-3 OR EQUIVALENT)

REPLACEMENT STEEL STEALTH UTILITY POLE

(N) STAINLESS STEEL BANDING (TYP.) MANUFACTURED BY BAND-IT #C204B9, 1/2" WITH C45499 BUCKLES, OR APPROVED EQUAL

NOTE:
SPACE SNAP-INS PER
CABLE MANUFACTURER'S
SPECIFICATIONS

CABLE MOUNTING DETAIL

SCALE: NOT TO SCALE

2

NOT USED


SCALE: NOT TO SCALE


3

5"

6"

NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.
Obey all posted signs and site guidelines for working in radio frequency environments.
SITE ID: **9FLB000989C**
Contact 877-244-7889

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

5"

4"

Mobilitie, LLC
In case of Emergency Contact
E-mail: MNOC@mobilitie.com
Phone: (877) 244-7889
Please Reference Site ID
Site ID
FCC ID

ANTENNA SIGNAGE:
ON METAL POLES – ADHESIVE VINYL OR PLACARD
STRAPPED WITH SS TIES
SIGN PLACEMENT:
AFFIX TO THE STRUCTURE 3–4' BELOW THE COMMERCIAL
RF ANTENNA(S)
SIZE APPROX. 8" x 5"

OWNER / OPERATOR NOTE:
SITE ID LABEL TO BE AFFIXED AT OR NEAR THE
POINT OF POWER CONNECTION WITH TZeS241
LABELING TAPE OR EQUIVALENT BLACK ON WHITE
LABELING TAPE OF AT LEAST 18mm WIDTH WITH
EXTRA-STRENGTH ADHESIVE. USE ANY COMPATIBLE
P-TOUCH LABEL MAKER. TEXT SHOULD BE
PRINTED IN ALL CAPS WITH A MINIMUM HEIGHT
OF 1/2".


ANTENNA SIGNAGE

EMERGENCY CONTACT SIGN

POLE MOUNTED SIGNS

SCALE: NOT TO SCALE

4



PROJECT NO: 9FLB000989C

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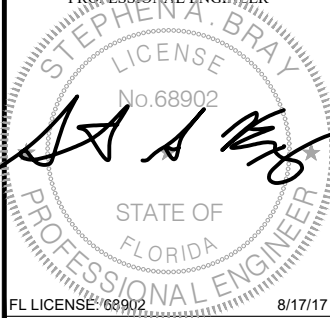
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MIAMI BEACH, FL 33141

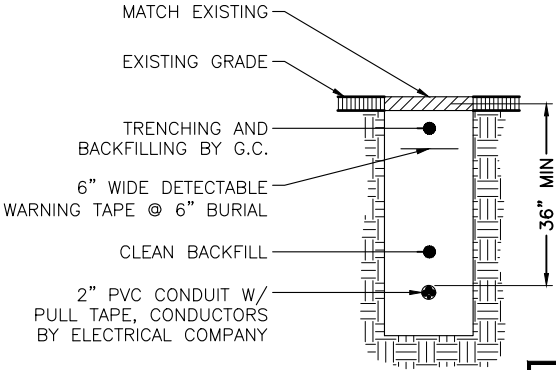
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE

EQUIPMENT DETAILS

SHEET NUMBER

EQ-2

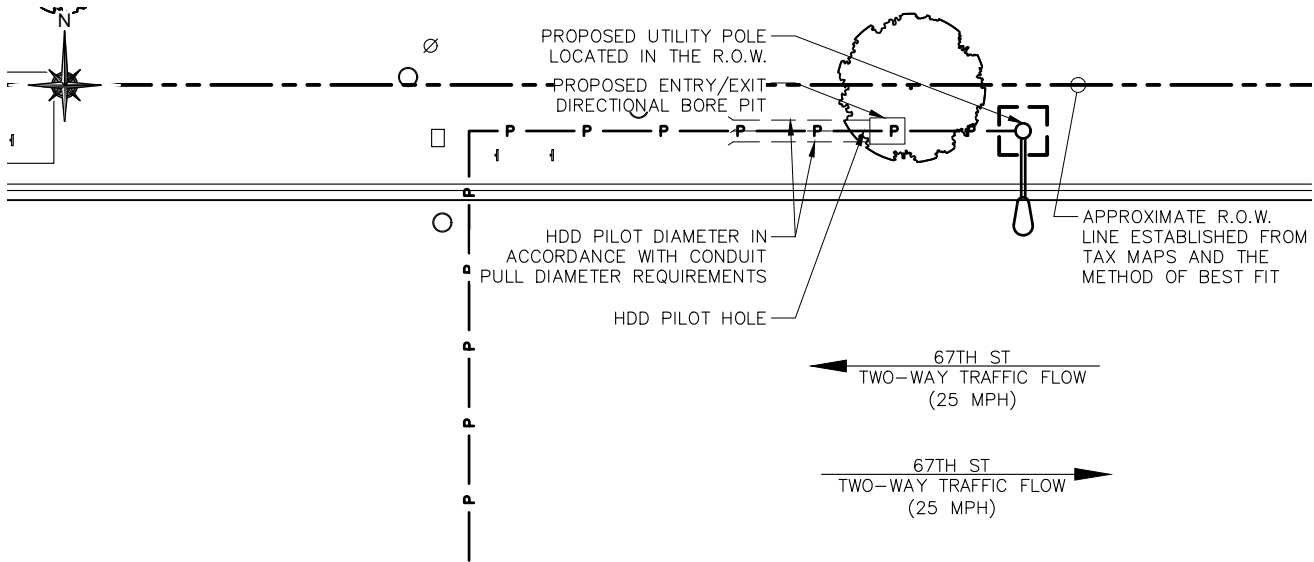


NOTE:
TRENCH WIDTH SHALL NOT EXCEED 18"
AT ALL ACCESS DRIVE LOCATIONS AND
WHEN CROSSING THE COMPOUND GATE
OPENING.

TRENCH SECTION DETAIL

SCALE: NOT TO SCALE

1

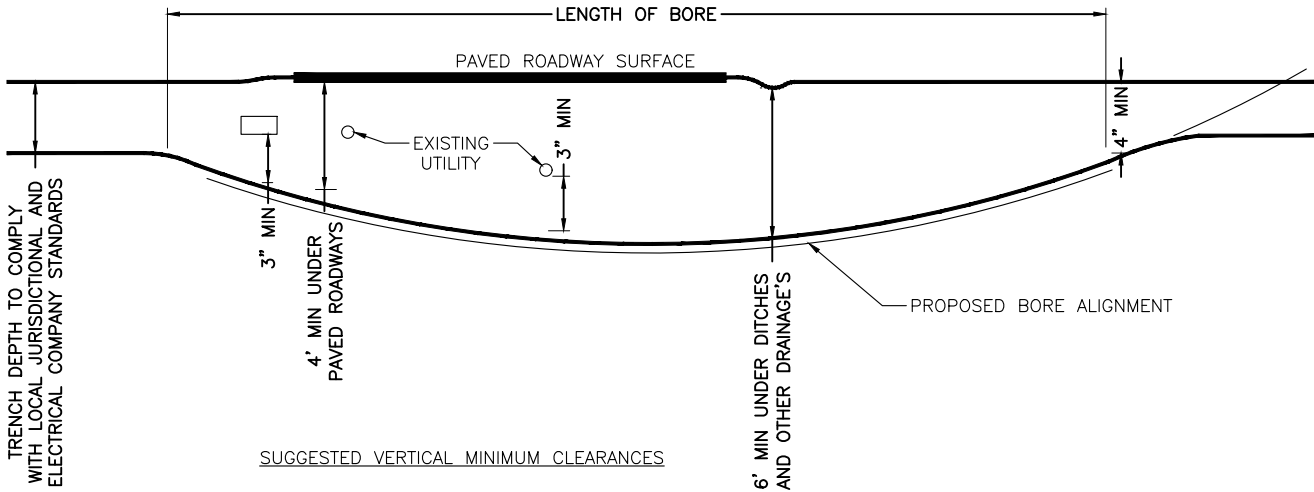


NOTE:
1. ALL HDD CONTRACTORS SHALL BE LICENSED AS "A"
OR "C3" CONTRACTORS IN THE APPLICABLE STATE.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE
WITH TR-46 AND ASTM F1962-11

HORIZONTAL BORE PLAN

SCALE: NOT TO SCALE

2



DIRECTIONAL BORING DETAILS

SCALE: NOT TO SCALE

3

NOT USED

SCALE: NOT TO SCALE

4

NOT USED

SCALE: NOT TO SCALE

5

mobilitie

PROJECT NO: 9FLB000989C
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CHECKED BY: SJB

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Stephen A. Bray

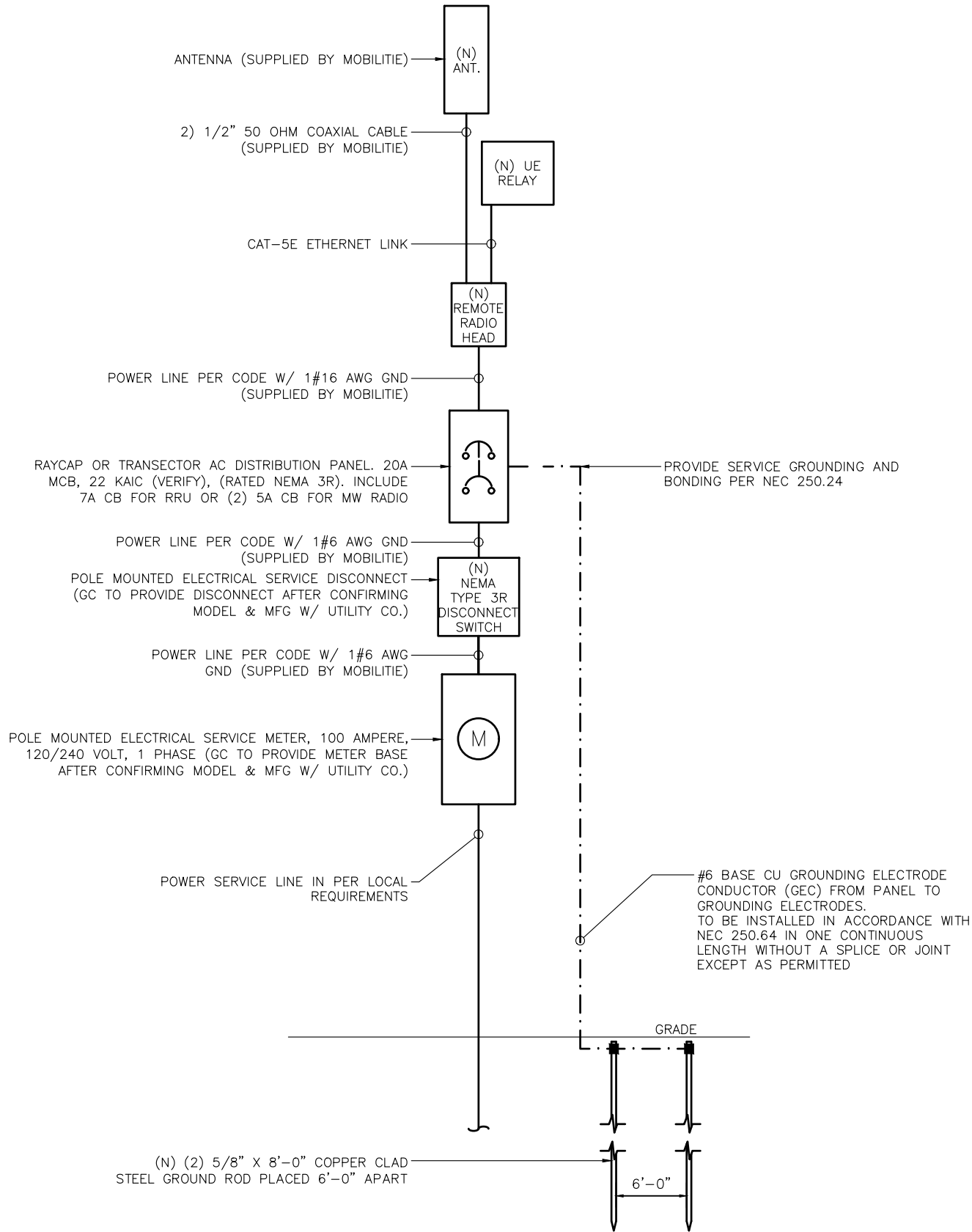
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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EXCAVATION DETAILS

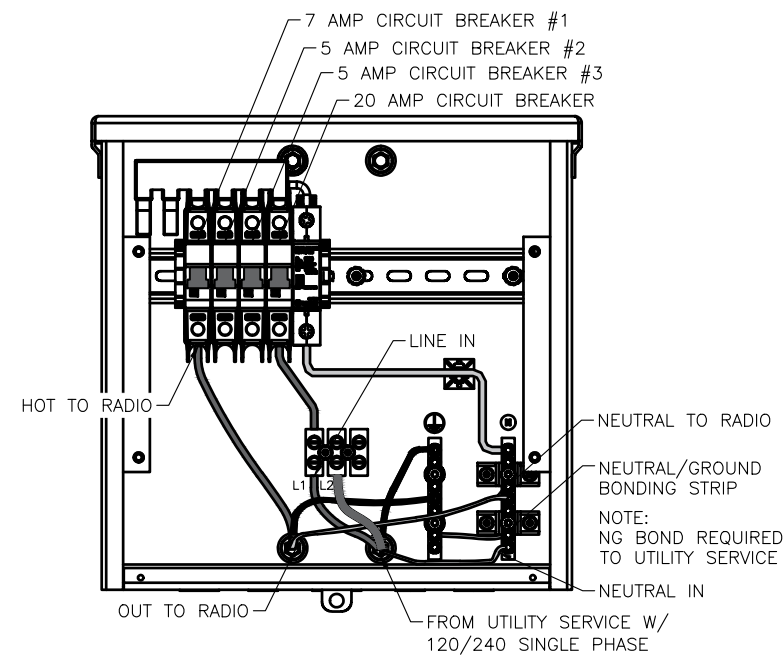
SHEET NUMBER
EX-1



ONE-LINE DIAGRAM

SCALE: NOT TO SCALE

1



TRANSECTOR EXPORT AC DISTRIBUTION BOX

BREAKER SCHEDULE

SCALE: NOT TO SCALE

2

NOTES:

- NOMINAL POWER IS CALCULATED AS 80% OF OEM DOCUMENTED MAXIMUM POWER.
- CALCULATIONS FOR UE W/ NOKIA DO NOT NEED TO INCLUDE THE POWER FOR THE UE ANTENNA AS IT IS INCLUDED IN THE MAX POWER FIGURE. CALCULATIONS FOR UE W/ AIRSPAN MUST INCLUDE UE AS IT IS NOT INCLUDED
- KVA IS CALCULATED FROM THE CONSUMPTION VALUE ASSUMING A PF=1. MAXIMUM POWER WAS USED FOR KVA. WHERE MAXIMUM WAS NOTED BY THE OEM THE QUOTED FIGURE WAS USED. WHERE AVERAGE/NOMINAL POWER WAS NOTED BY THE OEM MAXIMUM POWER WAS CALCULATED BY INCREASING AVERAGE/NOMINAL POWER BY A FACTOR OF 50%

Airspan Scenario 2 AH4000 High Power Radio and UE Backhaul

Unit	Sub Description	Max Power (W)	Max Current (A)	KVA	kWh/Yr
AirHarmony 4000	LTE Base Station	540	4.50	0.54	4730.4
Airspan IR460	UE Relay	N/A	N/A	N/A	N/A
Total		540	4.50	0.54	4730.4

LOAD CALCULATIONS

SCALE: NOT TO SCALE

3

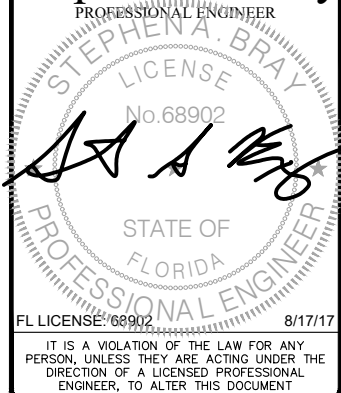
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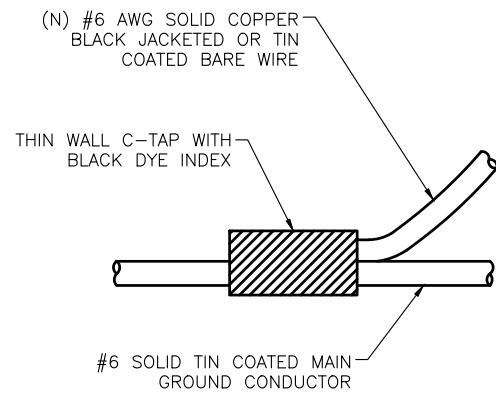


MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-1

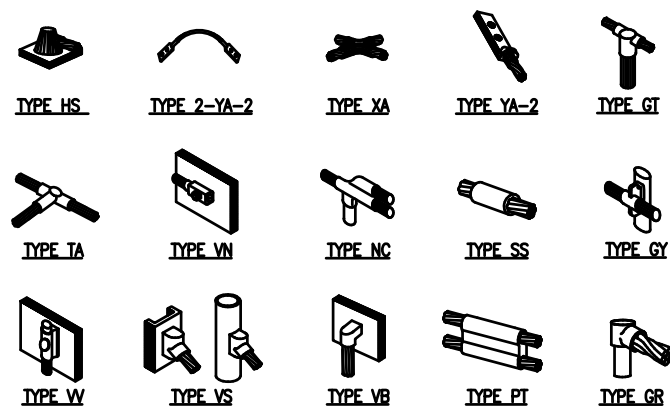
NOTE:
CONTRACTOR TO SURROUND COMPLETED CONNECTION WITH HEAT-SHRINK TUBING TO ENSURE WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE: NOT TO SCALE

1

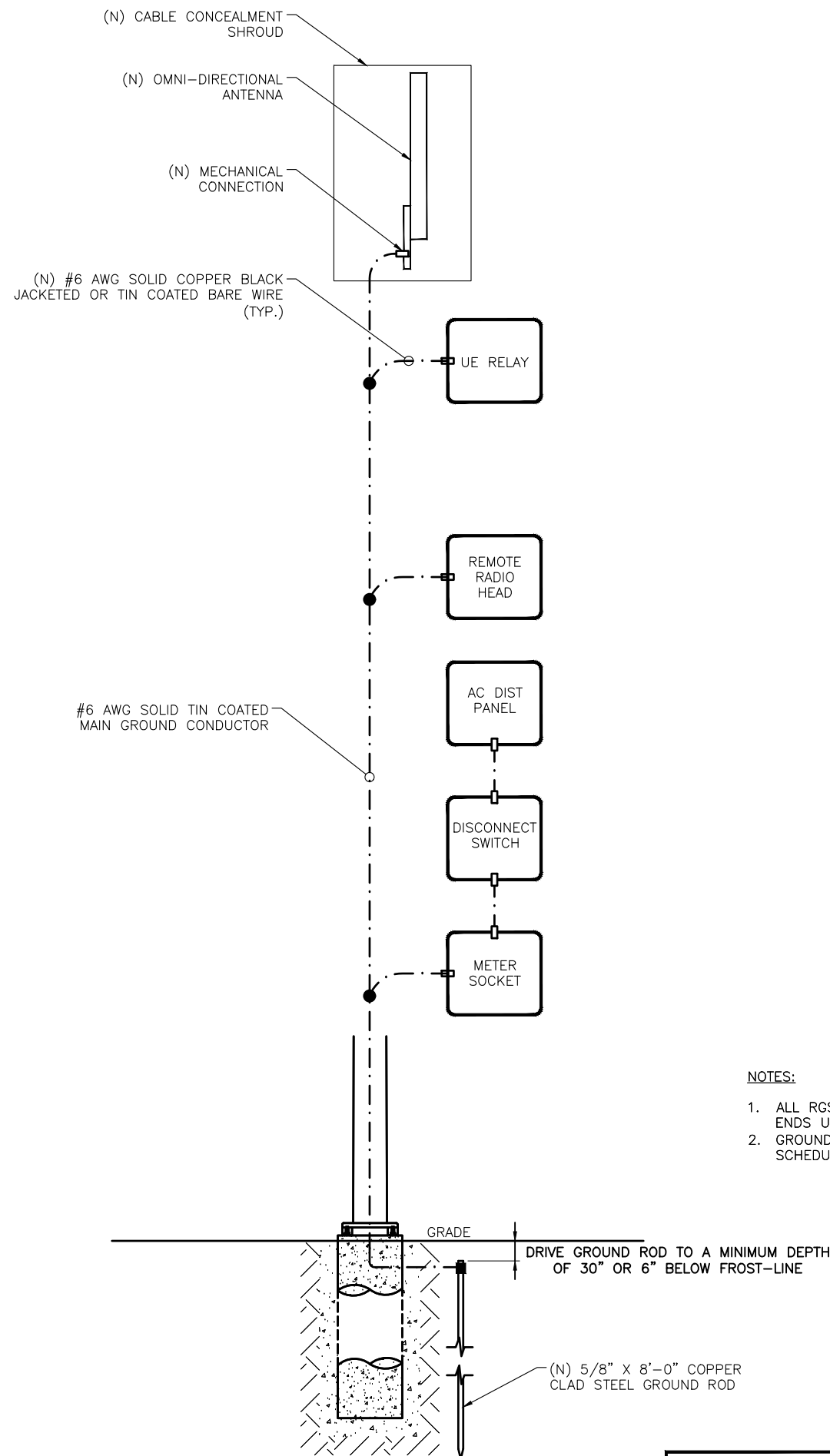


NOTE:
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

WELD CONNECTION DETAILS

SCALE: NOT TO SCALE

2



- NOTES:
1. ALL RGS TO BE GROUNDED AT BOTH ENDS USING GROUNDING BUSHINGS
 2. GROUND WIRE TO BE RUN IN 1/2" SCHEDULE 40 PVC.

GROUNDING RISER DIAGRAM

SCALE: NOT TO SCALE

3

- LEGEND
- CADWELD CONNECTION
 - MECHANICAL CONNECTION
 - COMPRESSION CONNECTION

NOTE:
GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

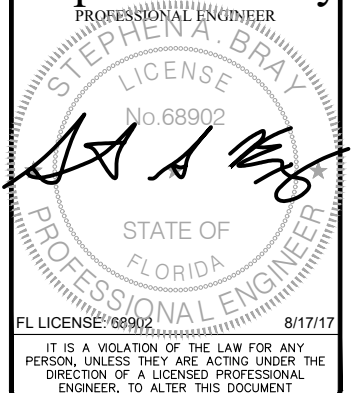
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MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

REINFORCED CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL SITECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 28 DAYS. CONTINUOUS INSPECTION AND TESTING IS NOT REQUIRED. THE CONTRACTOR MAY SUBSTITUTE 5000 PSI FOR HIGH EARLY STRENGTH.

SLUMP – 4” MIN. / 6” MAX.
AIR ENTRAINMENT – 2% TO 3% BY VOLUME

CLASSES OF CONCRETE

CLASS	28 DAY STRENGTH (PSI)	MAX. WATER/CEMENT RATIO	PLACEMENT LOCATION	
TYPE 1	3000	0.55	ALL LOCATIONS	NORMAL WEIGHT

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL FABRIC UNLESS OTHERWISE NOTED. SPLICES FOR REBAR SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD, UNO. STAGGER SPLICES UNO. LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST TWO FULL MESHES, UNO.

4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....	3”
CONCRETE EXPOSED TO EARTH OR WEATHER	
#6 AND LARGER.....	2”
#5 AND SMALLER & W.W.F.....	1–1/2”

5. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4”.

6. INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER’S WRITTEN SPECIFICATIONS. THE ANCHOR BOLTS, DOWEL, OR RODS SHALL CONFORM TO THE ANCHOR MANUFACTURER’S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL. IF THE MANUFACTURER’S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

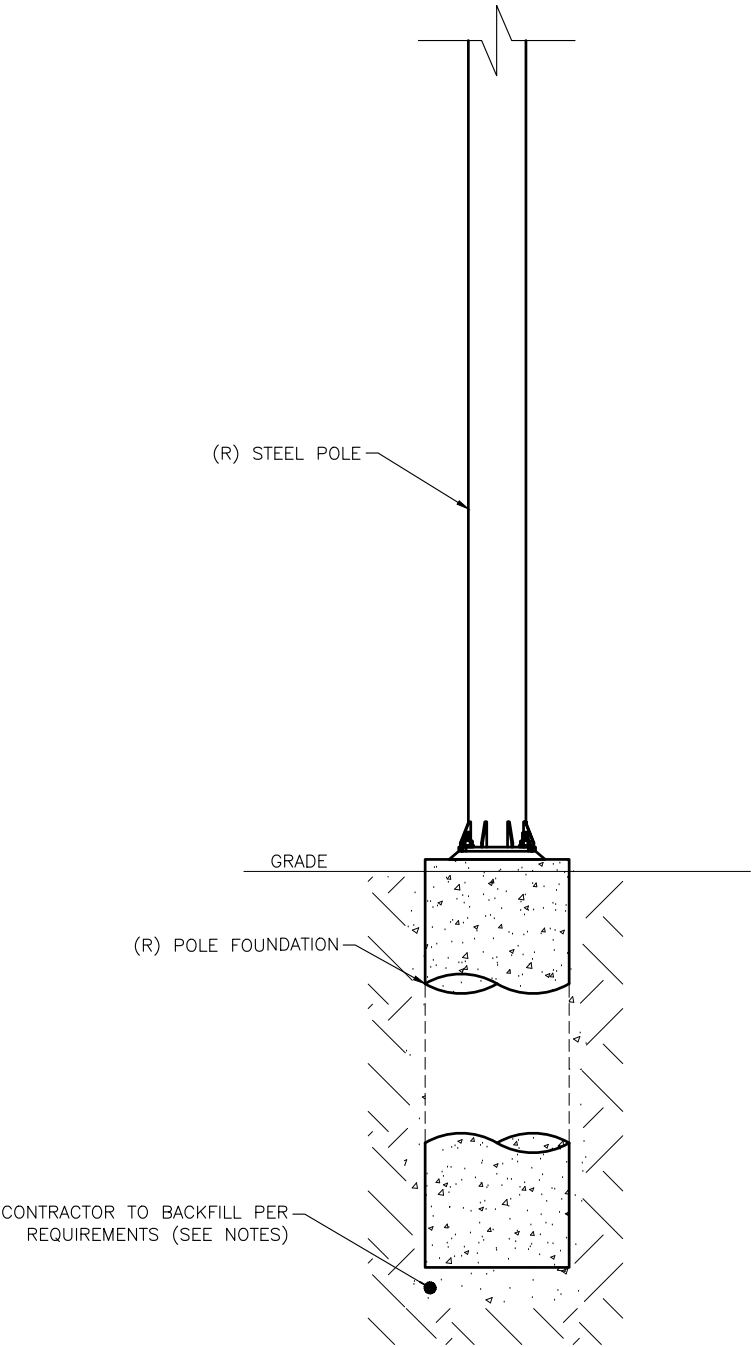
7. MECHANICAL VIBRATION IS REQUIRED ON ALL SLABS TO REDUCE THE HONEYCOMB EFFECT UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.

8. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDUIT SIZES AND PENETRATION LOCATION PRIOR TO POURING THE SLAB. REFER TO SHELTER MANUFACTURER’S SPECIFICATIONS FOR ADDITIONAL INFORMATION.

9. ALLOWABLE SOIL PRESSURE = 2500 PSF (ASSUMED).

NOTE:
SEE GN-3 FOUNDATION, EXCAVATION AND BACKFILL FOR ADDITIONAL NOTES.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



POLE FOUNDATION DETAILS

SCALE: NOT TO SCALE

1

mobilitie

PROJECT NO: 9FLB000989C

DRAWN BY: RC

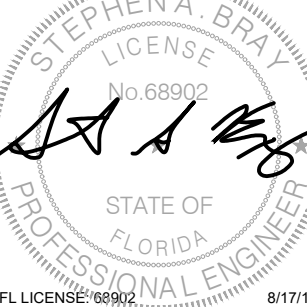
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MIAMI BEACH, FL 33141

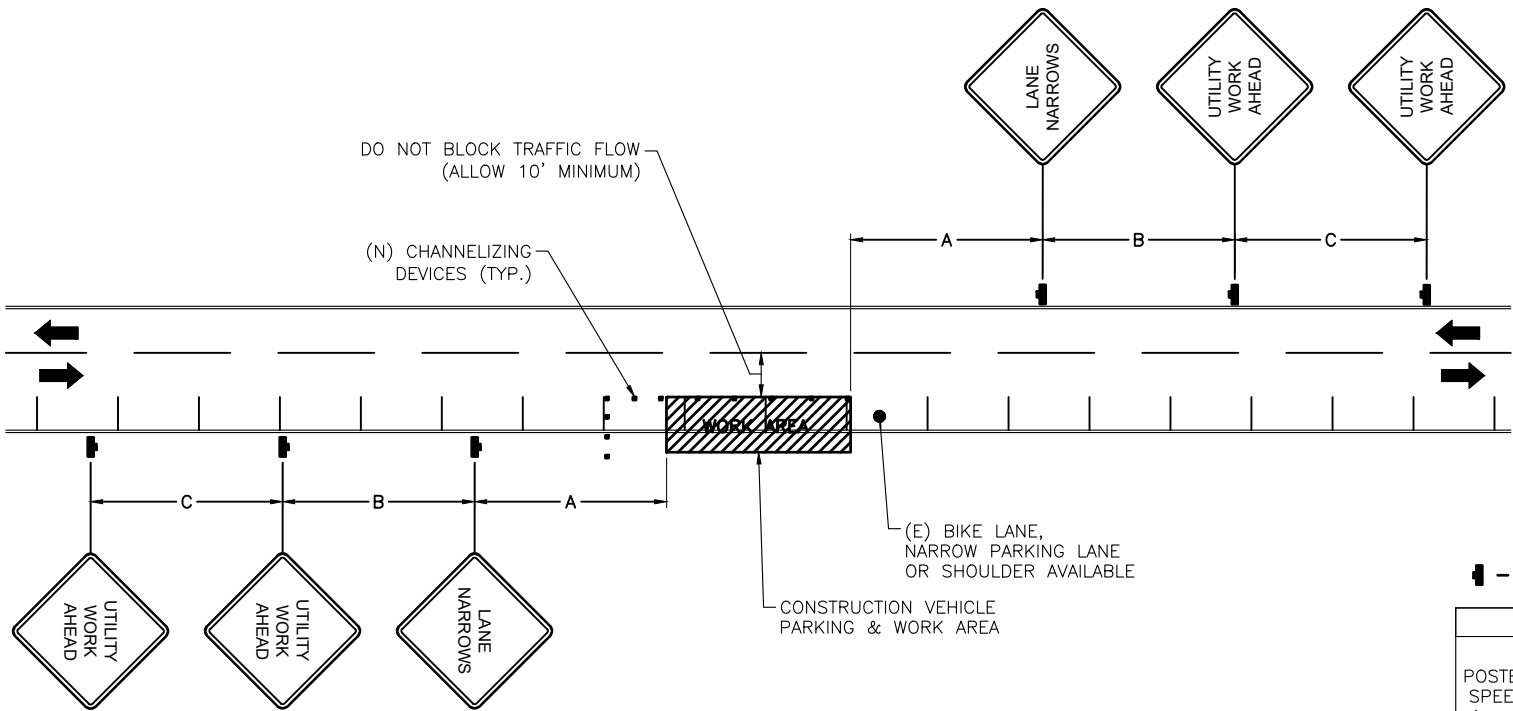
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE FOUNDATION DETAILS

SHEET NUMBER
S-1

PLAN NOTES:

1. PLANS DEPICTED ARE GENERAL GUIDELINES FOR TEMPORARY VEHICULAR TRAFFIC CONTROL PLANS (TCP) TO INCLUDE PEDESTRIAN AND WORKER SAFETY. CONTRACTOR IS REQUIRED TO HAVE PREPARED A SITE-SPECIFIC TCP FOR REVIEW AND APPROVAL BY THE HIGHWAY AUTHORITY HAVING JURISDICTION. IF REQUIRED, THE FIRM PREPARING THE TCP SHALL BE AUTHORIZED OR CERTIFIED BY THE AUTHORITY HAVING JURISDICTION.
2. EXTEND CHANNELIZATION DEVICES INTO SHOULDER WHERE APPLICABLE.
3. DISTANCES AS INDICATED IN TABLE 1 SHOULD BE INCREASED FOR CONDITIONS THAT WOULD AFFECT STOPPING. DISTANCE SUCH AS DOWNGRADES OR LIMITED SIGHT DISTANCES. DISTANCES CAN BE DECREASED FOR LOW-SPEED (RESIDENTIAL) AREAS WITH APPROVAL BY THE AUTHORITY HAVING JURISDICTION. NIGHT-TIME WORK IS PROHIBITED UNLESS IT IS REQUIRED AS A CONDITION OF APPROVAL BY THE HIGHWAY AND LOCAL AUTHORITY HAVING JURISDICTION.
4. SHOULDER TAPERS SHOULD BE 1/3 OF THE ON-STREET TAPER LENGTH.
5. MAINTAIN A MINIMUM LANE WIDTH OF 10'.



1 - SIGN

TABLE 1					
POSTED SPEED (MPH)	DISTANCE BETWEEN SIGNS			TAPER	BUFFER
	A	B	C	L (SEE NOTE)	
15	100'	100'	100'	45'	100'
20	100'	100'	100'	80'	115'
25	100'	100'	100'	125'	155'
30	200'	200'	200'	180'	200'
35	200'	200'	200'	245'	250'
40	350'	350'	350'	320'	305'
45	350'	350'	350'	540'	360'
50	500'	500'	500'	600'	425'
55	500'	500'	500'	660'	495'
60	500'	500'	500'	720'	570'
65	500'	500'	500'	780'	645'

NOTES:

A) DISTANCES IN FEET UNLESS OTHERWISE NOTED.

B) CONTRACTOR TO VERIFY (E) SPEED LIMIT.

C) DISTANCES SHOWN ARE NOT VALID FOR LIMITED ACCESS HIGHWAYS. CONSULT STATE DOT MANUAL FOR DISTANCES.

D) ADJUST DISTANCES TO COMPLY WITH REQUIREMENT OF THE STATE OR LOCAL HIGHWAY AUTHORITY HAVING JURISDICTION. SEE NOTE 1, SHEET TC-2.

E) TAPER LENGTHS SHOWN BASED ON 12' LANE WIDTH. SEE NOTE 18, SHEET TC-2.

VEHICULAR TRAFFIC CONTROL PLAN -
CURBSIDE PARKING

SCALE: NOT TO SCALE

1

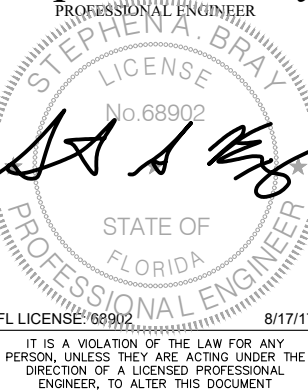
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Stephen A. Bray



MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
VEHICULAR TRAFFIC
CONTROL PLAN

SHEET NUMBER
TC-1

1. ALL TEMPORARY TRAFFIC CONTROL SIGNAGE, LAYOUTS AND PROCEDURES SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, WHICHEVER IS MORE STRINGENT.
2. PRIOR TO ANY ROAD CONSTRUCTION, TRAFFIC CONTROL SIGNS AND DEVICES SHALL BE IN PLACE.
3. TRAFFIC CONTROL DEVICES FOR LANE CLOSURES INCLUDING SIGNS, CONES, BARRICADES, ETC. SHALL BE PLACED AS SHOWN ON PLANS. SIGNS SHALL NOT BE PLACED WITHOUT ACTUAL LANE CLOSURES AND SHALL BE IMMEDIATELY REMOVED UPON REMOVAL OF THE CLOSURES.
4. SELECTION, PLACEMENT, MAINTENANCE, AND PROTECTION OF TRAFFIC, PEDESTRIANS, AND WORKERS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) – PART VI "TEMPORARY TRAFFIC CONTROL", AND LOCAL JURISDICTIONAL REQUIREMENTS UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS, AND SHALL BE APPROVED BY THE APPROPRIATE HIGHWAY AUTHORITY HAVING JURISDICTION.
5. ADVANCE WARNING SIGNS, DISTANCES, AND TAPER LENGTHS MAY BE EXTENDED TO ADJUST FOR REDUCED VISIBILITY DUE TO HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY AND FOR ACTUAL TRAFFIC SPEEDS IF IN EXCESS OF POSTED SPEED LIMITS.
6. TAPERS SHALL BE LOCATED TO MAXIMIZE THE VISIBILITY OF THEIR TOTAL LENGTH.
7. CONFLICTING OR NON-OPERATING SIGNAL INDICATIONS ON THE (E) TRAFFIC SIGNAL SYSTEMS SHALL BE BAGGED OR COVERED.
8. ALL (E) ROAD SIGNS, PAVEMENT MARKINGS AND/OR PLOWABLE PAVEMENT REFLECTORS WHICH CONFLICT WITH THE (N) TRAFFIC CONTROL PLAN SHALL BE COVERED, REMOVED, OR RELOCATED. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO MATCH PRE-CONSTRUCTION CONDITION AFTER COMPLETION OF WORK.
9. CONTRACTOR SHALL CONTACT LOCAL AUTHORITY HAVING HIGHWAY JURISDICTION AND PROVIDE ADDITIONAL "FLAGMEN" OR POLICE SUPERVISION, IF REQUIRED.
10. ALL EXCAVATED AREAS WITHIN OR ADJACENT TO THE ROADWAY SHALL BE BACKFILLED AND PLACED ON A MINIMUM 6H:1V SLOPE PRIOR TO END OF EACH WORK DAY. OTHER EXCAVATED AREAS WITHIN THE CLEAR ZONE ARE TO BE EITHER BACKFILLED OR PRECAST CONCRETE CURB BARRIER CONSTRUCTION BARRIER SET TEMPORARILY IN PLACE TO SHIELD VEHICULAR AND PEDESTRIAN TRAFFIC.
1. WHERE DICTATED BY LOCAL CONDITIONS, THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING PEDESTRIAN AND WORKER CROSSING LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES AND OSHA REQUIREMENTS.
2. CONSTRUCTION ZONE SPEED LIMIT IF REDUCED FROM POSTED LIMITS SHALL BE IN ACCORDANCE WITH MUTCD AND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
3. THERE SHALL BE NO WORKERS, EQUIPMENT, OR OTHER VEHICLES IN THE BUFFER SPACE OR THE ROLL AHEAD SPACE.
4. DRIVEWAYS AND/OR SIDE STREETS ENTERING THE ROADWAY AFTER THE FIRST ADVANCE WARNING SIGN SHALL BE PROVIDED WITH AT LEAST ONE W20-1 SIGN (ROAD WORK AHEAD) AS A MINIMUM.
5. CONES MAY BE SUBSTITUTED FOR DRUMS AND INSTALLED UPON THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION PROVIDED THEY COMPLY WITH MUTCD.
6. THE SPACING BETWEEN CONES, TUBULAR MARKERS, VERTICAL PANELS, DRUMS, AND BARRICADES SHOULD NOT EXCEED A DISTANCE IN FEET EQUAL TO 1.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TAPER CHANNELIZATION, AND A DISTANCE IN FEET EQUAL TO 2.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TANGENT CHANNELIZATION.
7. WHEN CHANNELIZATION DEVICES HAVE THE POTENTIAL OF LEADING VEHICULAR TRAFFIC OUT OF THE INTENDED VEHICULAR TRAFFIC SPACE, THE CHANNELIZATION DEVICES SHOULD BE EXTENDED A DISTANCE IN FEET OF 2.0 TIMES THE SPEED LIMIT IN MPH BEYOND THE DOWNSTREAM END OF THE TRANSITION AREA.
8. TAPER LENGTHS ARE CALCULATED AS FOLLOWS:
 $L = WS^2/60$ (40 MPH AND HIGHER) OR $L2 = WS$ (OVER 40 MPH),
WHERE W= OFFSET WIDTH (FT), S= TRAFFIC SPEED (MPH).



GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILITIE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO OWNER–SUPPLIED ITEMS. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:

A) TRANSMITTER

B) UHF ANTENNA AND MOUNTING BRACKETS, GPS UNIT AND KU BACKHAUL

C) UHF COAX AND HANGERS

D) INTEGRATED LOAD CENTER
- DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILITIE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
- DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMIS AND APPROVED SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
- THE TERM “PROVIDE” USED IN CONSTRUCTION DOCUMENTS AND SPECIFIATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
- CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY–STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITIE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
- IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.
- CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
- CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
- CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
- MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ANY EROSION CONTROL MEASURES, RECORD–KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
- ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT’S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
- THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OF REGULATIONS, A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILITIE CM PRIOR TO PROCEEDING WITH THE WORK.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILITIE CM AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE MOBILITIE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.

A) UL – UNDERWRITERS LABORATORIES

B) NEC – NATIONAL ELECTRICAL CODE

C) NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.

D) OSHA – OCCUPATIONAL SAFETY AND HEALTH ACT

E) SBC – STANDARD BUILDING CODE

F) NFPA – NATIONAL FIRE PROTECTION AGENCY

G) ANSI – AMERICAN NATIONAL STANDARDS INSTITUTE

H) IEEE – INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS

I) ASTM – AMERICAN SOCIETY FOR TESTING MATERIALS
- REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILITIE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
- (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
- CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS’ CONFIRMATION, ETC... ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILITIE CM, PRIOR TO BEGINNING ANY WORK.
- MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION, UNLESS OTHERWISE NOTED.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY FUNCTIONAL AND SHALL BE APPROVED BY THE MOBILITIE CM AND LOCAL JURISDICTION. ANY DIFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

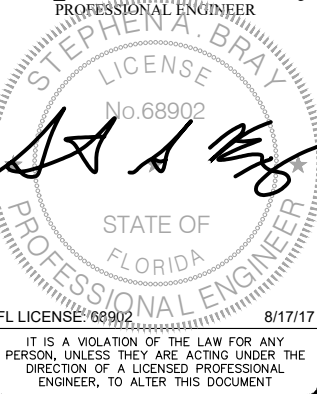
mobilitie

PROJECT NO:	9FLB000989C
DRAWN BY:	RC
CHECKED BY:	SJB

A	08–17–17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray



MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

ELECTRICAL NOTES CONT'D

1.

THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
2.

CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
3.

DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
4.

MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECE.
5.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILITIE CM PRIOR TO INSTALLATION.
6.

ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILITIE CM UPON FINAL ACCEPTANCE.
7.

THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
8.

DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
9.

ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
10.

RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
11.

SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
12.

CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, UNLESS OTHERWISE NOTED, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
13.

CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
14.

SERVICE: AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
15.

TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
16.

ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
17.

CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOM".
18.

ALL BOLTS SHALL BE 3-16 STAINLESS STEEL

GROUNDING NOTES:

1.

ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR SIZED TO MATCH COMPONENTS OR LOG SIZE.
2.

FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3.

ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4.

ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5.

ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6.

GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7.

ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. USE SOLID COPPER, BLACK JACKETED WIRE ON NON WOOD POLES AND SOLID TINNED COPPER, BARE (NO JACKET) WIRES ON WOOD POLES. BLACK WIRES WILL USE A SINGLE STRIPE OF GREEN ELECTRICAL TAPE WITHING 12" OF THE CONNECTION POINTS TO IDENTIFY AS GROUNDING WIRE.
8.

NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
9.

ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
10.

ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
11.

ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:

A.

BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.

B.

CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).

C.

ONE (1) OR (2) HOLES TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
12.

ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
13.

ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS).
14.

ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1.

RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2.

CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.

3.

CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
4.

ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT.
5.

ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
6.

GPS EQUIPMENT (WHEN REQUIRED) IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DOING SO WILL DAMAGE THE GPS UNIT.
7.

PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
8.

EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVES APPROVAL TO ENERGIZE THE EQUIPMENT.

SITE WORK NOTES:

1.

DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2.

SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3.

ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE. BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4.

CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILITIE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5.

ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6.

GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
7.

ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

mobilitie


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DRAWN BY:	RC
CHECKED BY:	SJB

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KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER



FL LICENSE: 68902 8/17/17

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-2

SITE WORK NOTES CONT'D

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILLS PLACED ON (E) SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE (E) SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DEBRIS, PAPER, TRASH, WEEDS, BRUSH, EXCESS FILL, OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF–SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

ENVIRONMENTAL NOTES:

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES AS REQUIRED BY THE LOCAL JURISDICTION WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE, BUT IS NOT LIMITED TO SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

FOUNDATION, EXCAVATION AND BACKFILL NOTES:

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
2. BACKFILL OF THE POLE SHALL BE PERFORMED BASED ON THE WATER TABLE. FLOWABLE FILL MIXTURES PURCHASED FROM CONCRETE PLANTS WILL BE USED INSTEAD OF FOAM IN WATER TABLE AREAS.

A: NORMAL SOILS ORDER OF PREFERENCE – FOAM, FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES

B: HIGH WATER TABLE SOILS ORDER OF PREFERENCES – FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES.
3. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED LIME STONE #57 MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
5. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2” MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
6. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6” THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
7. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
8. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
9. NEWLY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE: TYPAR–3401 AS MANUFACTURED BY TYPAR GEOSYNTHETICS OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENCE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4” DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED.
10. IN ALL AREAS TO RECEIVE FILL: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH (E)/PREPARED SOIL SURFACE.
11. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE–CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
12. IN AREAS WHICH (E) GRAVEL SURFACING IS REMOVED OR DISTURBED DURING

CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.

13. (E) GRAVEL SURFACING MAY NOT BE REUSED.

14. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
15. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING 'MATTS' OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
16. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
17. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

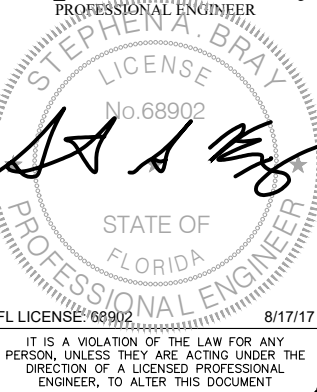
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PROJECT NO:	9FLB000989C
DRAWN BY:	RC
CHECKED BY:	SJB

A	08–17–17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray



MI90XS535C
MIAMI BEACH, FL 33141
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

LESSOR'S LEGAL DESCRIPTION
MIAMI-DADE COUNTY, CITY OF MIAMI BEACH RIGHT OF WAY

FLOOD ZONE DESIGNATION
THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "AE" WITH A BFES OF 8 FEET. AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 12086C0319L DATED 09/11/09.

ZONE AE - AN AREA INUNDATED BY 1% ANNUAL CHANCE FLOODING, FOR WHICH BFES HAVE BEEN DETERMINED.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS BASED ON NETWORK GPS SOLUTIONS OR CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM FLORIDA STATE PLANE COORDINATE ZONE EAST, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 08/06/17.

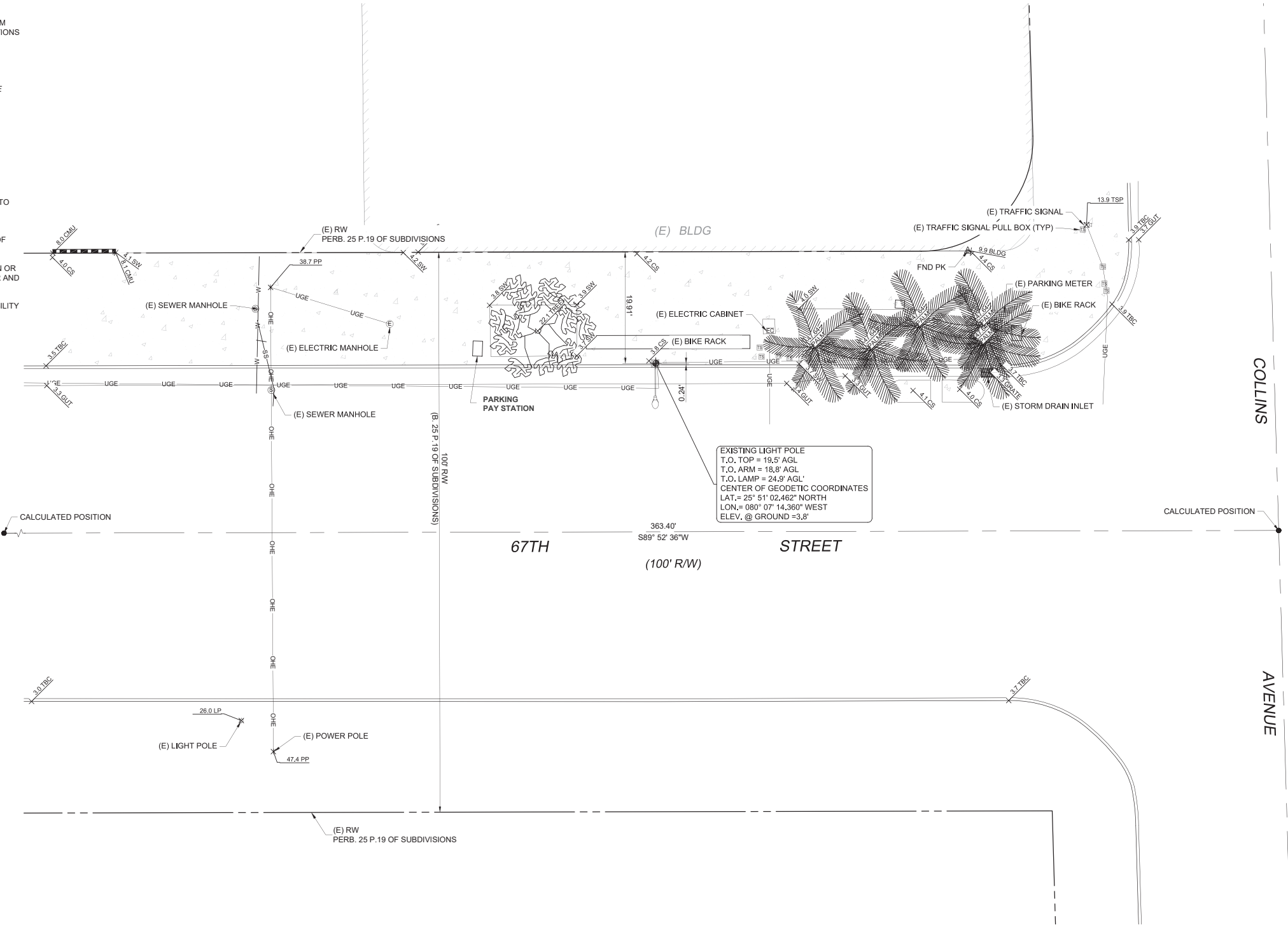
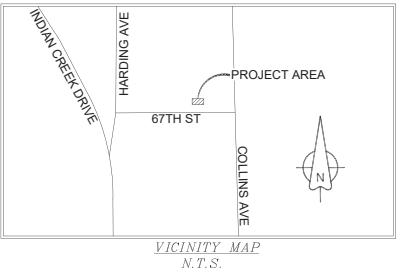
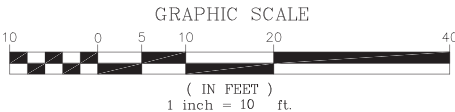
SURVEYOR NOTES

- A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

- (E) EXISTING
- Ⓜ ELECTRIC MANHOLE
- Ⓢ FIBER MANHOLE
- Ⓢ TRAFFIC SIGNAL PULL BOX
- Ⓢ PK/WASHER
- Ⓢ WATER METER
- Ⓢ STREET LIGHT W/ MAST ARM
- Ⓢ DECIDUOUS TREE
- Ⓢ WATER VALVE
- Ⓢ SIGN
- Ⓢ BREAKLINE
- Ⓢ POSITION OF GEODETIC COORDINATES
- Ⓢ POWER POLE
- Ⓢ TRAFFIC SIGNAL
- Ⓢ TRAFFIC SIGNAL VAULT
- Ⓢ RIGHT-OF-WAY LINE
- Ⓢ CENTERLINE
- Ⓢ UGE UGE
- Ⓢ FO FO
- Ⓢ W W
- Ⓢ GAS GAS

- Ⓢ U/G ELECTRIC LINE
- Ⓢ U/G FIBER OPTIC LINE
- Ⓢ WATER LINE
- Ⓢ U/G GAS LINE



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FIELD BY:	JTS
DRAWN BY:	VAL
CHECKED BY:	KEM

REVISIONS

NO.	DATE	DESCRIPTION
1	08/14/17	FINAL



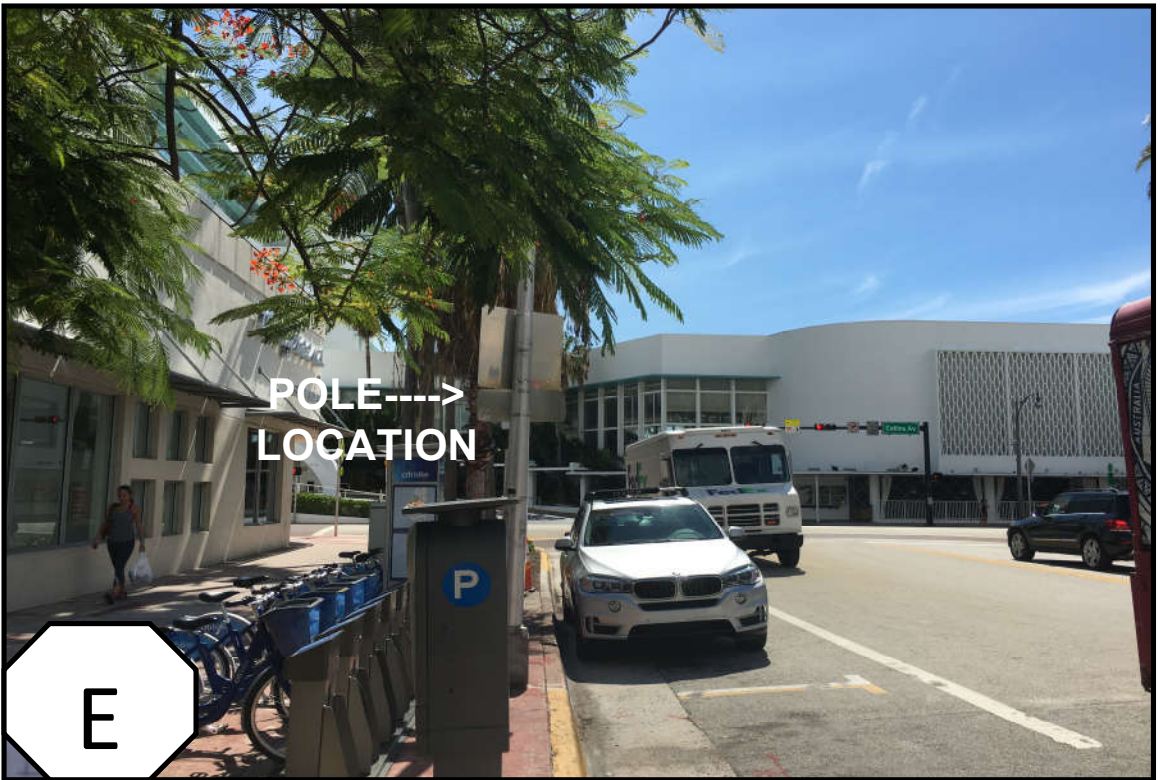
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PROJECT No.
08002082
SITE NAME:
MI90XS535C

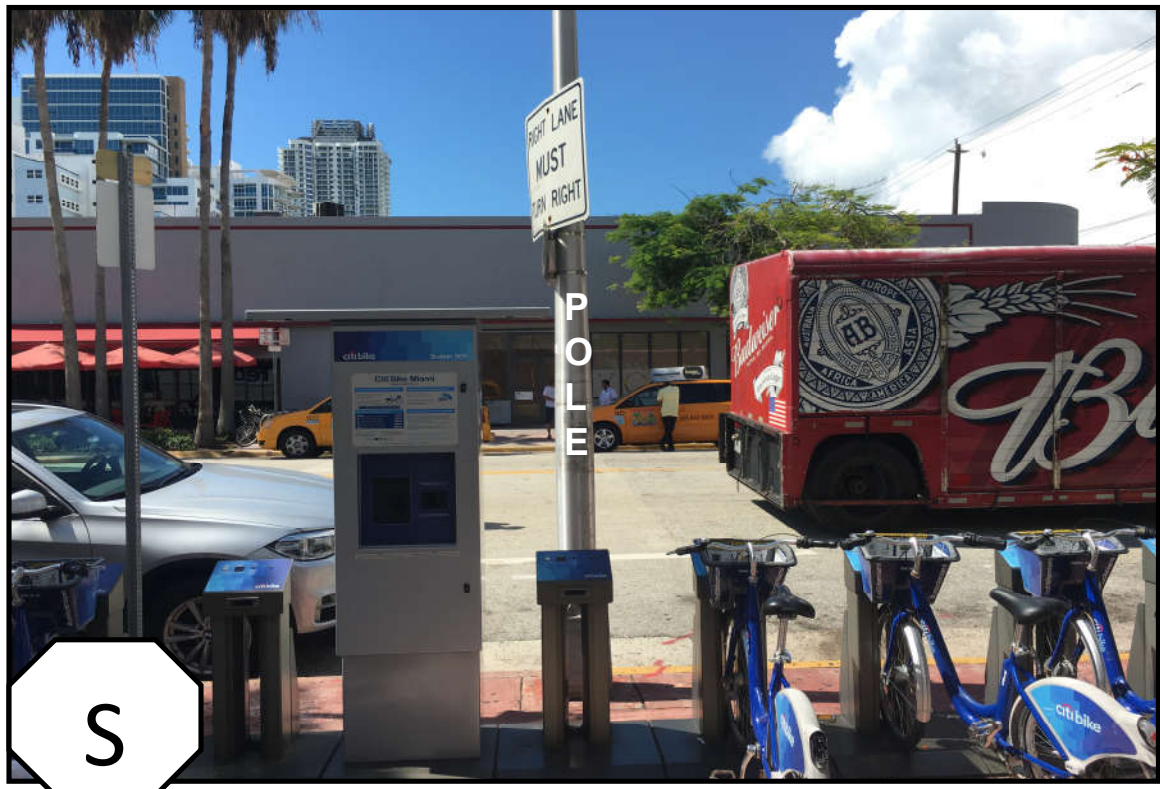
SITE ADDRESS:
67TH ST & COLLINS AVE
MIAMI BEACH FL, 31141

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO. LS-1	REVISION: 0
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VIEWS FROM
 PROPOSED
 LOCATION



Approximate Address: 215 67th Street

Candidate: MI90XS535C



Neighborhood Photos

Approximate Address: 215 67th Street
Candidate: MI90XS535C