

1825 WEST 24 ST RESIDENCE

1825 WEST 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL 33140

DRB FINAL SUBMITTAL - JANUARY 5TH, 2018



1825 W 24 STREET - MIAMI BEACH, FLORIDA

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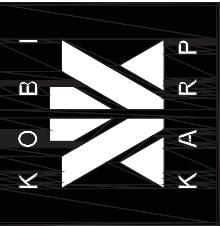
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CHECKED BY:
DATE: 01-05-2018

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DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: September 05, 2017

FILE NO: DRB17-0159

PROPERTY: 1825 West 24th Street

APPLICANT: Bart Reines

LEGAL: Lot 20, Block 311, Sunset Islands No 3, according to Plat thereof as recorded in Plat Book 40, Page 8 of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for the construction of a new single family two-story residence, including two design waivers (two-story side elevations without additional open space), to replace an existing two-story, single-family residence.

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

- The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2, 3, and 5 in Section 118-251 of the Miami Beach Code.
- Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Sea Level Rise Criteria 1, 5, 9, and 10 in Section 133-50(a) of the Miami Beach Code.
- The project would be consistent with the criteria and requirements of Section 118-251 and/or Section 133-50(a) if the following conditions are met:
 - Revised elevation, site plan, and floor plan drawings for the proposed new home at 1825 West 24th Street shall be submitted, at a minimum, such drawings shall incorporate the following:

In accordance with Section 118-262, the applicant, or the city manager on behalf of the City Administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.

II. Variance(s)

- No variance(s) were filed as part of this application.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

III. General Terms and Conditions applying to both 'I. Design Review Approval and II. Variances' noted above.

- All new construction over 7,000 square feet shall be required to be, at a minimum, certified as LEED Gold by USGBC. In lieu of achieving LEED Gold certification, properties can elect to pay a sustainability fee, pursuant to Chapter 133 of the City Code. This fee is set as a percentage of the cost of construction.
- During Construction of the new home, the Applicant will maintain gravel at the front of the construction site within the first 15'-0" of the required front yard to mitigate disturbance of soil and mud by related personal vehicles existing and entering the site and with an eight foot (8'-0") high fence with a wind resistant green mesh material along the front of the property line. All construction materials, including dumpsters and portable toilets, shall be located behind the construction fence and not visible from the right-of-way. All construction vehicles shall either park on the private property or at alternate overflow parking sites with a shuttle service to and from the property. The Applicant shall ensure that the contractor(s) observe good construction practices and prevent construction materials and debris from impacting the right-of-way.
- A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.
- The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.

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September 05, 2017

- A recycling plan shall be provided as part of the submittal for a demolition/building permit to the building department, in a manner to be reviewed and approved by staff.
- The west side open space requirement shall be waived as proposed.
- The east side open space requirement shall be waived as proposed. The architect shall introduce additional architectural features in the form of a two-story greenwall system along the east façade in order to further break up the two-story massing and create more movement and architectural interest, and the proposed vertical slanted privacy louvers along the second floor of the east façade shall not extend higher than the height of the second floor windows, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The final design details of the proposed greenwall along the east side elevation exterior shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The proposed increase in height (28'-0") shall be permitted as proposed; limited to the two "skylights"; while the maximum height of the main roofline of the two story structure shall be limited to 24'-0" when measured from BFE + freeboard (1'-0").
- The final design details and color selection of the wood louvers finish shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The final design details and color selection of the horizontal gray stacked stone wall finish shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The final design details and color selection of the decorative slanted vertical privacy screens shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The final design details and color selection of the decorative "gray wood texture" material shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The proposed active habitable roof deck shall not exceed a combined deck area of 25% of the enclosed floor area immediately one floor below.

G. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

H. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

I. Nothing in this order authorizes a violation of City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "1825 West 24th St Residence" as prepared by Kobi Karp Architecture + Design, signed, sealed, and dated July 14, 2017, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board approved plans, this approval does not mean that such handicapped access is not required. When requesting Building Permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code, the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project shall expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application.

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- Parapet walls or railings, only when associated with a habitable roof deck, are not to exceed three and one-half feet above the finished roof deck height, and shall be set back a minimum of 10'-0" from the perimeter of the enclosed floor below.
 - Any proposed structure not permitted by Code as an allowable height exception shall be eliminated from the active roof deck area.
 - Hardwired speakers shall not be permitted on the roof deck.
 - The final Design details of the exterior materials and finishes shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
 - Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
2. A revised landscape plan, and corresponding site plan, shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fences installed at the dripline of the trees prior to any construction.
 - In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
 - Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be relocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure

survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.

- Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
- The proposed and existing trees located within the swale shall be subject to the review and approval of Green Space and CIP.
- Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by the Public Works Department.
- Any existing plant material within the public right-of-way may be required to be removed, as the discretion of the Public Works Department.
- A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- The utilization of root barriers and/or Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
- If technically feasible, all overhead utility lines adjacent to the subject property shall be placed underground.
- The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventers and all other related devices and fixtures. The location of backflow preventers, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.
- The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right of wall shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

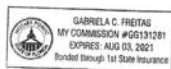
Dated this 14th day of September, 2017.


DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: 
JAMES G. MURPHY
CHIEF OF URBAN DESIGN
FOR THE CHAIR


STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 14th day of September, 2017 by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.




NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 08-03-2021

Approved As To Form:

City Attorney's Office: 

Filed with the Clerk of the Design Review Board on  (9/14/17)

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CFN: 20170528033 BOCK 30688 PAGE 4783

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DRB17-0159--21825 24th Street
September 05, 2017

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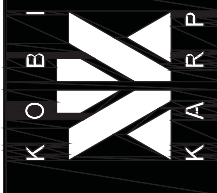
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DRB17-0159 FINAL ORDER

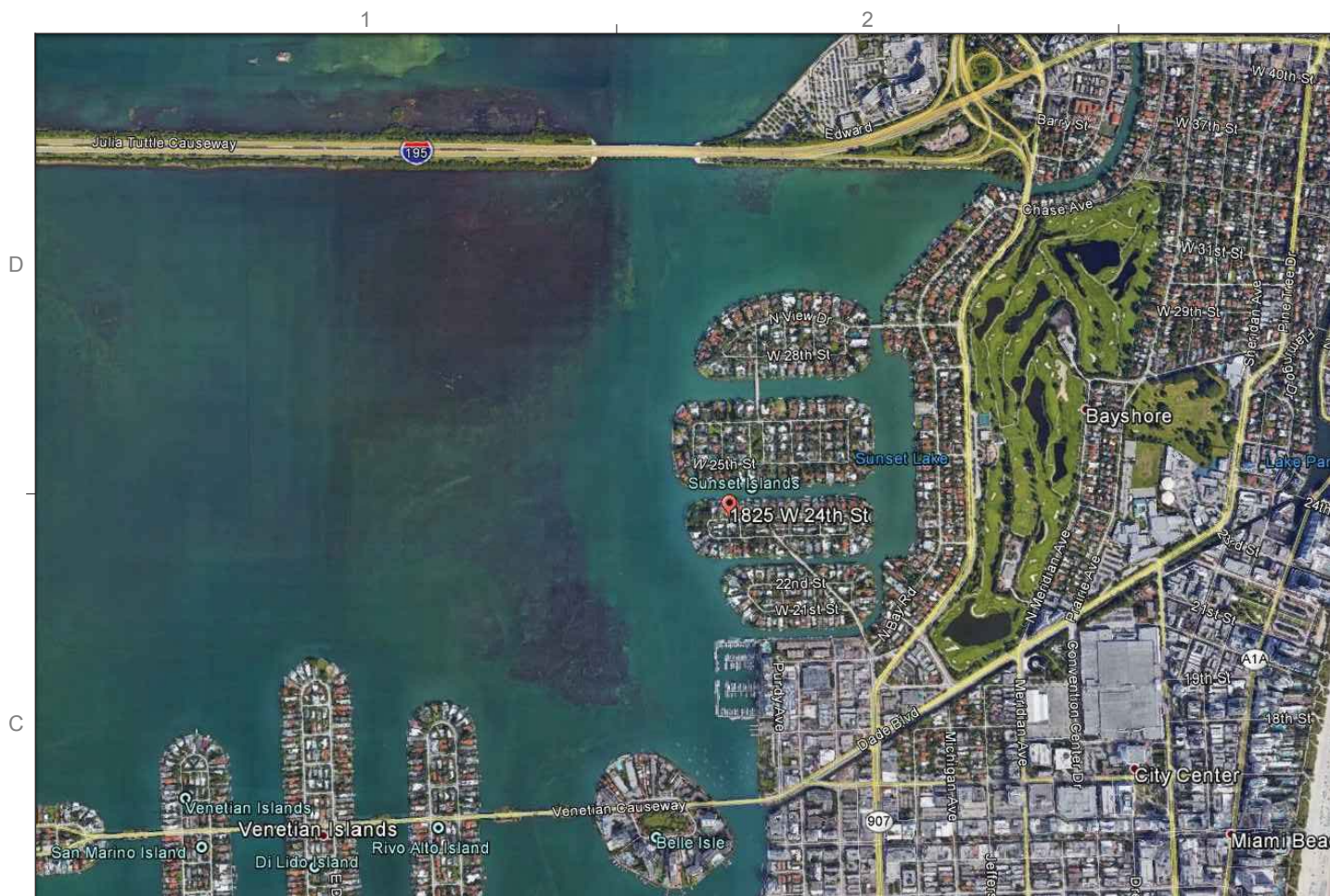
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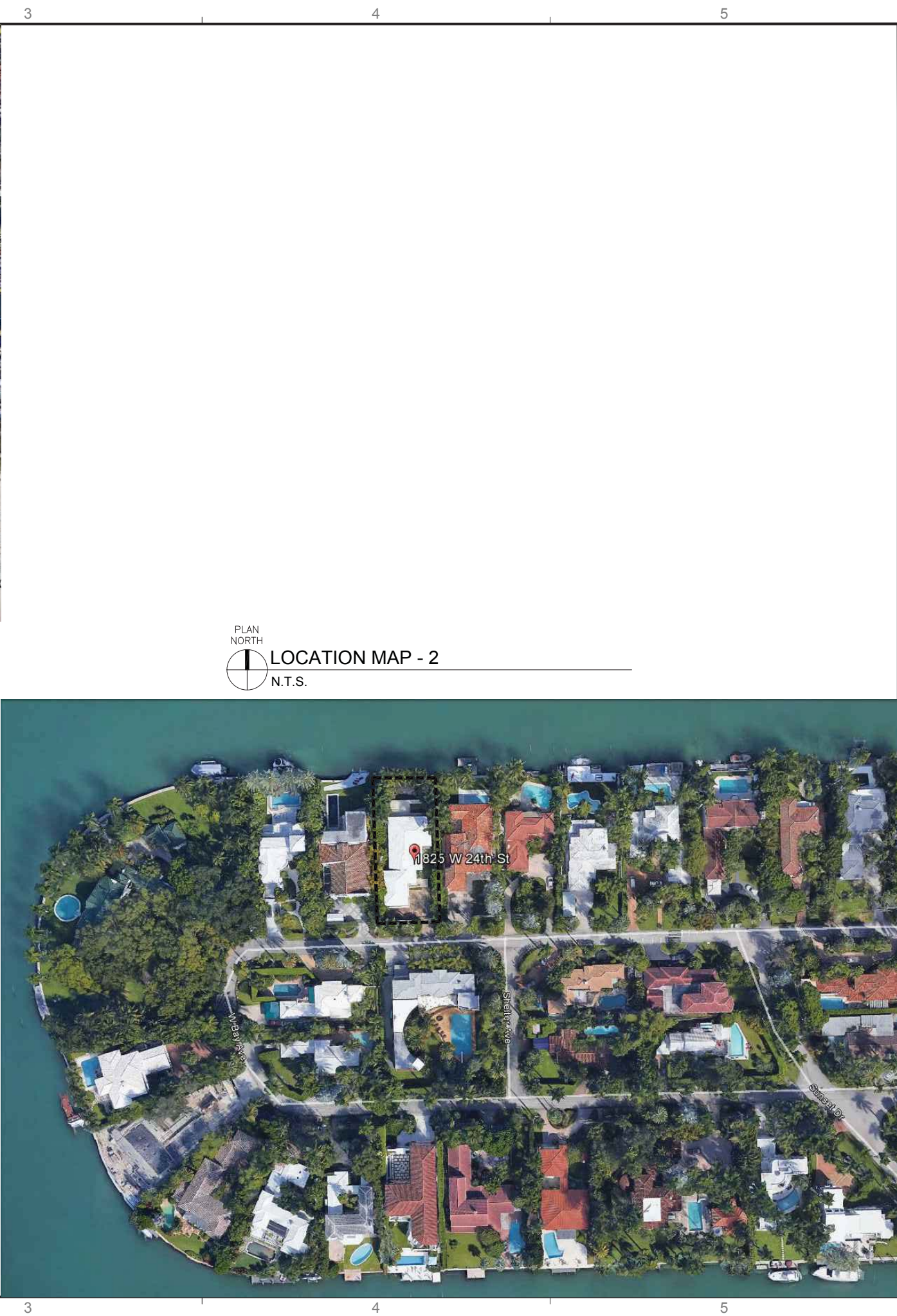


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PLAN
NORTH
LOCATION MAP - 1
N.T.S.



PLAN
NORTH
LOCATION MAP - 2
N.T.S.

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LOCATION MAP

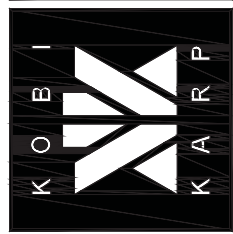
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IMAGES ON SHEET A0.05-CONTEXT
C2 - W 24TH STREET - LOOKING WEST
C3 - SHELTER AVE

IMAGES ON SHEET A0.06-NEARBY PROPERTY
N1 - 1839 W 24TH ST
N2 - 1833 W 24TH ST
N3 - 1821 W 24TH ST
N4 - 1775 W 24TH ST

IMAGES ON SHEET A0.07-NEARBY PROPERTY
N5 - 1745 W 24TH ST
N6 - 1750 W 24TH ST
N7 - 1800 W 24TH ST
N8 - 1830 W 24TH ST

IMAGES ON SHEET A0.08-EXISTING PROPERTY
E1 - FRONT YARD
E2 - REAR YARD
E3 - SIDE YARD - EAST
E4 - SIDE YARD - WEST

PLAN
NORTH
IMAGE KEY PLAN
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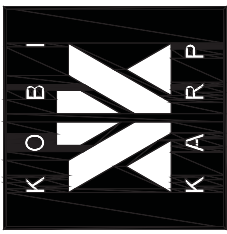
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IMAGE KEY PLAN

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C2 - W 24TH STREET - LOOKING WEST
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C3 - SHELTER AVE
N.T.S.

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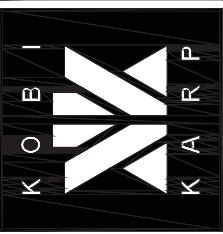
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N1 - 1839 W 24TH ST
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N2 - 1833 W 24TH ST
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N3 - 1821 W 24TH ST
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N4 - 1775 W 24TH ST
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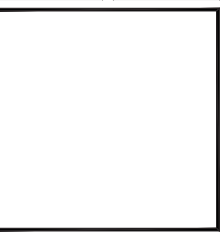
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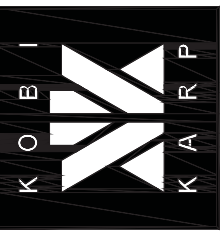
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N5 - 1745 W 24TH ST
N.T.S.

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N7 - 1800 W 24TH ST
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N6 - 1750 W 24TH ST
N.T.S.



N8 - 1830 W 24TH ST
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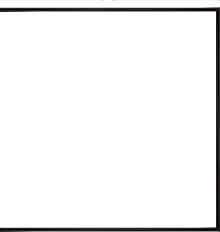
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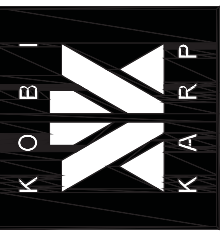
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E1 - FRONT YARD
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E3 - SIDE YARD - EAST
N.T.S.



E2 - REAR YARD
N.T.S.



E4- SIDE YARD - WEST
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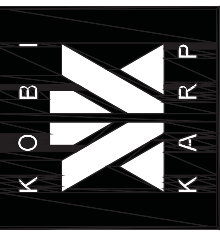
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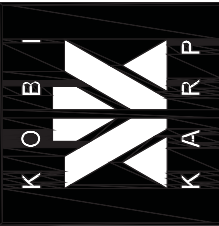
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FL 33140

SITE PLAN
PERMITTED AND PROPOSED

Lic. # AR0012578

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2915 Biscayne Boulevard
Suite 200
Miami, FL 33137
O: 305.573.8118
F: 305.573.3766
WWW.KOBIKARP.COM



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DATE: 01-05-2018

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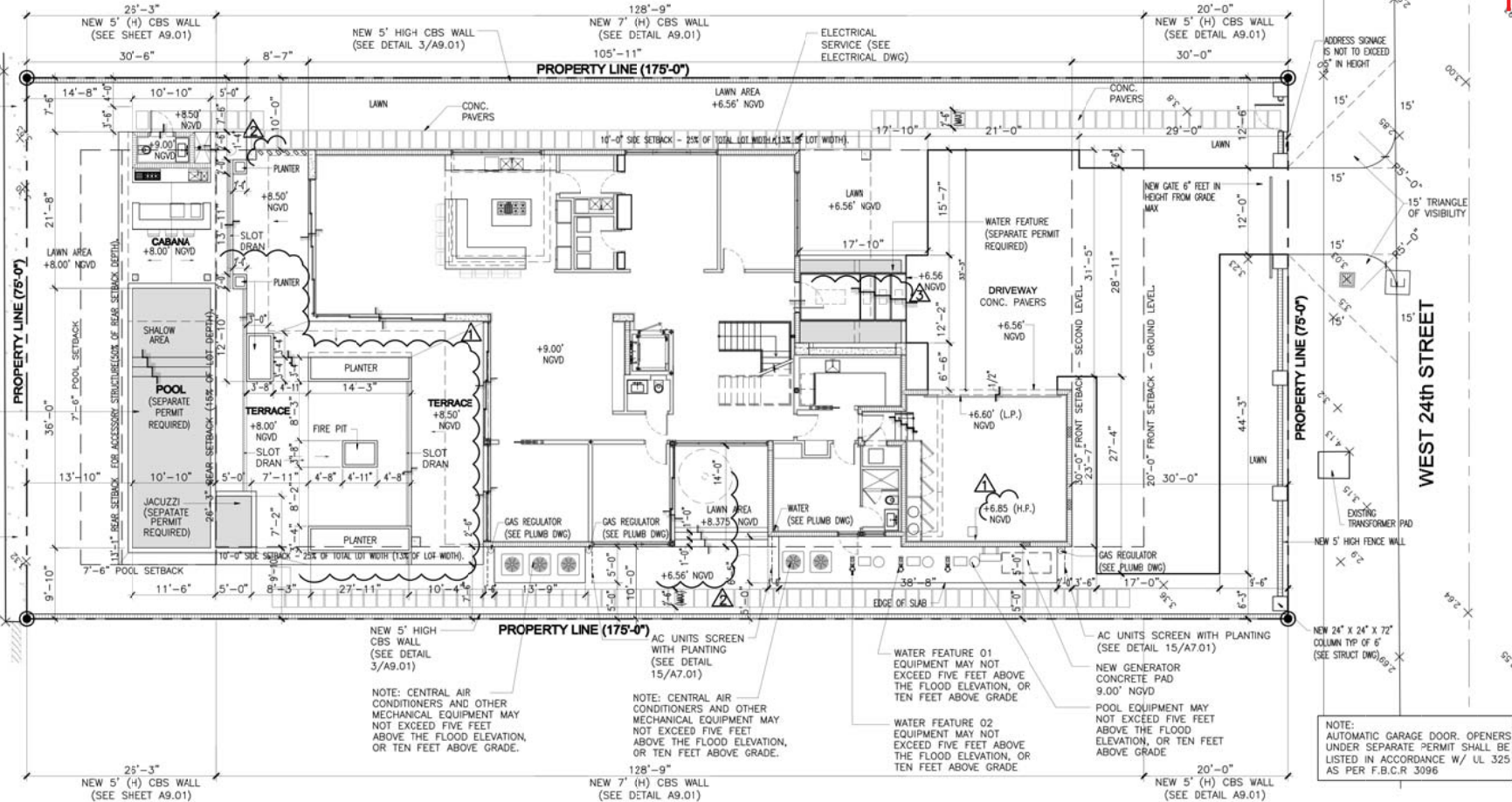
EXISTING SEAWALL
TO BE RAISED TO THE
MINIMUM ELEVATION OF
5.70 FEET NAVD (7.26 FT
NGVD); THE ELEVATION
NEEDS TO BE VERIFIED BY
A PROFESSIONAL
SURVEYOR AND MAPPERS
LICENSED IN THE STATE
OF FLORIDA (NOT PART
OF THIS PERMIT) (UNDER
SEPARATE PERMIT)

NOTE:
SWIMMING POOL SHALL BE
PROTECTED BY A STURDY
NON-CRIMPABLE SAFETY
BARRIER AND BY A
SELF-CLOSING, SELF-LOCKING
GATE APPROVED BY THE
BUILDING OFFICIAL.

EXISTING SEAWALL
TO REMAIN

BISCAYNE BAY

BISCAYNE BAY

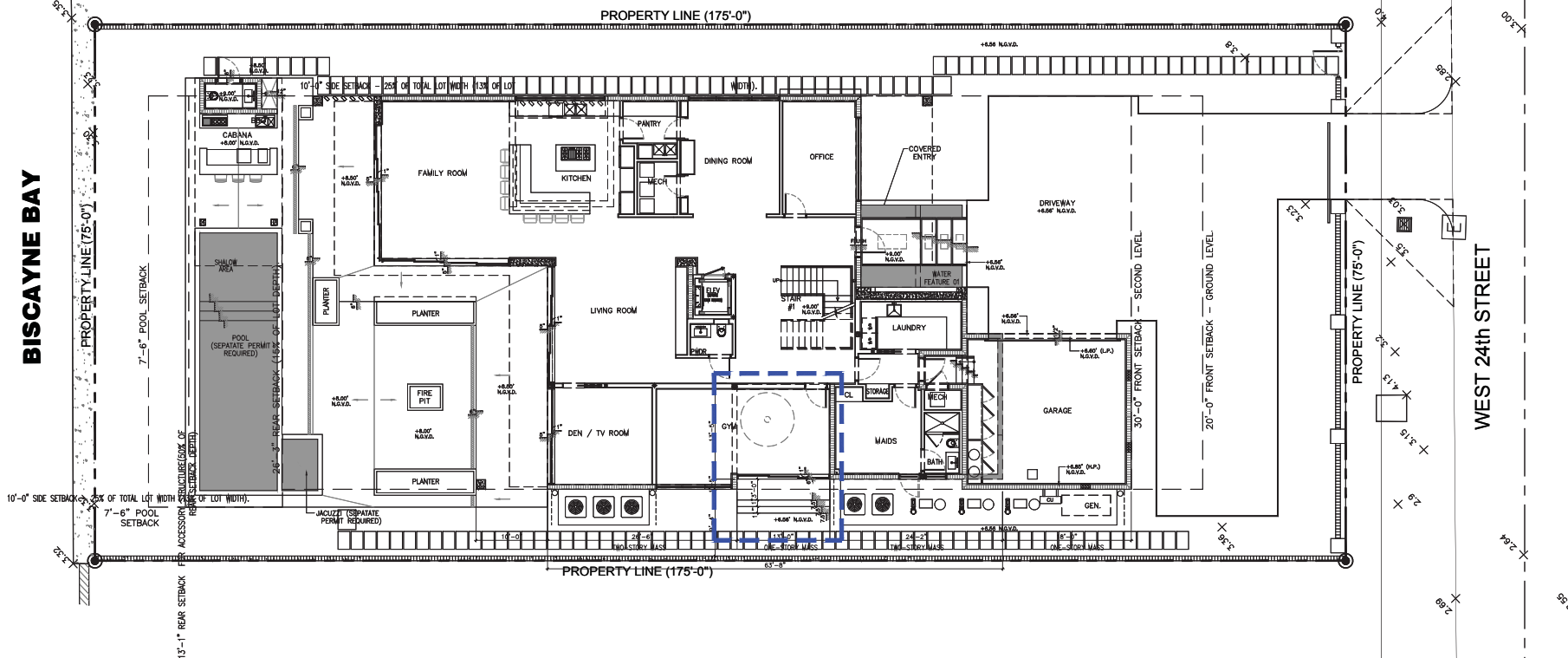


PLAN NORTH
SITE PLAN
SCALE: 3/32" = 1'-0"

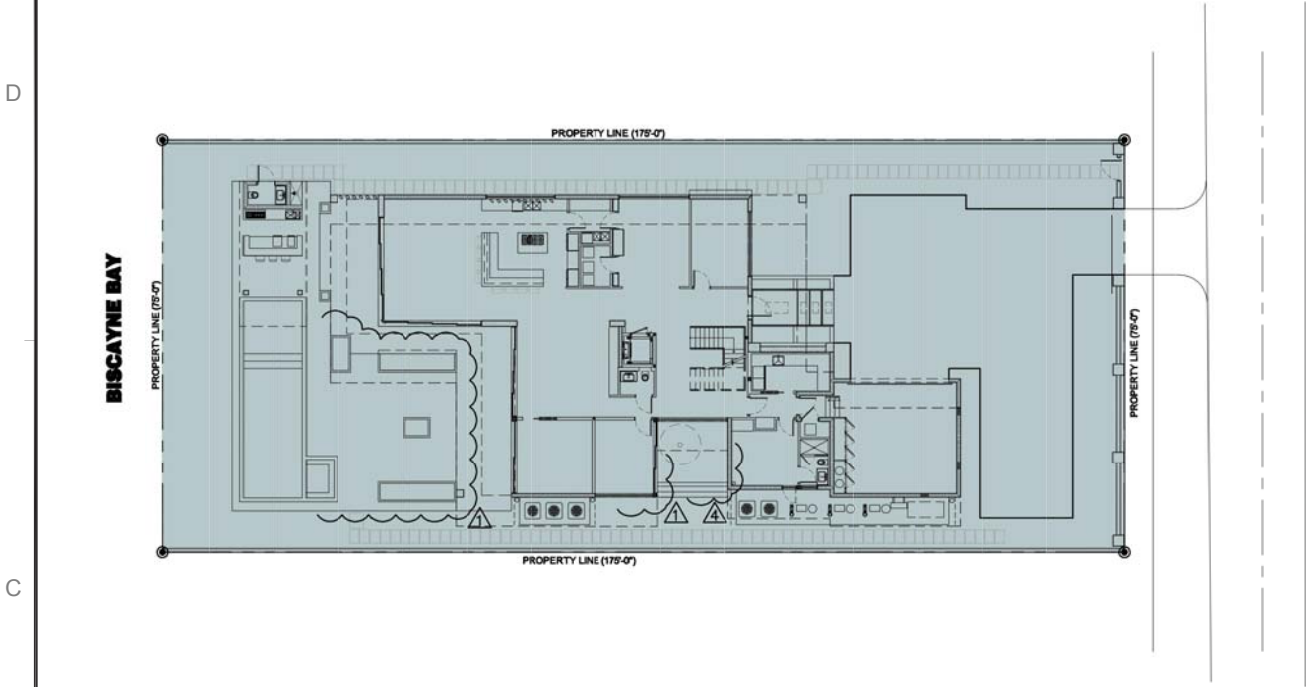
PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY

--- INDICATES SCOPE OF PROPOSED CHANGES

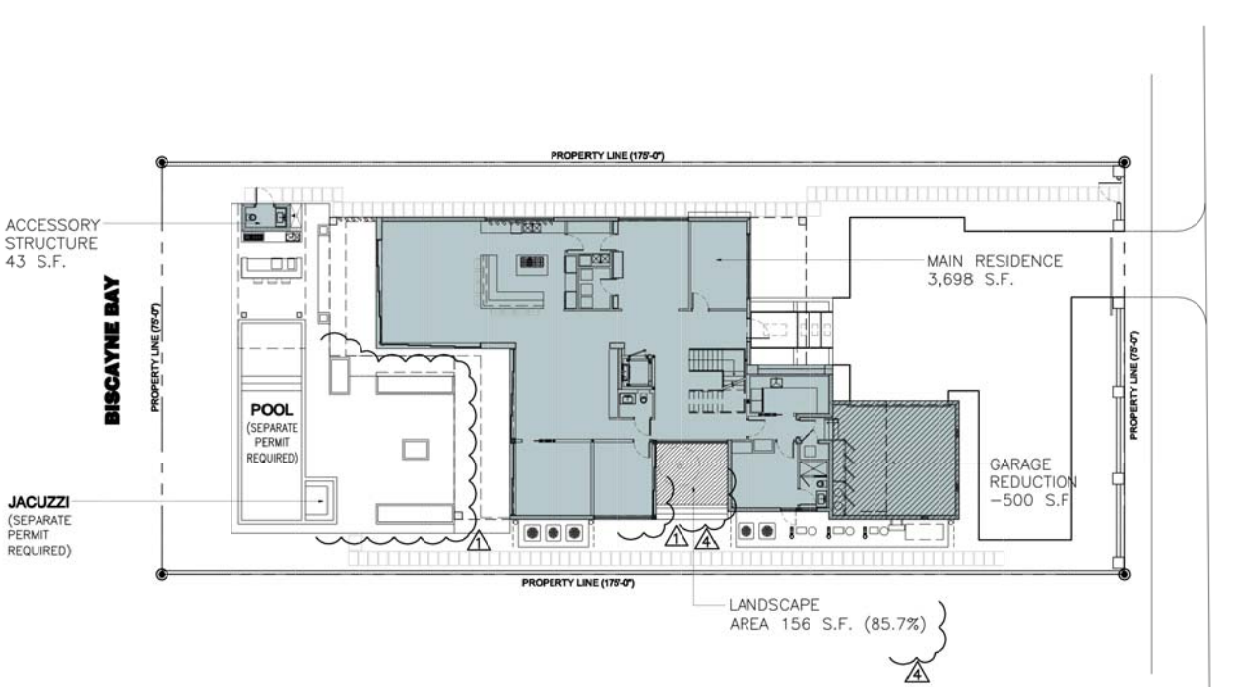


PLAN NORTH
SITE PLAN
SCALE: 3/32" = 1'-0"



2 PROPOSED LOT AREA Scale: 1/16" NORTH

LOT AREA		
NORTH LOT LINE LENGTH		75.00'
EAST LOT LINE LENGTH		175.00'
SOUTH LOT LINE LENGTH		75.00'
WEST LOT LINE LENGTH		175.00'
TOTAL		13,125 S.F.



1 PROPOSED LOT COVERAGE Scale: 1/16" NORTH

LOT COVERAGE		
LOT AREA		13,125 S.F.
MAX LOT COVERAGE ALLOWED		3,937 S.F. (30.0%)
PROPOSED LOT COVERAGE		
PROPOSED MAIN RESIDENCE	3,698 S.F.	
ACCESSORY STRUCTURE	43 S.F.	
GARAGE REDUCTION	-500 S.F.	
TOTAL		3,241 S.F. (24.69%)

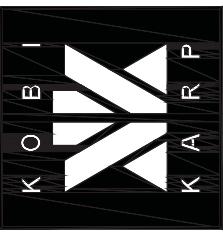
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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33140
LOT COVERAGE
PERMITTED

Lic. # AR0012578

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INTERIOR DESIGN
PLANNING
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Miami, FL 33137
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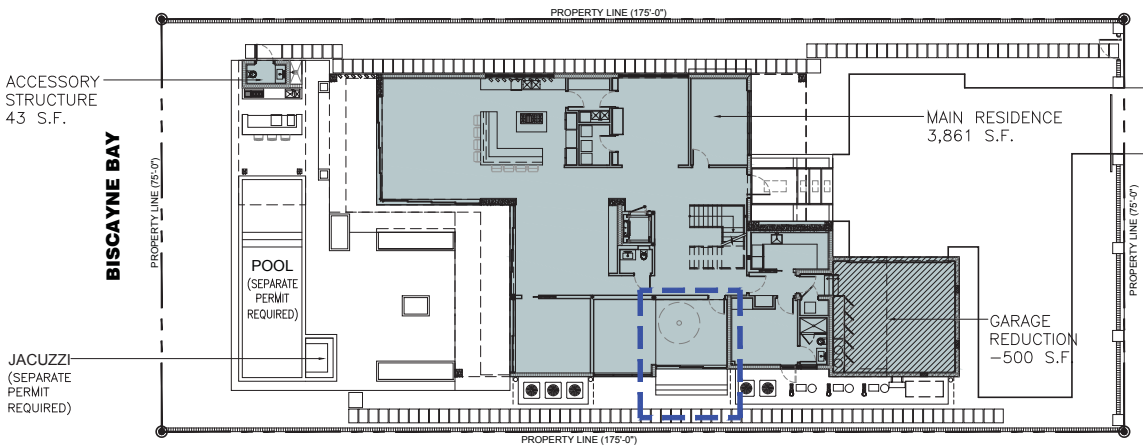
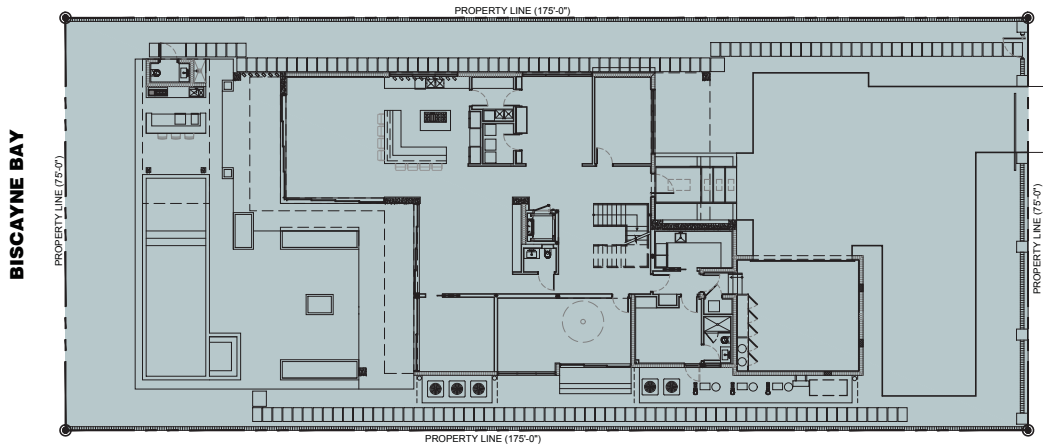


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PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY
- - - - - INDICATES SCOPE OF PROPOSED CHANGES



2 PROPOSED LOT AREA
Scale: 1/16" NORTH

LOT AREA		
NORTH LOT LINE LENGTH		75.00'
EAST LOT LINE LENGTH		175.00'
SOUTH LOT LINE LENGTH		75.00'
WEST LOT LINE LENGTH		175.00'
TOTAL		13,125 S.F.

1 PROPOSED LOT COVERAGE
Scale: 1/16" NORTH

LOT COVERAGE		
LOT AREA		13,125 S.F.
MAX LOT COVERAGE ALLOWED		3,937 S.F. (30.0%)
PROPOSED LOT COVERAGE		
PROPOSED MAIN RESIDENCE	3,861 S.F.	
ACCESSORY STRUCTURE	43 S.F.	
GARAGE REDUCTION	-500 S.F.	
TOTAL		3,404 S.F. (25.93%)

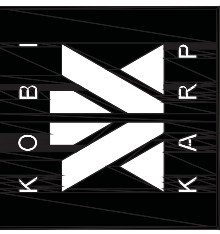
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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33140
LOT COVERAGE
PROPOSED

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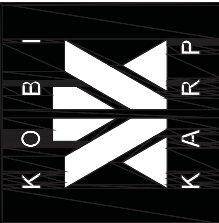
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SUNSET ISLAND MIAMI BEACH,
FL. 33140

ZONING DIAGRAMS
PERMITTED

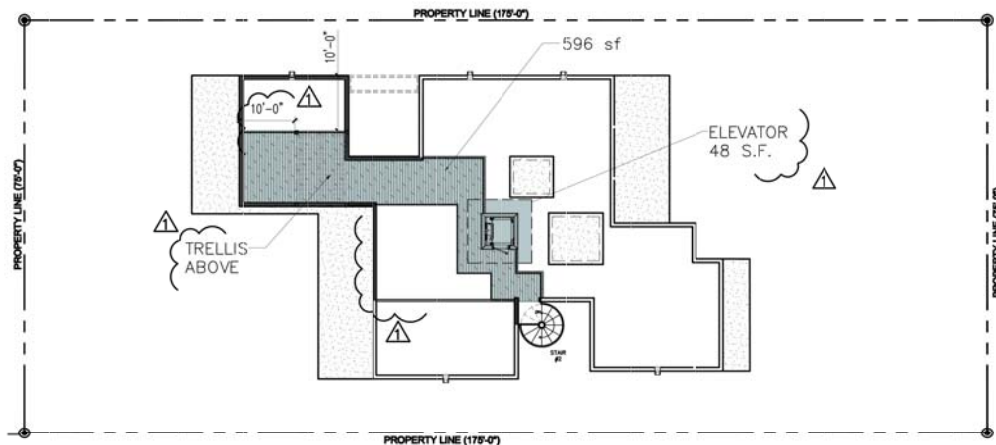
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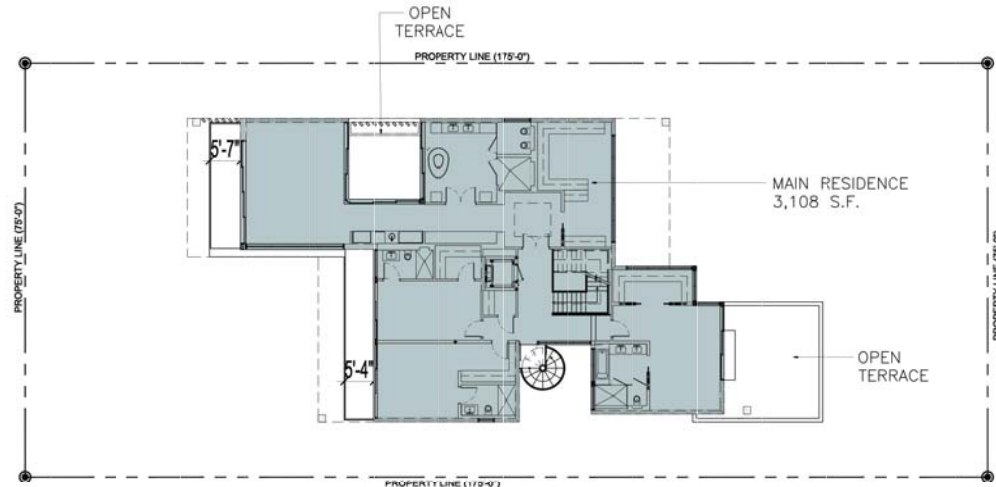


3 PROPOSED ROOF UNIT SIZE
Scale: 1/16" = 1'-0" NORTH

PROPOSED ENCLOSED SECOND FLOOR	3,108 S.F.
MAX ROOF DECK ALLOWED	777 S.F. (25%)
PROPOSED ROOF DECK	596 S.F. (19.17%)

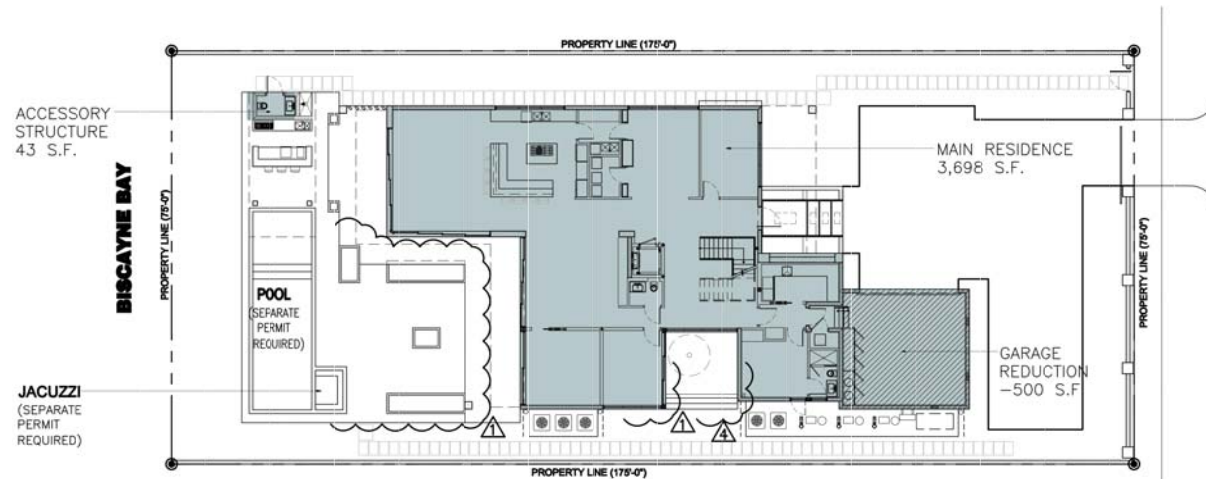
PROPOSED LEVEL 3 UNIT SIZE	
ELEVATOR SHAFT	48 S.F.
TOTAL	48 S.F.

LOT AREA	13,125 S.F.
MAX UNIT SIZE ALLOWED	6,562 S.F. (50.0%)
PROPOSED LEVEL 3 UNIT SIZE	
TOTAL PROPOSED GROUND FLOOR	3,241 S.F.
TOTAL PROPOSED SECOND FLOOR	3,108 S.F.
TOTAL PROPOSED ROOF	48 S.F.
TOTAL	6,397 S.F. (48.73%)



2 PROPOSED SECOND LEVEL UNIT SIZE
Scale: 1/16" NORTH

PROPOSED LEVEL 2 UNIT SIZE	
PROPOSED MAIN RESIDENCE	3,108 S.F.
TOTAL	3,108 S.F.

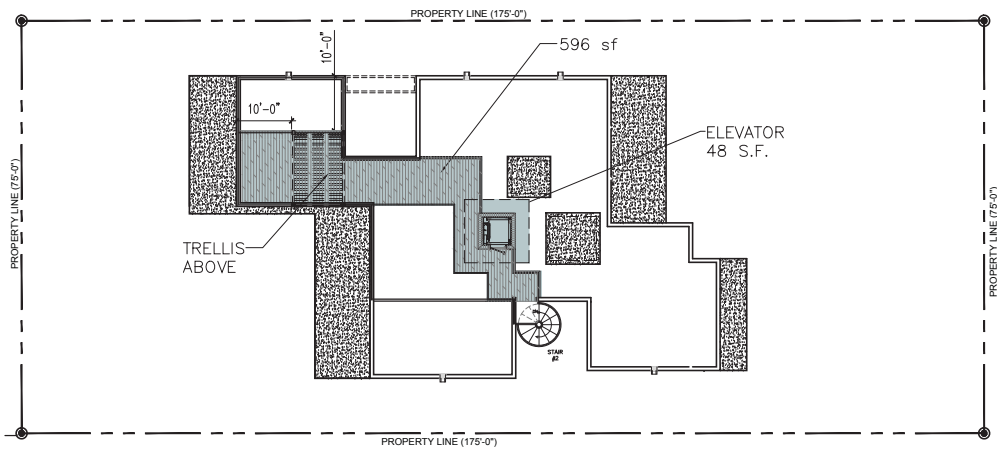


1 PROPOSED GROUND LEVEL UNIT SIZE
Scale: 1/16" NORTH

PROPOSED LEVEL 1 UNIT SIZE	
PROPOSED MAIN RESIDENCE	3,698 S.F.
ACCESSORY STRUCTURE	43 S.F.
ALLOWED GARAGE REDUCTION	-500 S.F.
TOTAL	3,241 S.F. (24.69%)

PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY
- - - - - INDICATES SCOPE OF PROPOSED CHANGES

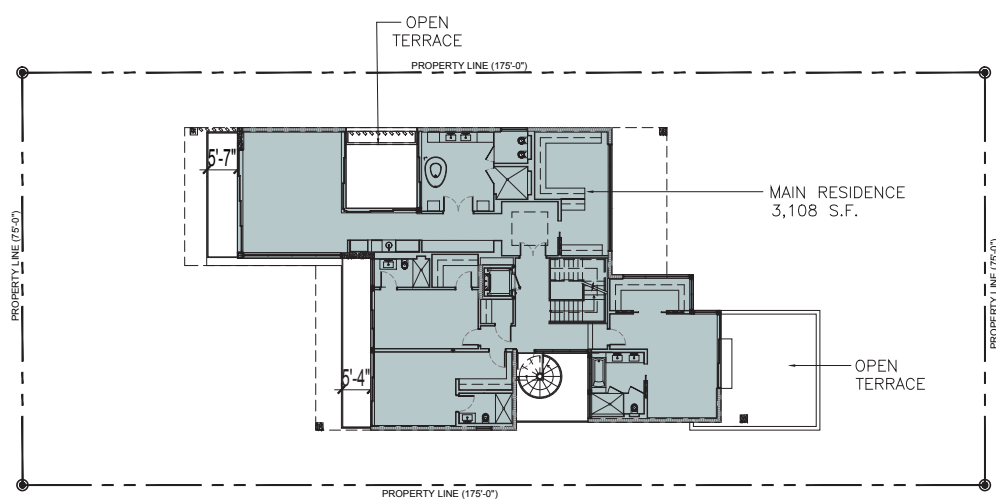


3 PROPOSED ROOF UNIT SIZE
Scale: 1/16" = 1'-0" NORTH

PROPOSED ENCLOSED SECOND FLOOR	3,108 S.F.
MAX ROOF DECK ALLOWED	777 S.F. (25%)
PROPOSED ROOF DECK	596 S.F. (19.17%)

PROPOSED LEVEL 3 UNIT SIZE		
ELEVATOR SHAFT	48 S.F.	
TOTAL	48 S.F.	

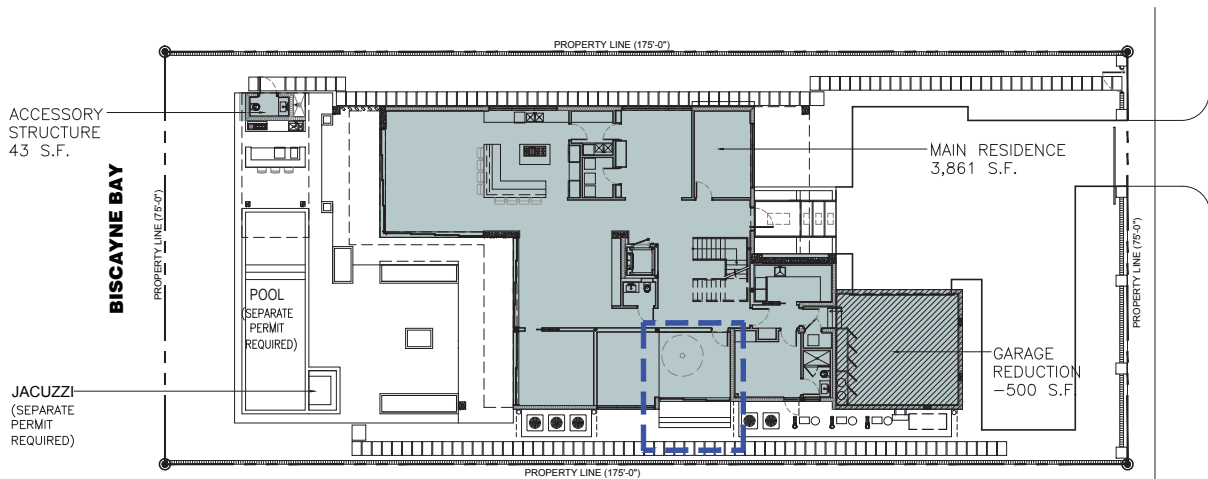
LOT AREA	13,125 S.F.
MAX UNIT SIZE ALLOWED	6,562 S.F. (50.0%)
PROPOSED UNIT SIZE	
TOTAL PROPOSED GROUND FLOOR	3,404 S.F.
TOTAL PROPOSED SECOND FLOOR	3,108 S.F.
TOTAL PROPOSED ROOF	48 S.F.
TOTAL	6,560 S.F. (49.98%)



2 PROPOSED SECOND LEVEL UNIT SIZE
Scale: 1/16" = 1'-0" NORTH

PROPOSED LEVEL 2 UNIT SIZE		
PROPOSED MAIN RESIDENCE	3,108 S.F.	
TOTAL	3,108 S.F. (80.49% OF 1ST FLOOR)*	

*APPLICANT IS SEEKING A WAIVER FOR 70% VOLUME REQUIREMENT



1 PROPOSED GROUND LEVEL UNIT SIZE
Scale: 1/16" = 1'-0" NORTH

PROPOSED LEVEL 1 UNIT SIZE		
PROPOSED MAIN RESIDENCE	3,861 S.F.	
ACCESSORY STRUCTURE	43 S.F.	
ALLOWED GARAGE REDUCTION	-500 S.F.	
TOTAL	3,404 S.F.	

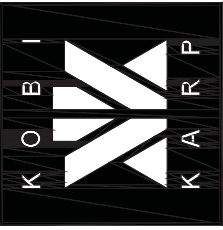
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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33140
ZONING DIAGRAMS
PROPOSED

Lic. # AR0012578

ARCHITECTURE
INTERIOR DESIGN
PLANNING
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APPROVED DRAWING - DRB17-0159

NOTE: NO CHANGES PROPOSED TO THIS PLAN

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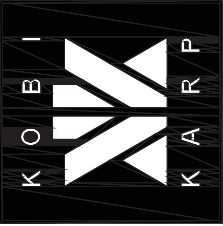
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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33140

PROPOSED RENDERING

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1825 W 24 STREET - MIAMI BEACH, FLORIDA

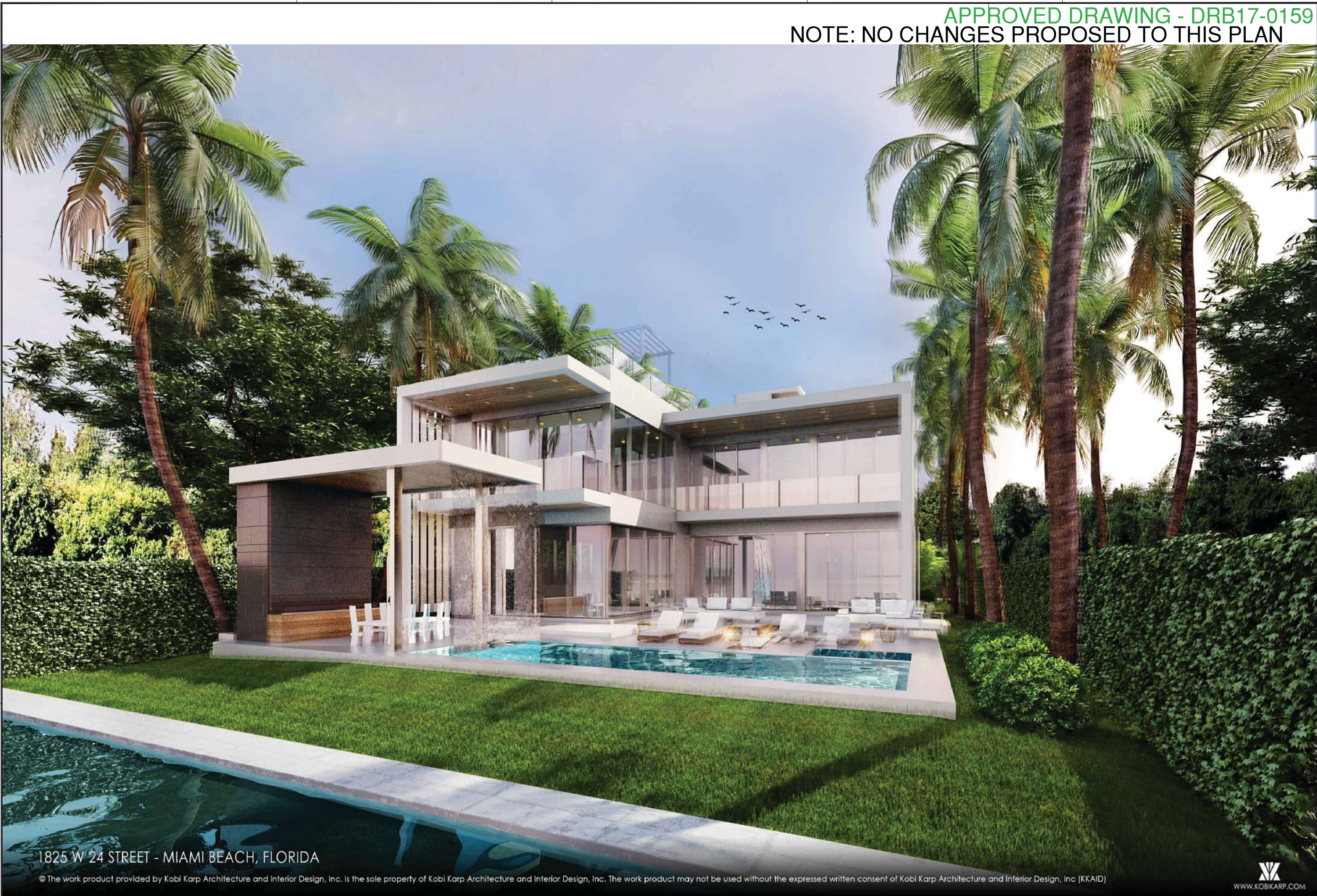
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PROPOSED RENDERING

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1825 W 24 STREET - MIAMI BEACH, FLORIDA

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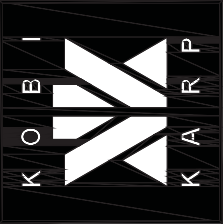
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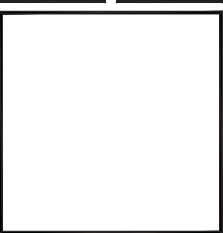
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FL. 33140

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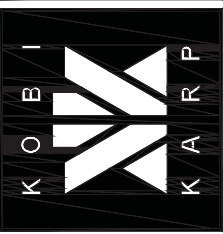
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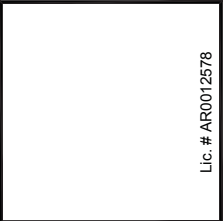
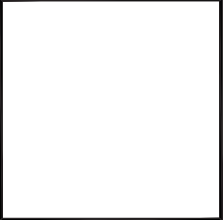
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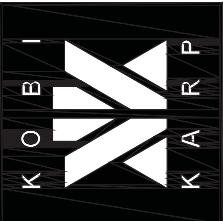
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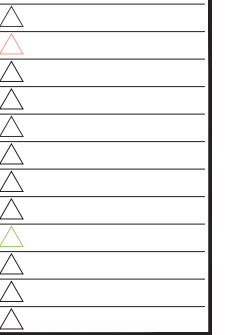


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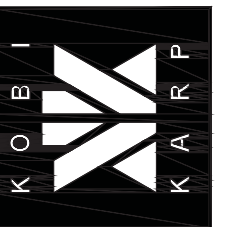
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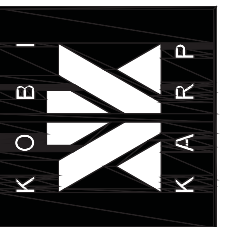
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**ARCHITECTURE
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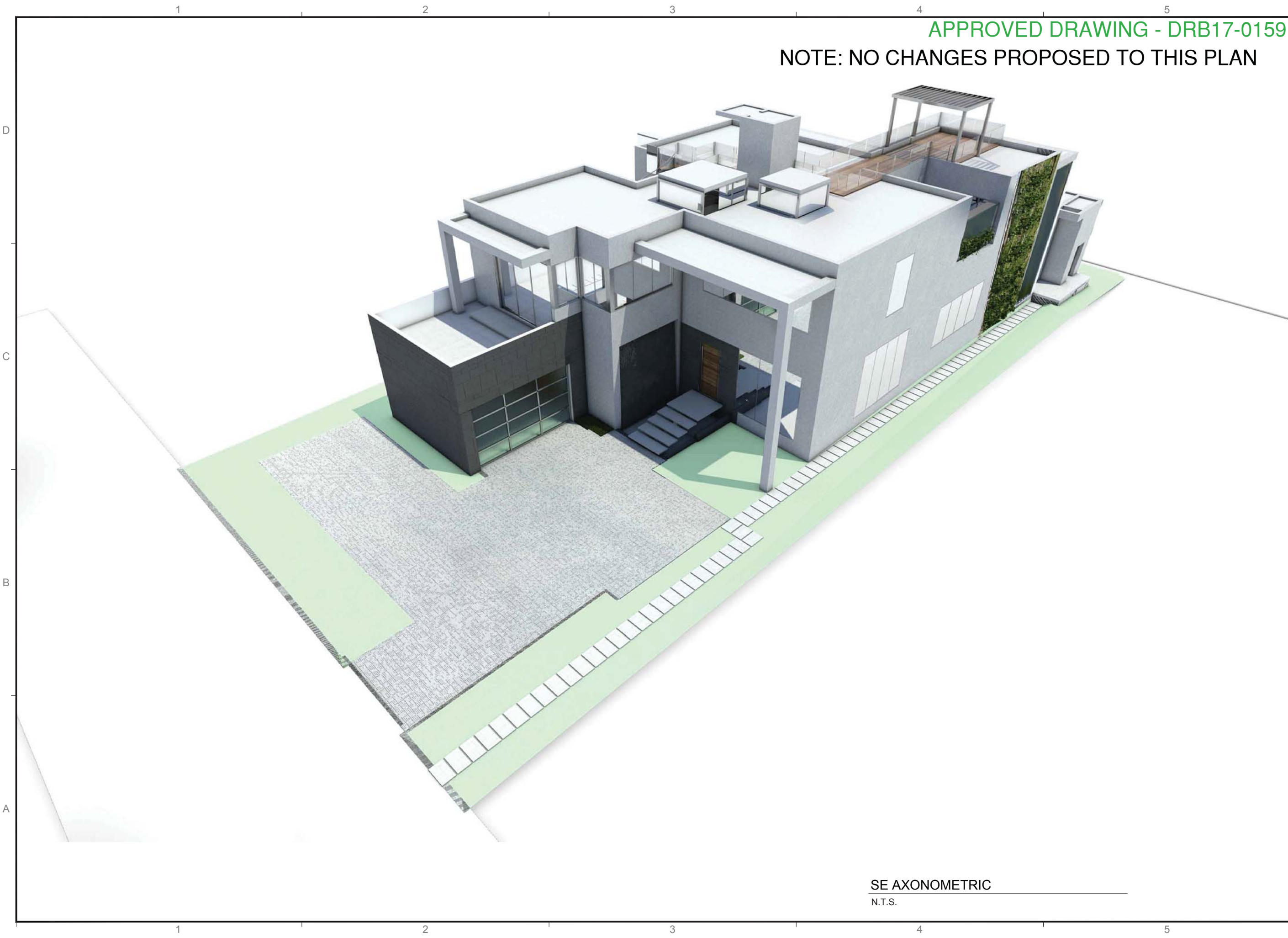
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WAIVER #2 - REMOVAL OF 70%
VOLUMETRIC RATIO OF 2ND FLOOR
TO 1ST FLOOR.

SW AXONOMETRIC
N.T.S.



APPROVED DRAWING - DRB17-0159

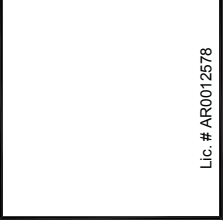
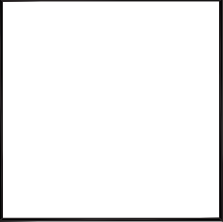
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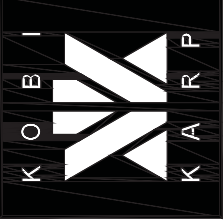
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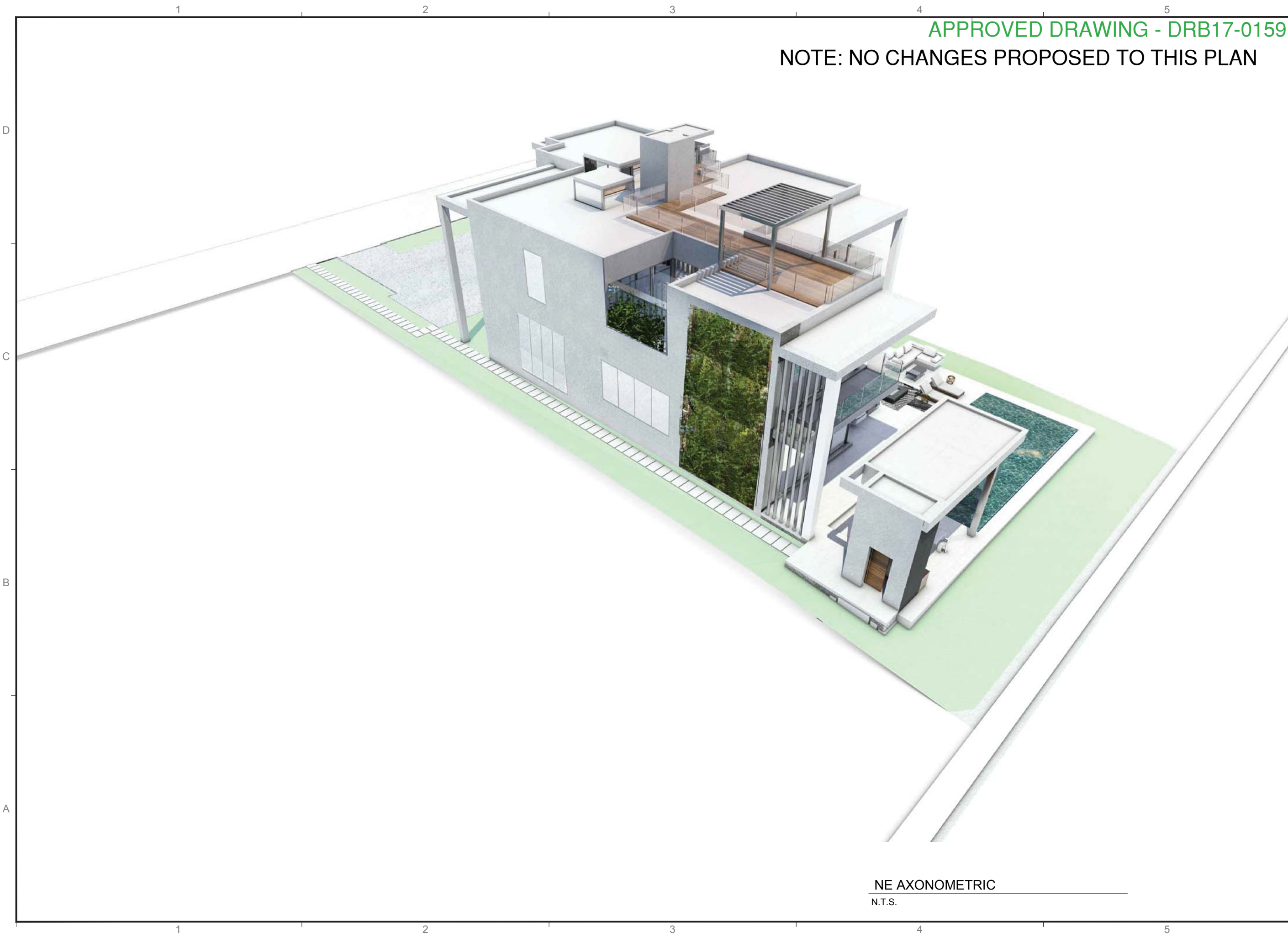
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SE AXONOMETRIC
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NOTE: NO CHANGES PROPOSED TO THIS PLAN

NE AXONOMETRIC
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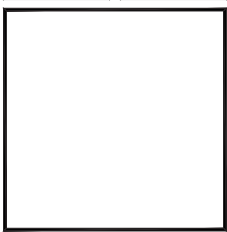
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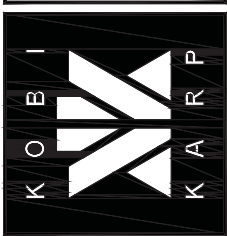


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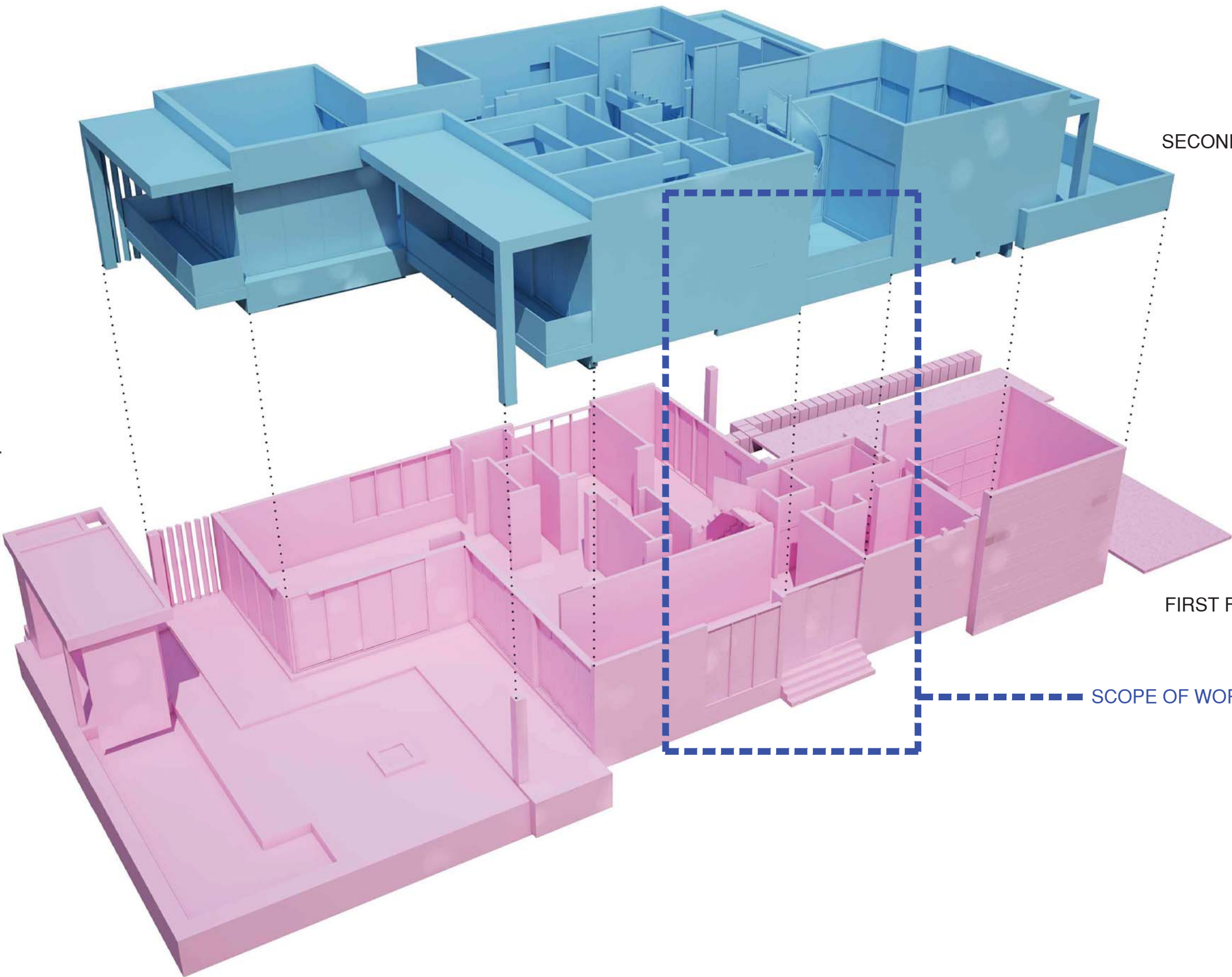


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SECOND FLOOR

FIRST FLOOR

SCOPE OF WORK

EXPLODED AXONOMETRIC DIAGRAM
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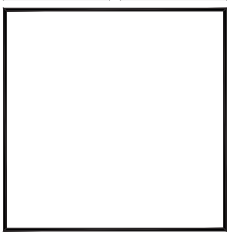
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EXPLODED AXONOMETRIC



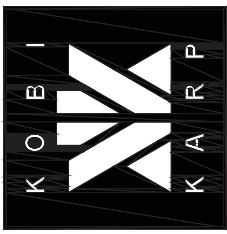
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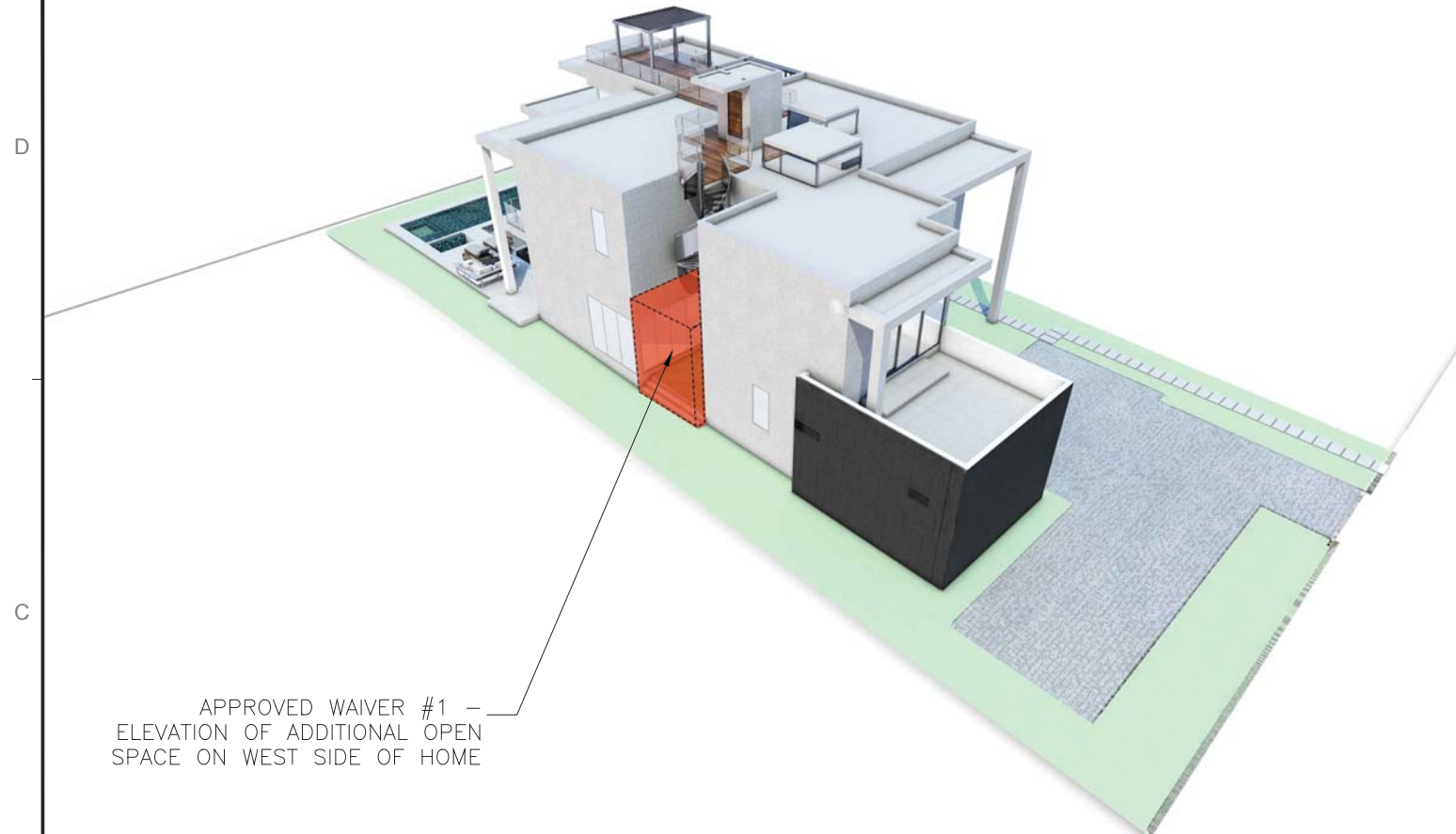
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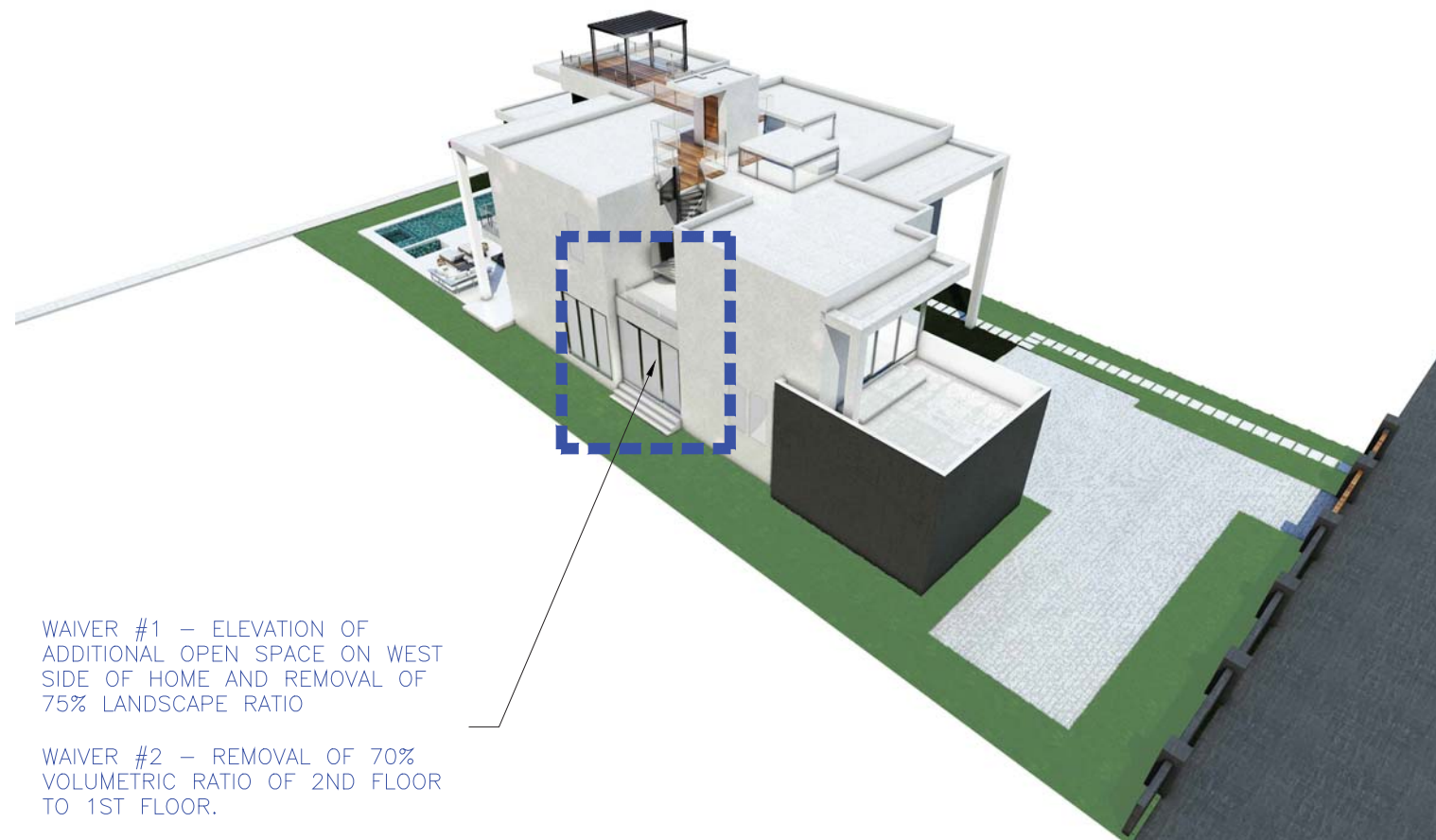
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APPROVED WAIVER REQUESTS DRAWING - DRB17-0159



APPROVED WAIVER #1 -
ELEVATION OF ADDITIONAL OPEN
SPACE ON WEST SIDE OF HOME

PROPOSED DRAWING - DRB17-0213



WAIVER #1 - ELEVATION OF
ADDITIONAL OPEN SPACE ON WEST
SIDE OF HOME AND REMOVAL OF
75% LANDSCAPE RATIO

WAIVER #2 - REMOVAL OF 70%
VOLUMETRIC RATIO OF 2ND FLOOR
TO 1ST FLOOR.

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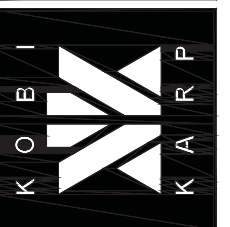
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WAIVER REQUESTS

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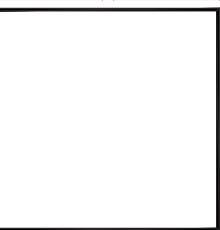
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WAIVER DIAGRAMS



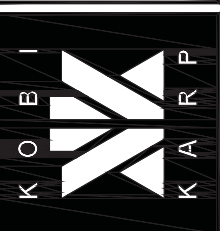
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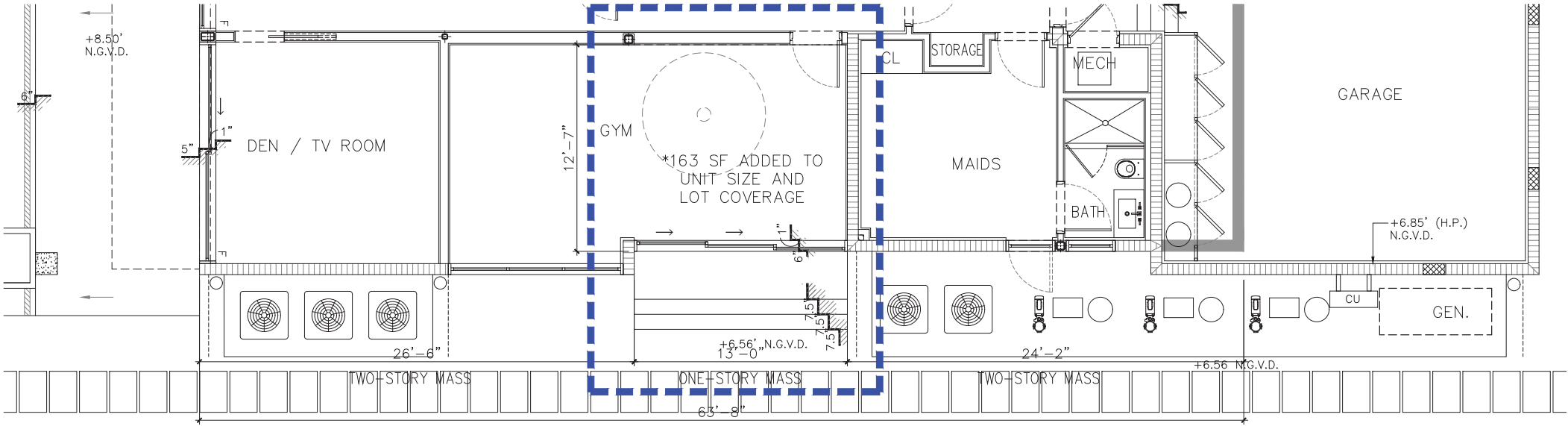


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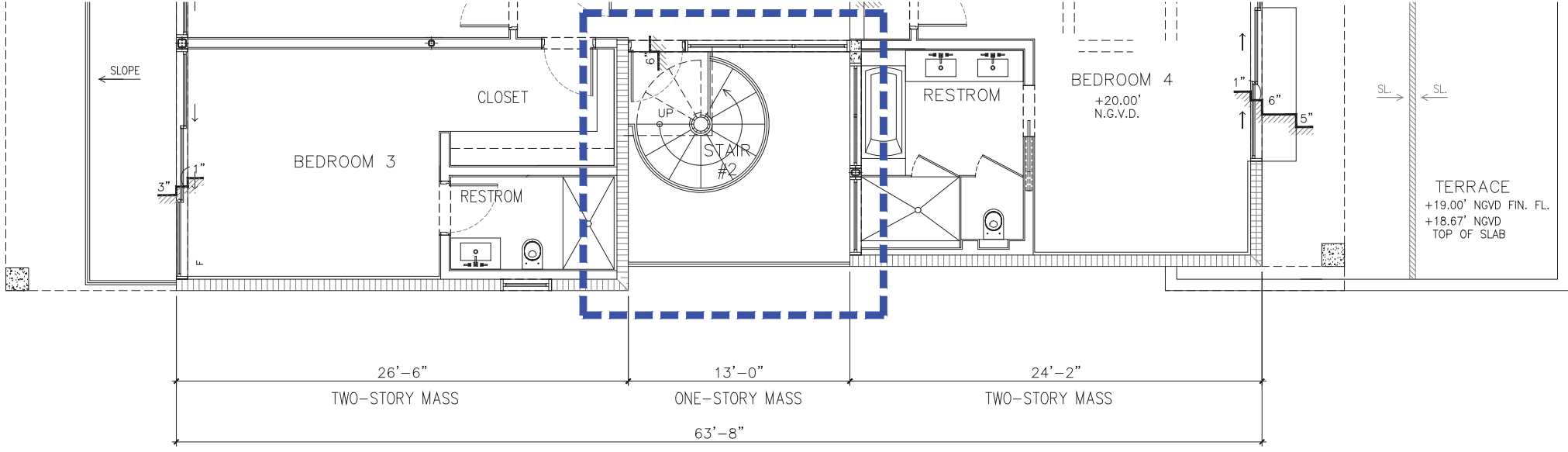
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WEST COURTYARD GROUND FLOOR PLAN - WAIVER #1

SCALE: 1/4" = 1'-0"

WAIVER #1 – ELEVATION OF
ADDITIONAL OPEN SPACE ON WEST
SIDE OF HOME AND REMOVAL OF
75% LANDSCAPE RATIO



WEST COURTYARD SECOND FLOOR PLAN - WAIVER #1

SCALE: 1/4" = 1'-0"

WAIVER #1 – ELEVATION OF
ADDITIONAL OPEN SPACE ON WEST
SIDE OF HOME AND REMOVAL OF
75% LANDSCAPE RATIO

LOT COVERAGE

LOT AREA	13,125 S.F.	
MAX LOT COVERAGE ALLOWED	3,937 S.F. (30.0%)	
PROPOSED LOT COVERAGE		
PROPOSED MAIN RESIDENCE	3,861 S.F.	
ACCESSORY STRUCTURE	43 S.F.	
GARAGE REDUCTION	-500 S.F.	
TOTAL	3,404 S.F. (25.93%)	

VOLUMETRIC RATIO

TOTAL PROPOSED GROUND FLOOR	3,861 S.F.
TOTAL PROPOSED SECOND FLOOR	3,108 S.F. (80.49% OF GROUND FLOOR)

WAIVER #2 – REMOVAL OF 70%
VOLUMETRIC RATIO OF 2ND FLOOR
TO 1ST FLOOR.

FLOOR PLAN KEY

--- INDICATES SCOPE OF PROPOSED CHANGES

PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY

INDICATES SCOPE OF PROPOSED CHANGES

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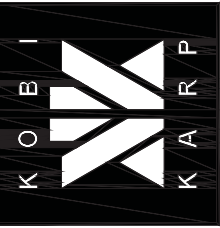
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WAIVER DIAGRAM

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WAIVER #1 CONTEXTUAL STUDY
SCALE: 1/16" = 1'-0"



A - VIEW OF 1833 W 24TH ST EAST FACADE ADJACENT TO PROPOSED WAIVER #1
N.T.S.

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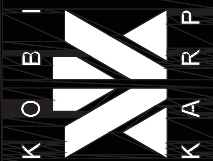
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GROUND FLOOR
PERMITTED

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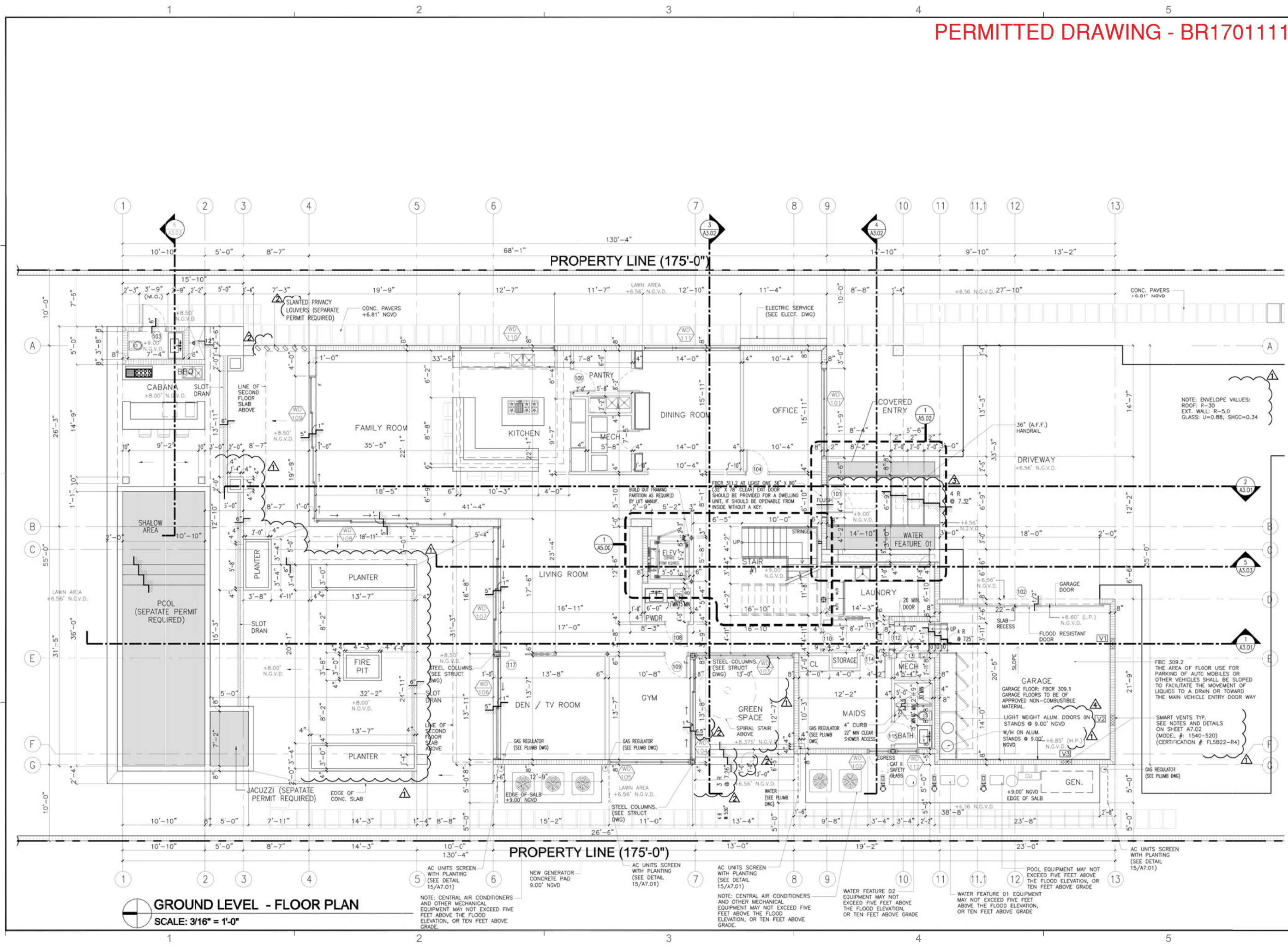
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GROUND LEVEL - FLOOR PLAN
SCALE: 3/16" = 1'-0"

NOTE: CENTRAL AIR CONDITIONERS
AND OTHER MECHANICAL
EQUIPMENT MAY NOT EXCEED FIVE
FEET ABOVE THE FLOOD
ELEVATION, OR TEN FEET ABOVE
GRADE.

NOTE: CENTRAL AIR CONDITIONERS
AND OTHER MECHANICAL
EQUIPMENT MAY NOT EXCEED FIVE
FEET ABOVE THE FLOOD
ELEVATION, OR TEN FEET ABOVE
GRADE.

WATER FEATURE 02
EQUIPMENT MAY NOT
EXCEED FIVE FEET ABOVE
THE FLOOD ELEVATION,
OR TEN FEET ABOVE GRADE.

WATER FEATURE 01 EQUIPMENT
MAY NOT EXCEED FIVE FEET
ABOVE THE FLOOD ELEVATION,
OR TEN FEET ABOVE GRADE.

PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY
INDICATES SCOPE OF PROPOSED CHANGES

REVISIONS / SUBMISSIONS	
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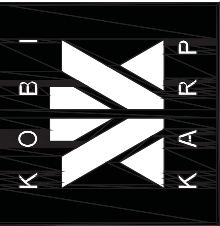
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GROUND FLOOR
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A1.01B

PROPERTY LINE (175'-0")

+6.56' N.G.V.D.

CABANA
+8.00' N.G.V.D.

SHALLOW AREA
POOL
(SEPARATE PERMIT
REQUIRED)

1" REAR SETBACK
PLAN
NORTH

GROUND LEVEL - FLOOR PLAN
SCALE: 3/16" = 1'-0"

KITCHEN

DINING ROOM

OFFICE

COVERED
ENTRY

DRIVEWAY
+6.56' N.G.V.D.

+9.00'
N.G.V.D.

+6.56'
N.G.V.D.

+6.56'
N.G.V.D.

+6.60' (L.P.)
N.G.V.D.

GARAGE

+6.85' (H.P.)
N.G.V.D.

+6.56' N.G.V.D.

PROPERTY LINE (175'-0")

TWO-STORY MASS

ONE-STORY MASS

TWO-STORY MASS

ONE-STORY MASS

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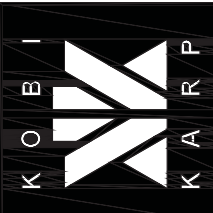
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SECOND FLOOR
PERMITTED

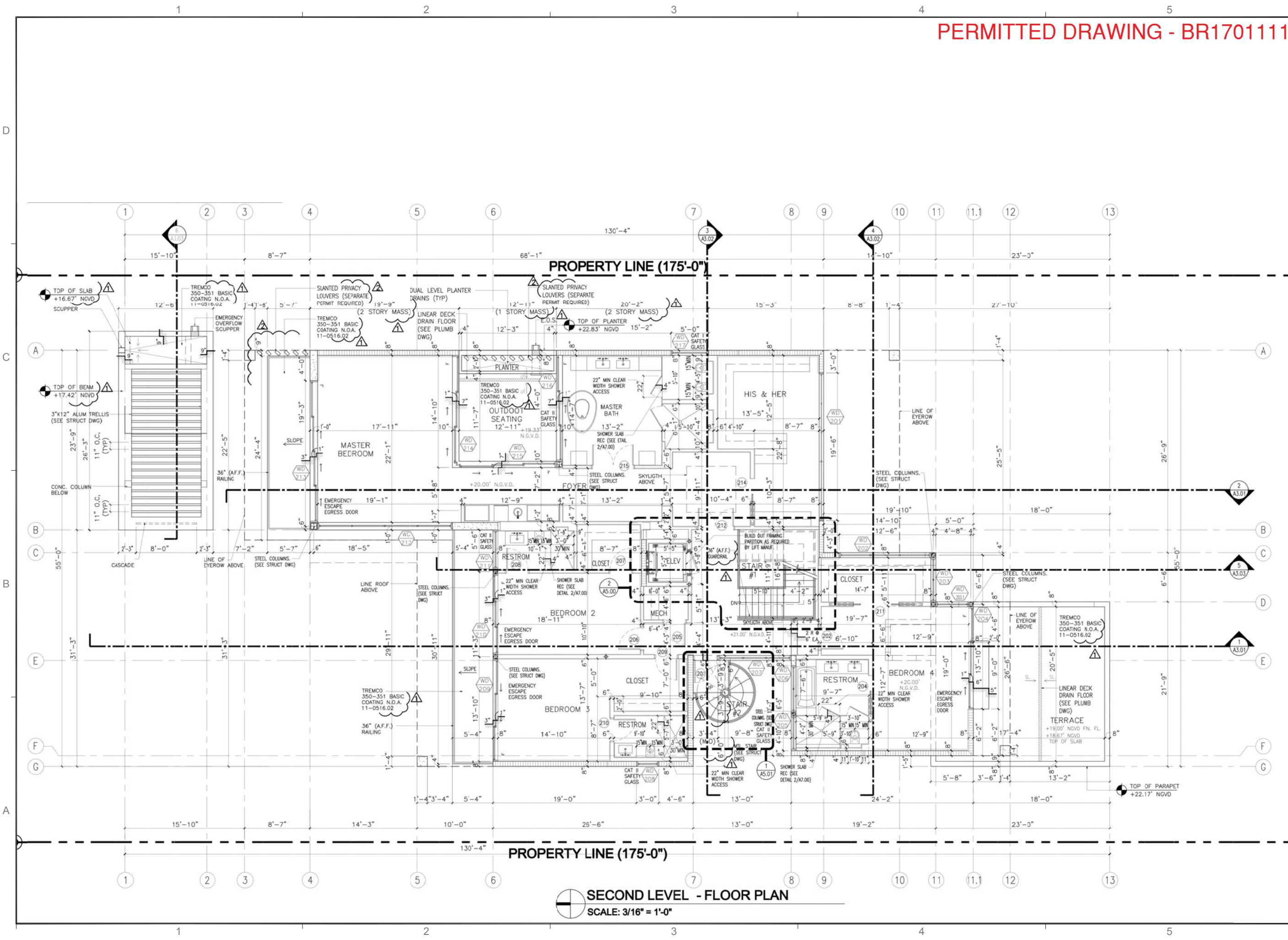
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SECOND LEVEL - FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY

INDICATES SCOPE OF PROPOSED CHANGES

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SECOND FLOOR
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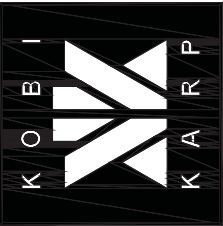
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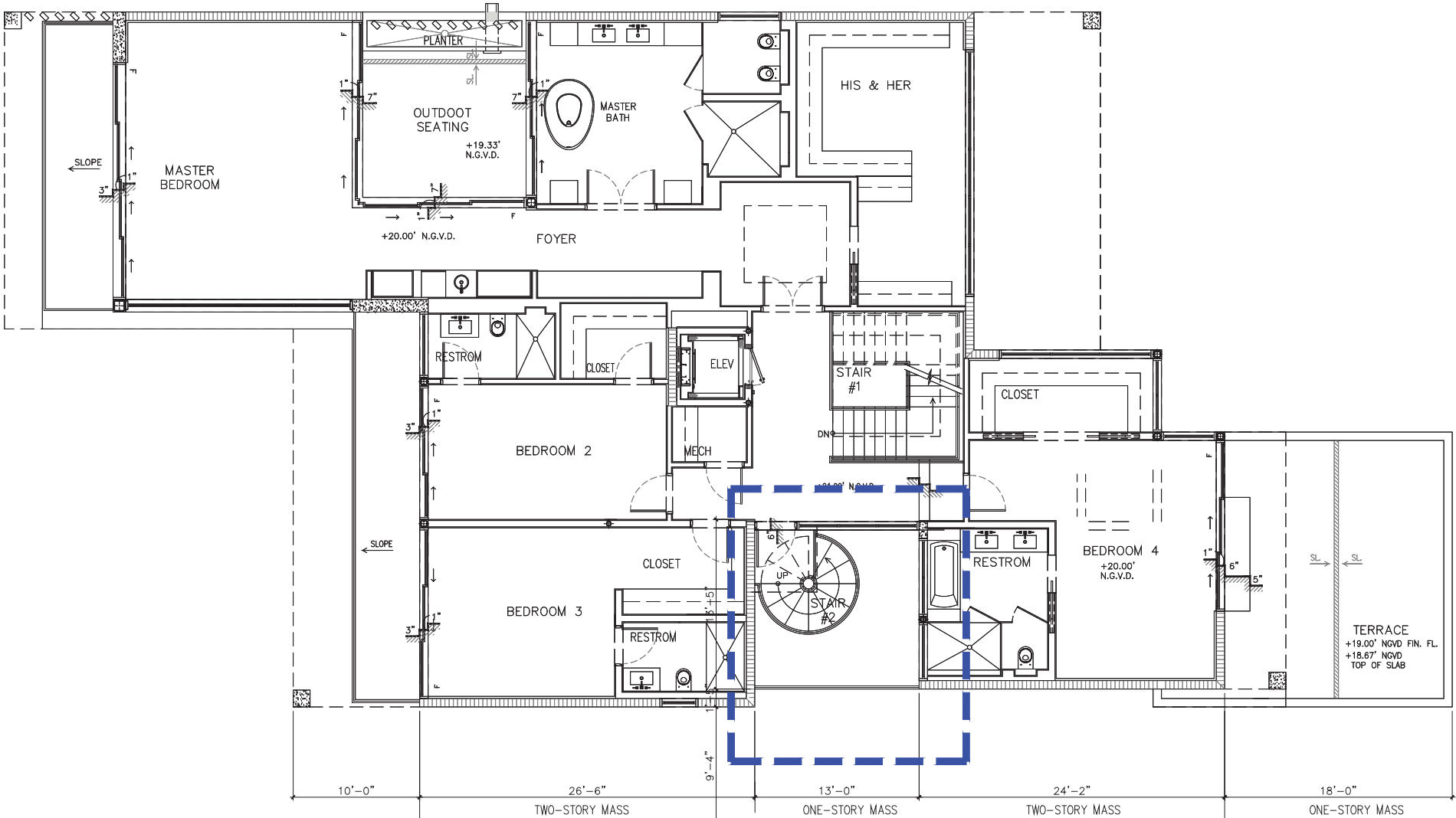
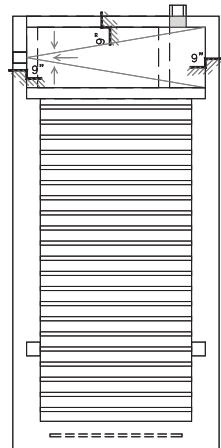
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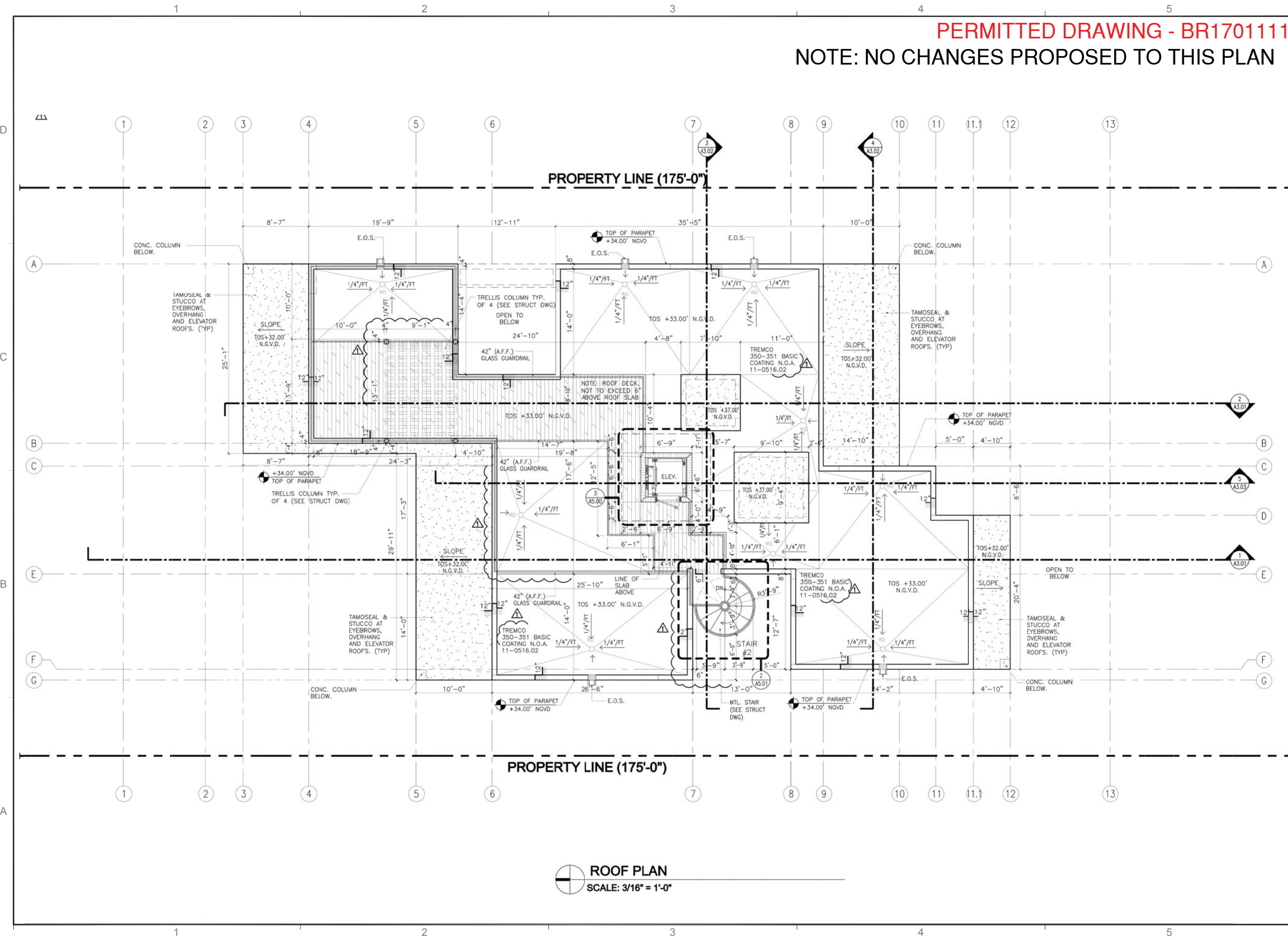


PROPERTY LINE (175'-0")



SECOND LEVEL - FLOOR PLAN
SCALE: 3/16" = 1'-0"

PERMITTED DRAWING - BR1701111
NOTE: NO CHANGES PROPOSED TO THIS PLAN



ROOF PLAN
SCALE: 3/16" = 1'-0"

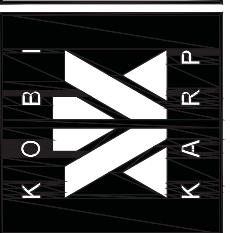
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ROOF PLAN
PERMITTED

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PROPOSED DRAWING - DRB17-0213

FLOOR PLAN KEY
— — — INDICATES SCOPE OF PROPOSED CHANGES

ELEVATION MATERIAL LEGEND



1 GRAY WOOD
TEXTURE



2 BRONZE
TEXTURE



3 HORIZONTAL GRAY
STACKED STONE



4 SMOOTH
STUCCO

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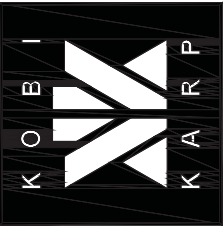
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ELEVATIONS
PROPOSED

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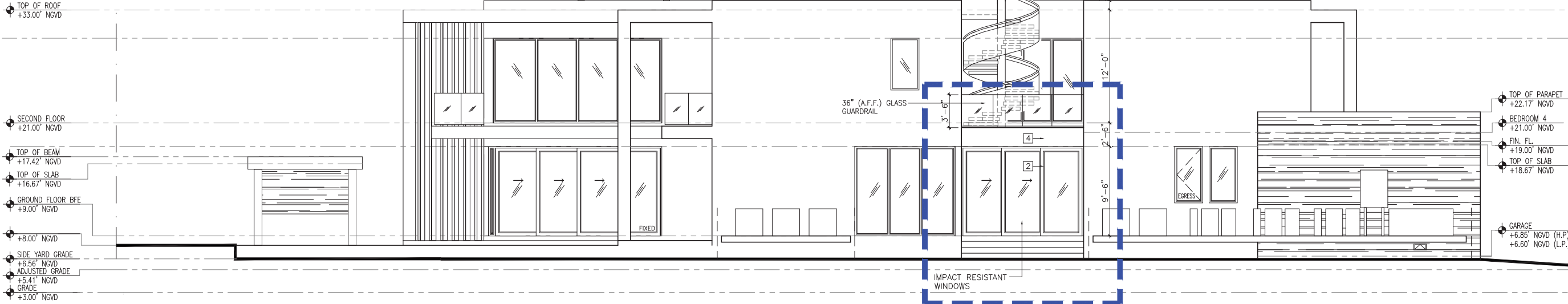
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PROPERTY LINE

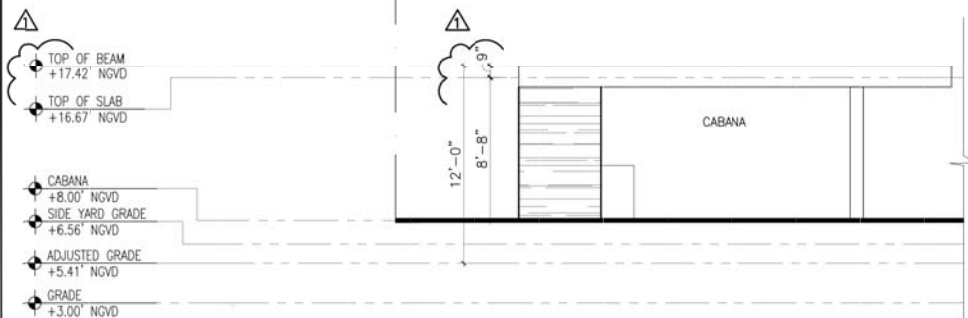


WEST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

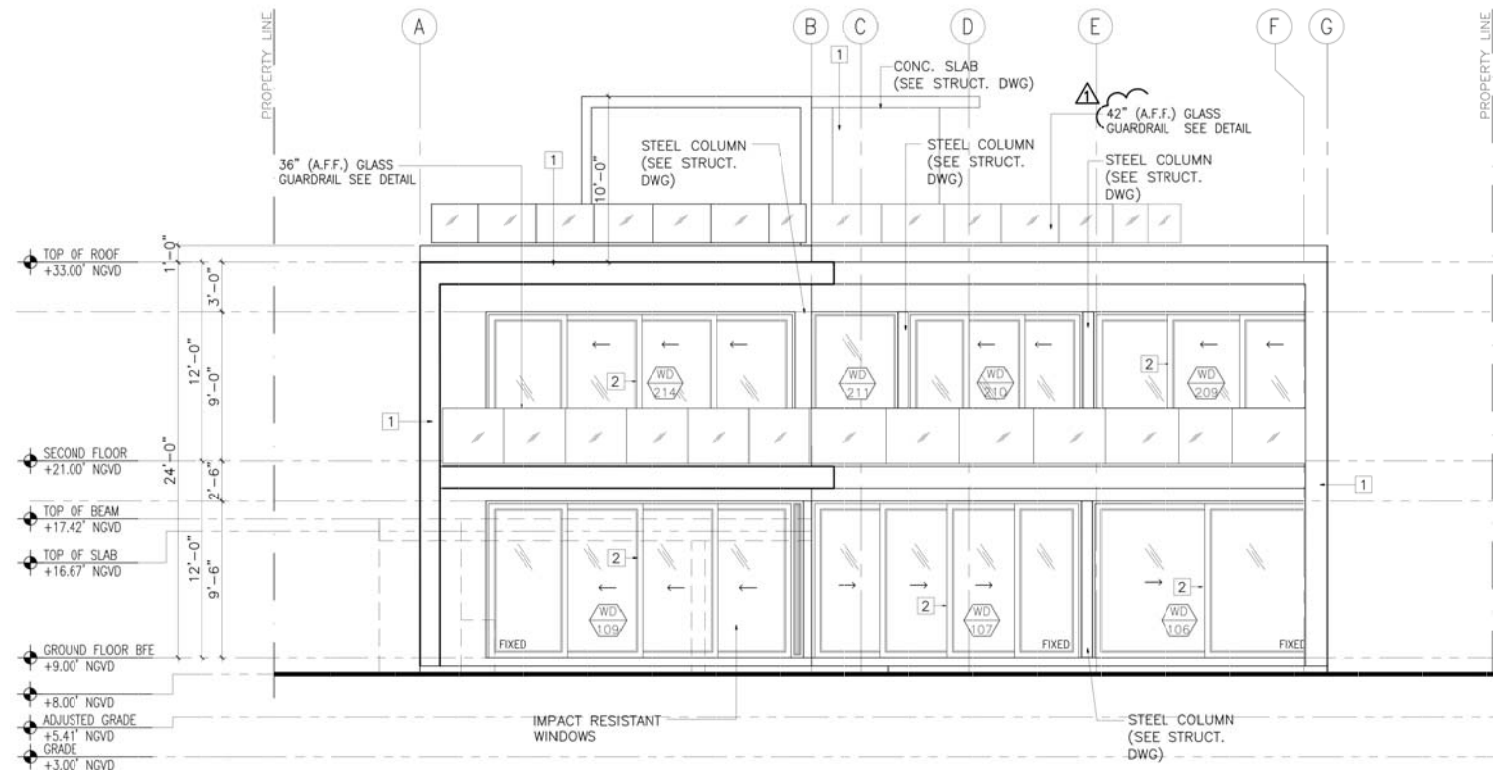
NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND



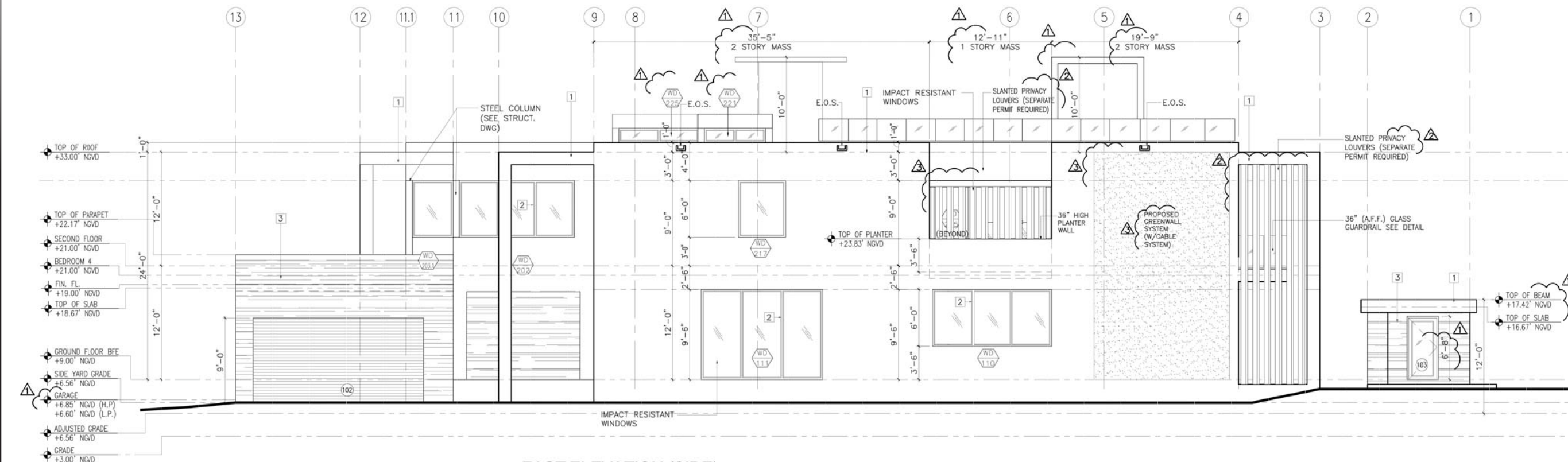
NORTH ELEVATION (CABANA)

SCALE: 3/16" = 1'-0"



NORTH ELEVATION (REAR)

SCALE: 3/16" = 1'-0"



EAST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

PERMITTED DRAWING - BR1701111

NOTE: NO CHANGES PROPOSED TO ROOF PLAN

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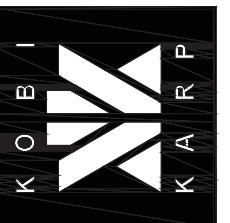
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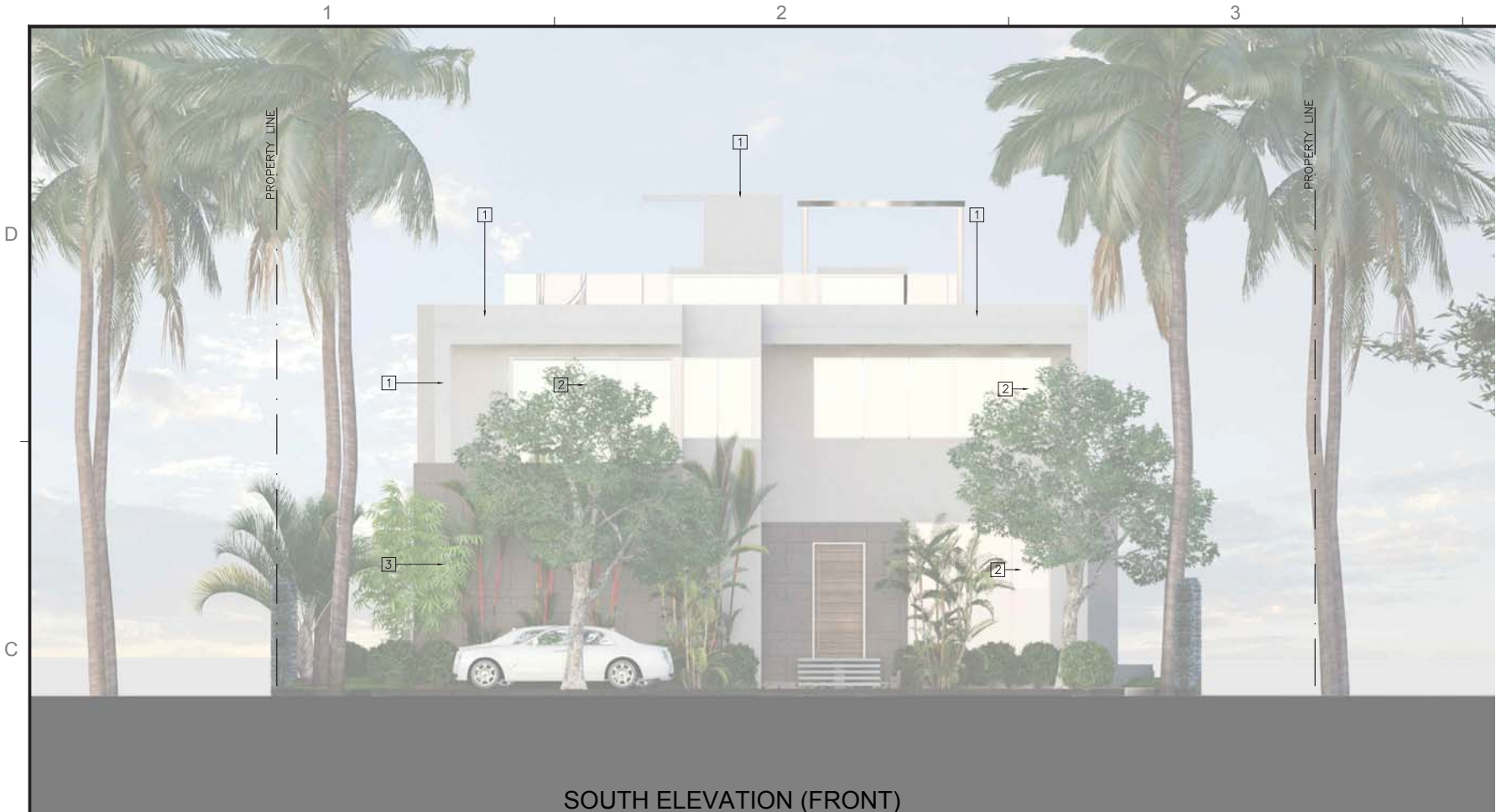


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SOUTH ELEVATION (FRONT)

SCALE: 3/16" = 1'-0"



WEST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

APPROVED DRAWING - DRB17-0159

NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND



1 GRAY WOOD
TEXTURE



2 BRONZE
TEXTURE



3 HORIZONTAL GRAY
STACKED STONE



4 SMOOTH
STUCCO

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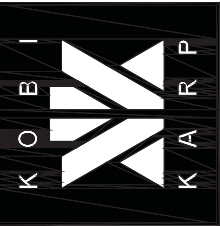
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1825 W 24 STREET
SUNSET ISLAND MIAMI BEACH,
FL. 33140

RENDERED ELEVATIONS

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INTERIOR DESIGN
PLANNING
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Suite 2003 33137
Miami, FL 33137
O: 305.573.1818
F: 305.573.3766
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DRAWN BY:
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DATE: 01-05-2018

A2.03A

PROPOSED DRAWING - DRB17-0213

NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND



1 GRAY WOOD
TEXTURE



2 BRONZE
TEXTURE



3 HORIZONTAL GRAY
STACKED STONE



4 SMOOTH
STUCCO

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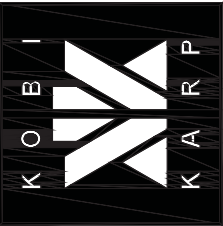
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A2.03B



WEST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

NOTE:
MINIMUM EQUIPMENT AND HABITABLE FINISH
FLOOR ELEVATION = (9.00' NGVD)

ELEVATION MATERIAL LEGEND


1 GRAY WOOD
TEXTURE


2 BRONZE
TEXTURE

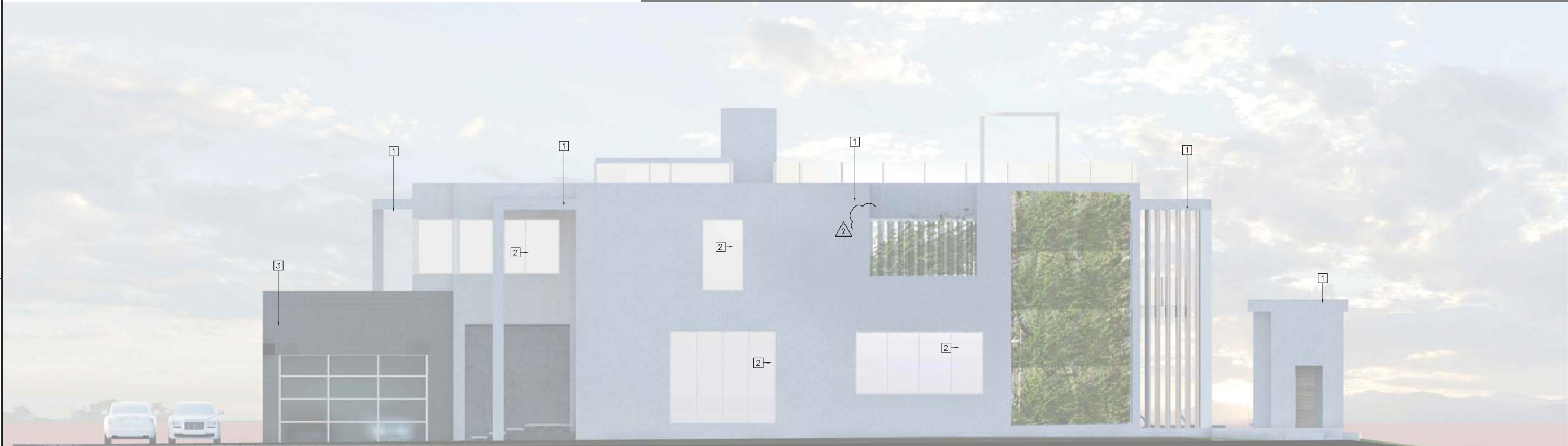

3 HORIZONTAL GRAY
STACKED STONE


4 SMOOTH
STUCCO



NORTH ELEVATION (REAR)

SCALE: 3/16" = 1'-0"



EAST ELEVATION (SIDE)

SCALE: 3/16" = 1'-0"

APPROVED DRAWING - DRB17-0159

NOTE: NO CHANGES PROPOSED TO THIS PLAN

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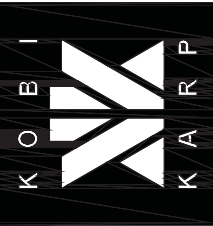
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RENDERED ELEVATIONS

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A2.04

NOTE: NO CHANGES PROPOSED TO THIS PLAN



1833 W 24TH ST

1825 W 24TH ST

1821 W 24TH ST

CONTEXT ELEVATIONS

CONTEXTUAL ELEVATION

SCALE: 1/8" = 1'-0"

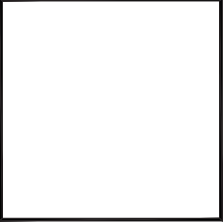
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CONTEXTUAL ELEVATION



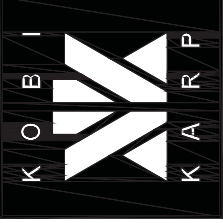
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