

MAP OF BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 12, BLOCK C, OF "SURPRISE LAKE SUBDIVISION",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 9, AT PAGE 114, OF THE PUBLIC RECORDS
OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 02-3222-018-0300

345 WEST 46 STREET,

MIAMI BEACH, FL 33140

AREA OF PROPERTY: 7,500 SQUARE FEET AND/OR
0.172 ACRES MORE OR LESS.

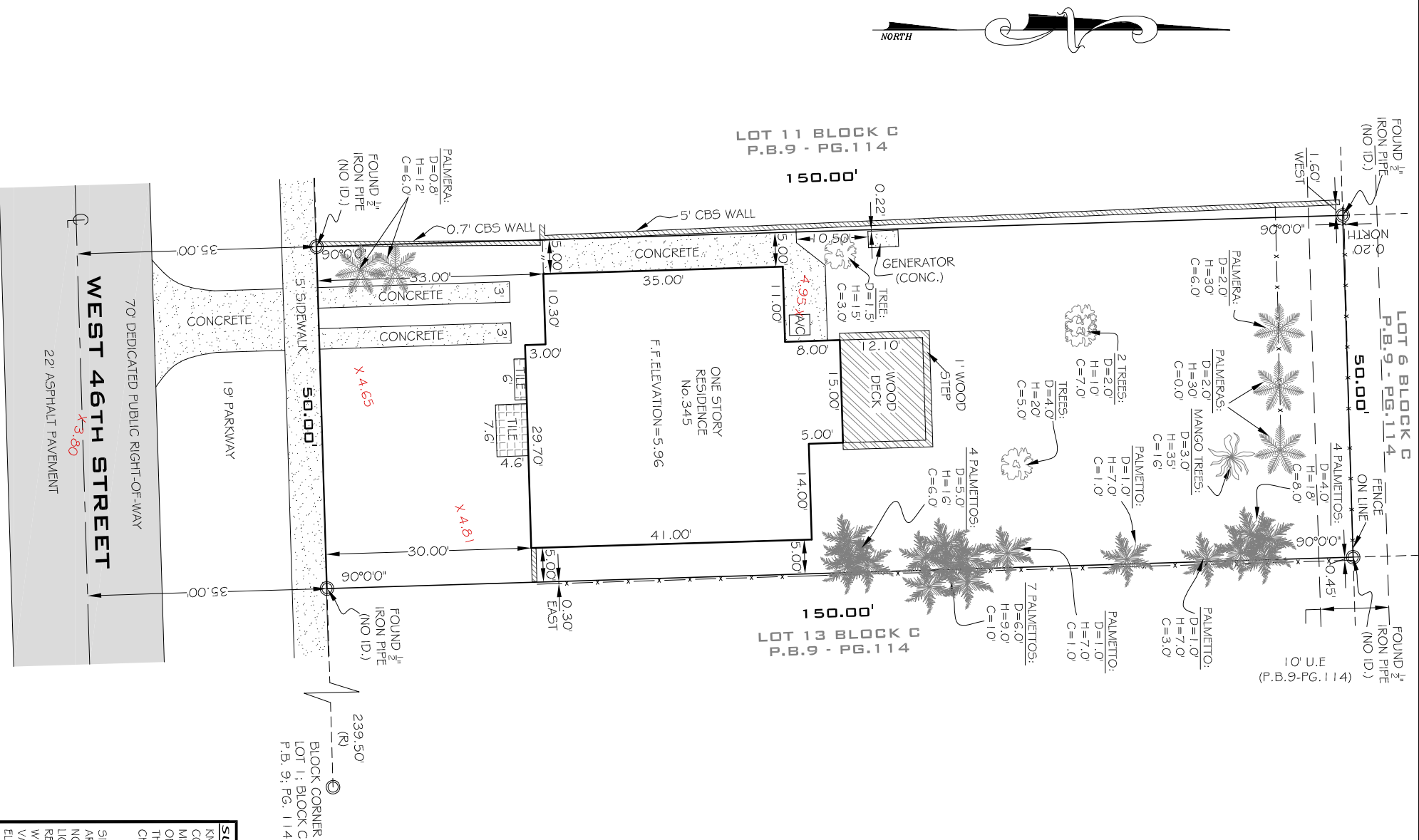
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

- ANDREW GREWAL

SURVEYOR'S NOTES:

1. THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
2. THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES, ABSTRACT NOT REVIEWED.
3. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTRY.
4. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
5. ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5.1-17.5), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
6. FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
7. TYPE OF SURVEY: BOUNDARY SURVEY.
8. ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 29)
9. ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
10. CONTRACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
11. UNDERGROUND UTILITIES ARE NOT DESIGNATED HEREON, CONSTRUCT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK, OR CONSTRUCTION ON ANY PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
12. ENCUMBRANCES NOT SHOWN ON THE PLAT.
13. THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC., UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
14. ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
15. WALL TIES ARE TO THE FACE OF THE WALL.
16. FENCE OWNERSHIP NOT DETERMINED.
17. BEARINGS REFERENCED TO LINE NOTED AS B.R.
18. BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
19. NO IDENTIFICATION FOUND ON PROPERTY CORNERS, UNLESS NOTED.
20. THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "SURPRISE LAKE SUBDIVISION" RECORDED IN PLAT BOOK 9, AT PAGE 1114.
21. EACH EQUALS 20 FEET OR SMALLER.
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LOCATION MAP

SECTION 22, TOWNSHIP 53 SOUTH, RANGE 42 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)






LB NO. 7633

PROFESSIONAL SUPERVISORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE 120*
MIAMI, FL 33174

PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LBSURVEYING.COM
EMAIL: LANDMARKSURVEYING@HOTMAIL.COM

ABBREVIATIONS AND LEGEND

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- | | |
|---|-----------------------------------|
| AC | =DENOTES AIR CONDITIONING UNIT |
| APPR. | =DENOTES APPROXIMATE |
| ASPH. | =DENOTES ASPHALT |
| P | =DENOTES PROPERTY LINE |
| B.M. | =DENOTES BENCH MARK |
| C.B.5. | =DENOTES CONCRETE BLOCK, STUCCO |
| CONC. | =DENOTES CONCRETE |
| L.P. | =DENOTES LIGHT POLE |
| CB | =DENOTES CATCH BASIN |
| G | =DENOTES GUTTER |
| L.M.E. | =DENOTES LAND & MAINTENANCE |
| F | =DENOTES FENCE |
| D.E. | =DENOTES DRAINAGE EASEMENT |
| D.H. | =DENOTES DRILL HOLE |
| R | =DENOTES RECORD |
| (M) | =DENOTES MEASURE |
| W.P. | =DENOTES WOOD POWER POLE |
| U.E. | =DENOTES UTILITY EASEMENT |
| P.B. | =DENOTES PLAT BOOK |
| P.G. | =DENOTES PAGE |
| P.C.P. | =DENOTES PERMANENT CONTROL POINT |
| F.O.B. | =DENOTES POINT OF BEGINNING |
| T.P. | =DENOTES TYPICAL |
| M.H.W. | =DENOTES MEAN HIGH WATER LINE |
| —x— | =DENOTES WOOD FENCE |
| —x— | =DENOTES CHAIN LINK FENCE |
| —O— | =DENOTES IRON FENCE |
| —O— | =DENOTES ROUND RAIL PIPE (NO. D.) |
| △ | =DENOTES FOUND NAIL AND DISC |
|  | =DENOTES ASPHALT PAVEMENT |
|  | =DENOTES BRICK |
|  | =DENOTES CONCRETE PAD |

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED .

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	AE	
ELEVATION:	7.0	
COMMUNITY:	120651	
PANEL:	12086C0309	
DATE OF FIRM:	09-11-2009	
SUFFIX:	L	
ORIGINAL FIELD WORK SURVEY DATE	08-21-2017	
BENCH MARK:	N/A	
ELEVATION:	N/A	
DATE	DRAWN BY	SCALE
08-24-2017	ESS	1"=20'
01-05-2018	M.G.	
REVISION / UPDATE OF SURVEY		
DATE	DESCRIPTION	
01-05-2018	TREE SURVEY	
JOB NO.		
1801-020		

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS MAP OF BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE IN 56B.010(1) OF THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS, IN 56B.010(5), 51.1-7.050 THROUGH 51.1-7.052 OF THE FLORIDA ADMINISTRATIVE CODE, AND THE INTERVENTING LAW, PURSUANT TO CHAPTER 42-02, FLORIDA STATUTES.

SIGNED _____ FOR THE FIRM
_____ IN _____
ARTURO MENDIGUTH, P.L.S., No. 5644 STATE OF FLORIDA
NOT VALID WITHOUT THE SURVEYOR AND PROFESSIONAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND THE PROFESSIONAL OPINIONS OF DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IN A DIGITAL FORMAT NOT
VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED
ELECTRONIC SEAL.