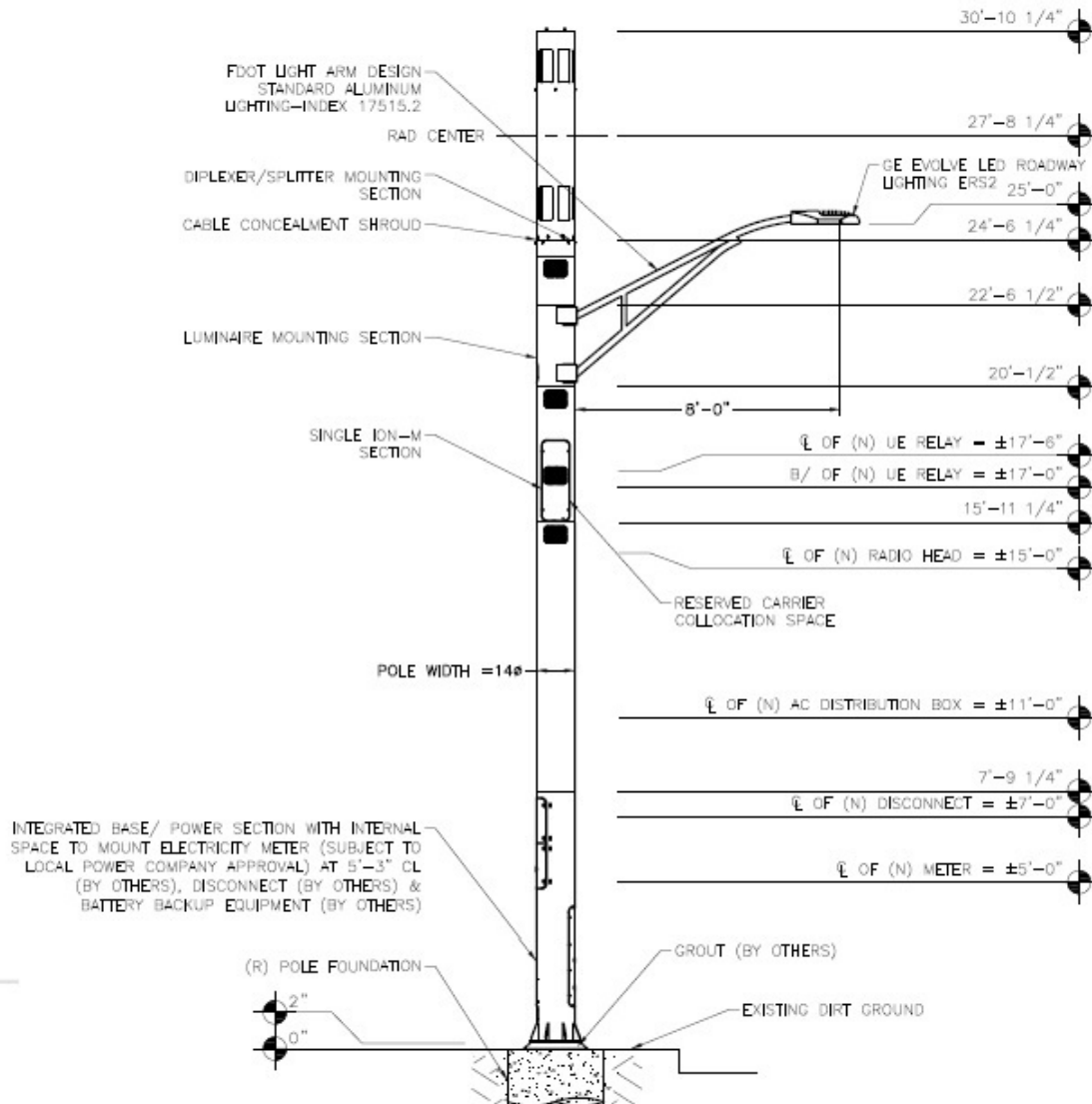


SMALL-CELL LIGHT POLE PROJECTS

City of Miami Beach - Board Applications

MOBILITIE CANDIDATE #
9FLB003871D/MI90XSL34D





ITEM # 2—COPY OF SIGNED AND DATED CHECKLIST

MIAMI BEACH

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Das Nodes

HPB 8/3/17

Property address:

Board:

Date:


BOARD APPLICATION CHECK LIST

A pre-application meeting must be scheduled with the Board staff to review all submittals.
 Pre-application meetings for applications that do not require a traffic study are scheduled on a first come first served basis and must occur no later than five(5) business days prior to the CAP first submittal.
 Applications that require a traffic study must meet 60 days* prior to CAP first submittal deadline with Planning staff, Transportation Department and peer reviewer to determine the methodology for the traffic impact study. After this meeting the applicant must create a CAP application in order to be invoiced and pay fees. Applicant must submit online (CAP) the traffic study 30 days prior to CAP first submittal (see Transportation Department list requirements)
 Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to first submittal. Applicant must address comments and submit revised traffic study/plans for CAP first submittal deadline
 Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

ITEM #	CAP FIRST SUBMITTAL To be uploaded online (CAP) by the applicant before 5:00 pm on first submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee shall be paid after pre-application meeting and before the first submittal.	X
2	Copy of signed and dated check list issued at pre-application meeting.	X
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	X
4	Letter of Intent dated and signed with details of application request. (see also Items # 43,44 and 45).	X
5	Mailing Labels (2 printed sets and a CD including: Property owner's list and Original certified letter from provider, see Item #52).	X
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application, for projects with a net increase in residential units (no SFH). (Provide Planning Department - Miami Dade - School Concurrency list).	
8	Survey (original signed & sealed) dated less than 6 months old at the time of application. Provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	X
9	Architectural Plans and Exhibits (must be 11"x 17" size):	X
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.	X
b	Copy of the original survey	X
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	X
d	Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.	X
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document if necessary).	X
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	X
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	X
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	X
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	X

* 60 day lead time for projects including traffic studies is necessary to ensure completion of review by final submittal deadline and scheduling for hearing.

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Property address:

l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	X
m	Demolition Plans (Floor Plans & Elevations with dimensions)	X
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks. <i>specs of pole</i>	X
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	X
p	Proposed Section Drawings	X
q	Color Renderings (elevations and three dimensional perspective drawings). <i>photo simulation</i>	X
10	Landscape Plans and Exhibits (must be 11"x 17" size):	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	

ITEM #	CAP FIRST SUBMITTAL ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING	Required
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Copy of previously recorded Final Orders if applicable.	
14	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recordation data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
15	Vacant or Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Department.	
16	Historic Resources Report (This report shall include, but shall not be limited to, copy of the original Building Permit Card and any subsequent evolution, Microfilm, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure).	
17	Contextual Elevation Line Drawings, corner to corner across the street and surrounding properties (dated).	
18	Line of Sight studies.	
19	Structural Analysis of existing building including methodology for shoring and bracing.	
20	Proposed exterior and interior lighting plan, including photometric calculations.	
21	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
22	Neighborhood Context Study.	
23	Required yards open space calculations and shaded diagrams.	
24	Required yards section drawings.	
25	Variance and/or Waiver Diagram	
26	Schematic signage program	
27	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
28	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
29	Daytime and nighttime renderings for illuminated signs.	
30	Floor Plan Indicating area where alcoholic beverages will be displayed.	
31	Survey showing width of the canal (Dimension shall be certified by a surveyor)	

Indicate N/A If Not Applicable

Initials:

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Property address:

32	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
33	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
34	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
35	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
36	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
37	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
38	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
39	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review.	
40	Sound Study report (Hard copy) with 1 CD.	
41	Site Plan (Identify streets and alleys)	
a	Identify: setbacks ____ Height ____ Drive aisle widths ____ Streets and sidewalks widths ____	
b	# parking spaces & dimensions ____ Loading spaces locations & dimensions ____	
c	# of bicycle parking spaces ____	
d	Interior and loading area location & dimensions ____	
e	Street level trash room location and dimensions ____	
f	Delivery route ____ Sanitation operation ____ Valet drop-off & pick-up ____ Valet route in and out ____	
g	Valet route to and from ____ auto-turn analysis for delivery and sanitation vehicles ____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
42	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors ____ outdoors ____ seating in public right of way ____ Total ____	
c	Occupancy load indoors and outdoors per venue ____ Total when applicable ____	
43	In the Letter of Intent include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	
44	In the Letter of Intent for Variances include and respond to all review guidelines in the code as follows:	
a	Section 118-53 (a) of the City Code for each Variance.	
45	In the Letter of Intent for Planning Board include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU -Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	

Indicate N/A If Not Applicable

Initials:

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

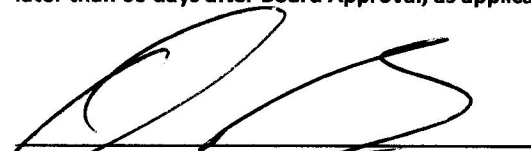
Property Address:

ITEM #	CAP FINAL SUBMITTAL:	Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date.	To
		be uploaded online (CAP) by the applicant before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper final submittal or to continue if the application is still incomplete.	
46		Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the Citi's Transportation Department. City's required permit by FDOT should be obtained prior CAP Final submittal.	

ITEM #	PAPER FINAL SUBMITTAL:	Required
47	Original application with all signed and notarized applicable affidavits and disclosures.	X
48	Original of all applicable items.	X
49	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	X
50	14 collated copies of all the above documents	X
51	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see details for CD/DVD formatting.	X
52	Traffic Study (Hard copy)	
53	Mailing Labels - 2 printed sets and a CD including: Property owner's list and Original certified letter from provider.	X

NOTES:

- A. Other information/documentation required for first submittal will be identified during pre-application meeting.
- B. Is the responsibility of the applicant to make sure that the CAP submittal, Paper Submittal (sets, 14 copies) and electronic version on CD are consistent.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval, as applicable.


 Applicant's or designee's signature

Date 8-18-17

Indicate N/A If Not Applicable

Initials: 



ITEM # 3—BOARD APPLICATION

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- BOARD OF ADJUSTMENT
 - VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - APPEAL OF AN ADMINISTRATIVE DECISION

- DESIGN REVIEW BOARD
 - DESIGN REVIEW APPROVAL
 - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.

- HISTORIC PRESERVATION BOARD
 - CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - HISTORIC DISTRICT / SITE DESIGNATION
 - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.

- PLANNING BOARD
 - CONDITIONAL USE PERMIT
 - LOT SPLIT APPROVAL
 - AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP

- FLOOD PLAIN MANAGEMENT BOARD
 - FLOOD PLAIN WAIVER

- OTHER _____

SUBJECT PROPERTY ADDRESS: Proposed wireless small cell infrastructure on the public right of way.

Coordinates: **Latitude 25.793974 Longitude -80.129875**

Approximate pole address: 215 18th Street, Miami Beach, Florida

X: 985020.626, Y: -5661341.049

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) _____

1. APPLICANT: OWNER OF THE SUBJECT PROPERTY TENANT ARCHITECT LANDSCAPE ARCHITECT
 ENGINEER CONTRACTOR OTHER (infrastructure owner)

NAME MOBILITIE, LLC
ADDRESS 3475 Piedmont Rd NE, Suite 1000, Atlanta, GA, 30305
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309
E-MAIL ADDRESS Oraez@mobilitie.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME Same as applicant
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S): N/A

ATTORNEY:

NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

AGENT:

NAME Orlando Raez
ADDRESS 3450 Lakeside Drive, Suite 301, Miramar, FL 33027
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309
E-MAIL ADDRESS oraez@mobilite.com

CONTACT:

NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

ARCHITECT LANDSCAPE ARCHITECT ENGINEER CONTRACTOR OTHER: _____
NAME Stephen Bray
ADDRESS 1800 Route 34 Wall NJ 07719
BUSINESS PHONE (732) 280-5623 CELL PHONE _____
E-MAIL ADDRESS sbray@kmbcompanies.com

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

MOBILITIE, LLC seeks to replace an existing street light with one wireless infrastructure integrated with a streetlight in the public rights of way in the City of Miami Beach in order to improve the capacity and coverage of cellular devices within the City.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE YES NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION YES NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) n/a SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). _____ SQ. FT.

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL; (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: OWNER OF THE SUBJECT PROPERTY

AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

PRINT NAME: _____

Orlando Raez

FILE NO. _____

A L CABL

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____
COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this ____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

(Circle one)

STATE OF Georgia
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn, depose and certify as follows: (1) I am the NRE Manager (print title) of MOBILITIE, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.


SIGNATURE

Sworn to and subscribed before me this 18th day of August, 2017. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC, on behalf of such entity, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires:




NOTARY PUBLIC

Gadiel Rosario-Rivera, NRE Manager

PRINT NAME

FILE NO. _____

POWER OF ATTORNEY AFFIDAVIT

STATE OF Georgia
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Orlando Raez to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Gadiel Rosario-Rivera, NRE Manager
PRINT NAME (and Title, if applicable)

[Signature]
SIGNATURE

Sworn to and subscribed before me this 18th day of August, 2017. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



[Signature]
NOTARY PUBLIC

My Commission Expires

Erin E. Scott
PRINT NAME

A L CABL

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.*

NAME	DATE OF CONTRACT
NAME, ADDRESS, AND OFFICE	% OF STOCK
_____	_____
_____	_____
_____	_____

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

A L CABL

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. *

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

A L CABL

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME

NAME AND ADDRESS

% INTEREST

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Georgia
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

[Signature]
SIGNATURE

Sworn to and subscribed before me this 18th day of August, 2017. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires:

[Signature]
NOTARY PUBLIC

Erin E. Scott
PRINT NAME

FILE NO. _____

ITEM # 4—LETTER OF INTENT

October 6th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Board Applications for Light Pole replacements with Small-Cell Stealth Light Poles on the public right-of-way

Dear Board Members and City Staff:

This letter intends to serve as Mobilitie, LLC's "Letter of Intent" in regards to our proposed small-cells infrastructure on the public rights-of-way within the City of Miami Beach, FL. Mobilitie is a wireless infrastructure company that develops intelligent infrastructure solutions to densify and optimize wireless carriers services and geographic reach. Mobilitie LLC possesses a Certificate to provide Alternative Access Vendor services from the Florida Public Service Commission. Mobilitie LLC is also registered with the City of Miami Beach, pursuant to City Code Section 104-4, as a communications services provider.

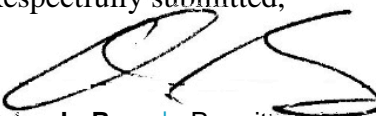
Mobilitie LLC works with all wireless carriers to enhance services throughout the country. Our design optimizes the performance of wireless networks by taking into consideration customer usage behaviors, terrain, obstructions, points-of-interest, and local guidance and ordinances. Mobilitie LLC's small-cell network within the City of Miami Beach will be utilized by Sprint, a wireless carrier, to fill in network deficiencies as a result of high demand for high-speed wireless service in the City.

During pre-application meetings with the City of Miami Beach Planning Department staff, it was expressed that the City of Miami Beach had spent two years developing an acceptable stealth design with a competitor. Although there are additional costs associated with the stealth design for our company, Mobilitie, LLC decided to work cooperatively with the City of Miami Beach and integrated the stealth design for our small-cell equipment installations. Our competitor has already pulled and replaced dozens of street light poles with stealth telecommunication light poles after getting permits from the City. Mobilitie LLC is effectively proposing to do the same. As required during our meetings with Planning Department staff, we have also reserved an area inside each pole should another wireless carrier which to utilize our poles for their equipment (reserved area is marked on plans).

REQUEST FOR APPROVAL

Mobilitie respectfully requests that the City review and approve the attached applications supplemented with the enclosed information. Mobilitie values the City's input on our proposal, and will work closely with the City to address any other concerns with our proposal, such as location, height, and pole color. Mobilitie looks forward to working with the City of Miami Beach and values its partnership in order to provide your constituents and visitors with high-speed connectivity. Thank you for your attention to this matter.

Respectfully submitted,



Orlando Raez | Permitting Manager

oraez@mobilitie.com

786 910 4309 mobile

www.mobilitie.com

October 9th, 2017

Photo-Simulation

Subject: (approximate pole address) 215 18th Street, Miami Beach, FL 33139

Legal Description: Public right of way

Pole Height: 30 feet

Note: pole color will match existing street light pole color unless otherwise directed by the City of Miami Beach.

Note: Photo-simulation is not to scale



ITEM # 5—MAILING LABELS

October 9th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Property Owners list within 375 feet of:

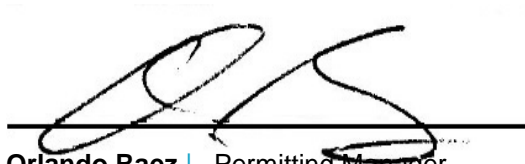
Subject: (approximate pole address) 215 18th Street, Miami Beach, FL 33139

Legal Description: Public right of way

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Total number of property owners without repetition: 447, including 12 international.

Respectfully submitted,

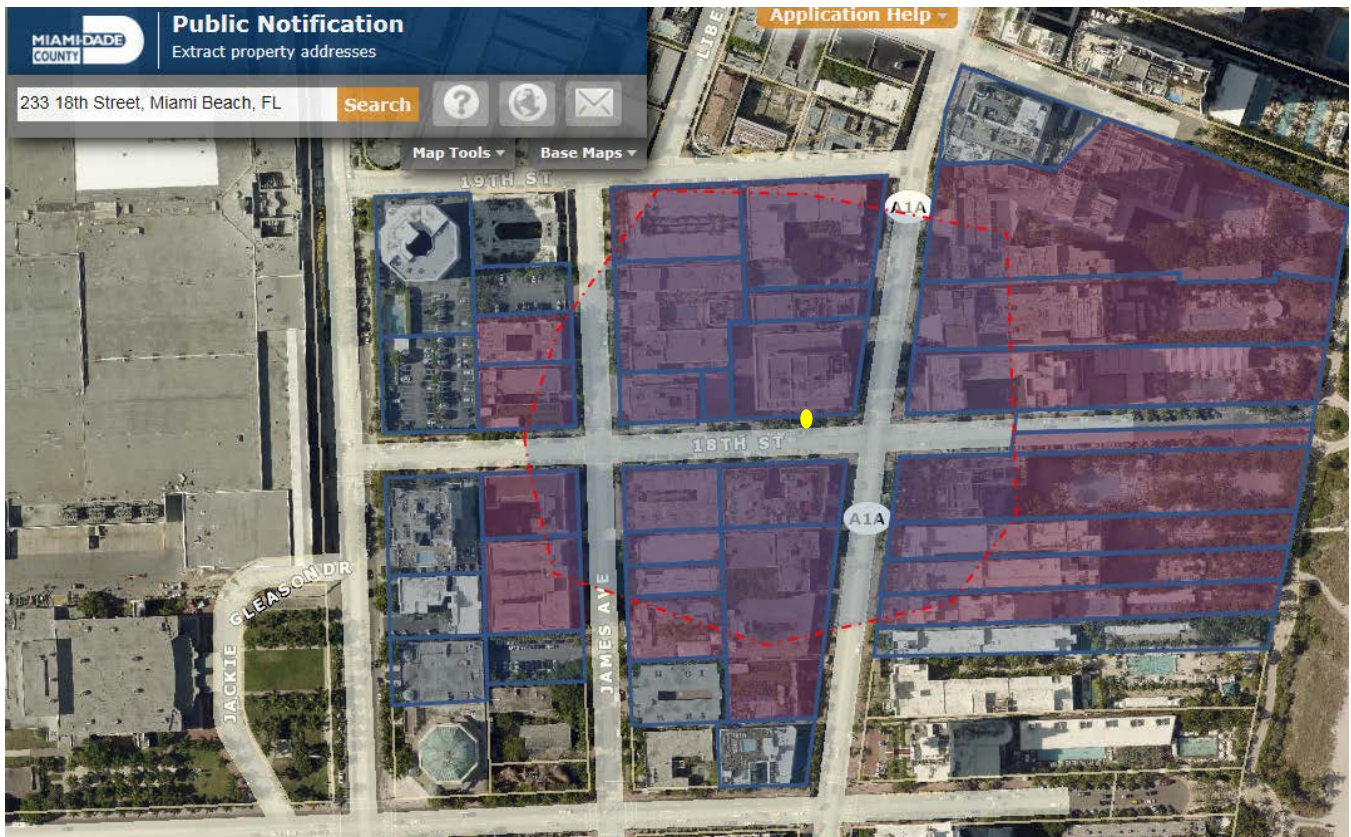


Orlando Raez | Permitting Manager
oraez@mobilitie.com
786 910 4309 mobile
www.mobilitie.com

October 9th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

375-Foot Radius Map



Subject: (approximate pole address) 215 18th Street, Miami Beach, FL 33139

Legal Description: Public right of way

Source: Miami Dade County Property Appraiser, <http://gisweb.miamidade.gov/PublicNotification/>

Property Owner	Address	City and State	State	Zip Code	Country
MOTIVI LIMITED	PO BOX 146 WICKHAMS CAY	ROAD TOWN TORTOLA		-	BRITISH VIRGIN ISLANDS
TOMMY GOMATOS &	4037 MACKENZIE H7W1M6	LAVAL QUEBEC H7W1M6		-	CANADA
LEON LAVOIE	3932 CLARK	MONTREAL	QC	H2W 1W7	CANADA
BENOIT DESCHAMPS JTRS	3932 RUE CLARK	MONTREAL QUEBEC H2W 1W7		-	CANADA
RENATE KLEMM	PO BOX 44	PORT COLBORNE ONTARIO L3K5V7		-	CANADA
ANDREA SEYMOUR	50 BERTMOUNT AVE	TORONTO ONTARIO M4M 2X9		-	CANADA
PEARL DRABINSKY	587 ST CLEMENTS AVE	TORONTO ONTARIO M5N1M5		-	CANADA
ERIK ANDREW BENEDICT VAIL	99 OLD FOREST HILL RD	TORONTO ONTARIO M5P2R8		-	CANADA
INVERSIONES HOLANDA SA	PO BOX 578- 1000	SAN JOSE		-	COSTA RICA
JOSE ESTEFAN ACAR LE	CERRADA DE AMEYALCO #7	COLONIA DEL VALLE DF CP 03100		-	MEXICO
RINA YANEZ	MONTE REAL 207 #7	SURCO LIMA 33		-	PERU
EDWIN HINCAPIE BUITRAGO	54 FLAXTON ROAD	LONDON		-	UNITED KINGDOM
UNIVERSAL INVS UN LTD INC	17201 COLLINS AVE APT 3308	SUNNY ISLES BEACH	FL	33160-3488	USA
SHORE CLUB PROPERTY OWNER LLC	600 MADISON AVE 17 FLR	NEW YORK	NY	10022	USA
CITY OF MIAMI BEACH	1700 CONV CTR DR	MIAMI BEACH	FL	33139	USA
IC LLC	2200 BISCAYNE BLVD	MIAMI	FL	33137	USA
PESTANA MIAMI LLC	300 71 STREET STE 528-A	MIAMI	FL	33141	USA
DECO BEACH INNS LTD	1741 COLLINS AVE	MIAMI	FL	33139-2006	USA
STANLEY JONAS TRS	1560 S TREASURE DR	NORTH BAY VILLAGE	FL	33141	USA
SOUTH BEACH 18 LLC	1005 PARK CENTRE BLVD	MIAMI	FL	33169	USA
LINCOLN ARMS MIAMI BCH LLC LESSEE	1800 JAMES AVE	MIAMI BEACH	FL	33139	USA
WALLACE CORP C/O RICHMOND HOTEL	1757 COLLINS AVE	MIAMI BEACH	FL	33139-2006	USA
FH: DAVID FRY TR	1881 WASHINGTON AVE	MIAMI BCH	FL	33139-7408	USA
ANDREW MIRMELLI	1210 MICHIGAN AVE	MIAMI BEACH	FL	33139	USA

Property Owner	Address	City and State	State	Zip Code	Country
TEMPLE EMANUE-EL	1701 WASHINGTON AVE	MIAMI BEACH	FL	33139-7541	USA
JACOB FISHMAN (LESSOR)	1238 COLLINS AVE	MIAMI BEACH	FL	33139	USA
CATALINA HANAT LLC	1680 MERIDIAN AVE SUITE#102	MIAMI BEACH	FL	33139-2704	USA
RED 18 LLC	1111 KANE CONCOURSE 217	BAY HARBOR ISLANDS	FL	33154	USA
HOTEL 18 GROUP LLC	1111 KANE CONCOURSE STE 217	BAY HARBOR ISLANDS	FL	33154	USA
RICHMOND HOTEL CORP	1757 COLLINS AVE	MIAMI BEACH	FL	33139-2006	USA
ELMIRA MIAMI LLC	1133 BROADWAY	NEW YORK	NY	10010	USA
SEAN MIRMELLI TRS (50% FEE)	1717 COLLINS AVE	MIAMI BEACH	FL	33139	USA
M C M CORP LESSEE	1741 COLLINS AVE	MIAMI BEACH	FL	33139	USA
SYNERGETIC REAL EST OF FLA LLC	CHRISTIES LANDING	NEWPORT	RI	02840	USA
WALLACE CORPORATION	1757 COLLINS AVE	MIAMI BEACH	FL	33139-2006	USA
ROBERT MATTHEWS &W RITA	18 EAST 94 ST	NEW YORK	NY	10128	USA
JULIA DAVILA JTRS	1725 JAMES AVE APT 2	MIAMI BEACH	FL	33139-7510	USA
MARIO W VASQUEZ &W CISSIE J LE	9701 SW 105 AVE	MIAMI	FL	33176-2745	USA
ALBERTO RIVERO &	1725 JAMES AVE UNIT 4	MIAMI BEACH	FL	33139-7510	USA
FEDERAL NATIONAL MORTGAGE ASSN	14405 WALTERS RD STE 200	HOUSTON	TX	77014	USA
TERRUNIO 6 LLC	1701 JAMES AVE	MIAMI BEACH	FL	33139	USA
SARA G LIMA	1725 JAMES #7	MIAMI	FL	33139	USA
TERRUNIO 8 LLC	1701 JAMES AVE	MIAMI BEACH	FL	33139	USA
CARMEN CASTELLANOS	152 FERNWOOD DR	OLD TAPPAN	NJ	07675	USA
ROBERT MATTHEWS	15 E 94 ST	NEW YORK	NY	10128	USA
HILDA GOITIA (EST OF)	6239 BROADWAY APT A19	BRONX	NY	10471	USA
JANET L EYMAN	1725 JAMES AVE UNIT 12	MIAMI BEACH	FL	33139-7511	USA
ALBERTO RIVERO	1725 JAMES AVE #12A	MIAMI BEACH	FL	33139-7511	USA
ENRIQUE J GOMEZ	1725 JAMES AVE #14	MIAMI	FL	33139	USA

Property Owner	Address	City and State	State	Zip Code	Country
SONIA KINBLAD	1725 JAMES AVE UNIT 15	MIAMI BEACH	FL	33139-7511	USA
MARIA HERNANDEZ	1725 JAMES AVE #16	MIAMI BEACH	FL	33139-7565	USA
ALVARO MORENO &W CARMELITA &	312 LAMELLA LN	PEACHTREE CITY	GA	30269	USA
PHILIPPE MULLER &W	1725 JAMES AVENUE #18	MIAMI BEACH	FL	33139	USA
TIFFANY MADERA	1725 JAMES AVE #19	MIAMI BEACH	FL	33139-7565	USA
JOSEPH R D'ACOSTA JR	1725 JAMES AVE UNIT 20	MIAMI BEACH	FL	33139-7565	USA
TERRUNIO 21 LLC	1701 JAMES AVE	MIAMI BEACH	FL	33139	USA
ALFREDO A ACUNA &W ESTELA &	13311 SW 99 ST	MIAMI	FL	33186	USA
PNC BANK NA	3232 NEWMARK DR	MIAMISBURG	OH	45342	USA
RANDOLPH A MIMS	1725 JAMES AVE #24	MIAMI	FL	33139	USA
ALCIDES GONZALEZ	39-19 220 ST	BAYSIDE	NY	11361	USA
1725 JAMES AVE NO 26 LLC	1760 NE 144 ST	MIAMI	FL	33181	USA
SIOCAM USA LLC	1000 5 STREET # 206	MIAMI BEACH	FL	33139	USA
LILIANA MILLAN	8936 NW 180 TER	MIAMI	FL	33018	USA
JOAQUIN TOYOS LAMADRID TRS	1725 JAMES AVE #29	MIAMI BEACH	FL	33139	USA
TERRUNIO 30 LLC	1701 JAMES AVE	MIAMI BEACH	FL	33139	USA
KARIN M VELANDER	1820 James Ave Apt 2A	Miami Beach	FL	33139-7429	USA
HILDA SAN ANTONIO	1820 JAMES AVE #2B	MIAMI BEACH	FL	33139-7429	USA
F2 SOVE LLC	942 LAFAYETTE AVENUE	BROOKLYN	NY	11221	USA
JUAN A FERNANDEZ	219 SCHOOLHOUSE RD	LANCASTER	PA	17603	USA
FRANCISCO PURISACA &W	1820 JAMES AVE #2E	MIAMI BEACH	FL	33139-7429	USA
FRANCISCO R RAMIREZ	1820 JAMES AVE #2F	MIAMI BEACH	FL	33139	USA
ANA CINTRON TRUST LLC	157 E NEW ENGLAND AVE # 402	WINTER PARK	FL	32789	USA
RACHEL ROZMARYN & BELL RUBIN &	110-33 70 AVE	FLUSHING	NY	11375	USA
JUAN P MORALES &W MARIA C	1820 JAMES AVE #3C	MIAMI BEACH	FL	33139-7430	USA
EVELIO L SALA	1820 JAMES AVE 3D	MIAMI BEACH	FL	33139	USA
ANTONIO GESTIDO	1820 JAMES AVE #3E	MIAMI BEACH	FL	33139-7431	USA

Property Owner	Address	City and State	State	Zip Code	Country
DR ANNA L TIRADO	1 BAYBERRY RD	HAMDEN	CT	06517	USA
THOMAS W ERICSON	1820 JAMES AVE #4A	MIAMI BEACH	FL	33139	USA
PASQUALE D ONOFRIO	1820 JAMES AVE 4B	MIAMI	FL	33139	USA
GEORGE D FERRIS JR	1820 JAMES AVE APT 4C	MIAMI BEACH	FL	33139-7431	USA
DAVID LINDSEY	35 ROYAL ST	RANDOLPH	MA	02368	USA
SERGIO GUTMAN	2305 SCARFF ST	LOS ANGELES	CA	90007	USA
ELIZABETH MEDINA	1820 JAMES AVE 5A	MIAMI BEACH	FL	33139	USA
PHILIPPE ASSOR	1820 JAMES AVE #5C	MIAMI BEACH	FL	33139	USA
MYRNA I GRIEGO	4015 N MERIDIAN AVE 1	MIAMI BEACH	FL	33140	USA
RICHARD & SCOTT D SEGAL &	301 E 48 ST #5D	NEW YORK	NY	10017	USA
LILIANA IVEZIC	1820 JAMES AVE APT 6A	MIAMI BEACH	FL	33139-7461	USA
MARIA & ALBERTO & ROCIO CRESPO	1820 JAMES AVE #6C	MIAMI BEACH	FL	33139-7462	USA
CHRISTOPHER JOHN SALGADO	1820 JAMES AVE 6D	MIAMI BEACH	FL	33139	USA
MATO COLAK	2301 COLLINS AVE #1408	MIAMI BEACH	FL	33139	USA
CARMEN DEJESUS	1820 JAMES AVE #6F	MIAMI BEACH	FL	33139-7462	USA
VALERIANO FIGUEREDO EST OF	1776 JAMES AVE UNIT 2A	MIAMI BEACH	FL	33139-7519	USA
CONOR MOLLOY	209 E 25 ST 5F	NEW YORK	NY	10010	USA
RALPH UMANSKY TR	1263 E 56 ST	BROOKLYN	NY	11234	USA
MYRON SULZBERGER ROLFE JTRS	25 SUTTON PLACE SOUTH # 16N	NEW YORK	NY	10022	USA
ANTONIO C DIAS NUNES	5600 COLLINS AVE 11D	MIAMI BEACH	FL	33140	USA
VILMA SIM	1776 JAMES AVE 2F	MIAMI BEACH	FL	33139	USA
CARMEN L & LYDIA E ORTIZ	1776 JAMES AVE #2G	MIAMI BEACH	FL	33139-7519	USA
GARY GOTTFRIED	1776 JAMES AVE #3-A	MIAMI BEACH	FL	33139-7519	USA
ALCIDES MACHADO	1776 JAMES AVE 3B	MIAMI BEACH	FL	33139	USA
GUILLERMO CABRERA	1776 JAMES AVE # 3C	MIAMI BEACH	FL	33139	USA
JOSEPH F LOPEZ	1776 JAMES AVE UNIT 3-D	MIAMI BEACH	FL	33139	USA
FRANK FERREIRO	1776 JAMES AVE 3E	MIAMI BEACH	FL	33139	USA

Property Owner	Address	City and State	State	Zip Code	Country
LOUIS R CANCIO	1776 JAMES AVE 3F	MIAMI BEACH	FL	33139	USA
GENARO RODRIGUEZ JTRS	2401 COLLINS AVE #1802	MIAMI	FL	33160	USA
MARIA A MAIO TUCCI	1776 JAMES AVE #4A	MIAMI BEACH	FL	33139-7521	USA
ERNEST JOHN HERNANDEZ	101 WYCKOFF AVE #4F	BROOKLYN	NY	11237	USA
YOLANDA FERNANDEZ TRS & CRISTINA E INFANTE	872 BRAEBURN DRIVE	MARTINSBURG	WV	25403	USA
THEODORE M DAVID	1776 JAMES AVE #4D	MIAMI BEACH	FL	33139	USA
THEODORE M DAVID	12 NORTH ST	RAMSEY NEW	NJ	07446	USA
LAWRENCE MICHAEL DOANE	1776 JAMES AVE APT 4F	MIAMI BEACH	FL	33139-7521	USA
ANTONIO ABUCHAIBE &W	1776 JAMES AVE #4G	MIAMI BEACH	FL	33139-7521	USA
JEFFREY S HILLOCK	268 E BROADWAY #A2002	NEW YORK	NY	10002	USA
E D ACOSTA TR & C E ROMERO TR	1776 JAMES AVE #5B	MIAMI BEACH	FL	33139-7520	USA
EDUARDO C BEJAR TRS	1776 JAMES AVE 5C	MIAMI BEACH	FL	33139	USA
RICHARD RAFULS	3340 NE 164 ST	MIAMI BEACH	FL	33160-4128	USA
CHARLES HINES	284 E 10 ST 3D	NEW YORK CITY	NY	10009	USA
LOIS A MIMS	1776 JAMES AVE #5-F	MIAMI BEACH	FL	33139-7520	USA
MANFRED STRUTH	1776 JAMES AVE 5G	MIAMI BEACH	FL	33139	USA
RICHARD HUGH FISK & JANIS E ROE	1776 JAMES AVE #6A	MIAMI BEACH	FL	33139-7522	USA
JANIS E ROE	408 SAMANTHA DR	LEWES	DE	19958-4146	USA
PEDRO R MONTEAGUDO RIANO JTRS	1776 JAMES AVE #6C	MIAMI BEACH	FL	33139	USA
WILLIAM NOONAN &W VALORIE	1776 JAMES AVE APT 6D	MIAMI	FL	33139-7522	USA
GASTON BURBANO	1776 JAMES AVE #6E	MIAMI BEACH	FL	33139-7522	USA
JOSEPH E GAZAREK	1776 JAMES AVE #6F	MIAMI BEACH	FL	33139	USA
JAMES C BETHARD	1776 JAMES AVE # 6 G	MIAMI BEACH	FL	33139	USA
GINA M NORWOOD	2400 BEVERLY AVE #9	SANTA MONICA	CA	90405	USA
PATRICIA ANN LAVENSTEIN TRS	1776 JAMES AVE 7B	MIAMI BEACH	FL	33139	USA
ROBERT GAVIN ODDO	1776 JAMES AVE #7C	MIAMI BEACH	FL	33139-7522	USA
MARIA L CASTANO	1776 JAMES AVE #7D	MIAMI BEACH	FL	33139-7522	USA

Property Owner	Address	City and State	State	Zip Code	Country
FLORENCE WINTHROP FICHMAN	1776 JAMES AVE #7E	MIAMI BEACH	FL	33139-7522	USA
CAROL RICHNER	107 JEFFERSON ST	GARDEN CITY	NY	11530	USA
SILVIA ACOSTA	10 EXCHANGE CT 404	PAWTUCKET	RI	02860	USA
MELAT MB LLC	1689 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
JORGE MARRERO &W LUCIA	245 18 ST 304	MIAMI BEACH	FL	33139	USA
MERCEDES A GODINHO	24 PELHAM RD	KENDALL PARK	NJ	08824	USA
CONRADO BAEZ & CONRAD BAEZ JR & RAMON J SUAREZ	2216 SW 60 AVE	MIAMI	FL	33155-2263	USA
	16 ROWELL LN	WAPPINGERS FALLS	NY	12590	USA
PEDRO H VALDES &W AGUSTINA R	245 - 18 ST UNIT 404	MIAMI BEACH	FL	33139-2045	USA
AMANDA SABALJA &H	245 18 ST #405	MIAMI BEACH	FL	33139	USA
MICHAEL ZACKMAN &W LESLIE	420 12 ST D1L	BROOKLYN	NY	11215	USA
BRENDA N STEELE & NICOLAS STEELE	255 EASTERN PARKWAY C6	BROOKLYN	NY	11238	USA
STEFANO MEDVED	135 SHERIDAN ST 407	PORTLAND	ME	04101	USA
DEDA D GOJCAJ	321 MILLTOWN RD	BREWSTER	NY	10509	USA
JULIA REY & SONIA COSSIO	245 18 ST UNIT 505	MIAMI BEACH	FL	33139-2002	USA
ROBERTO H PEREZ &W OMAIDA TRS	3729 SE 8 PL	CAPE CORAL	FL	33094	USA
JOAQUIN FERNANDEZ LE &W	245 18 ST #602	MIAMI BEACH	FL	33139	USA
JEAN CHARNEY TRS	245 18 ST 603	MIAMI BEACH	FL	33139	USA
ROBERT MANARI	1020 MERIDIAN AVE #313	MIAMI BEACH	FL	33139	USA
ANGELA C RAMEY	245 18 ST UNIT 701	MIAMI BEACH	FL	33139	USA
RAUL APARACIO	245 -18 ST UNIT 702	MIAMI BEACH	FL	33139-2049	USA
MARIO MARTIN &W CRISTINA LE	245 18 ST #703	MIAMI BEACH	FL	33139-2049	USA
ROLANDO ESPINOSA &W FRANCISCA G	1800 COLLINS AVE #7B	MIAMI BEACH	FL	33139-7422	USA
ANNA CHU	245 18 ST UNIT 705	MIAMI BEACH	FL	33139	USA
MYRNA MILAN	245 18 ST #801	MIAMI BEACH	FL	33139	USA
JOSE G GONZALEZ	245 -18 ST #802	MIAMI BEACH	FL	33139	USA
MARIA NIKAC	245 18 ST	MIAMI BEACH	FL	33139	USA
MIGUEL T LOPEZ	9340 SW 54 ST	MIAMI	FL	33165-6524	USA
GETA CONSTANTINESCU	7282 GARY AVE	MIAMI BEACH	FL	33141-2507	USA
ELIVIRA DUARTE TRS	9520 SW 34 ST	MIAMI	FL	33165	USA

Property Owner	Address	City and State	State	Zip Code	Country
DEDA GOJCAJ	245 18 ST 904	MIAMI BEACH	FL	33139	USA
MYRNA MILAN TRS	245 18 ST #905	MIAMI	FL	33139	USA
NANCY FERNANDEZ	2 CHELSEA CT	DAYTON	NJ	08810	USA
WALTER MANTEY &W TEREZINHA	245 - 18 ST UNIT 1002	MIAMI BEACH	FL	33139-2043	USA
FELICE G GRODIN	245 18 ST #1003	MIAMI BEACH	FL	33139-2043	USA
LEONID ZOLOTAREV TRS	1733 OCEAN AVE	BROOKLYN	NY	11230	USA
GRIGORY FRIDKIN &W KHAVA &	230 174 ST #1808	SUNNY ISLE	FL	33160-3309	USA
JORGE FONDON	245 18 ST #1101	MIAMI BEACH	FL	33139-2043	USA
A D REGARD LLC	400 KINGS POINT DR #1222	SUNNY ISLES BEACH	FL	33160-4738	USA
STEVEN D GAGNON	245 18 ST #1103	MIAMI BEACH	FL	33139	USA
MARUJA NIETO & JEANNIE GOODRICH	10 PEABODY RD	STONEHAM	MA	02180	USA
JOSEPH CARILLO JTRS	236 HENRY ST #6	BROOKLYN	NY	11201	USA
JOSEPH CARRILLO TRS	236 HENRY ST	BROOKLYN	NY	11201	USA
PHILIPPE CARADEC TRS	155 E 93 ST 6D	NEW YORK	NY	10128	USA
SAMUEL STRAUCH	5555 COLLINS AVE #7K	MIAMI	FL	33140	USA
CAITLIN R LEOR FISHMAN	1720 JAMES AVE 3B	MIAMI BEACH	FL	33139-7507	USA
TERRENCE PAOLI	1750 JAMES AVE APT 3C	MIAMI BEACH	FL	33139	USA
MARK LYNTON GARDINER	1750 JAMES AVE 3D	MIAMI BEACH	FL	33139	USA
ERNESTO ROBAU &W ELVIRA	1170 W 50 PL	HIALEAH	FL	33012	USA
MANHAL TOBIA TRS	850 PIERCE ST	BIRMINGHAM	MI	48009	USA
MARIA ELENA ESPINOSA	1750 JAMES AVE UNIT 3G	MIAMI BEACH	FL	33139-7531	USA
LESLIE GRATZ	703 NW 5 AVE	MIAMI	FL	33136	USA
BENJAMIN MARCO &W CARIDAD	3500 CORAL WAY #601	MIAMI	FL	33145-3064	USA
WILLIAM JOHN MCGAUL JR	1750 JAMES AVE #3K	MIAMI BEACH	FL	33139	USA
ISRAEL KAHANA TRS	985 E 24 ST	BROOKLYN	NY	11210	USA
JOSE MARTIN SANCHEZ	1750 JAMES AVE #4A	MIAMI BEACH	FL	33139-7514	USA
HUBERTO R CRUZ	1750 JAMES AVE APT 4B	MIAMI BEACH	FL	33139-7535	USA
FRANK ROA	1750 JAMES AVE #4 C	MIAMI BEACH	FL	33139	USA
SERGEI I KOVALEFF	1750 JAMES AVE #4D	MIAMI BEACH	FL	33139	USA
DENIS MISHULIN	1045 79 ST	MIAMI BEACH	FL	33141	USA
XAVIER J SAINZ &W THAIS A	62 FREELAND	IRVINE	CA	92602	USA

Property Owner	Address	City and State	State	Zip Code	Country
NED EDISON JTRS	1750 JAMES AVE #4G	MIAMI BEACH	FL	33139	USA
MARTA LOURDES LOCKLEAR	6306 WOODBINE RD	WOODBINE	MD	21797	USA
ASHLEY & WENDY MORISSETTE	1754 MERIDIAN AVE 304	MIAMI BEACH	FL	33139	USA
ANA ROSA SISMONDI	1750 JAMES AVE UNIT 4K	MIAMI BEACH	FL	33139	USA
SYLVIA E CONCHA	1750 JAMES AVE UNIT 4L	MIAMI BEACH	FL	33139-7536	USA
JUAN RUIZ (LE)	1750 JAMES AVE #5A	MIAMI BEACH	FL	33139-7500	USA
FRANCESCA MARIA LOSITO	1750 JAMES AVE #5B	MIAMI BEACH	FL	33139	USA
VINCENZA LIMONGELLO	1750 JAMES AVE #5-D	MIAMI BEACH	FL	33139	USA
CLARA BELLO	1750 JAMES AVE UNIT 5 E	MIAMI BEACH	FL	33139-7527	USA
JESUS L MORALES JTRS	1750 JAMES AVE #5F	MIAMI BEACH	FL	33139-7529	USA
MICHAEL KOFMAN	4452 E LINCOLN DR	PARADISE VALLEY	AZ	85253-4020	USA
CLARA BELLO TR	1750 JAMES AVE #5H	MIAMI	FL	33139-7533	USA
DAKSHESH KUMAR	1750 JAMES AVE #5J	MIAMI BEACH	FL	33139-7533	USA
GREGORY SOMOZA	1903 RADCLIFFE AVE C	BRONX	NY	10462	USA
JOHN UBINAS	1750 JAMES AVE #5L	MIAMI BEACH	FL	33139	USA
ADRIANA CANTA KNAPP	1750 JAMES AVE #6-A	MIAMI BEACH	FL	33139-7514	USA
GIOVANNI DENICOLAI	1750 JAMES AVE # 6B	MIAMI BEACH	FL	33139	USA
JOSE GARCIGA	1750 JAMES AVE UNIT 6C	MIAMI BEACH	FL	33139-7526	USA
MIKHAIL MIKHAYLOVICH DVORETSKIY	1750 JAMES AVE # 6D	MIAMI BEACH	FL	33139	USA
PATRICIA BELLE BURNS	1750 JAMES AVE #6E	MIAMI BEACH	FL	33139-7528	USA
JEREMY MICHAEL WILSON	1750 JAMES AVE 6F	MIAMI BEACH	FL	33139	USA
JOHN W REID	211 THOMPSON ST 4A	NEW YORK	NY	10012	USA
ALBERTO CORTES TRS	1750 JAMES AVE #6H	MIAMI BEACH	FL	33139	USA
HAYDEE G BOLADO	PO BOX 140845	CORAL GABLES	FL	33114-0845	USA
ANTONIO A CEPERO LE	1750 JAMES AVE 6K	MIAMI BEACH	FL	33139	USA
LUZ D COLLAZO LE & REM	1750 JAMES AVE #7A	MIAMI BEACH	FL	33139-7500	USA
MARBELIA ALVARINO	33-26 92 ST APT 1M	JACKSON HEIGHTS	NY	11372	USA

Property Owner	Address	City and State	State	Zip Code	Country
RAMON ECHEVERRIA &W ELBA (TRS)	30 W 19 ST	HIALEAH	FL	33010-2639	USA
DENNIS J CHUNG	201 WEST 21 ST APT 10K	NEW YORK	NY	10011	USA
JUDY ORTEGA &	1750 JAMES AVE #7E	MIAMI BEACH	FL	33139-7529	USA
HUBERT CRUZ &W MERCEDES	5760 SW 30 ST	MIAMI	FL	33155-4009	USA
MAGALY LAPLANA TRS	240 HARBOR DR	KEY BISCAYNE	FL	33149	USA
7H-1750 JAMES LLC	1750 JAMES AVE #7H	MIAMI BEACH	FL	33139	USA
VIRGILIO PEREZ &W LIDIA &	6447 MAPEWOOD DR	FALLS CHURCH	VA	22041	USA
JOHN KALB TRS	1444 CAVELL AVE	HIGHLAND PARK	IL	60035	USA
BENITO MARTINEZ &W AIDA G	1750 JAMES AVE UNIT 7L	MIAMI BEACH	FL	33139-7537	USA
RAFAEL GISBERT &W MAURA	1750 JAMES AVE #8A	MIAMI BEACH	FL	33139-7514	USA
JUAN R CHATTAH	1750 JAMES AVE #8-B	MIAMI BEACH	FL	33139	USA
FABIO A SERRET LE	4103 SW 153 PL	MIAMI	FL	33185	USA
ROGER L GOLDBLATT	2127 TUNLAW RD	WASHINGTON	DC	20000	USA
PAULA LASOCKI & M INZELBUCH &	50 HILLSIDE BLVD	LAKESWOOD	NJ	08701	USA
CARLOS L ARTOLA	1750 JAMES AVE 8F	MIAMI BEACH	FL	33139	USA
MAXIMILIANO MORALES JTRS	1750 JAMES AVE #8G	MIAMI BEACH	FL	33139	USA
JAY MIRMELLI	2160 NE 190TH TER	NORTH MIAMI BEACH	FL	33179-4382	USA
JOHN MUSARRA	8 DRING LANE	PUTNAM VALLEY	NY	10579	USA
JAMES J EVANS	1750 JAMES AVE #8K	MIAMI BEACH	FL	33139	USA
ANDRES LUCAS SILVA WOOD	1750 JAMES AVE #8L	MIAMI BEACH	FL	33139	USA
JOHN F REILLY	1750 JAMES AVE #9A	MIAMI BEACH	FL	33139-7500	USA
HEATHER C MORRIS	1750 JAMES AVE #9B	MIAMI BEACH	FL	33139-7525	USA
ROBELY ROQUE &W LUZ	1750 JAMES AVE UNIT 9C	MIAMI BEACH	FL	33139-7525	USA
ANGELO P PANOS &W MAGDALENA K &	1750 JAMES AVE #9D	MIAMI BEACH	FL	33139	USA
MANUEL A IRAOLA (JTRS)	517 CADAGUN AVE	CORAL GABLES	FL	33146	USA
JUDITH C ORTEGA	1750 JAMES AVE #9F	MIAMI BEACH	FL	33139-7529	USA

Property Owner	Address	City and State	State	Zip Code	Country
EMMA MORALES	1750 JAMES AVE UNIT 9G	MIAMI BEACH	FL	33139-7531	USA
ROBERT REX CASTILLO	2453 23 STREET	ASTORIA	NY	11102	USA
VICTOR A BENEMELIS &W ISABEL C	3403 KIMBERLY DR	FALLS CHURCH	VA	22042	USA
SUNSY GUERRA	1750 JAMES AVE #9K	MIAMI BEACH	FL	33139-7535	USA
MARIA E SUAREZ	1750 JAMES AVE #91	MIAMI BEACH	FL	33139	USA
ADELINA G LARENA	2130 N 49TH AVE	HOLLYWOOD	FL	33021-4040	USA
SAUL DYMANT &W HELEN LIFE ESTATE	1 MEADOW DR APT 3-E	WOODMERE	NY	11598	USA
MELVIN FEIT	1750 JAMES AVE 10C	MIAMI BEACH	FL	33139	USA
JOHN KALEB TRS	1444 CAVELL AVE	HIGHLAND PARK	IL	60035	USA
VALERIE FROUMENTIN LEONIAS	1750 JAMES AVE UNIT 10F	MIAMI BEACH	FL	33139	USA
LISANIA FLORIN TAYURA	1750 JAMES AVE UNIT 10-G	MIAMI BEACH	FL	33139-7532	USA
ZELDA W GOLDMAN	1750 JAMES AVE UNIT 10H	MIAMI BEACH	FL	33139-7534	USA
ELIO A GARCIA	1750 JAMES AVE #10J	MIAMI BEACH	FL	33139-7534	USA
EDWARD BOOTH	20 7TH STREET	BAYVILLE	NY	11709	USA
ERNESTO LOPEZ	1750 JAMES AVE APT 10-L	MIAMI BEACH	FL	33139-7537	USA
YESHIVA GEDOLAH RAB COLLEGE INC	6100 PINETREE DR	MIAMI BEACH	FL	33140	USA
GASPAR ARREDONDO JR	1800 COLLINS AVE #3H	MIAMI	FL	33139-7419	USA
TERENCE O KEEFFE	1800 COLLINS AVE #3J	MIAMI BEACH	FL	33139-7419	USA
PAUL MALIGNAGGI	1800 COLLINS AVE 4H	MIAMI BEACH	FL	33139	USA
OLGA SALGUEIRO	1800 COLLINS AVE 4 J	MIAMI BEACH	FL	33139	USA
CARLOS MOURE	1800 COLLINS AVE #5-A	MIAMI BEACH	FL	33139	USA
VERA M ZUPAN- BONINO	1800 COLLINS AVE APT 5-B	MIAMI BEACH	FL	33139-7419	USA
ALICIA CARRO	1800 COLLINS AVE UNIT 5C	MIAMI BEACH	FL	33139-7420	USA
PASCAL JETTE	1800 COLLINS AVE #5D	MIAMI	FL	33139	USA
LUCILLE CASTRO	1800 COLLINS AVE #5E	MIAMI BEACH	FL	33139	USA
ELISA KUZMENSKI GARBARZ LE	1800 COLLINS AVENUE #5-F	MIAMI BEACH	FL	33139	USA
JANKOWSKA FISHMAN ELZBIETA	2964 BRIGHTON 6 ST#8A	BROOKLYN	NY	11235	USA

Property Owner	Address	City and State	State	Zip Code	Country
MCSD INVESTMENTS INC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
SYLVIA CARRO	1800 COLLINS AVE #6C	MIAMI	FL	33139	USA
ALBERTO CHAYA & W DORIS	44 W FLAGLER ST	MIAMI	FL	33130-1808	USA
JON WILSON	1800 COLLINS AVE #6-E	MIAMI BEACH	FL	33139	USA
LUZ MARIA FIGUEROA TRS	1800 COLLINS AVE #6F	MIAMI BEACH	FL	33139-7421	USA
MARCOS E CINTRON	8540 DUNDEE TER	MIAMI	FL	33016	USA
ANTONIO CASALS & ALINA GARCIA SOBIMES LLC	8721 SW 79 PL	MIAMI	FL	33143	USA
	66 W FLAGER ST 1002	MIAMI	FL	33130	USA
GLADIS C OLVEIRA	9281 ABBOTT AVE	SURFSIDE	FL	33154-3011	USA
TEN REAL ESTATE CORP	2125 BISCAYNE BLVD 580 A	MIAMI	FL	33137	USA
ALEXANDER M SCHLEMP	1615 MERIDIAN AVE 402	MIAMI BEACH	FL	33139	USA
MAKKARI SAMPSON	1800 COLLINS AVE #8D	MIAMI BEACH	FL	33139-7400	USA
GOLDENEGGS5 LLC	1800 COLLINS AVE # 10F	MIAMI BEACH	FL	33139	USA
YAJAYRA AYLLON	1800 COLLINS AVE #8F	MIAMI BEACH	FL	33139	USA
PAOLO STEFANINI	1800 COLLINS AVE 9A	MIAMI	FL	33139	USA
SANDRA LEE CALO	1800 COLLINS AVE #9C	MIAMI BEACH	FL	33139-7400	USA
EDWARD W WALSH JTRS	PO BOX 1598	PROVINCETOWN	MA	02657	USA
ERMAR MB INC	420 LINCOLN RD STE 248	MIAMI BEACH	FL	33139	USA
FRANCESCA MOSCOLONI	1800 COLLINS AVE #10A	MIAMI BEACH	FL	33139	USA
MARCO GIANNINI	1800 COLLINS AVE #10C	MIAMI	FL	33139	USA
GLARUS HOLDINGS LLC	1800 COLLINS AVE 15F	MIAMI BEACH	FL	33139	USA
JONMITO LLC	8620 NE 2 AVE	MIAMI	FL	33138	USA
JOSE LUCHSINGER LE	1800 COLLINS AVE # 11A	MIAMI BEACH	FL	33139	USA
PABLO DAVID GARCIA	2666 TIGERTAIL AVE STE 106	COCONUT GROVE	FL	33133	USA
JOSEPH ASSAF	71-18 MAIN ST	FLUSHING	NY	11367	USA
MAGALIS G BARGER TRS	941 NW 97 AVE 208	DORAL	FL	33172	USA
WILLIAM R HIEBEL TRS	1800 COLLINS AVE #12-A	MIAMI BEACH	FL	33139	USA
BHARAT KISHU CHATANI	2185 MERIDIAN AVE	MIAMI BEACH	FL	33139	USA

Property Owner	Address	City and State	State	Zip Code	Country
TARA TIMURCAN	1800 COLLINS AVE 12C	MIAMI BEACH	FL	33139	USA
MARISSA BOYESCU	1800 COLLINS AVE UNIT 12D	MIAMI BEACH	FL	33139-7416	USA
PAULA RAMOS	1800 COLLINS AVE #12F	MIAMI BEACH	FL	33139-7416	USA
JOSE FERNANDO TORRE SARLAT	1800 COLLINS AVE # 14A	MIAMI BEACH	FL	33139	USA
EDUARDO RUIZ	1800 COLLINS AVE UNIT 14B	MIAMI BEACH	FL	33139-7417	USA
ANTONIO TREVISI	1800 COLLINS AVE #14C	MIAMI BEACH	FL	33139-7417	USA
SQUARE MB LLC	1800 COLLINS AVE #14-D	MIAMI BEACH	FL	33139	USA
JOSE CARLOS MENDOZA	1800 COLLINS AVE APT 14 F	MIAMI BEACH	FL	33139	USA
CARNIA LLC	PO BOX 414377	MIAMI BEACH	FL	33141	USA
JEB KALAF	1859 SW 17 ST	BOCA RATON	FL	33486	USA
KEITH F BACKER TRS	400 SOUTH DIXIE HWY STE 420	BOCA RATON	FL	33432	USA
ROMAN ADLER &W CELIA	84 SERRELL AVE	STATEN ISLAND	NY	10312	USA
GUGLIELMINA INC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
COOKER MB LLC	1680 MICHIGAN AVE # 910	MIAMI BEACH	FL	33139	USA
GARDEN MB INC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
KSENIA SAAVEDRA VANCE	8280 NW 159TH TER	MIAMI LAKES	FL	33016-6626	USA
RAUL CASARES &W PILAR GONZALEZ	1800 COLLINS AVE #17C	MIAMI BCH	FL	33139-7456	USA
AYSE AYTEN SUNAR	1800 COLLINS AVE UNIT 17-D	MIAMI BEACH	FL	33139-7456	USA
INES M FERNANDEZ LE	PO BOX 260456	TAMPA	FL	33685	USA
HERVE MERLINO	1800 COLLINS AVE UNIT 17F	MIAMI BEACH	FL	33139	USA
ERIC DEMARCHELIER &W CATHERINE	1800 COLLINS AVE #18A	MIAMI BEACH	FL	33139	USA
S A IMMOBILIARE USA LLC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
MARGARITA & AYDA GONZALEZ	2613 DOOLITTLE DR	BRIDGEWATER	NJ	08807	USA
COCKLE LLC	1680 MICHIGAN AVE #910	MIAMI BEACH	FL	33139	USA
PRAKASH CHATANI JTRS	407 LINCOLN RD STE 708	MIAMI BEACH	FL	33139	USA
NIRMLA ALWANI	1800 COLLINS AVE UNIT 19-G	MIAMI BEACH	FL	33139-7459	USA
VIANGLO LLC	7011 SW 14 ST	PEMBROKE PINES	FL	33023	USA

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QUADRUM MIAMI BEACH LLC	407 LINCOLN RD SUITE 304	MIAMI BEACH	FL	33139	USA
1825 COLLINS AVE OWNER LLC	390 PARK AVE	NEW YORK	NY	10022	USA
STEPHEN CARL	PO BOX 360	CROWNSVILLE	MD	21032	USA
SOUTHERNPOINT LTD	1441 BRICKELL BLVD BPS 1700	MIAMI	FL	33132	USA
DANIEL MATERDOMINI TRS	22135 ROSCOE BLVD # 100	WEST HILLS	CA	91304	USA
GUDRUN TRIFUNOVICH	1801 COLLINS AVE #T4	MIAMI BEACH	FL	33139-7414	USA
CHRISTOPHER P D'ANNA (TR) &	1309 MARGARETTE AVE	BALTIMORE	MD	21286	USA
MEESTE II LLC	18 ROCKLEDGE CT	BELLE MEAD	NJ	08502	USA
SHELBORNE PROPERTY ASSOC LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
ROBERT C SANFORD	PO BOX 563100	MIAMI	FL	33256	USA
NEARY ASSOCIATES LP	26 MINEOLA AVE	PT LOOKOUT	NY	11569	USA
SHELBORNE PROPERTY ASSOCIATES LLC	1801 COLLINS AVENUE	MIAMI BEACH	FL	33139	USA
ABCAA V LLC	12455 SW 43 ST	MIAMI	FL	33175	USA
WENDY ANNE CAPLIN & W LARRY HARLOW	114 WEST 86 ST #12A	NEW YORK	NY	10024	USA
REED H & ANNE G BEMENT TRUST	75 FOLSOM ST #1800	SAN FRANCISCO	CA	94105	USA
EXQUISITE REAL ESTATE LLC	1801 COLLINS AVE #L1	MIAMI BEACH	FL	33139-7414	USA
SOFIA KESEP	2950 SW 12 ST	MIAMI	FL	33135-4716	USA
ARTHUR C FOUIGNER	25024 41 RD	FLUSHING	NY	11363	USA
ROBERT S FARNIK	1526 N HOYNE AVE	CHICAGO	IL	60622	USA
HOMESTEAD EQUITIES INC	250 W 24 ST #2FW	NEW YORK	NY	10011	USA
W BLOKFORD HUBER	1702 KALMIA RD NW	WASHINGTON	DC	20012	USA
HILDA FERRA REVOC LIVING TRUST	6085 WEST 10 AVE	HIALEAH	FL	33012-6401	USA
SWGSB LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
DAMIAN SANTIAGO BRUNO	5600 COLLINS AVE #8B	MIAMI	FL	33140	USA
ALAN G MARKOPOULOS	315 E 106 ST #10F	NEW YORK	NY	10029	USA

Property Owner	Address	City and State	State	Zip Code	Country
SHELBORNE PROP ASSOC LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
GINNY LEVA	18 VILLAGE HILL DR	DIX HILLS	NY	11746	USA
SHELBORNE PROPERTY	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
AGLAIA VIANTES	103 COURTHOUSE PL	JERSEY CITY	NJ	07306	USA
MARTIN S BILSKER	40 MORNINGSIDE DRIVE	MIAMI	FL	33146	USA
LE PARC MIAMI LLC	2222 PONCE DE LEON BLVD PH	CORAL GABLES	FL	33134	USA
EVARISTO JAVIER RIVERO	7520 COQUINA DR	NORTH BAY VILLAGE	FL	33141	USA
USARES INC	4775 COLLINS AVE UNIT 3404	MIAMI BEACH	FL	33140	USA
PAUL LEVA	1801 COLLINS AVE UNIT 1105	MIAMI BEACH	FL	33139	USA
SHELLBORNE PROPERTY ASSOC LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
HERKA INVESTMENTS LLC	920 N VENETIAN DRIVE	MIAMI	FL	33139	USA
SHELBORNE PROPERTY ASSN LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
SINAN DUZUREK & ALLEN LAWRENCE	1929 13TH ST NW	WASHINGTON	DC	20009	USA
BELSA TSAY	5301 NW 105 CT	MIAMI	FL	33178	USA
ABCAA VII LLC	12455 SW 43 ST	MIAMI	FL	33175	USA
PAUL TERRELL	3673 NW 18 AVE	OAKLAND PARK	FL	33309	USA
SHELBORNE 608 LLC	34 W SAN MARINO DR	MIAMI BEACH	FL	33139	USA
RICHARD STREATFIELD	1801 COLLINS AVE #808	MIAMI	FL	33139-7414	USA
GIL NEARY	250 WEST 24 ST #2EE	NEW YORK	NY	10011	USA
DAVID JACOB KRAUS	15 WEST 11 STREET PHB	NEW YORK	NY	10011	USA
SCOTT POPE	1801 COLLINS AVE #709	MIAMI BEACH	FL	33139	USA
SHEMEL HOSPITALITY LLC	50 CANDY LANE	GREAT NECK	NY	11023	USA
PAUL J TERRELL	3673 NORTHWEST 18 AVE	FORT LAUDERDALE	FL	33309	USA
MIAMI HOLIDAYS INC	8714 SW 103 AVE	MIAMI	FL	33173	USA

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DOMINGO RODRIGUEZ &W PILAR	5555 COLLINS AVE #14 J	MIAMI BEACH	FL	33140	USA
NICOLA MARCHI	1801 COLLINS AVE # 411	MIAMI BEACH	FL	33139	USA
MARISSA SANTOS	63 CARRIAGE RD	ROSLYN	NY	11576	USA
GERARD K DUVILLIER	851 MORROW ST	STATEN ISLAND	NY	10303-1531	USA
SHELBORE PROPERTY ASSOCIATES LLC	1801 COLLINS AVE UNIT #1512	MIAMI BEACH	FL	33139	USA
KGC REALTY LLC	4770 BISCAYNE BLVD 1400	MIAMI	FL	33137	USA
SHELBORNE PROPERTY ASSOCIATES INC	1801 COLLINS AVE	MIAMI BEACH	FL	33119	USA
REBECA GONZALEZ	3342 SW 141 AVE	MIAMI	FL	33175-6767	USA
COLLINS AVENUE LAND TRUST TRS	1801 COLLINS AVE #620	MIAMI	FL	33139-7414	USA
LEONARD WADLER TRS	250 WEST 24 ST APT 2FW	NEW YORK	NY	10011	USA
EVELYN A BAILEY	3445 STRATFORD RD NE #2604	ATLANTA	GA	30326	USA
FADI KARNABY	239 74 ST	BROOKLYN	NY	11209-2401	USA
SHELBORNE 630 LLC	3308 HUDSON AVENUE	UNION CITY	NJ	07087	USA
GIOVANNI PORRETTO &W PAULETTE	6123 BEECKER ST	RIDGEWOOD	NY	11385	USA
OSCAR G PEREZ	28 BROADWAY	PASSAIC	NJ	07055	USA
SHELBORNE PROPPERTY ASSOCIATES	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
CRUMAN FAMILY LTD PARTNERSHIP	45 NW 125 AVE	MIAMI	FL	33182	USA
ANNA A SHVEDOVA KAGAN &W	1801 COLLINS AVE #540	MIAMI BEACH	FL	33139-7414	USA
ROBERT WILLIAM TIMMS TRS	1211 CONSTITUTION AVE NE	WASHINGTON	DC	20002	USA
SHELBORNE PROPERY ASSOCIATES LLC	1801 COLLINS AVE	MIAMI BEACH	FL	33139	USA
MICHAEL LANZALOTTO	1801 COLLINS AVE #1000	MIAMI BEACH	FL	33139	USA
SOUTHERNPOINT LIMITED A BVI CORP	1441 BRICKELL AVENUE #1700	MIAMI	FL	33131-3362	USA
IRENE VARGAS	1881 WASHINGTON AVE #2A	MIAMI BEACH	FL	33139-7445	USA

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DANIEL VASILE	1881 WASHINGTON AVE #4A	MIAMI BEACH	FL	33139	USA
OCTAGON BETA LLC	2628 NW 97 AVENUE	DORAL	FL	33172	USA
SEYED MASOUD SADJADI	1881 WASHINGTON AVE 6A	MIAMI	FL	33139	USA
OCTAGON GLOBAL ENTERPRISES INC	1881 WASHINGTON AVE 2B	MIAMI BEACH	FL	33139	USA
OCTAGON 8A LLC	1881 WASHINGTON AVE # 2B	MIAMI BEACH	FL	33139	USA
FREDDY & RENATO JIMENEZ & W MARIA	1881 WASHINGTON AVE #9A	MIAMI BEACH	FL	33139-7412	USA
SCOTT WEIKEL JTRS	650 WEST AVE UNIT 2102	MIAMI BEACH	FL	33139	USA
ANTHONY C ANDALFT	1604 FORT DUQUESNE DR	CHERRY HILL	NJ	08033	USA
CLAUDIA M BUBICA	1881 WASHINGTON AVE #12A	MIAMI	FL	33139-7440	USA
PEDRO J FUENTES-CID	255 ALHAMBRA CIRCLE STE 700	CORAL GABLES	FL	33134-7418	USA
RAUL JIDY JR	1881 WASHINGTON AVE #2B	MIAMI BEACH	FL	33139-7445	USA
ROMY J SWEENEY	1881 WASHINGTON AVE #3B	MIAMI BEACH	FL	33139-7445	USA
REINER WOLFS	120 CHASEWOOD CIRCLE	PALM BEACH GARDENS	FL	33418	USA
CRI VENTURES LLC	1881 WASHINGTON AVE #7H	MIAMI BEACH	FL	33139-7412	USA
MAXIMILIANO PICCININI &	1881 WASHINGTON AVE #6B	MIAMI BEACH	FL	33139-7445	USA
AMY AUSTER	1881 WASHINGTON AVE 7B	MIAMI BEACH	FL	33139-7408	USA
SORRENTS CORPORATION	150 SE 2 AVE 1010	MIAMI	FL	33131	USA
DOUGLAS S RICE	101 BEVERLY ROOD	ATLANTA	GA	30309	USA

Property Owner	Address	City and State	State	Zip Code	Country
ALINE JIDY TRS	7175 SW 47 ST #204	MIAMI	FL	33155	USA
ROBERT VATERLAUS JTRS	1881 WASHINGTON AVE #11B	MIAMI BEACH	FL	33139-7440	USA
WILLIAM T FLEMING	1881 WASHINGTON AVE UNIT 12B	MIAMI	FL	33139-7440	USA
ALLAN COHEN	1881 WASHINGTON AVE #14B	MIAMI BEACH	FL	33139-7440	USA
DERISH WOLFF	1881 WASHINGTON AVE UNIT 16B	MIAMI BEACH	FL	33139	USA
MARA SIMIONATO	1881 WASHINGTON AVE #2C	MIAMI BEACH	FL	33139	USA
LUZ M RODRIGUEZ TRS	1881 WASHINGTON AVE 3C	MIAMI BEACH	FL	33139	USA
PETULIA SCHVARTZ	16236 SW 14 ST	PEMBROKE PINES	FL	33027	USA
YOLANDA GALINDO	1881 WASHINGTON AVE #5C	MIAMI BEACH	FL	33139-7445	USA
ALBA GONZALEZ OCHOA	1881 WASHINGTON AVE # 6C	MIAMI BEACH	FL	33139	USA
YRIVU LLC	20801 BISCAYNE BLVD 306	AVENTURA	FL	33180	USA
JENNIFER RIVERA	1881 WASHINGTON AVE #8C	MIAMI BEACH	FL	33139-7412	USA
MANUEL LAM RUIZ	1881 WASHINGTON AVE UNIT 9C	MIAMI BEACH	FL	33139-7412	USA
ANNETT MITCHELL	1881 WASHINGTON AVE 10C	MIAMI BEACH	FL	33139-7440	USA
JOSE HERRERA JTRS	395 NE 100 ST	MIAMI	FL	33138	USA
FINN LONGINOTTO & LAI V CAO	1800 PURDY AVE 2206	MIAMI BEACH	FL	33139	USA
FABRICE DE SAINT JUERY	1881 WASHINGTON AVE #14C	MIAMI BEACH	FL	33139	USA
IGOR MITELMAN	7450 FARMINGTON CLOSE	NEW ALBANY	OH	43054	USA

Property Owner	Address	City and State	State	Zip Code	Country
PURAHEI LLC	20801 BISCAYNE BLVD #306	AVENTURA	FL	33180	USA
SBBC INVESTMENT & HOLDING LLC	1881 WASHINGTON AVE UNIT 4D	MIAMI BEACH	FL	33139	USA
LA INDUSTRIA LLC	601 11 ST #107	MIAMI BEACH	FL	33139	USA
ALBA GONZALEZ	1881 WASHINGTON AVE 6D	MIAMI BEACH	FL	33139	USA
TENLOY PETER DENNIS CHIN LE	12530 SW 104 TERRACE	MIAMI	FL	33186	USA
1881 MR CORPORATION	1881 WASHINGTON AVE #8 D	MIAMI BEACH	FL	33139	USA
MIAMIRENT INVEST & HOLDING LLC	517 ARTHUR GODFREY RD	MIAMI BEACH	FL	33140	USA
STAR LUCK LLC	7501 E TREASURE DR #5S	NORTH BAY VILLAGE	FL	33141	USA
KAREEN BORGELLA	106 BROADFIELD ROAD	HEMPSTEAD	NY	11550	USA
ZILPA ACOSTA	1881 WASHINGTON AVE #12D	MIAMI BEACH	FL	33139-7440	USA
STACEY WALDRON	1881 WASHINGTON AVE 14D	MIAMI BEACH	FL	33139	USA
ROBERT SARKISSIAN &W THERESE JTRS	1881 WASHINGTON AVE #16F	MIAMI BEACH	FL	33139-7446	USA
JEFFREY THRASHER	1881 WASHINGTON AVE UNIT 16D	MIAMI BEACH	FL	33139-7446	USA

Item # 9—Architectural Plans and Exhibits

9a: Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.

9d: Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.

9h: Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).

9i: Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)

9n: Specifications of pole and equipment

9o: Proposed elevations , materials, and finishes noted

- Survey

SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER: 9FLB003871D/MI90XSL34D

LATITUDE/LONGITUDE:
25.793974/-80.129875

CROSS STREET:
18TH ST & COLLINS AVE
CITY, STATE, ZIP:
MIAMI BEACH, FL 33139



IF YOU DIG IN ANY STATE
DIAL 811 FOR THE LOCAL
"ONE CALL CENTER" -
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS
CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN
ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES
WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E)
UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE
RESPONSIBILITY OF THE CONTRACTOR.

NOTE:
GENERAL CONTRACTOR IS REQUIRED TO CROSS CHECK COORDINATES. EXHIBIT PHOTO, AERIAL
PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND.
CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO ASSIGNED MOBILITIE CM.

mobilitie

FINAL SUBMITTAL
12/8/17

First Submittal Date:
10/10/17

PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC
Stephen A. Bray
PROFESSIONAL ENGINEER
LICENSE
STEPHEN A. BRAY
No. 68902
STATE OF
FLORIDA
PROFESSIONAL ENGINEER
FL LICENSE 9/22/17
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ENGINEER, TO ALTER THIS DOCUMENT

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A
TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE
MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT
DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER
SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND
NO COMMERCIAL SIGNAGE IS (N).

SITE INFORMATION

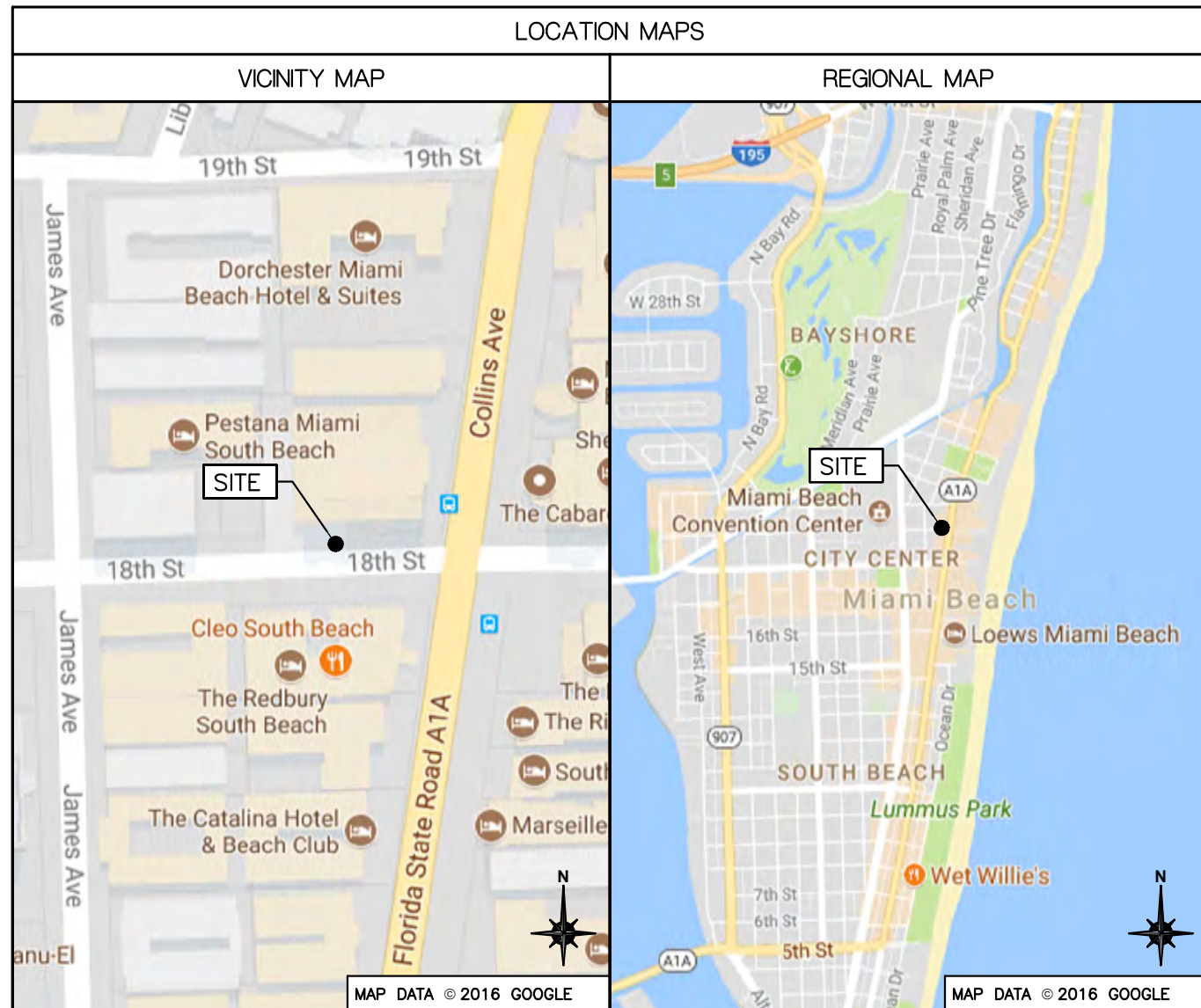
SITE ID:	9FLB003871D
CASCADE ID:	MI90XSL34D
LATITUDE:	25.793974
LONGITUDE:	-80.129875
CROSS STREET:	18TH ST & COLLINS AVE
CITY, STATE, ZIP:	MIAMI BEACH, FL 33139
COUNTY:	MIAMI-DADE COUNTY
JURISDICTION:	MIAMI BEACH CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITIE, LLC 3475 PIEDMONT ROAD NE, SUITE 1000 ATLANTA, GEORGIA 30305 PHONE: (312) 638-5400

ENGINEER

KMB DESIGN GROUP, LLC
1800 ROUTE 34, SUITE 209
WALL, NJ 07719
FOR QUESTIONS EMAIL: DESIGNTEAM@KMBDG.COM
TEL: (732) 280-5623 FAX: (732) 280-3980 www.KMBDG.com

DO NOT SCALE DRAWINGS

CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD
CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE
ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



PROJECT DESCRIPTION

END USER PROPOSES TO REPLACE EXISTING STEEL POLE AND
INSTALL EQUIPMENT ON A NEW STEEL POLE WITHIN AN
EXISTING RIGHT-OF-WAY.
THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE EXISTING STEEL UTILITY POLE
- INSTALL A NEW STEEL UTILITY POLE WITH PROPOSED
BACKHAUL TRANSPORT EQUIPMENT

CODES

2014 FLORIDA BUILDING CODE, 5TH EDITION
NATIONAL ELECTRICAL SAFETY CODE
TIA/EIA-222-G-2 OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

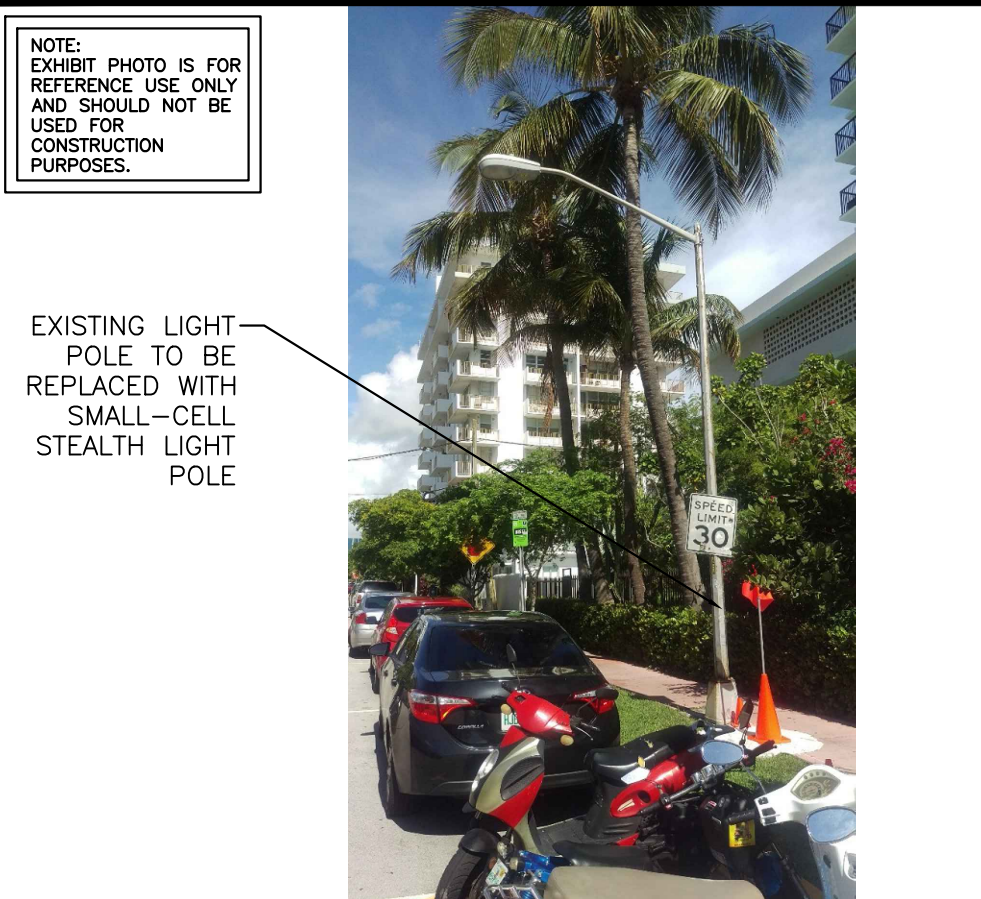
DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	UTILITY SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
EX-1	EXCAVATION DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	EMBEDMENT DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
ATTACHED	SITE SURVEY

MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
TITLE SHEET

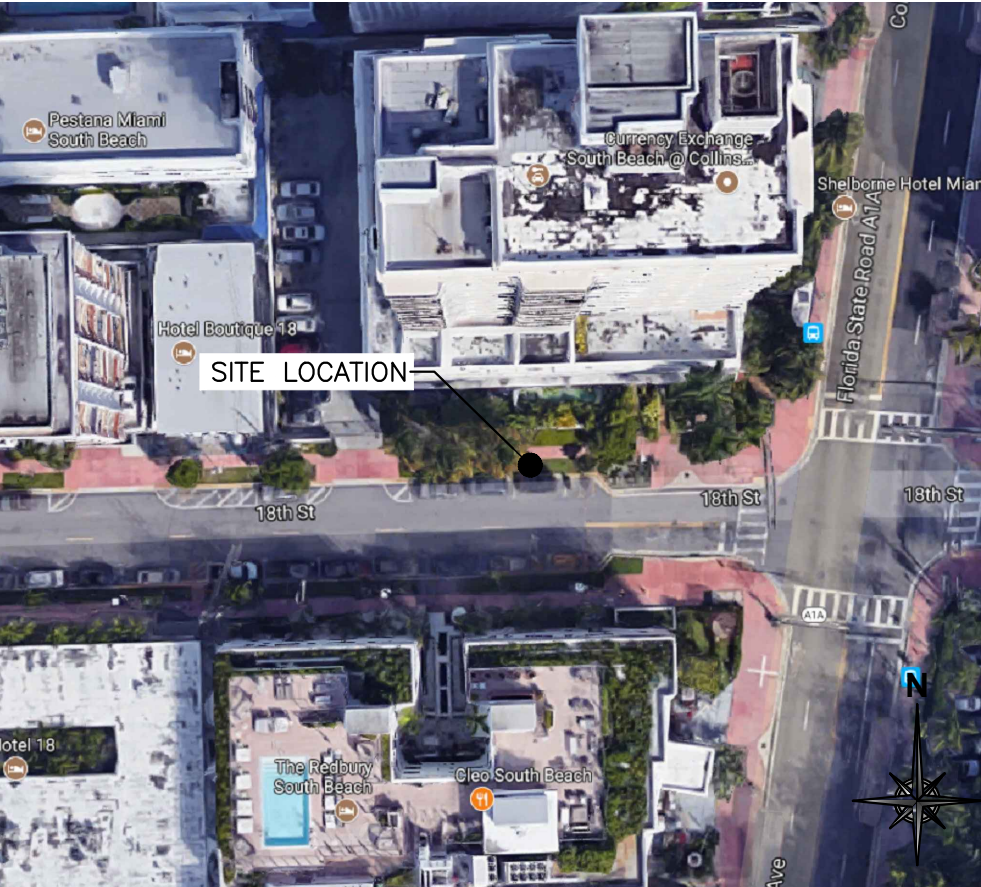
SHEET NUMBER
T-1



NOTE:
EXHIBIT PHOTO IS FOR
REFERENCE USE ONLY
AND SHOULD NOT BE
USED FOR
CONSTRUCTION
PURPOSES.

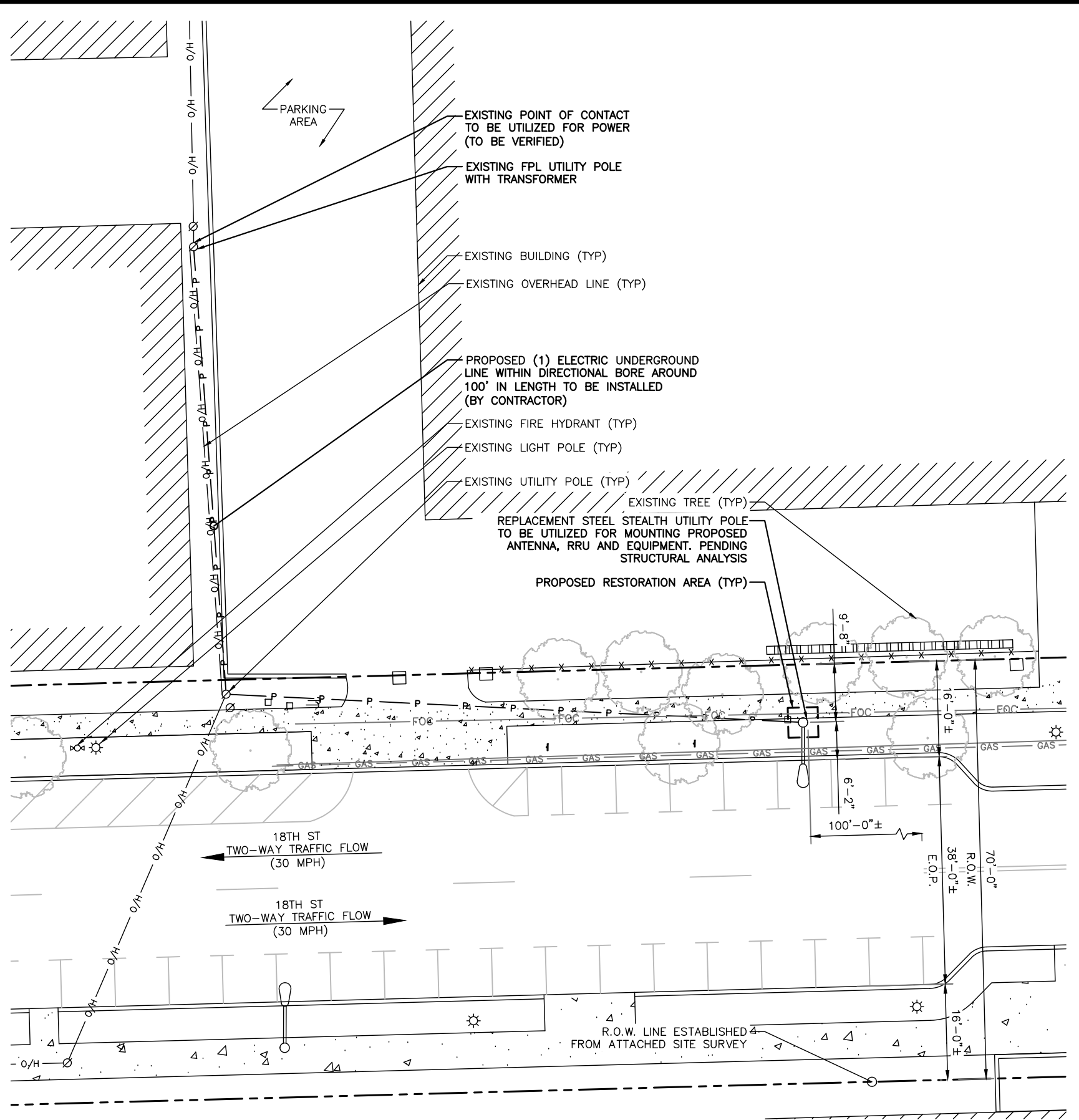
EXISTING LIGHT
POLE TO BE
REPLACED WITH
SMALL-CELL
STEALTH LIGHT
POLE

EXHIBIT PHOTO
SCALE: NOT TO SCALE **1**

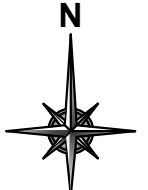


SITE LOCATION

AERIAL SITE LOCATION
SCALE: NOT TO SCALE **2**



NOTE:
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



ENLARGED SITE PLAN
SCALE: 1" = 20'-0" (1" = 10'-0" ON 24"x36" SHEET) **3**



PROJECT NO: 9FLB003871D
DRAWN BY: RC
CHECKED BY: SJB

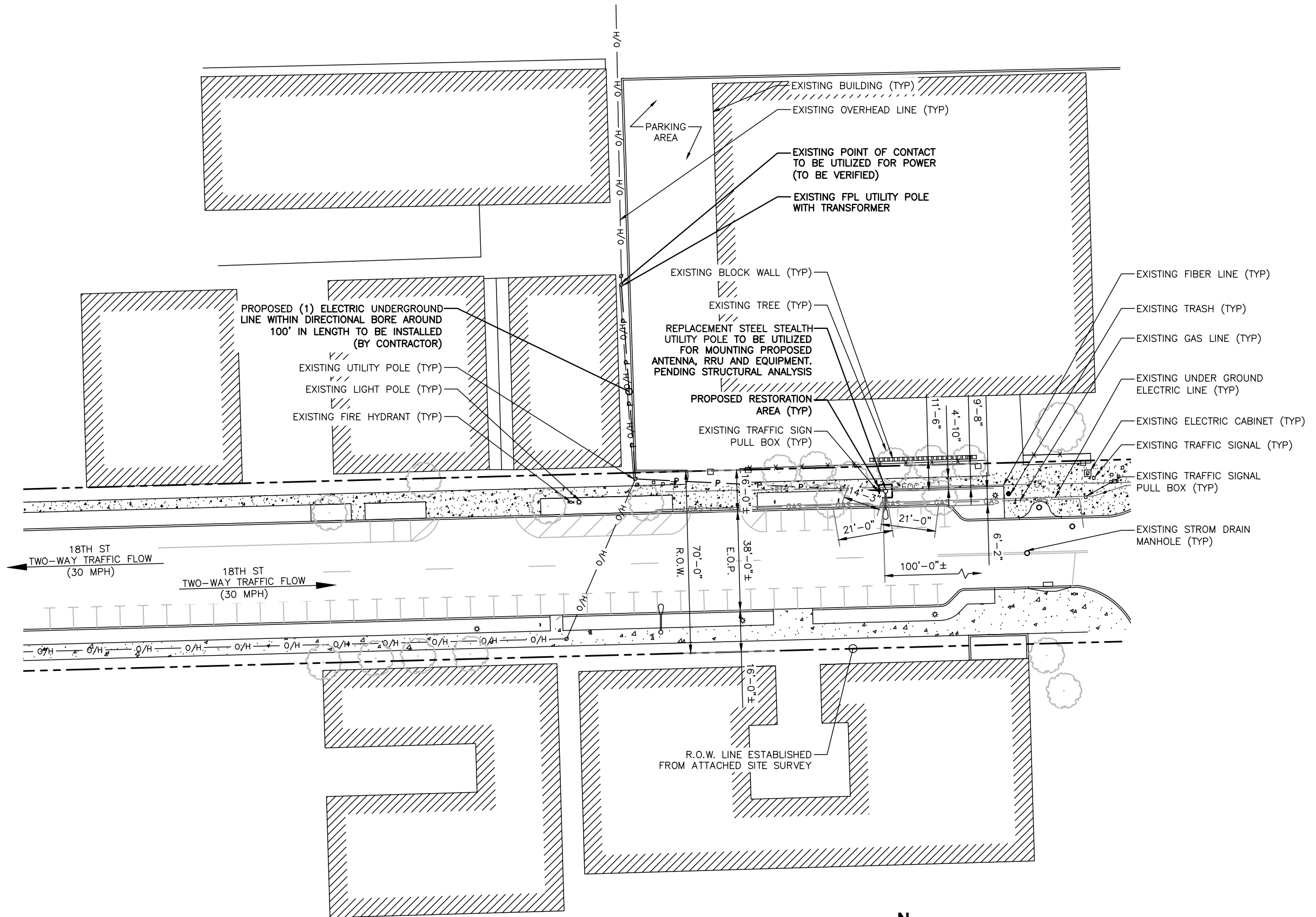
C	12-07-17	REVISION
B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC
Stephen A. Bray
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE No. 68902
12/7/17
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MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EXHIBIT PHOTO & SITE PLAN

SHEET NUMBER
SP-1



PROJECT NO:	9FLB003871D
DRAWN BY:	RC
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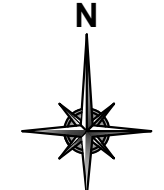
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MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

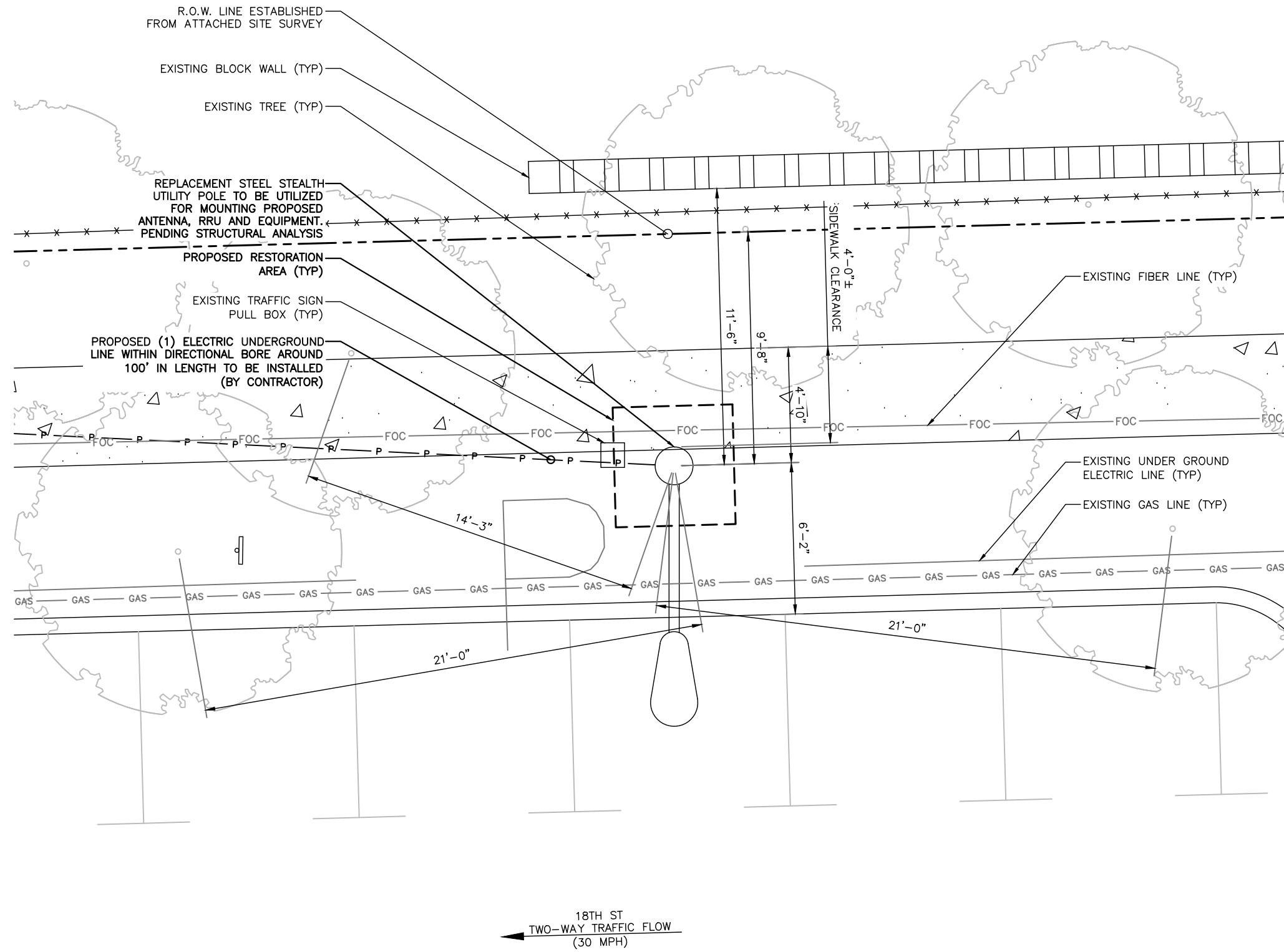
SHEET TITLE
UTILITY SITE PLAN

SHEET NUMBER
SP-2

NOTE:
 1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
 2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
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UTILITY SITE PLAN
 SCALE: 1" = 40'-0" (1" = 20'-0" ON 24"x36" SHEET)



NOTE:
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 3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



ENLARGED SITE PLAN
 SCALE: 1" = 5'-0"

1

PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

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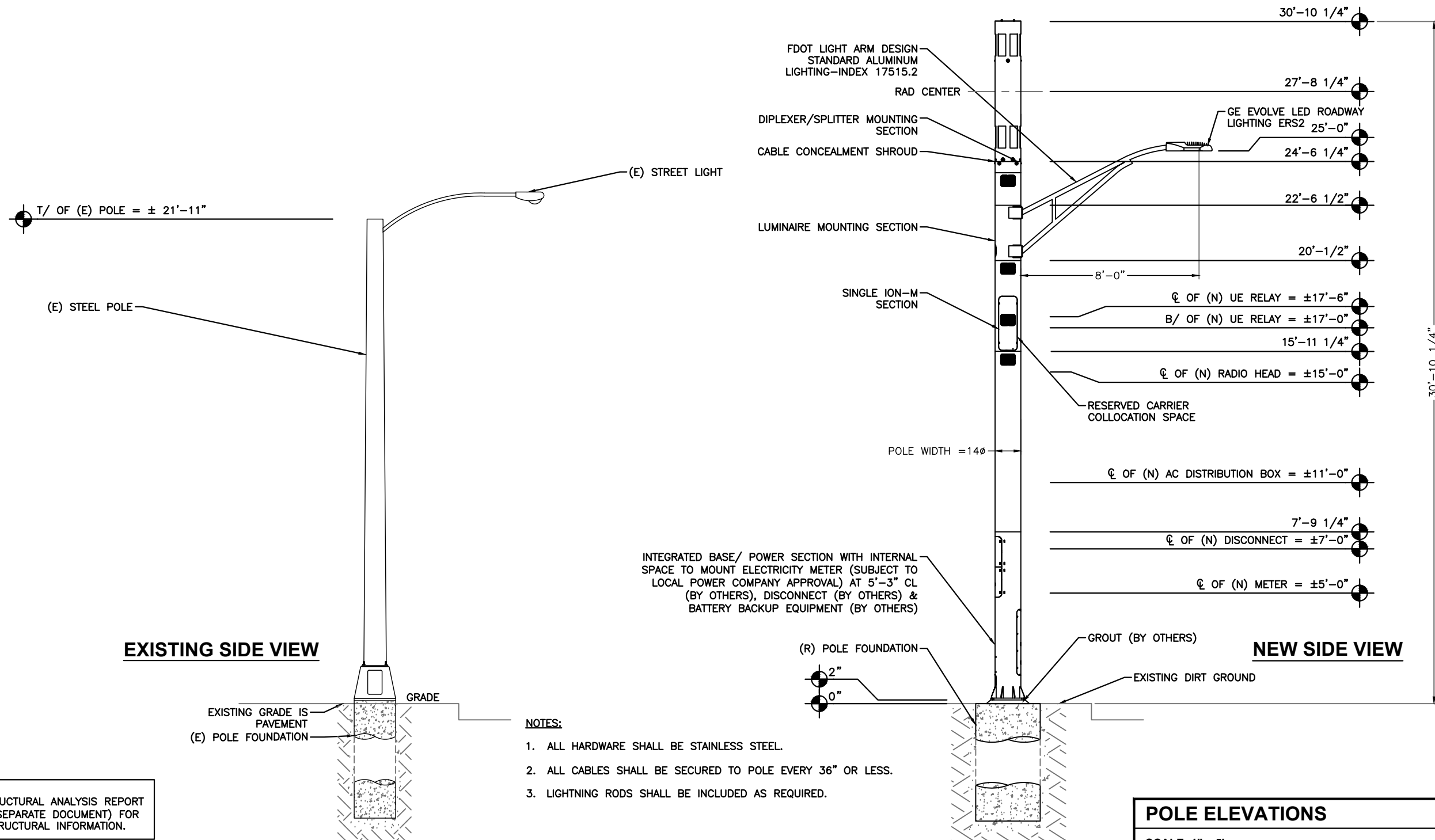
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MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
SP-3

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)



- NOTES:**
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
 3. LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT
MI90XSL34D (SEPARATE DOCUMENT) FOR
ADDITIONAL STRUCTURAL INFORMATION.

PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

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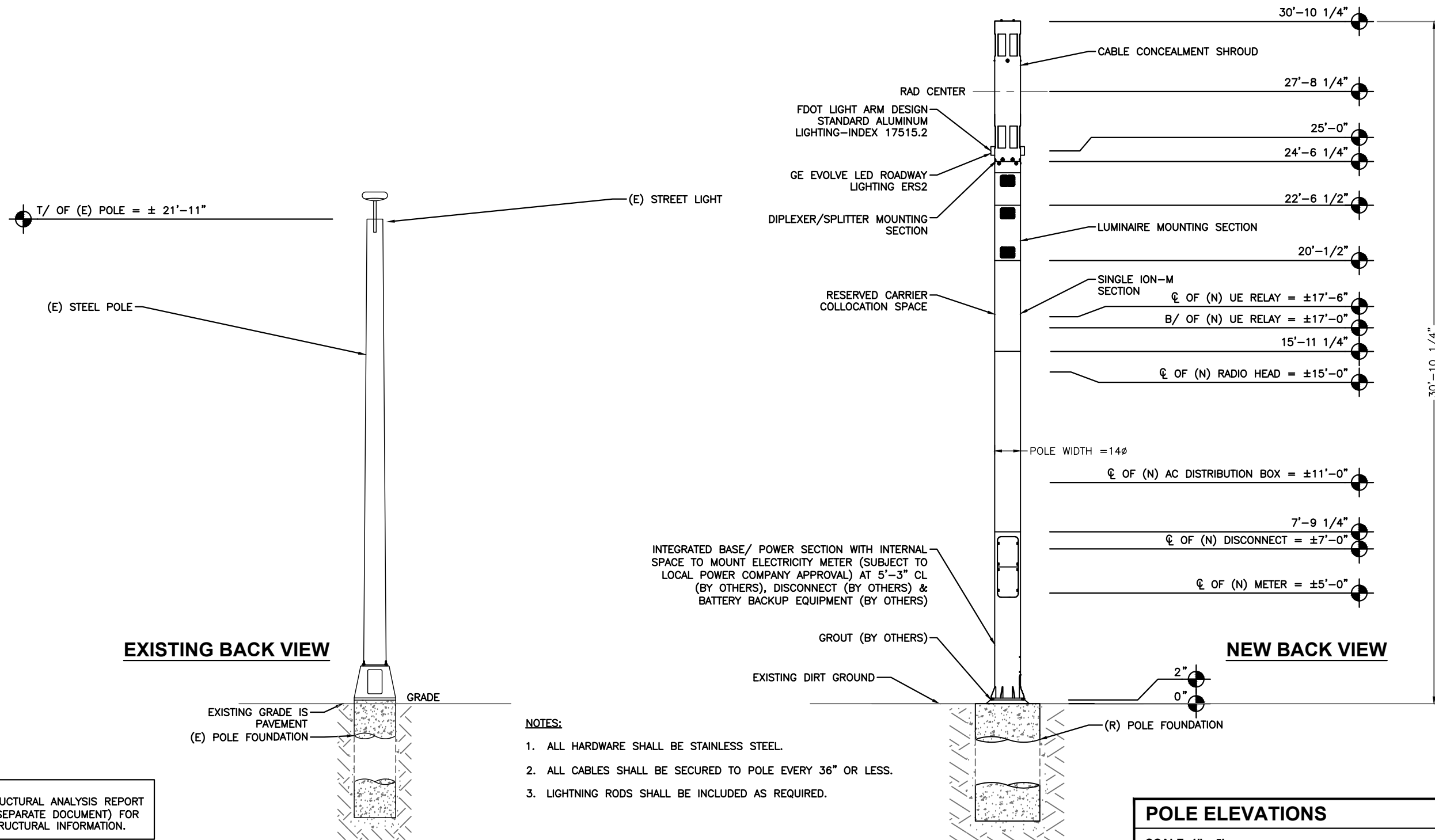
MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-1

POLE ELEVATIONS
SCALE: 1" = 5'

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)



- NOTES:**
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 2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
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MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-2

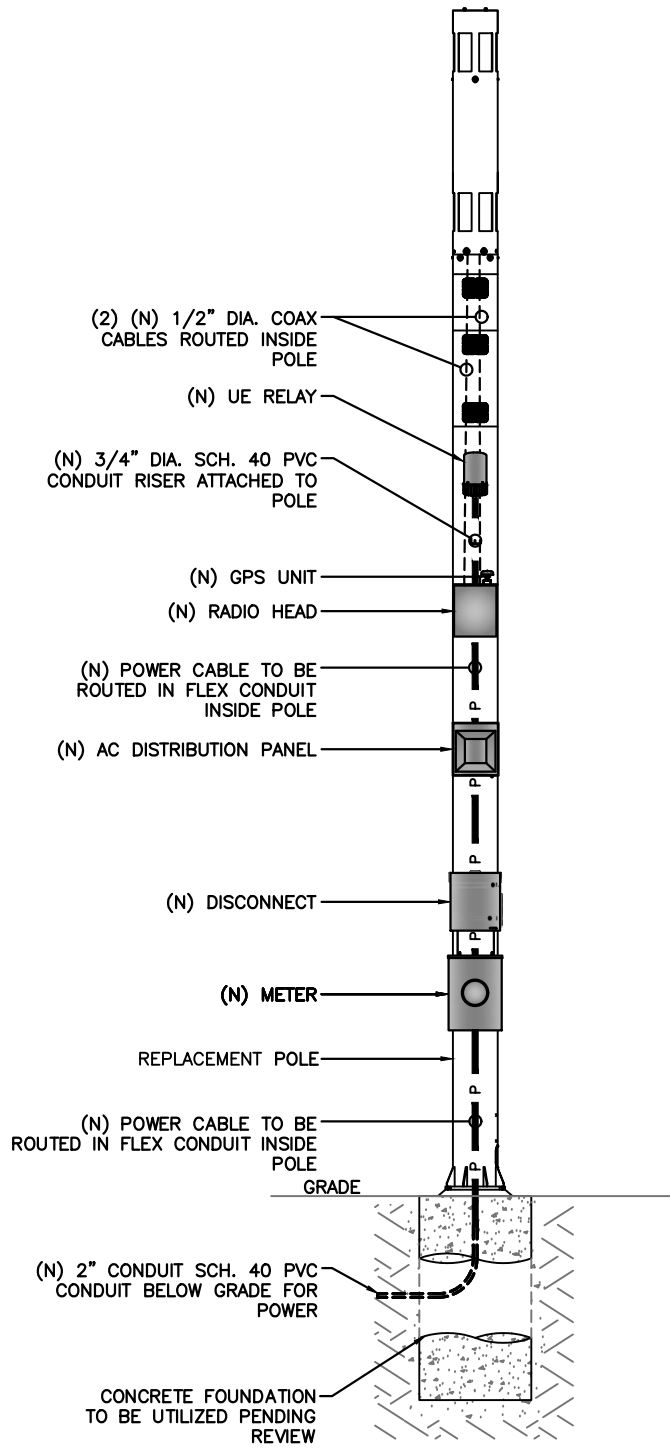
POLE ELEVATIONS
SCALE: 1" = 5'

NOTE:
NOTE: ALL CABLING, EQUIPMENT, AND APPURTENANCES TO BE INSTALLED INTERNAL TO STEALTH POLE

NOTE:
CABLING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION ONLY. CONTRACTOR SHALL INSTALL CABLES WITH MINIMAL VISUAL IMPACT ON REPLACEMENT STEEL STEALTH UTILITY POLE. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

CABLING NOTES:

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
 - I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
 - II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
 - III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRADE LINE.
 - IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
 - (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
 - (2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
 - V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
 - VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE. NOT REQUIRED FOR COAX.
- B) NEW METALLIC POLES
 - I) PROCURE NEW POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
 - (1) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
 - II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.

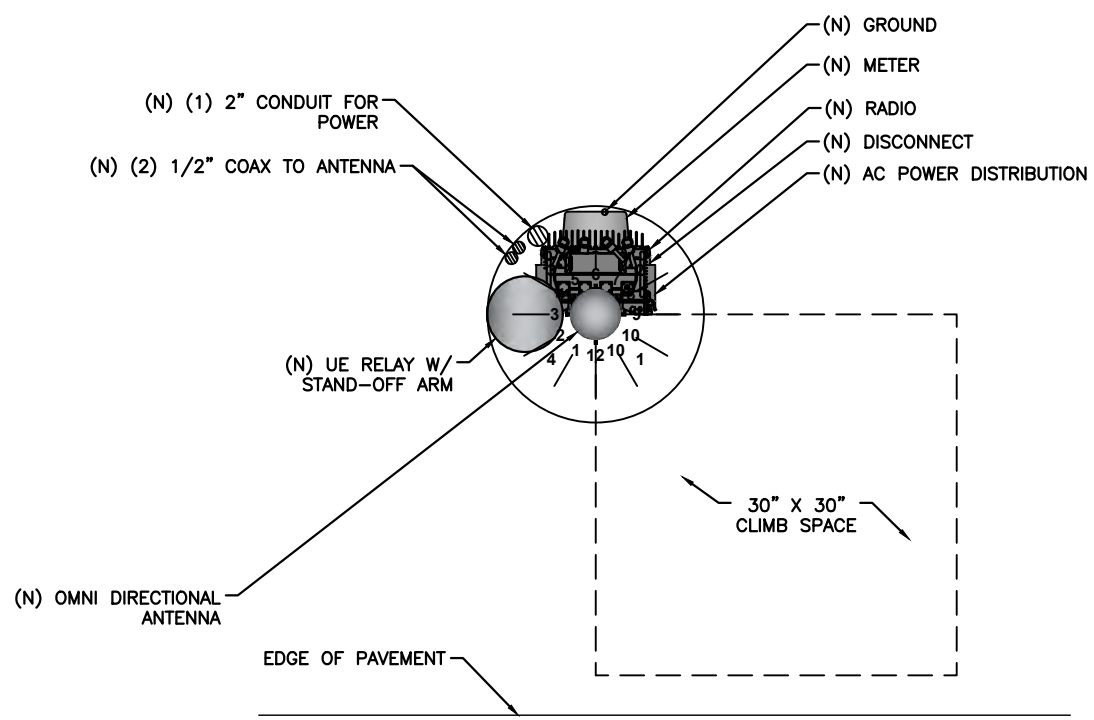


PLUMBING DIAGRAM
SCALE: NOT TO SCALE 1

BILL OF MATERIALS							
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AZIMUTH	CABLE	DIMENSIONS (HxWxD)	WEIGHT
1	ANTENNA	ALPHA WIRELESS	AW3477-S	TBD	12'-6"±	30.7" X 4.7" DIAMETER	7 LBS
1	UE RELAY	AIRSPAN	iR460-SPB-ST-1-P-0	TBD	3'±	13" X 7" DIAMETER	8.8 LBS
-	-	-	-	-	-	-	-
1	GPS	TALLYSMAN	GPS-ANT-3	-	-	2" X 2.6" DIAMETER	0.3 LBS
1	RADIO	AIRSPAN	AH4000	-	3'±	20.3" X 10.3" X 8.3"	42 LBS
-	-	-	-	-	-	-	-
1	AC DISTRIBUTION PANEL	TRANSECTOR	1101-1207-1012	-	1'±	12" X 12" X 4"	17 LBS
1	NEMA TYPE-3R DISCONNECT	SIEMENS	GF222NR (EXAMPLE)	-	1'±	15.45" X 8.7" X 5.95"	14 LBS
1	METER SOCKET	MILBANK	U4801-XL-5T9 (EXAMPLE)	-	120'±	19" X 13" X 4.84"	21 LBS

RFDS REVISION TYPE: NOT FINAL
RFDS REVISION NUMBER: N/A
RFDS REVISION TIMESTAMP: N/A

BILL OF MATERIALS
SCALE: NOT TO SCALE 2



RISER ORIENTATION DIAGRAM
SCALE: NOT TO SCALE 3



PROJECT NO: 9FLB003871D
DRAWN BY: RC
CHECKED BY: SJB

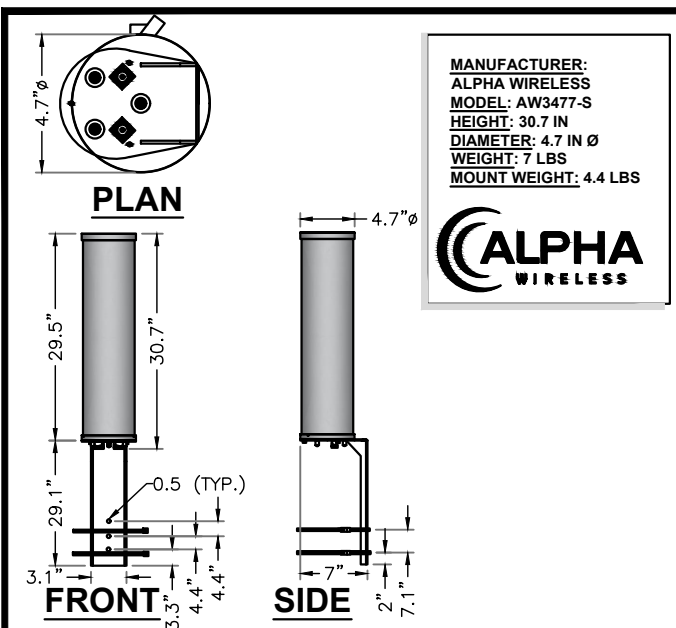
REVISION	DATE	DESCRIPTION
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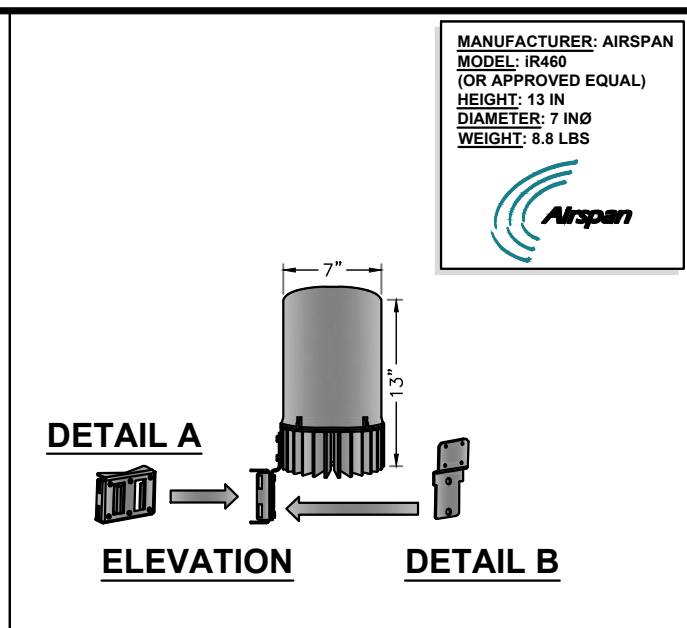
MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
PLUMBING & RISER DIAGRAM

SHEET NUMBER
PL-1



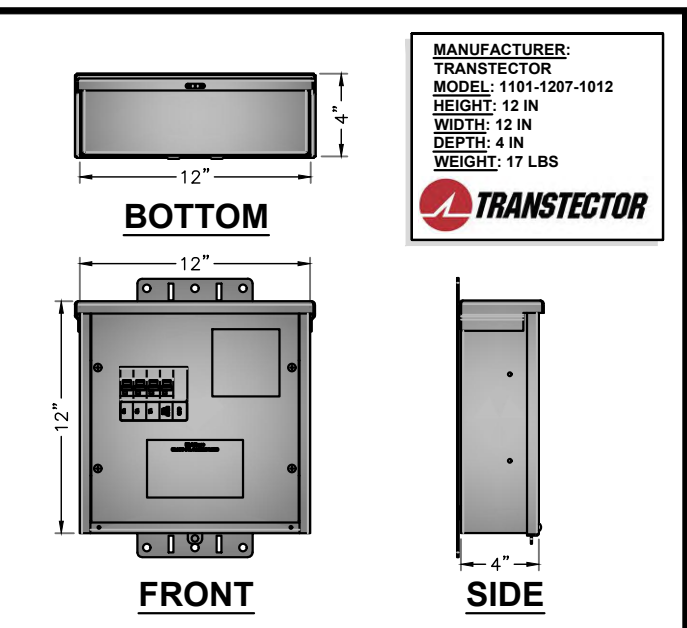
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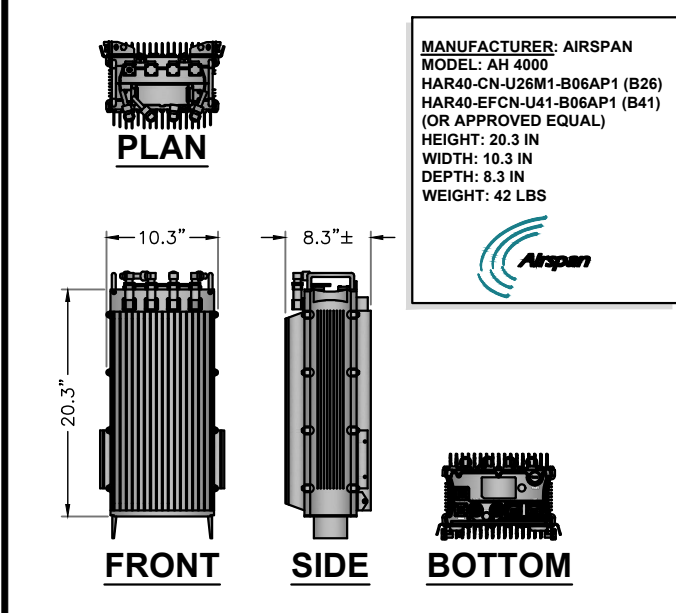
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NOT USED SCALE N.T.S. 7



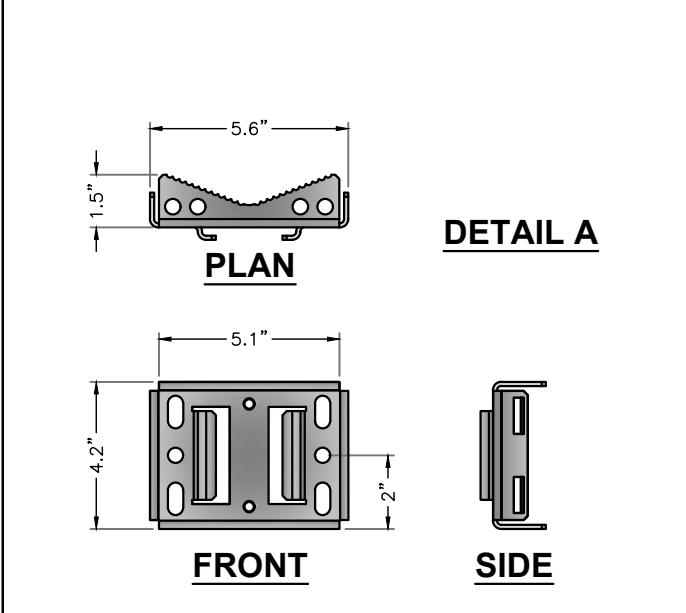
TRANSTECTOR 1101-1207-1012 SCALE N.T.S. 10



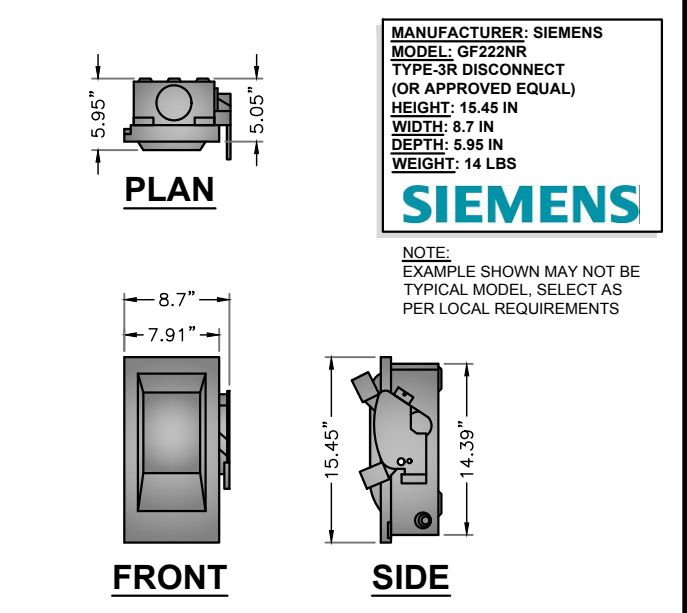
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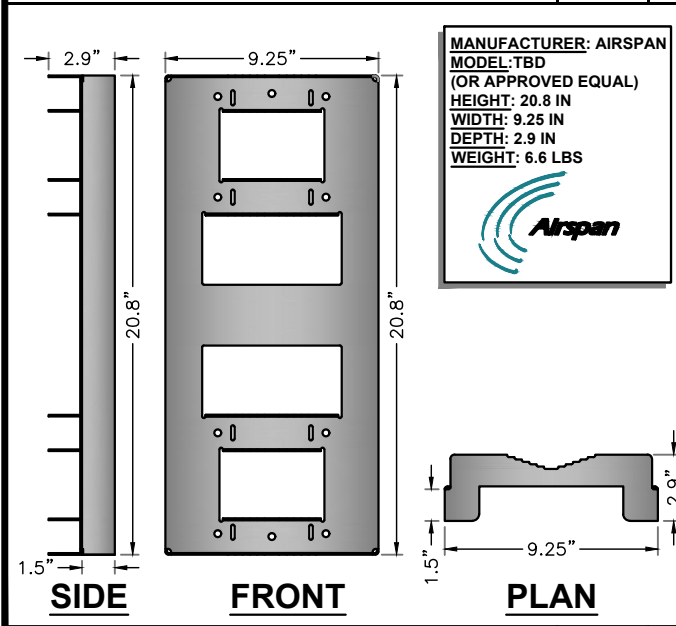
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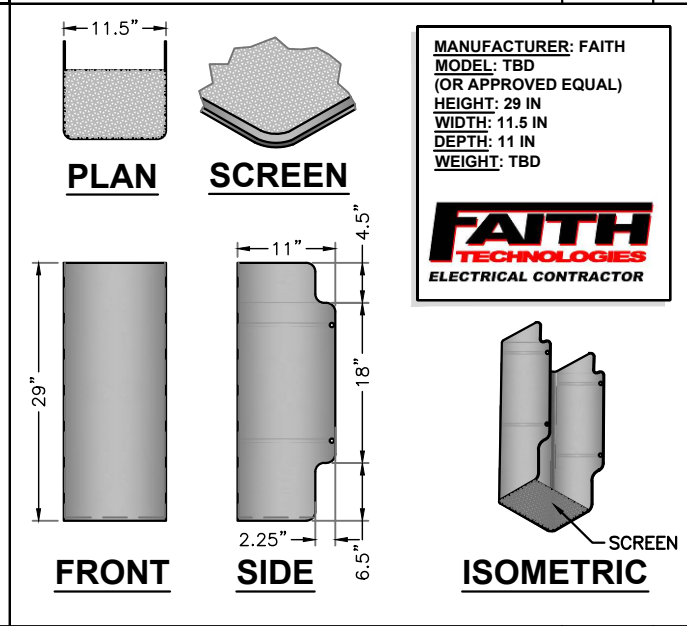
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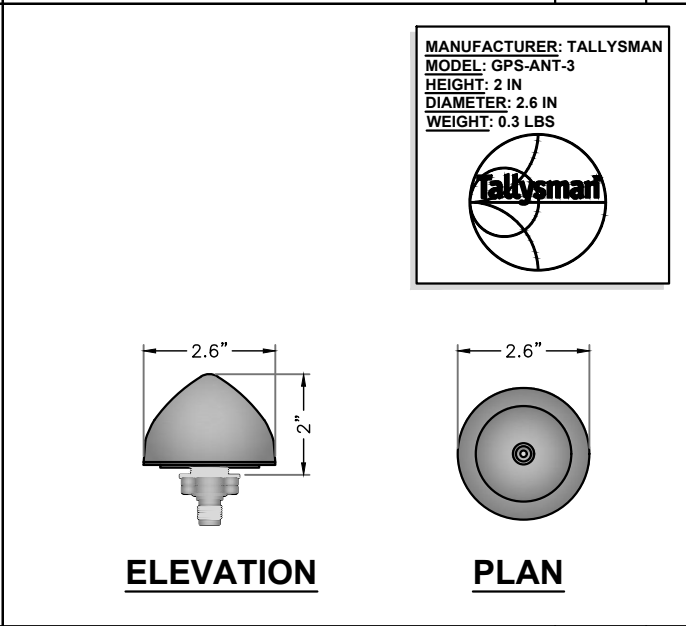
NEMA TYPE-3R DISCONNECT SCALE N.T.S. 11



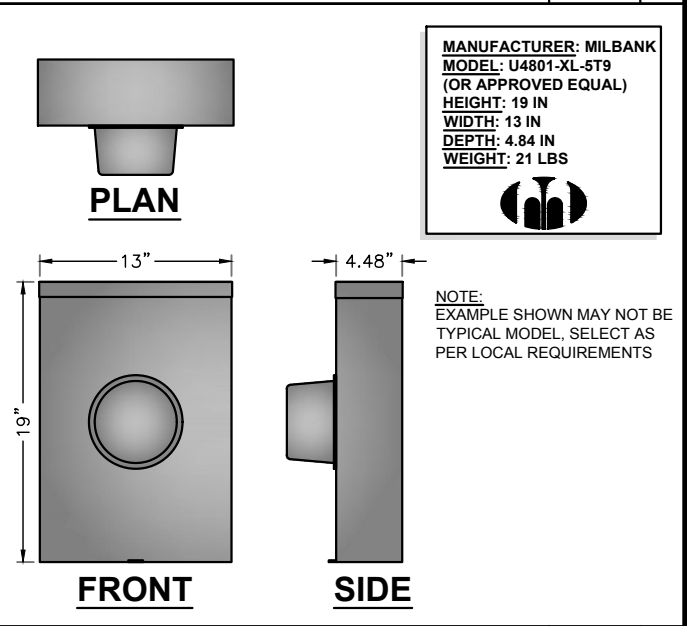
AIRSPAN RADIO MOUNT SCALE N.T.S. 3



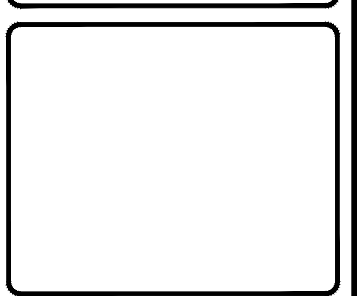
FAITH SUN SHIELD SCALE N.T.S. 6



TALLYSMAN GPS UNIT SCALE N.T.S. 9



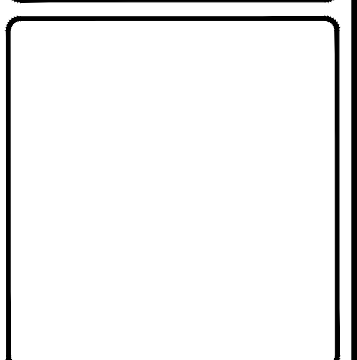
MILBANK METER SOCKET SCALE N.T.S. 12



PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC
 Stephen A. Bray
 PROFESSIONAL ENGINEER
 LICENSE No. 68902
 STATE OF FLORIDA
 FL LICENSE 9/22/17
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MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
EQ-1

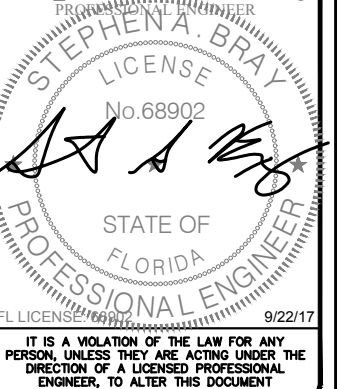
mobilitie

PROJECT NO: 9FLB003871D
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KMB DESIGN GROUP, LLC

Stephen A. Bray

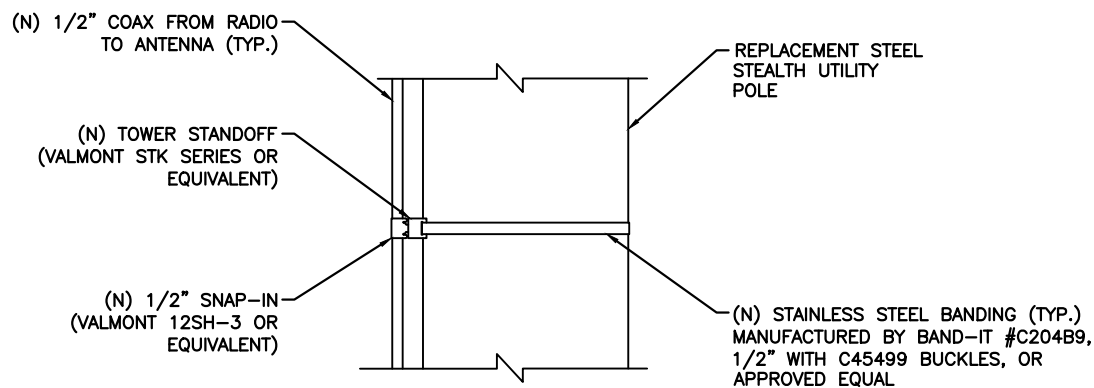


NOT USED
 SCALE: NOT TO SCALE

1

NOT USED
 SCALE: NOT TO SCALE

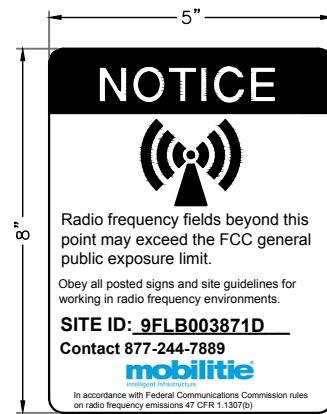
3



NOTE:
 SPACE SNAP-INS PER
 CABLE MANUFACTURER'S
 SPECIFICATIONS

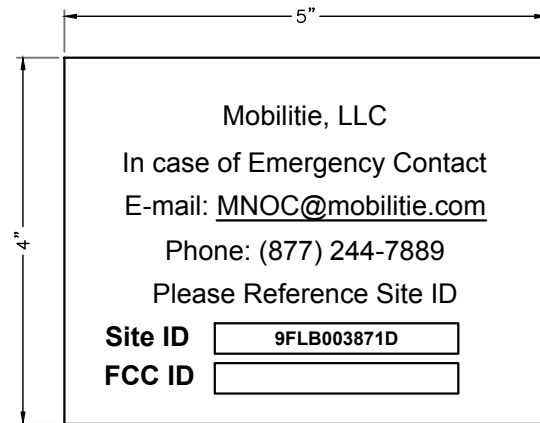
CABLE MOUNTING DETAIL
 SCALE: NOT TO SCALE

2



ANTENNA SIGNAGE:
 ON METAL POLES – ADHESIVE VINYL OR PLACARD
 STRAPPED WITH SS TIES
SIGN PLACEMENT:
 AFFIX TO THE STRUCTURE 3–4' BELOW THE COMMERCIAL
 RF ANTENNA(S)
 SIZE APPROX. 8" x 5"

ANTENNA SIGNAGE



OWNER / OPERATOR NOTE:
 SITE ID LABEL TO BE AFFIXED AT OR NEAR THE
 POINT OF POWER CONNECTION WITH TZeS241
 LABELING TAPE OR EQUIVALENT BLACK ON WHITE
 LABELING TAPE OF AT LEAST 18mm WIDTH WITH
 EXTRA-STRENGTH ADHESIVE. USE ANY COMPATIBLE
 P-TOUCH LABEL MAKER. TEXT SHOULD BE
 PRINTED IN ALL CAPS WITH A MINIMUM HEIGHT
 OF 1/2".

EMERGENCY CONTACT SIGN

POLE MOUNTED SIGNS
 SCALE: NOT TO SCALE

4

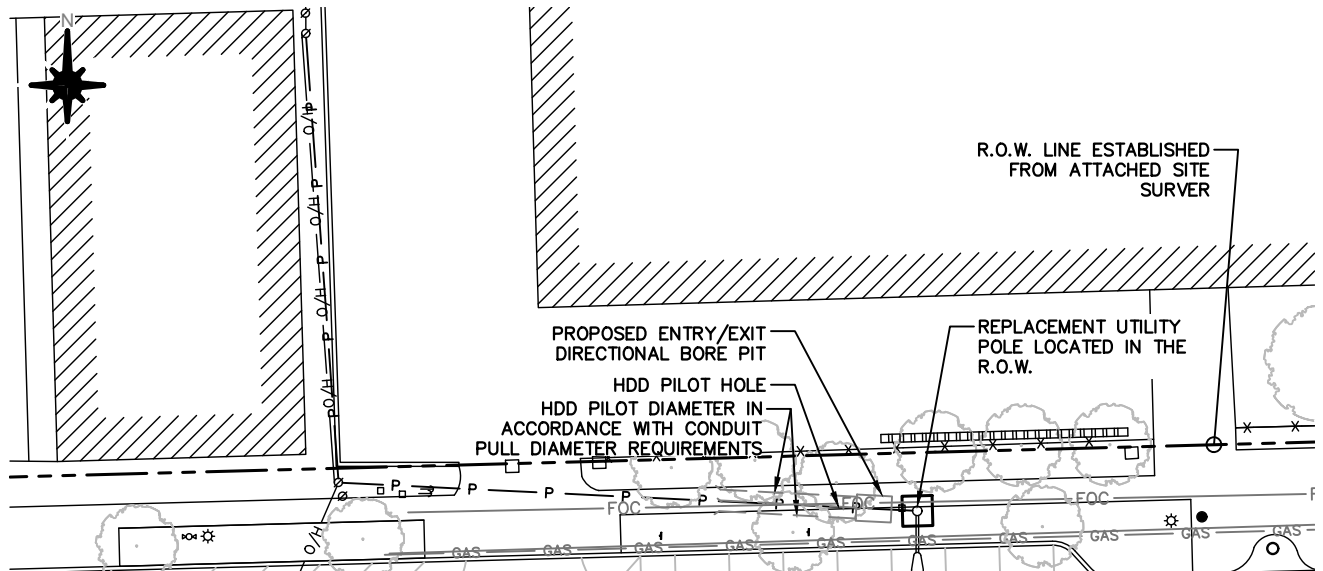
MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
 EQUIPMENT DETAILS

SHEET NUMBER
 EQ-2

NOT USED
SCALE: NOT TO SCALE

1



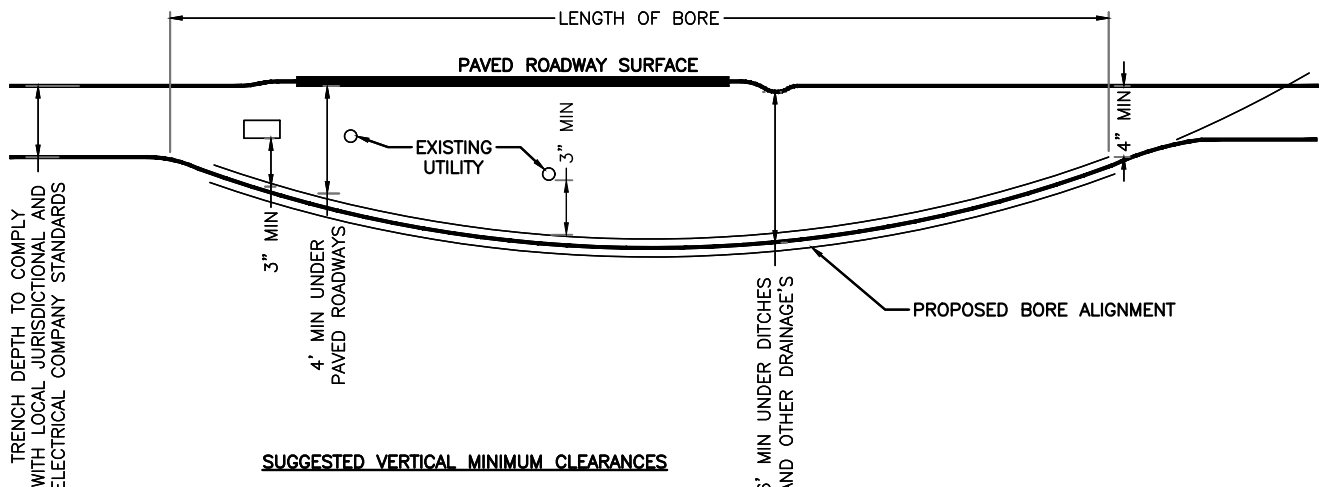
HORIZONTAL BORE PLAN
SCALE: NOT TO SCALE

2

NOTE:
1. ALL HDD CONTRACTORS SHALL BE LICENSED AS "A" OR "C3" CONTRACTORS IN THE APPLICABLE STATE.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH TR-46 AND ASTM F1962-11

NOT USED
SCALE: NOT TO SCALE

4



DIRECTIONAL BORING DETAILS
SCALE: NOT TO SCALE

3

NOT USED
SCALE: NOT TO SCALE

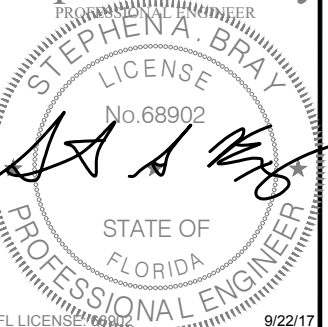
5

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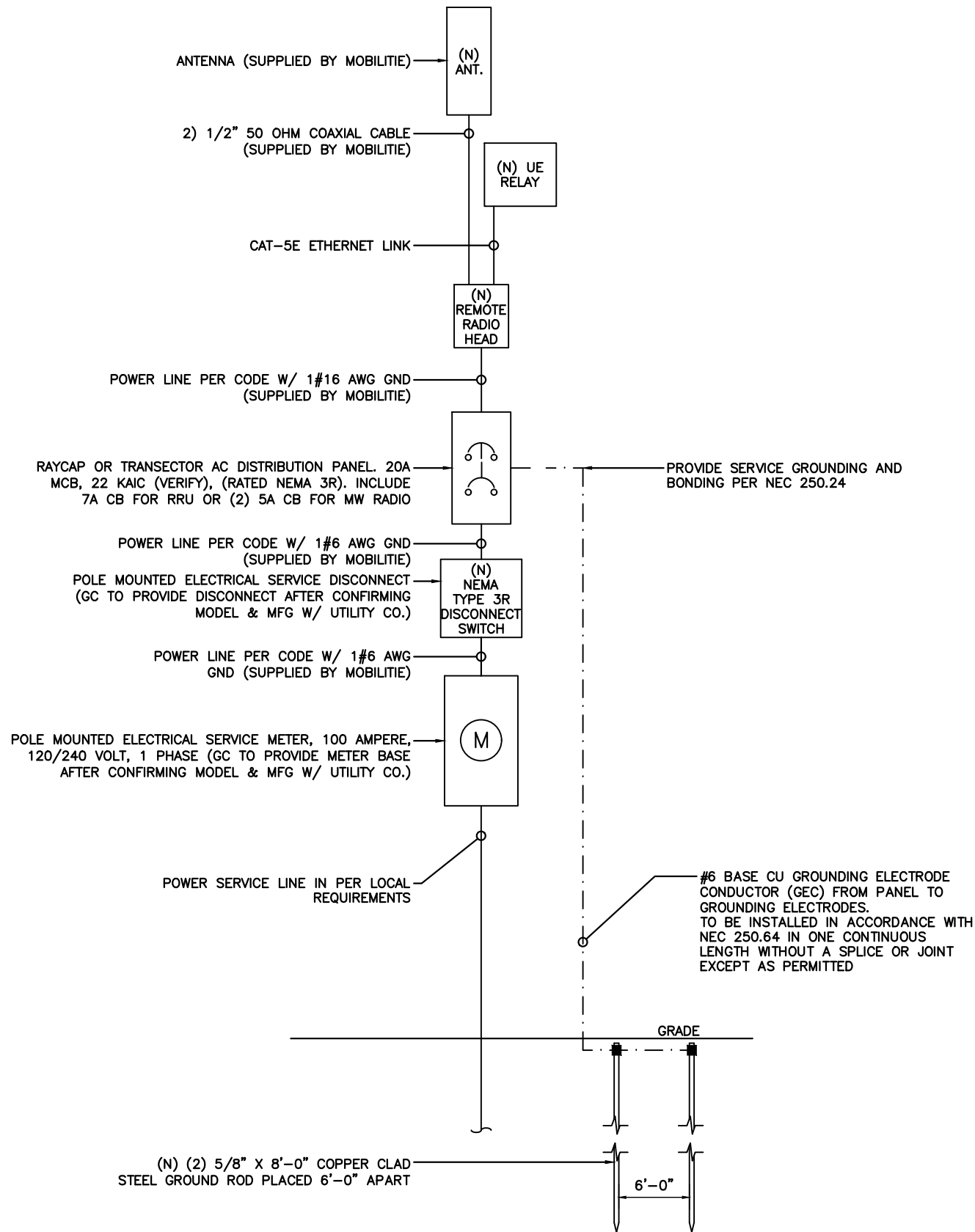


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MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EXCAVATION DETAILS

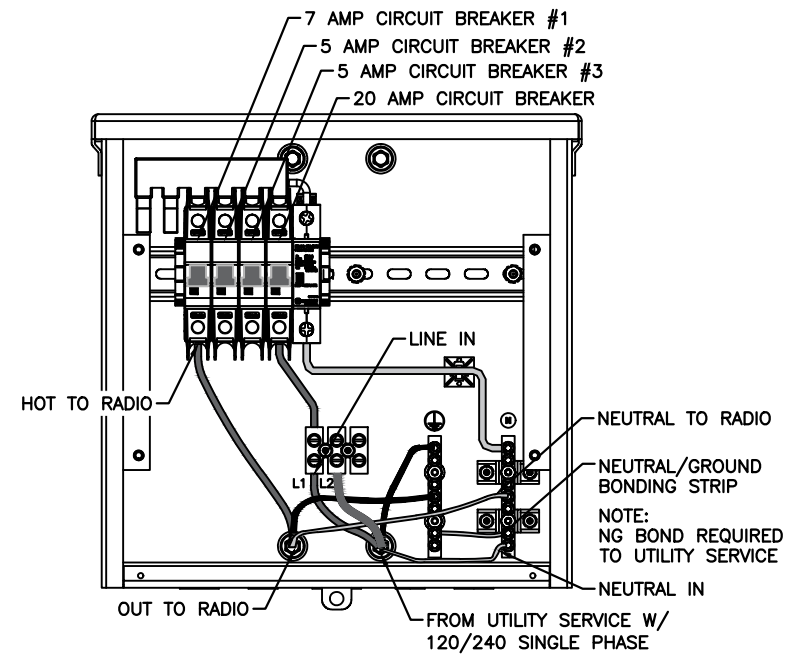
SHEET NUMBER
EX-1



ONE-LINE DIAGRAM

SCALE: NOT TO SCALE

1



TRANSECTOR EXPORT AC DISTRIBUTION BOX

BREAKER SCHEDULE

SCALE: NOT TO SCALE

2

NOTES:

1. NOMINAL POWER IS CALCULATED AS 80% OF OEM DOCUMENTED MAXIMUM POWER.
2. CALCULATIONS FOR UE W/ NOKIA DO NOT NEED TO INCLUDE THE POWER FOR THE UE ANTENNA AS IT IS INCLUDED IN THE MAX POWER FIGURE. CALCULATIONS FOR UE W/ AIRSPAN MUST INCLUDE UE AS IT IS NOT INCLUDED
3. KVA IS CALCULATED FROM THE CONSUMPTION VALUE ASSUMING A PF=1. MAXIMUM POWER WAS USED FOR KVA. WHERE MAXIMUM WAS NOTED BY THE OEM THE QUOTED FIGURE WAS USED. WHERE AVERAGE/NOMINAL POWER WAS NOTED BY THE OEM MAXIMUM POWER WAS CALCULATED BY INCREASING AVERAGE/NOMINAL POWER BY A FACTOR OF 50%

Airspan Scenario 2 AH4000 High Power Radio and UE Backhaul

Unit	Sub Description	Max Power (W)	Max Current (A)	KVA	kWh/Yr
AirHarmony 4000	LTE Base Station	540	4.50	0.54	4730.4
Airspan IR460	UE Relay	N/A	N/A	N/A	N/A
Total		540	4.50	0.54	4730.4

LOAD CALCULATIONS

SCALE: NOT TO SCALE

3

mobilitie

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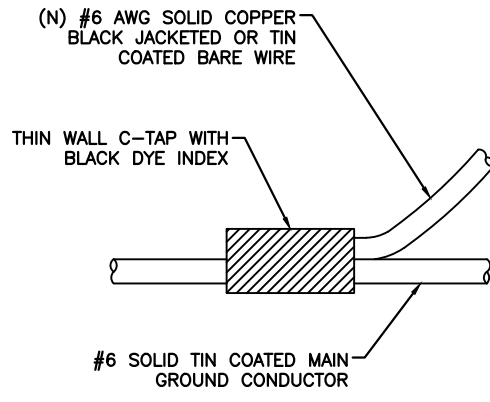
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MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-1

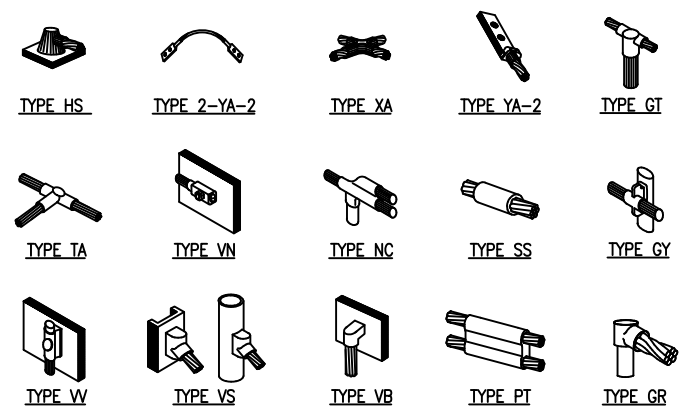
NOTE:
CONTRACTOR TO SURROUND COMPLETED CONNECTION WITH HEAT-SHRINK TUBING TO ENSURE WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE: NOT TO SCALE

1

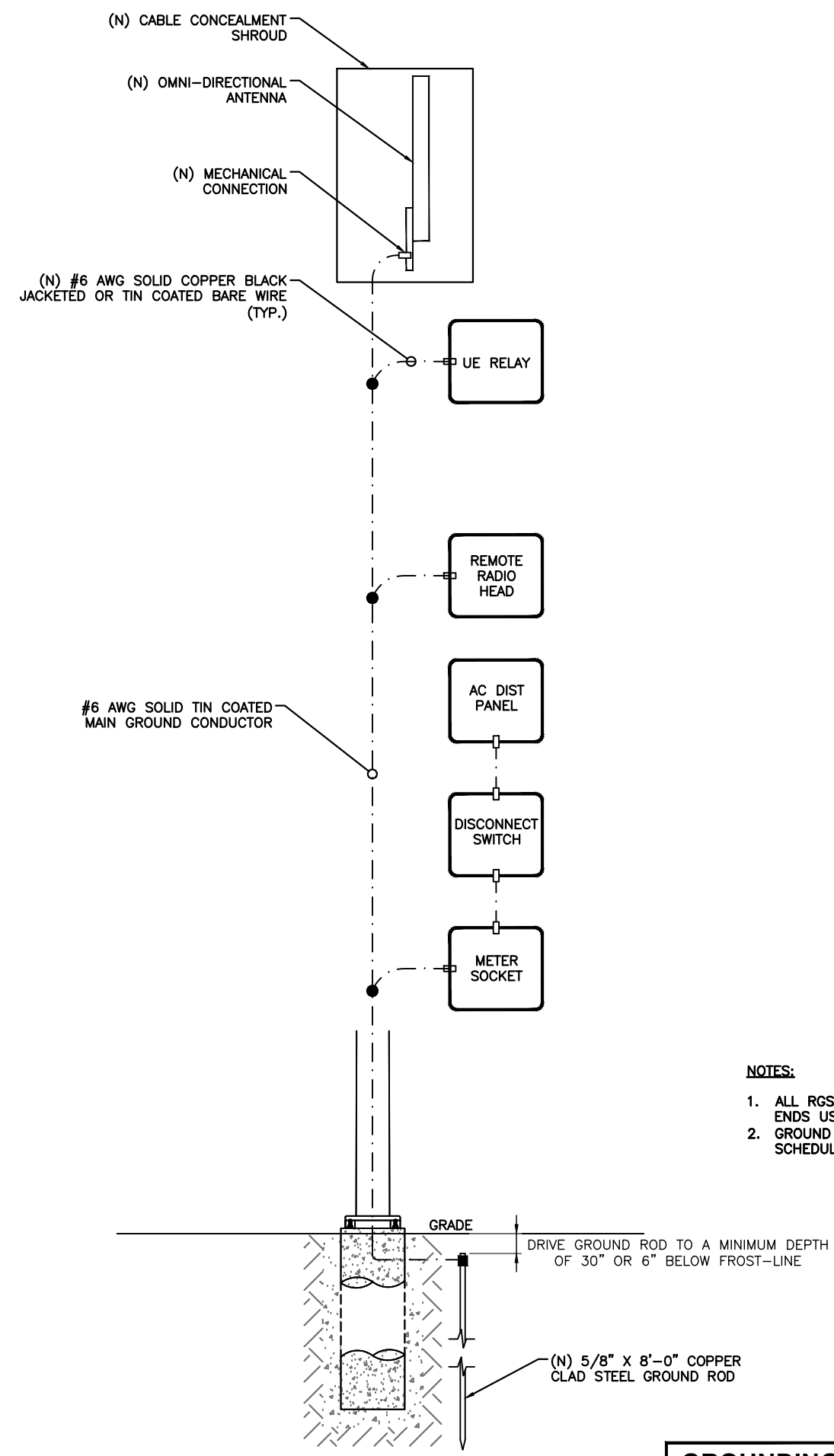


NOTE:
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

WELD CONNECTION DETAILS

SCALE: NOT TO SCALE

2



LEGEND

- CADWELD CONNECTION
- MECHANICAL CONNECTION
- COMPRESSION CONNECTION

NOTE:
GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

- NOTES:**
- ALL RGS TO BE GROUNDED AT BOTH ENDS USING GROUNDING BUSHINGS
 - GROUND WIRE TO BE RUN IN 1/2" SCHEDULE 40 PVC.

GROUNDING RISER DIAGRAM

SCALE: NOT TO SCALE

3



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MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

REINFORCED CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL SITECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 28 DAYS. CONTINUOUS INSPECTION AND TESTING IS NOT REQUIRED. THE CONTRACTOR MAY SUBSTITUTE 5000 PSI FOR HIGH EARLY STRENGTH.

SLUMP - 4" MIN. / 6" MAX.
AIR ENTRAINMENT - 2% TO 3% BY VOLUME

CLASSES OF CONCRETE

CLASS	28 DAY STRENGTH (PSI)	MAX. WATER/CEMENT RATIO	PLACEMENT LOCATION	NORMAL WEIGHT
TYPE 1	3000	0.55	ALL LOCATIONS	

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL FABRIC UNLESS OTHERWISE NOTED. SPLICES FOR REBAR SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD, UNO. STAGGER SPLICES UNO. LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST TWO FULL MESHES, UNO.

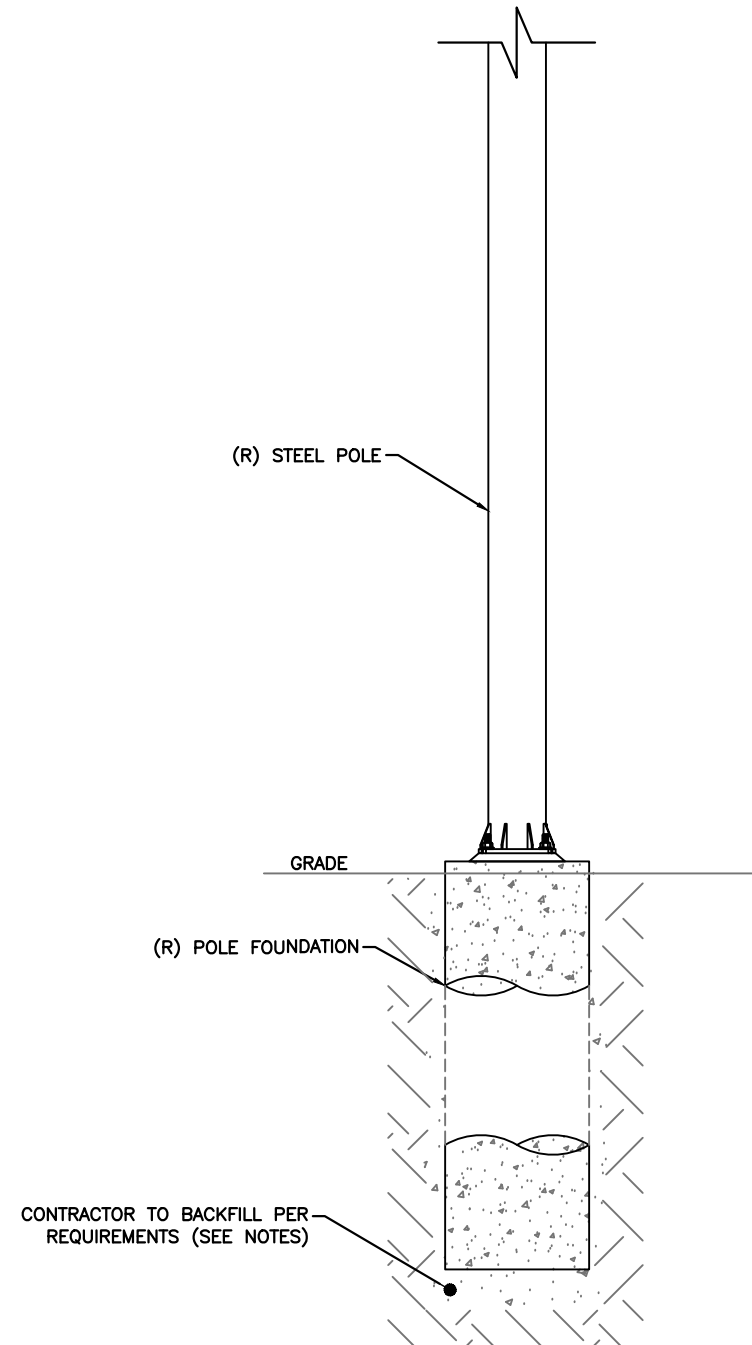
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3"
CONCRETE EXPOSED TO EARTH OR WEATHER
#6 AND LARGER.....2"
#5 AND SMALLER & W.W.F.....1-1/2"

5. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
6. INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE ANCHOR BOLTS, DOWEL, OR RODS SHALL CONFORM TO THE ANCHOR MANUFACTURER'S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL. IF THE MANUFACTURER'S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. MECHANICAL VIBRATION IS REQUIRED ON ALL SLABS TO REDUCE THE HONEYCOMB EFFECT UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDUIT SIZES AND PENETRATION LOCATION PRIOR TO POURING THE SLAB. REFER TO SHELTER MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. ALLOWABLE SOIL PRESSURE = 2500 PSF (ASSUMED).

NOTE:
SEE GN-3 FOUNDATION, EXCAVATION AND BACKFILL FOR ADDITIONAL NOTES.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



mobilitie

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MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE FOUNDATION DETAILS

SHEET NUMBER
S-1

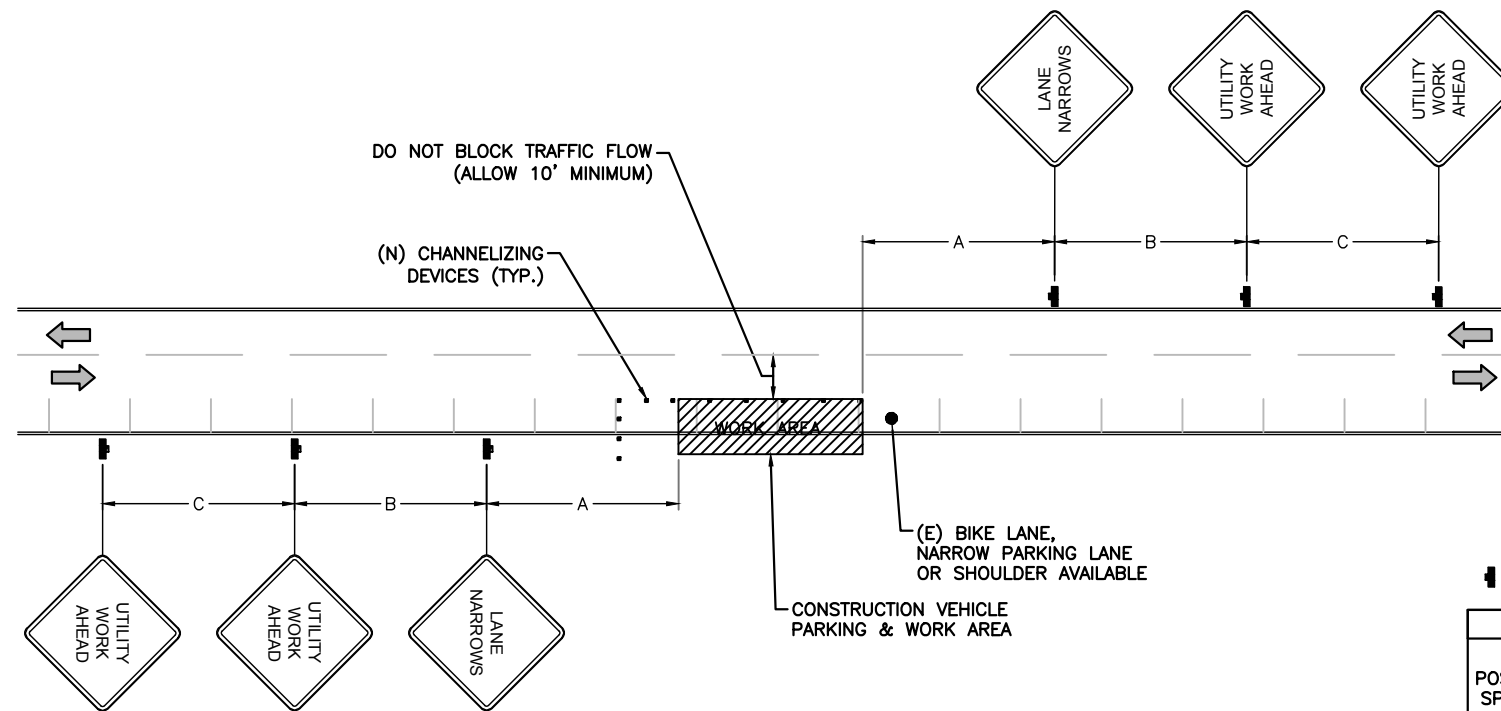
POLE FOUNDATION DETAILS

SCALE: NOT TO SCALE

1

PLAN NOTES:

1. PLANS DEPICTED ARE GENERAL GUIDELINES FOR TEMPORARY VEHICULAR TRAFFIC CONTROL PLANS (TCP) TO INCLUDE PEDESTRIAN AND WORKER SAFETY. CONTRACTOR IS REQUIRED TO HAVE PREPARED A SITE-SPECIFIC TCP FOR REVIEW AND APPROVAL BY THE HIGHWAY AUTHORITY HAVING JURISDICTION. IF REQUIRED, THE FIRM PREPARING THE TCP SHALL BE AUTHORIZED OR CERTIFIED BY THE AUTHORITY HAVING JURISDICTION.
2. EXTEND CHANNELIZATION DEVICES INTO SHOULDER WHERE APPLICABLE.
3. DISTANCES AS INDICATED IN TABLE 1 SHOULD BE INCREASED FOR CONDITIONS THAT WOULD AFFECT STOPPING. DISTANCE SUCH AS DOWNGRADES OR LIMITED SIGHT DISTANCES. DISTANCES CAN BE DECREASED FOR LOW-SPEED (RESIDENTIAL) AREAS WITH APPROVAL BY THE AUTHORITY HAVING JURISDICTION. NIGHT-TIME WORK IS PROHIBITED UNLESS IT IS REQUIRED AS A CONDITION OF APPROVAL BY THE HIGHWAY AND LOCAL AUTHORITY HAVING JURISDICTION.
4. SHOULDER TAPERS SHOULD BE 1/3 OF THE ON-STREET TAPER LENGTH.
5. MAINTAIN A MINIMUM LANE WIDTH OF 10'.



■ - SIGN

POSTED SPEED (MPH)	DISTANCE BETWEEN SIGNS			TAPER	BUFFER
	A	B	C	L (SEE NOTE)	
15	100'	100'	100'	45'	100'
20	100'	100'	100'	80'	115'
25	100'	100'	100'	125'	155'
30	200'	200'	200'	180'	200'
35	200'	200'	200'	245'	250'
40	350'	350'	350'	320'	305'
45	350'	350'	350'	540'	360'
50	500'	500'	500'	600'	425'
55	500'	500'	500'	660'	495'
60	500'	500'	500'	720'	570'
65	500'	500'	500'	780'	645'

NOTES:

- A) DISTANCES IN FEET UNLESS OTHERWISE NOTED.
- B) CONTRACTOR TO VERIFY (E) SPEED LIMIT.
- C) DISTANCES SHOWN ARE NOT VALID FOR LIMITED ACCESS HIGHWAYS. CONSULT STATE DOT MANUAL FOR DISTANCES.
- D) ADJUST DISTANCES TO COMPLY WITH REQUIREMENT OF THE STATE OR LOCAL HIGHWAY AUTHORITY HAVING JURISDICTION. SEE NOTE 1, SHEET TC-2.
- E) TAPER LENGTHS SHOWN BASED ON 12' LANE WIDTH. SEE NOTE 18, SHEET TC-2.

VEHICULAR TRAFFIC CONTROL PLAN - CURBSIDE PARKING

SCALE: NOT TO SCALE

1

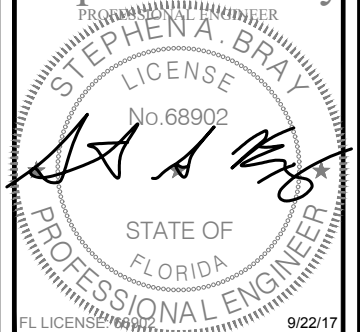
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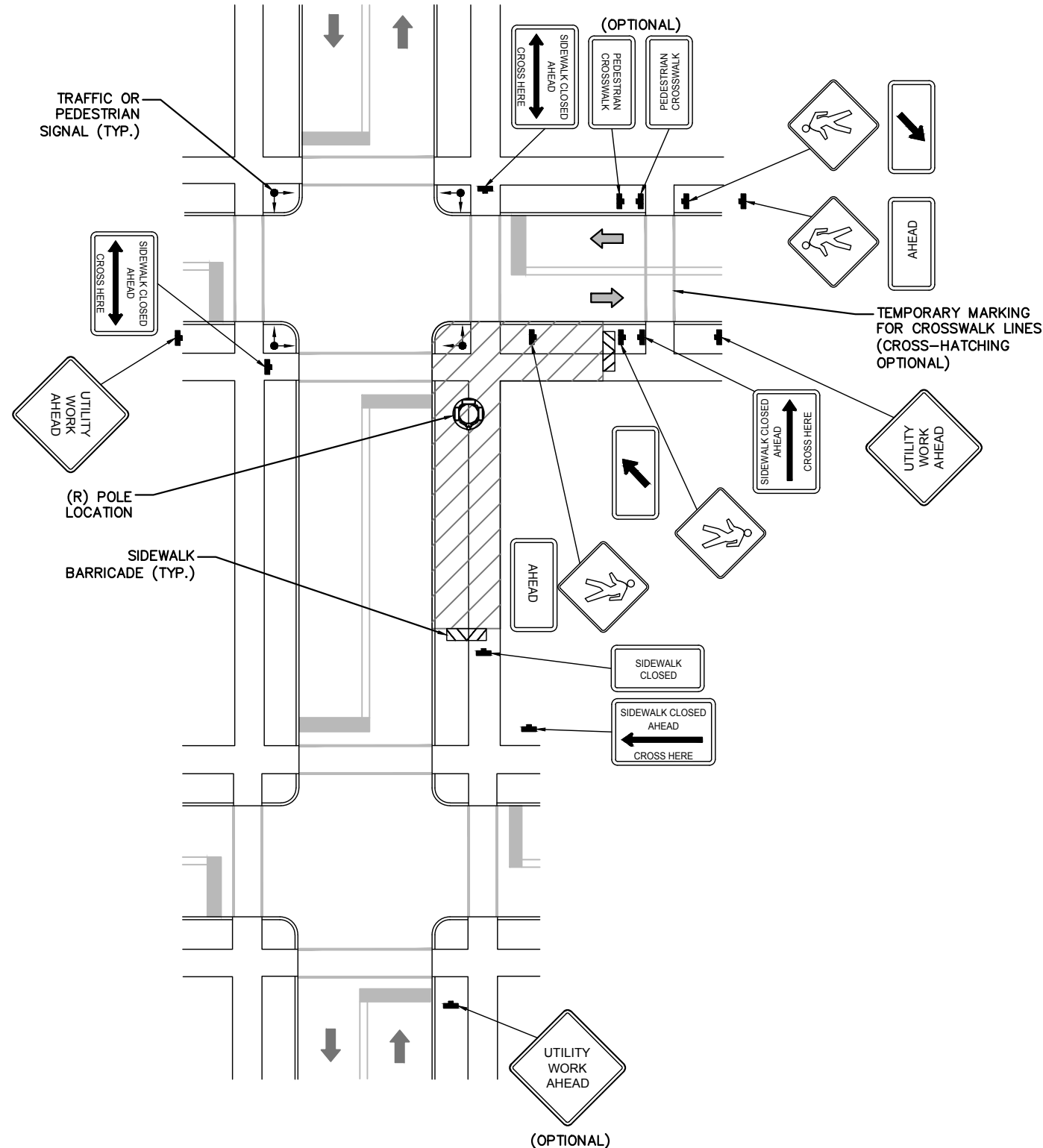
MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
 VEHICULAR TRAFFIC CONTROL PLAN

SHEET NUMBER
TC-1

TRAFFIC CONTROL GENERAL NOTES

1. ALL TEMPORARY TRAFFIC CONTROL SIGNAGE, LAYOUTS AND PROCEDURES SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, WHICHEVER IS MORE STRINGENT.
2. PRIOR TO ANY ROAD CONSTRUCTION, TRAFFIC CONTROL SIGNS AND DEVICES SHALL BE IN PLACE.
3. TRAFFIC CONTROL DEVICES FOR LANE CLOSURES INCLUDING SIGNS, CONES, BARRICADES, ETC. SHALL BE PLACED AS SHOWN ON PLANS. SIGNS SHALL NOT BE PLACED WITHOUT ACTUAL LANE CLOSURES AND SHALL BE IMMEDIATELY REMOVED UPON REMOVAL OF THE CLOSURES.
4. SELECTION, PLACEMENT, MAINTENANCE, AND PROTECTION OF TRAFFIC, PEDESTRIANS, AND WORKERS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) – PART VI "TEMPORARY TRAFFIC CONTROL", AND LOCAL JURISDICTIONAL REQUIREMENTS UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS, AND SHALL BE APPROVED BY THE APPROPRIATE HIGHWAY AUTHORITY HAVING JURISDICTION.
5. ADVANCE WARNING SIGNS, DISTANCES, AND TAPER LENGTHS MAY BE EXTENDED TO ADJUST FOR REDUCED VISIBILITY DUE TO HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY AND FOR ACTUAL TRAFFIC SPEEDS IF IN EXCESS OF POSTED SPEED LIMITS.
6. TAPERS SHALL BE LOCATED TO MAXIMIZE THE VISIBILITY OF THEIR TOTAL LENGTH.
7. CONFLICTING OR NON-OPERATING SIGNAL INDICATIONS ON THE (E) TRAFFIC SIGNAL SYSTEMS SHALL BE BAGGED OR COVERED.
8. ALL (E) ROAD SIGNS, PAVEMENT MARKINGS AND/OR PLOWABLE PAVEMENT REFLECTORS WHICH CONFLICT WITH THE (N) TRAFFIC CONTROL PLAN SHALL BE COVERED, REMOVED, OR RELOCATED. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO MATCH PRE-CONSTRUCTION CONDITION AFTER COMPLETION OF WORK.
9. CONTRACTOR SHALL CONTACT LOCAL AUTHORITY HAVING HIGHWAY JURISDICTION AND PROVIDE ADDITIONAL "FLAGMEN" OR POLICE SUPERVISION, IF REQUIRED.
10. ALL EXCAVATED AREAS WITHIN OR ADJACENT TO THE ROADWAY SHALL BE BACKFILLED AND PLACED ON A MINIMUM 6H:1V SLOPE PRIOR TO END OF EACH WORK DAY. OTHER EXCAVATED AREAS WITHIN THE CLEAR ZONE ARE TO BE EITHER BACKFILLED OR PRECAST CONCRETE CURB BARRIER CONSTRUCTION BARRIER SET TEMPORARILY IN PLACE TO SHIELD VEHICULAR AND PEDESTRIAN TRAFFIC.
11. WHERE DICTATED BY LOCAL CONDITIONS, THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING PEDESTRIAN AND WORKER CROSSING LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES AND OSHA REQUIREMENTS.
12. CONSTRUCTION ZONE SPEED LIMIT IF REDUCED FROM POSTED LIMITS SHALL BE IN ACCORDANCE WITH MUTCD AND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
13. THERE SHALL BE NO WORKERS, EQUIPMENT, OR OTHER VEHICLES IN THE BUFFER SPACE OR THE ROLL AHEAD SPACE.
14. DRIVEWAYS AND/OR SIDE STREETS ENTERING THE ROADWAY AFTER THE FIRST ADVANCE WARNING SIGN SHALL BE PROVIDED WITH AT LEAST ONE W20-1 SIGN (ROAD WORK AHEAD) AS A MINIMUM.
15. CONES MAY BE SUBSTITUTED FOR DRUMS AND INSTALLED UPON THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION PROVIDED THEY COMPLY WITH MUTCD.
16. THE SPACING BETWEEN CONES, TUBULAR MARKERS, VERTICAL PANELS, DRUMS, AND BARRICADES SHOULD NOT EXCEED A DISTANCE IN FEET EQUAL TO 1.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TAPER CHANNELIZATION, AND A DISTANCE IN FEET EQUAL TO 2.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TANGENT CHANNELIZATION.
17. WHEN CHANNELIZATION DEVICES HAVE THE POTENTIAL OF LEADING VEHICULAR TRAFFIC OUT OF THE INTENDED VEHICULAR TRAFFIC SPACE, THE CHANNELIZATION DEVICES SHOULD BE EXTENDED A DISTANCE IN FEET OF 2.0 TIMES THE SPEED LIMIT IN MPH BEYOND THE DOWNSTREAM END OF THE TRANSITION AREA.
18. TAPER LENGTHS ARE CALCULATED AS FOLLOWS:
 $L = WS^2/60$ (40 MPH AND HIGHER) OR $L2 = WS$ (OVER 40 MPH),
 WHERE W= OFFSET WIDTH (FT), S= TRAFFIC SPEED (MPH).



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SHEET TITLE
PEDESTRIAN TRAFFIC CONTROL PLAN

SHEET NUMBER
TC-2

GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILITIE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO OWNER-SUPPLIED ITEMS. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
5. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - A) TRANSMITTER
 - B) UHF ANTENNA AND MOUNTING BRACKETS, GPS UNIT AND KU BACKHAUL
 - C) UHF COAX AND HANGERS
 - D) INTEGRATED LOAD CENTER
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILITIE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITIE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.
18. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
19. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
20. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
21. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
22. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ANY EROSION CONTROL MEASURES, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
23. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
24. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OF REGULATIONS, A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILITIE CM PRIOR TO PROCEEDING WITH THE WORK.
25. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
26. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILITIE CM AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE MOBILITIE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT ARE NOT BE LIMITED TO:
 - A) UL – UNDERWRITERS LABORATORIES
 - B) NEC – NATIONAL ELECTRICAL CODE
 - C) NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D) OSHA – OCCUPATIONAL SAFETY AND HEALTH ACT
 - E) SBC – STANDARD BUILDING CODE
 - F) NFPA – NATIONAL FIRE PROTECTION AGENCY
 - G) ANSI – AMERICAN NATIONAL STANDARDS INSTITUTE
 - H) IEEE – INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
 - I) ASTM – AMERICAN SOCIETY FOR TESTING MATERIALS
4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILITIE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
5. (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC... ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILITIE CM, PRIOR TO BEGINNING ANY WORK.
7. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION, UNLESS OTHERWISE NOTED.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY FUNCTIONAL AND SHALL BE APPROVED BY THE MOBILITIE CM AND LOCAL JURISDICTION. ANY DEFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.



PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC
Stephen A. Bray
 PROFESSIONAL ENGINEER
 LICENSE
 No. 68902
 STATE OF
 FLORIDA
 PROFESSIONAL ENGINEER
 FL LICENSE # 68902 9/22/17
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XSL34D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

ELECTRICAL NOTES CONT'D

1. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
2. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
3. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
4. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILITIE CM PRIOR TO INSTALLATION.
6. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILITIE CM UPON FINAL ACCEPTANCE.
7. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
8. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
9. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
10. RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
11. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
12. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, UNLESS OTHERWISE NOTED, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
13. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
14. SERVICE: AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
15. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
16. ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
17. CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOM".
18. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL

GROUNDING NOTES:

1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR SIZED TO MATCH COMPONENTS OR LOG SIZE.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7. ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. USE SOLID COPPER, BLACK JACKETED WIRE ON NON WOOD POLES AND SOLID TINNED COPPER, BARE (NO JACKET) WIRES ON WOOD POLES. BLACK WIRES WILL USE A SINGLE STRIPE OF GREEN ELECTRICAL TAPE WITHING 12" OF THE CONNECTION POINTS TO IDENTIFY AS GROUNDING WIRE.
8. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
9. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
10. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
11. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - A. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.
 - B. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - C. ONE (1) OR (2) HOLES TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
12. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS).
14. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.

3. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
4. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT.
5. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
6. GPS EQUIPMENT (WHEN REQUIRED) IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DOING SO WILL DAMAGE THE GPS UNIT.
7. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
8. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVES APPROVAL TO ENERGIZE THE EQUIPMENT.

SITE WORK NOTES:

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILITIE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
7. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

mobilitie

PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

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MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-2

SITE WORK NOTES CONT'D

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILLS PLACED ON (E) SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE (E) SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DEBRIS, PAPER, TRASH, WEEDS, BRUSH, EXCESS FILL, OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

ENVIRONMENTAL NOTES:

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES AS REQUIRED BY THE LOCAL JURISDICTION WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE, BUT IS NOT LIMITED TO SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

FOUNDATION, EXCAVATION AND BACKFILL NOTES:

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
2. BACKFILL OF THE POLE SHALL BE PERFORMED BASED ON THE WATER TABLE. FLOWABLE FILL MIXTURES PURCHASED FROM CONCRETE PLANTS WILL BE USED INSTEAD OF FOAM IN WATER TABLE AREAS.
 - A: NORMAL SOILS ORDER OF PREFERENCE – FOAM, FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES
 - B: HIGH WATER TABLE SOILS ORDER OF PREFERENCES – FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES.
3. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED LIME STONE #57 MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
5. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
6. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
7. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
8. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
9. NEWLY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE: TYPAR-3401 AS MANUFACTURED BY TYPAR GEOSYNTHETICS OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENCE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED.
10. IN ALL AREAS TO RECEIVE FILL: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH (E)/PREPARED SOIL SURFACE.
11. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
12. IN AREAS WHICH (E) GRAVEL SURFACING IS REMOVED OR DISTURBED DURING

CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.

13. (E) GRAVEL SURFACING MAY NOT BE REUSED.
14. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
15. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING 'MATTS' OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
16. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
17. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

mobilitie

PROJECT NO:	9FLB003871D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-17-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER

STEPHEN A. BRAY

LICENSE No. 68902

STATE OF FLORIDA

PROFESSIONAL ENGINEER

FL LICENSE 68902 9/22/17

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XSL34D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

LESSOR'S LEGAL DESCRIPTION
 MIAMI-DADE COUNTY, CITY OF MIAMI BEACH RIGHT OF WAY

FLOOD ZONE DESIGNATION
 THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "AE" HAVING A BFE OF 8.0' AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 12086C0319L DATED 09/11/09.

ZONE AE - AN AREA INUNDATED BY 1% ANNUAL CHANCE FLOODING, FOR WHICH BFES HAVE BEEN DETERMINED.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS BASED ON NETWORK GPS SOLUTIONS OR CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM FLORIDA STATE PLANE COORDINATE ZONE EAST, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 08/08/17.

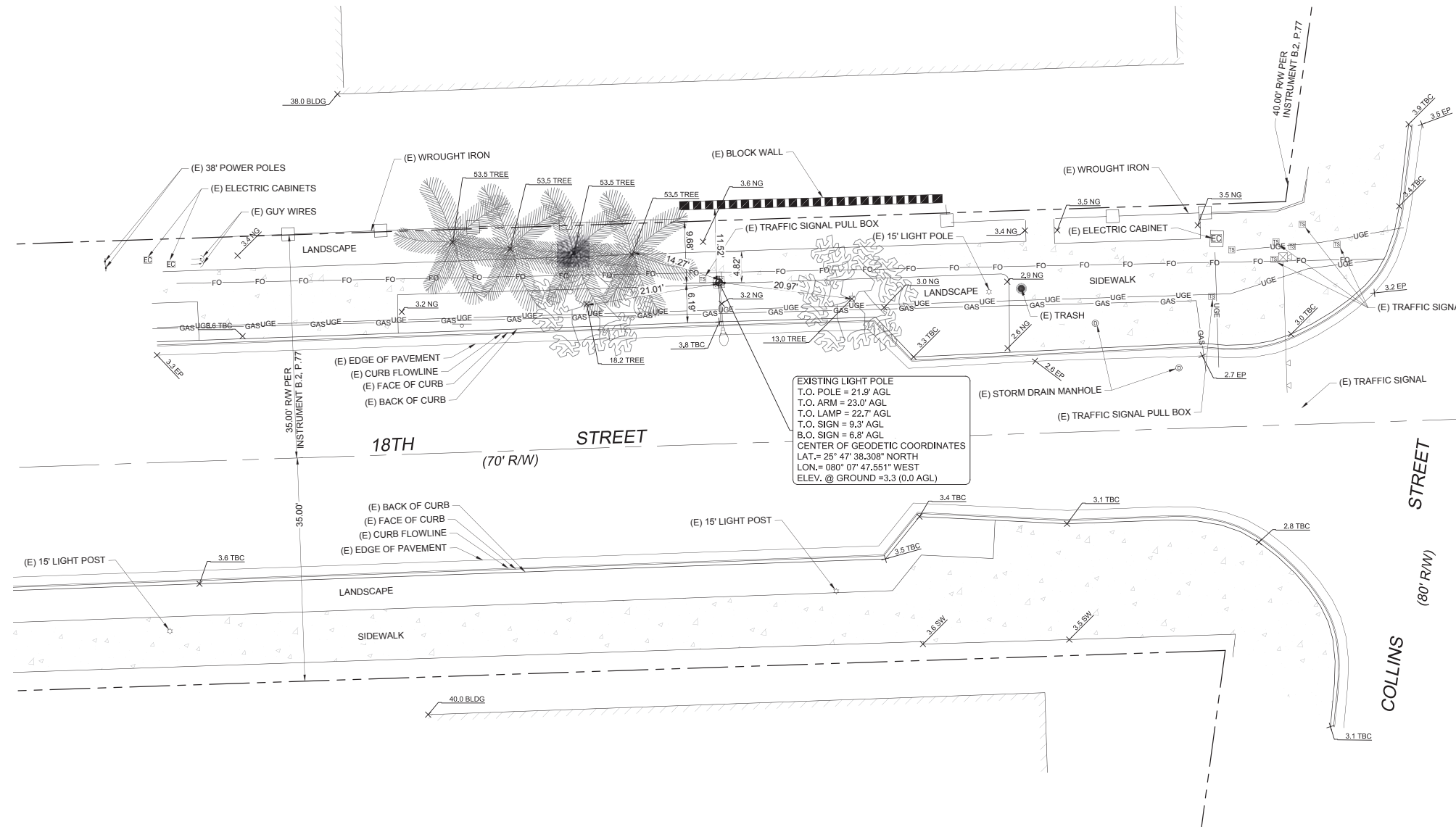
SURVEYOR NOTES

- A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

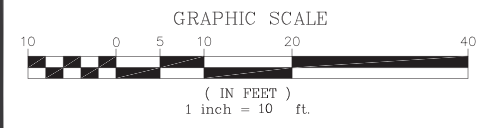
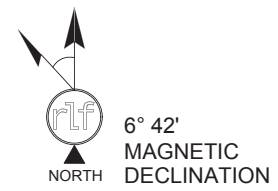


LEGEND

- (E) EXISTING
- (TYP) TYPICAL
- FDC FIRE DEPARTMENT HOOKUP
- ⊗ BRASS CAP FLUSH
- ⊗ BRASS CAP IN HANDHOLE
- ⊗ PKWASHER
- ⊗ ELECTRICAL TRANSFORMER
- ⊗ WATER METER
- ⊗ STREET LIGHT W/ MAST ARM
- ⊗ WATER VALVE
- ⊗ IRRIGATION CONTROL VALVE
- ⊗ CATCH BASIN
- ⊗ DECIDUOUS TREE
- ⊗ BUSH
- ⊗ DECIDUOUS TREE
- ⊗ SIGN
- ⊗ BREAKLINE
- ⊗ POSITION OF GEODETIC COORDINATES
- ⊗ STORM MANHOLE
- ⊗ SANITARY SEWER MANHOLE
- ⊗ SANITARY SEWER MANHOLE
- RIGHT-OF-WAY LINE
- CENTERLINE
- U/G ELECTRIC LINE
- U/G FIBER OPTIC LINE
- WATER LINE
- WOOD OR IRON FENCE



EXISTING LIGHT POLE
 T.O. POLE = 21.9' AGL
 T.O. ARM = 23.0' AGL
 T.O. LAMP = 22.7' AGL
 T.O. SIGN = 9.3' AGL
 B.O. SIGN = 6.8' AGL
 CENTER OF GEODETIC COORDINATES
 LAT. = 25° 47' 38.308" NORTH
 LON. = 080° 07' 47.551" WEST
 ELEV. @ GROUND = 3.3 (0.0 AGL)



mobilitie
 intelligent infrastructure
 2955 Red Hill Ave, Suite 200
 Costa Mesa, CA, 92626,
 www.mobilitie.com

Kimley»Horn
 655 NORTH FRANKLIN STREET
 SUITE 150
 TAMPA, FL 33602
 PHONE (813) 620-1460
 WWW.KIMLEY-HORN.COM

FIELD BY:	JTS
DRAWN BY:	HJ
CHECKED BY:	KEM

REVISIONS		
NO.	DATE	DESCRIPTION
1	09/15/17	PRELIMINARY

RLF CONSULTING
 LAND SURVEY • MAPPING SOLUTIONS
 841 N. STADIUM DR. • TEMPE, AZ 85288
 WWW.RLFCONSULTING.COM • 480-450-0888



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PROJECT NO.
08002089
 SITE NAME:
MI90XSL34D

SITE ADDRESS:
**18TH STREET & COLLINS AVENUE
 MIAMI BEACH FL, 33139**

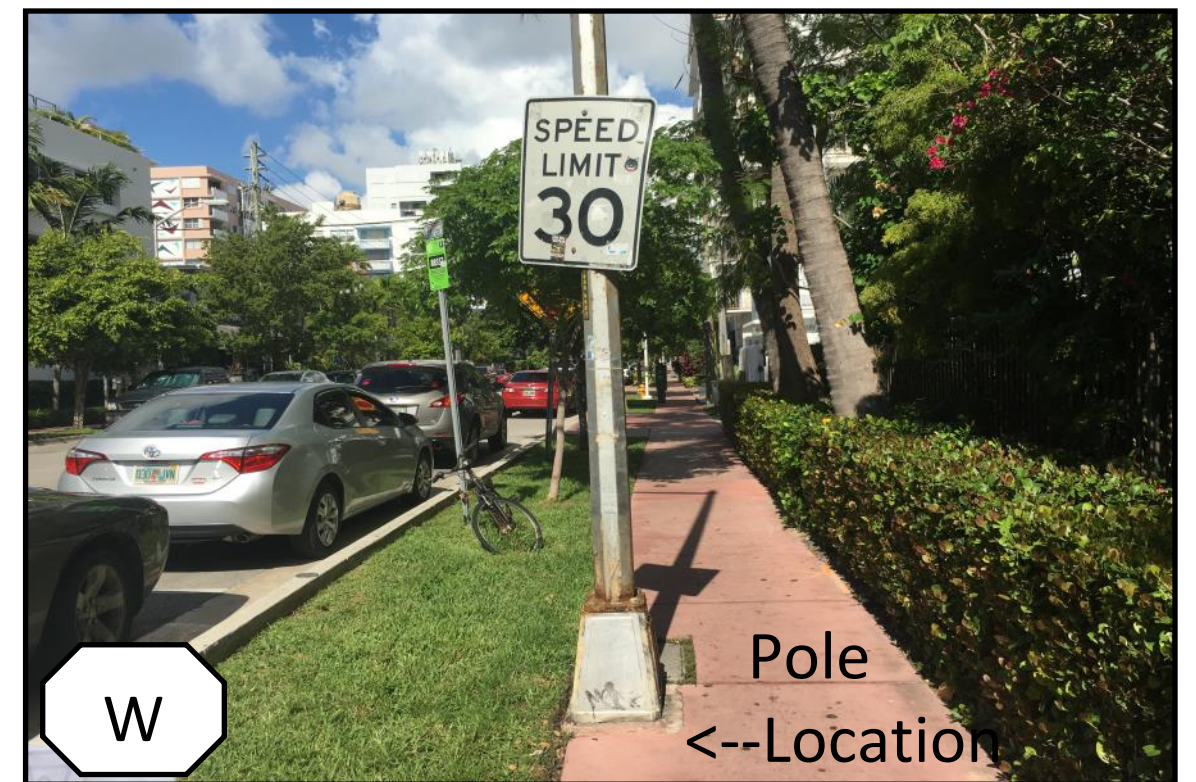
SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO. LS-1	REVISION: 1
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Photos taken on 8/15/17



VIEWS FROM
PROPOSED
LOCATION



Approximate Address: 215 18th Street

Candidate: MI90XSL34D

Photos taken on 8/15/17



Additional
Site Photos

Approximate Address: 215 18th Street

Candidate: MI90XSL34D