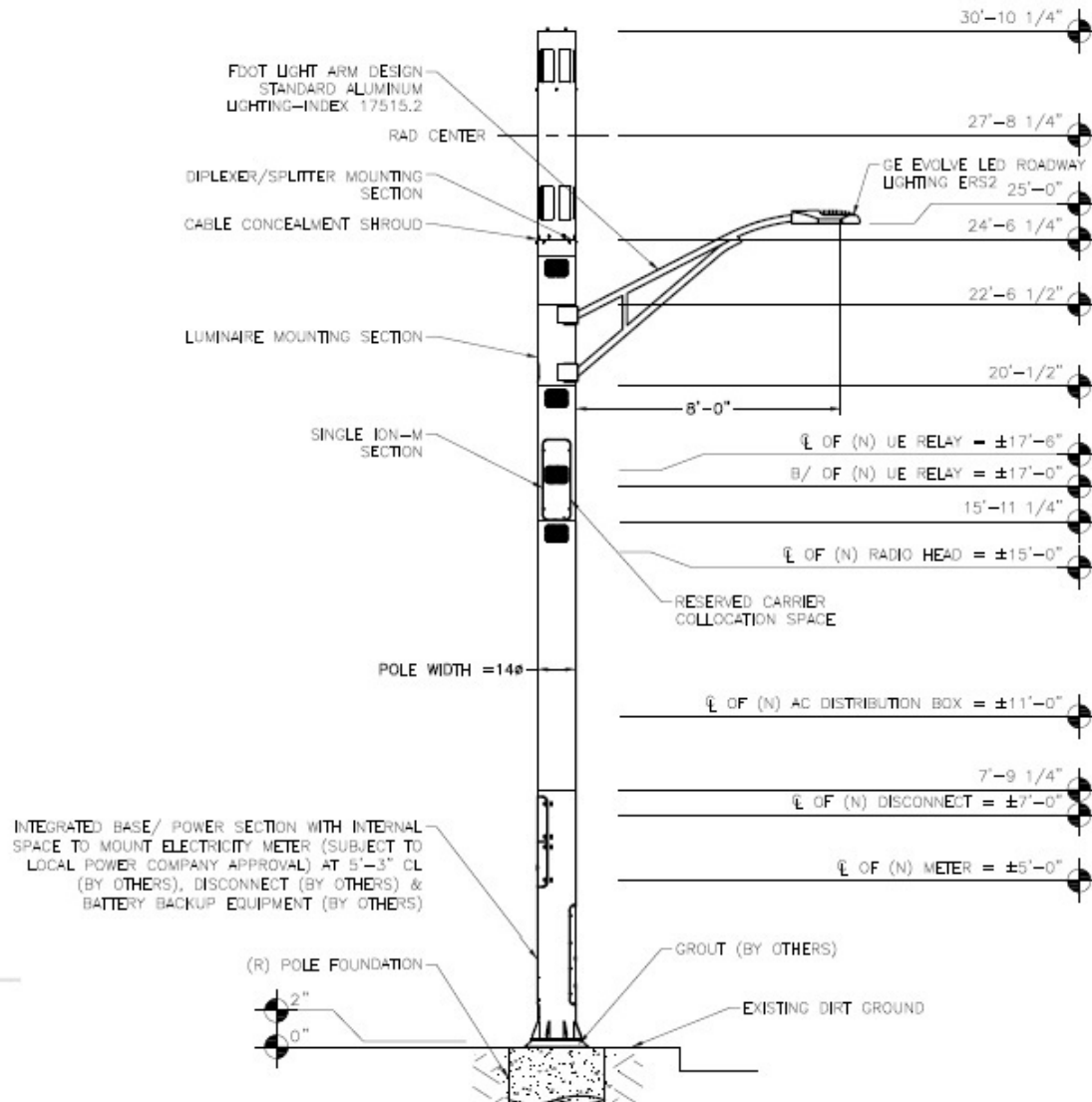


SMALL-CELL LIGHT POLE PROJECTS

City of Miami Beach - Board Applications

MOBILITIE CANDIDATE #

9FLB003932D/MI90XSL95D





ITEM # 2—COPY OF SIGNED AND DATED CHECKLIST

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

Property address:

Das Nodes

Board:

HPB

Date:

8/3/17

BOARD APPLICATION CHECK LIST

A pre-application meeting must be scheduled with the Board staff to review all submittals.

Pre-application meetings for applications that do not require a traffic study are scheduled on a first come first served basis and must occur no later than five(5) business days prior to the CAP first submittal.

Applications that require a traffic study must meet 60 days* prior to CAP first submittal deadline with Planning staff, Transportation Department and peer reviewer to determine the methodology for the traffic impact study. After this meeting the applicant must create a CAP application in order to be invoiced and pay fees. Applicant must submit online (CAP) the traffic study 30 days prior to CAP first submittal (see Transportation Department list requirements)

Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to first submittal. Applicant must address comments and submit revised traffic study/plans for CAP first submittal deadline

Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

ITEM #	CAP FIRST SUBMITTAL To be uploaded online (CAP) by the applicant before 5:00 pm on first submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee shall be paid after pre-application meeting and before the first submittal.	X
2	Copy of signed and dated check list issued at pre-application meeting.	X
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	X
4	Letter of Intent dated and signed with details of application request. (see also Items # 43,44 and 45).	X
5	Mailing Labels (2 printed sets and a CD including: Property owner's list and Original certified letter from provider, see Item #52).	X
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application, for projects with a net increase in residential units (no SFH). (Provide Planning Department - Miami Dade - School Concurrency list).	
8	Survey (original signed & sealed) dated less than 6 months old at the time of application. Provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	X
9	Architectural Plans and Exhibits (must be 11"x 17" size):	X
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.	X
b	Copy of the original survey	X
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	X
d	Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.	X
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document if necessary).	X
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams).	X
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	X
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	X
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	X
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	X

* 60 day lead time for projects including traffic studies is necessary to ensure completion of review by final submittal deadline and scheduling for hearing.

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address:

l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	X
m	Demolition Plans (Floor Plans & Elevations with dimensions)	X
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks. <i>specs of pole</i>	X
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	X
p	Proposed Section Drawings	X
q	Color Renderings (elevations and three dimensional perspective drawings). <i>photo simulation</i>	X
10	Landscape Plans and Exhibits (must be 11"x 17" size):	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	

ITEM #	CAP FIRST SUBMITTAL ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING	Required
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Copy of previously recorded Final Orders if applicable.	
14	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recordation data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
15	Vacant or Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Department.	
16	Historic Resources Report (This report shall include, but shall not be limited to, copy of the original Building Permit Card and any subsequent evolution, Microfilm, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure).	
17	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
18	Line of Sight studies.	
19	Structural Analysis of existing building including methodology for shoring and bracing.	
20	Proposed exterior and interior lighting plan, including photometric calculations.	
21	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
22	Neighborhood Context Study.	
23	Required yards open space calculations and shaded diagrams.	
24	Required yards section drawings.	
25	Variance and/or Waiver Diagram	
26	Schematic signage program	
27	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
28	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
29	Daytime and nighttime renderings for illuminated signs.	
30	Floor Plan Indicating area where alcoholic beverages will be displayed.	
31	Survey showing width of the canal (Dimension shall be certified by a surveyor)	

Indicate N/A If Not Applicable

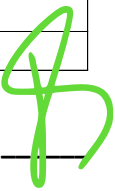
Initials: *[Signature]*

Planning Department, 1700 Convention Center Drive 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

Property address:

32	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
33	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
34	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
35	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
36	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
37	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
38	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
39	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review.	
40	Sound Study report (Hard copy) with 1 CD.	
41	Site Plan (Identify streets and alleys)	
a	Identify: setbacks ____ Height ____ Drive aisle widths ____ Streets and sidewalks widths ____	
b	# parking spaces & dimensions ____ Loading spaces locations & dimensions ____	
c	# of bicycle parking spaces ____	
d	Interior and loading area location & dimensions ____	
e	Street level trash room location and dimensions ____	
f	Delivery route ____ Sanitation operation ____ Valet drop-off & pick-up ____ Valet route in and out ____	
g	Valet route to and from ____ auto-turn analysis for delivery and sanitation vehicles ____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
42	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors ____ outdoors ____ seating in public right of way ____ Total ____	
c	Occupancy load indoors and outdoors per venue ____ Total when applicable ____	
43	In the Letter of Intent include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	
44	In the Letter of Intent for Variances include and respond to all review guidelines in the code as follows:	
a	Section 118-53 (a) of the City Code for each Variance.	
45	In the Letter of Intent for Planning Board include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU -Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	

Indicate N/A If Not Applicable

Initials: 

Planning Department, 1700 Convention Center Drive 2nd Floor
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550


Property Address:

ITEM #	CAP FINAL SUBMITTAL: Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. To be uploaded online (CAP) by the applicant before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper final submittal or to continue if the application is still incomplete.
46	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior CAP Final submittal.

ITEM #	PAPER FINAL SUBMITTAL:	Required
47	Original application with all signed and notarized applicable affidavits and disclosures.	X
48	Original of all applicable items.	X
49	One (1) signed and sealed 11"x17" bound, collated set of all the required documents.	X
50	14 collated copies of all the above documents	X
51	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see details for CD/DVD formatting.	X
52	Traffic Study (Hard copy)	
53	Mailing Labels - 2 printed sets and a CD including: Property owner's list and Original certified letter from provider.	X

NOTES:

- A. Other information/documentation required for first submittal will be identified during pre-application meeting.
- B. Is the responsibility of the applicant to make sure that the CAP submittal, Paper Submittal (sets, 14 copies) and electronic version on CD are consistent.
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board.
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval, as applicable.


 Applicant's or designee's signature

8-18-17
 Date

Indicate N/A If Not Applicable

Initials: 

ITEM # 3—BOARD APPLICATION

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
- ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☐ DESIGN REVIEW BOARD
- ☐ DESIGN REVIEW APPROVAL
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☒ HISTORIC PRESERVATION BOARD
- ☒ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - ☐ HISTORIC DISTRICT / SITE DESIGNATION
 - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☐ PLANNING BOARD
- ☐ CONDITIONAL USE PERMIT
 - ☐ LOT SPLIT APPROVAL
 - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
- ☐ FLOOD PLAIN WAIVER
- ☐ OTHER _____

SUBJECT PROPERTY ADDRESS: Proposed wireless small cell infrastructure on the public right of way.

Coordinates: Latitude 25.783897 Longitude -80.130142 X:985077.492, Y: -5661824.119

Approximate pole address: 102 13 Street, Miami Beach, Florida 33139

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A" See survey (public right of way)

FOLIO NUMBER (S) _____

1. APPLICANT: ☐ OWNER OF THE SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT
☐ ENGINEER ☐ CONTRACTOR ☒ OTHER (infactructure owner)

NAME MOBILITIE, LLC

ADDRESS 3475 Piedmont Rd NE, Suite 1000, Atlanta, GA, 30305

BUSINESS PHONE (786) 910-4309

CELL PHONE (786) 910-4309

E-MAIL ADDRESS Oraez@mobilitie.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME Same as applicant

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S): N/A

☐ ATTORNEY:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

☒ AGENT:

NAME Orlando Raez

ADDRESS 3450 Lakeside Drive, Suite 301, Miramar, FL 33027

BUSINESS PHONE (786) 910-4309

CELL PHONE (786) 910-4309

E-MAIL ADDRESS oraez@mobilite.com

☐ CONTACT:

NAME _____

ADDRESS _____

BUSINESS PHONE _____

CELL PHONE _____

E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☐ ARCHITECT ☐ LANDSCAPE ARCHITECT ☒ ENGINEER ☐ CONTRACTOR ☐ OTHER: _____

NAME Stephen Bray

ADDRESS 1800 Route 34 Wall NJ 07719

BUSINESS PHONE (732) 280-5623

CELL PHONE _____

E-MAIL ADDRESS sbray@kmbcompanies.com

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

MOBILITIE, LLC seeks to replace an existing street light with one wireless infrastructure integrated with a streetlight in the public rights of way in the City of Miami Beach in order to improve the capacity and coverage of cellular devices within the City.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☐ YES ☒ NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☐ YES ☒ NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) n/a SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). _____ SQ. FT.
-

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
 - ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
 - TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).
-

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☐ OWNER OF THE SUBJECT PROPERTY

☒ AUTHORIZED REPRESENTATIVE

SIGNATURE: _____

PRINT NAME: _____

Orlando Raez

FILE NO. _____

NOT APPLICABLE

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

**ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY**

(Circle one)

STATE OF GeorgiaCOUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn, depose and certify as follows: (1) I am the NRE Manager (print title) of MOBILITIE, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 18th day of August, 2017. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires: _____

_____
NOTARY PUBLIC_____
Gadiel Rosario-Rivera, NRE Manager_____
PRINT NAME

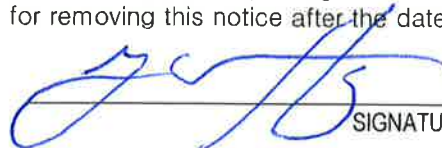
FILE NO. _____

POWER OF ATTORNEY AFFIDAVIT

STATE OF Georgia
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Orlando Raez to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Gadiel Rosario-Rivera, NRE Manager
PRINT NAME (and Title, if applicable)


SIGNATURE

Sworn to and subscribed before me this 18th day of August, 20 17. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires




NOTARY PUBLIC

Erin E. Scott

PRINT NAME

NOT APPLICABLE

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

NOT APPLICABLE

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

NOT APPLICABLE

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME

NAME AND ADDRESS

% INTEREST

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	NONE		
b.			
c.			

Additional names can be placed on a separate page attached to this form.

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Georgia

COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.


SIGNATURE

Sworn to and subscribed before me this 18th day of August, 20 17. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP




NOTARY PUBLIC

My Commission Expires:

Erin E. Scott

PRINT NAME

FILE NO. _____

ITEM # 4—LETTER OF INTENT

October 6th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Board Applications for Light Pole replacements with Small-Cell Stealth Light Poles on the public right-of-way

Dear Board Members and City Staff:

This letter intends to serve as Mobilitie, LLC's "Letter of Intent" in regards to our proposed small-cells infrastructure on the public rights-of-way within the City of Miami Beach, FL. Mobilitie is a wireless infrastructure company that develops intelligent infrastructure solutions to densify and optimize wireless carriers services and geographic reach. Mobilitie LLC possesses a Certificate to provide Alternative Access Vendor services from the Florida Public Service Commission. Mobilitie LLC is also registered with the City of Miami Beach, pursuant to City Code Section 104-4, as a communications services provider.

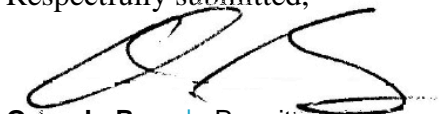
Mobilitie LLC works with all wireless carriers to enhance services throughout the country. Our design optimizes the performance of wireless networks by taking into consideration customer usage behaviors, terrain, obstructions, points-of-interest, and local guidance and ordinances. Mobilitie LLC's small-cell network within the City of Miami Beach will be utilized by Sprint, a wireless carrier, to fill in network deficiencies as a result of high demand for high-speed wireless service in the City.

During pre-application meetings with the City of Miami Beach Planning Department staff, it was expressed that the City of Miami Beach had spent two years developing an acceptable stealth design with a competitor. Although there are additional costs associated with the stealth design for our company, Mobilitie, LLC decided to work cooperatively with the City of Miami Beach and integrated the stealth design for our small-cell equipment installations. Our competitor has already pulled and replaced dozens of street light poles with stealth telecommunication light poles after getting permits from the City. Mobilitie LLC is effectively proposing to do the same. As required during our meetings with Planning Department staff, we have also reserved an area inside each pole should another wireless carrier which to utilize our poles for their equipment (reserved area is marked on plans).

REQUEST FOR APPROVAL

Mobilitie respectfully requests that the City review and approve the attached applications supplemented with the enclosed information. Mobilitie values the City's input on our proposal, and will work closely with the City to address any other concerns with our proposal, such as location, height, and pole color. Mobilitie looks forward to working with the City of Miami Beach and values its partnership in order to provide your constituents and visitors with high-speed connectivity. Thank you for your attention to this matter.

Respectfully submitted,



Orlando Raez | Permitting Manager
oraez@mobilitie.com
786 910 4309 mobile
www.mobilitie.com

October 9th, 2017

Photo-Simulation

Subject: (approximate pole address) 102 13th Street, Miami Beach, FL 33139

Legal Description: Public right of way

Pole Height: 30 feet

Note: pole color will match existing street light pole color unless otherwise directed by the City of Miami Beach. Photo-simulation is not to scale.



ITEM # 5—MAILING LABELS

October 9th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Property Owners list within 375 feet of:

Subject: (approximate pole address) 102 13th Street, Miami Beach, FL 33139

Legal Description: Public right of way

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Total number of property owners without repetition: 503, including 20 international.

Respectfully submitted,

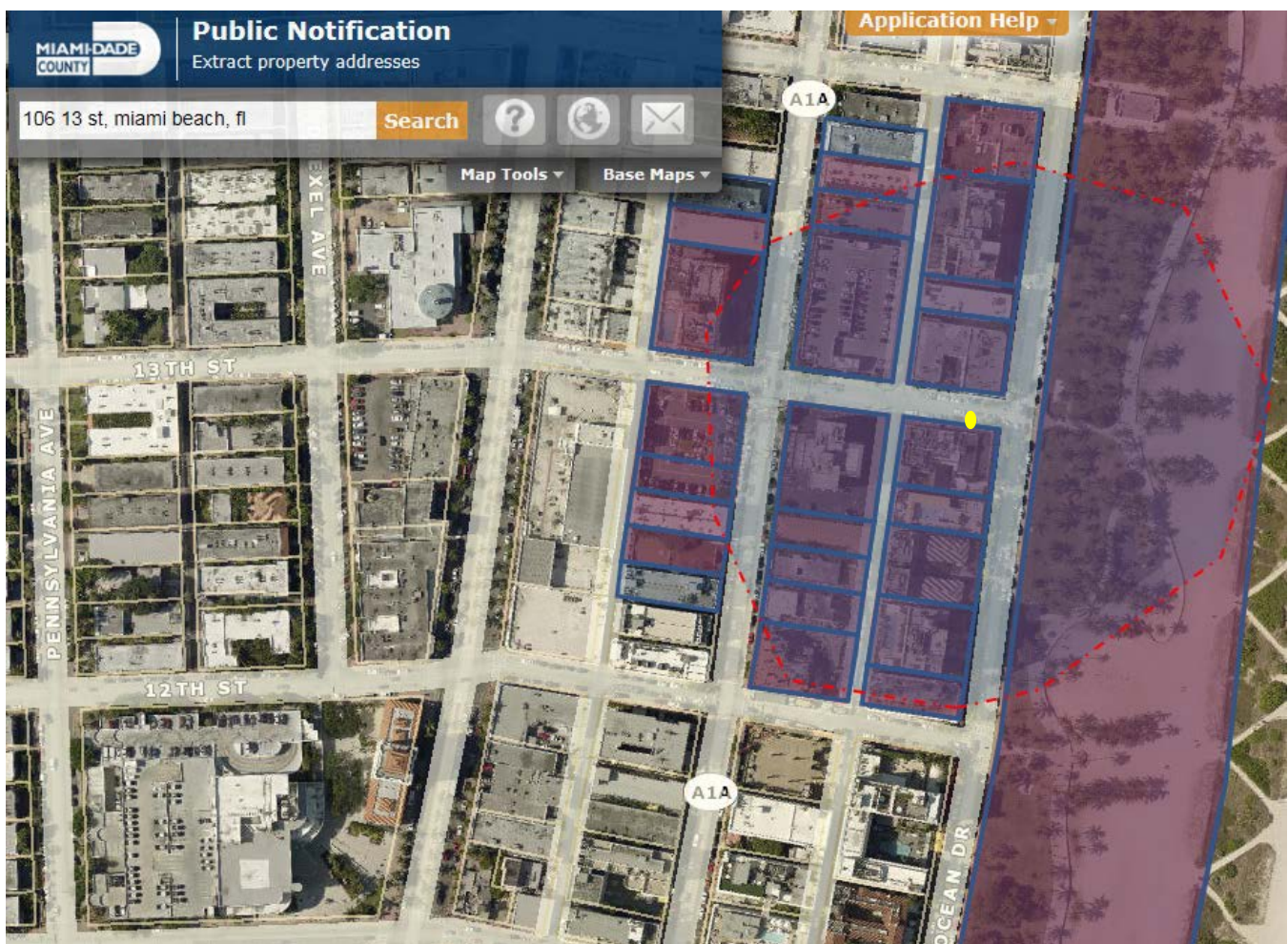


Orlando Raez | Permitting Manager
oraez@mobilitie.com
786 910 4309 mobile
www.mobilitie.com

October 9th, 2017

City of Miami Beach
1700 Convention Center Drive
Miami Beach, FL 33139

375-Foot Radius Map



Subject: (approximate pole address) 102 13th Street, Miami Beach, FL 33139

Legal Description: Public right of way

Source: Miami Dade County Property Appraiser, <http://gisweb.miamidade.gov/PublicNotification/>

Property Owner	Address	City	State	Zip Code	Country
R V TRADING LTD	PO BOX N65% PRIVATE TR CORP	NASSAU		-	BAHAMAS
SHARIE REECE	130 BLOOMSBURY AVE	BRAMPTON ONTARIO L6P 2X2		-	CANADA
JACK ZYLBERBERG	6800 MACDONALD AVE # 609	COTE ST-LUC QUEBEC		-	CANADA
ERNEST ORTINO &W ADRIANA	11904 WOODBINE AVE	GORMEY-ONTARIO		L0H 1G0	CANADA
MELO PROPERTIES PARTNERSHIP	1183 OSTLER CRESCENT	MISSISSAUGE ONTARIO L5C3G5		-	CANADA
LUC PLAMONDON	238 RUE LAURIER WEST	MONTREAL	QC	H2T2N8	CANADA
NORMAN EDWARD TAYLOR	699 MARY STREET N	OSHAWA ONTARIO L1G5G1		-	CANADA
ANNE BLANK	4912 LACOMBE AVE MONTREAL	QUEBEC H3W 1R7		-	CANADA
REGINA ALLOUL	1105 MILTON AVE CHOMEDEY LAVAL	QUEBEC H7W 1V9		-	CANADA
ZENA R MOISEY	22-51025 RANGE RD #222	SHERWOOD PARK AB		-	CANADA
DARYL D JONES	8 CONWAY CRESCENT	ST JOHNS NL A1A 2A9		-	CANADA
VLADIMIR BREGMAN	15 BAYFIELD CRESENT	TORONTO ON M4K 2V5		-	CANADA
ELMER MATHIAS OLSEN	388 BLOOR ST 2102	TORONTO ON M4W 3W9		-	CANADA
BRENT TREPEL	847 WELLINGTON CRESCENT	WINNIPEG MB R3M 0A7		-	CANADA
OAKSHIRE HOLDINGS LIMITED	201 CREDITVIEW RD	WOODBIDGE ON L4T 9T1		-	CANADA
PAUL SCHUBERT	SATZBACH 11	THYRNAU 94136		-	GERMANY
PIERENRICO CASSONI &W	VIA VALEGGIO 28	I 1012 TORINO		-	ITALY
SABINA BELYAKOVA	PEROVSKAYA ST 40-3 APT. 14	MOSCOW		111141	RUSSIA
MARK AMERY &	FLAT 1 27 NETHERHALL GARDENS	LONDON NW3 SRL		-	UNITED KINGDOM
ALEXANDER KHEIN	PENTHOUSE D MONTROSE CT	LONDON SW7 2QG		-	UNITED KINGDOM
CITY OF MIAMI BEACH FLA	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139-1819	USA
OCEAN HOTELS INVESTMENTS CORP	1414 COLLINS AVE	MIAMI BEACH	FL	33139	USA
1236 OCN DR LLC	1400 BROADWAY 15 FLOOR	NEW YORK	NY	10018	USA
CG TIDES LLC	2915 BISCAYNE BLVD STE 300	MIAMI	FL	33137	USA
INFINITY 1200 OCEAN DRIVE LLC	1407 BROADWAY 30TH FL	NEW YORK	NY	10018	USA
CG TIDES VILLAGE LLC	3200 STIRLING RD	HOLLYWOOD	FL	33021	USA
ENGEOCOM COLLINS LLC	2525 PONCE DE LEON BLVD 4 FLOOR	CORAL GABLES	FL	33134	USA
VENTURA CAPITAL ONE LLC	2733 SW 27 AVE	MIAMI	FL	33133	USA
HOTEL CARDOZO INC	420 JEFFERSON AVE	MIAMI BEACH	FL	33139-6503	USA

Property Owner	Address	City	State	Zip Code	Country
CITY OF MIAMI BEACH	1700 CONVENTION CENTER DR	MIAMI BEACH	FL	33139-1819	USA
1343 COLLINS AVENUE LLC	100 WILSHIRE BLVD #1750	SANTA MONICA	CA	90401	USA
JEOMILL REALTY CORP	138 E 31 ST C1	NEW YORK	NY	10016	USA
1330 COLLINS LLC	16885 DALLAS PARKWAY	ADDISON	TX	75001	USA
1300 COLLINS REALTY	1300 COLLINS AVE #100	MIAMI BEACH	FL	33139-4234	USA
1238 COLLINS AVE CORP	9441 E. BROADVIEW DR	BAY HARBOR ISLANDS	FL	33154	USA
AZCO INVESTMENTS LLC	1239 COLLINS AVE	MIAMI BEACH	FL	33139	USA
1220 COLLINS AVENUE INC	1220 COLLINS AVE	MIAMI	FL	33139	USA
CHARLES W MOSCHOS	1255 COLLINS AVE #201	MIAMI BEACH	FL	33139-4623	USA
H&M MIAMI INVESTMENTS L L C	4010 SAN AMARO DR	CORAL GABLES	FL	33146	USA
LUCAS BOND	1255 COLLINS AVE 206	MIAMI BEACH	FL	33139	USA
807 INVESTMENT CORP	1055 WASHINGTON AVE	MIAMI BEACH	FL	33139-5017	USA
ISLANDER 208 LLC	1492 SOUTH MIAMI AVE	MIAMI	FL	33130	USA
LOUISE RAMIREZ &	219 NE 14 AVE #304	HALLANDALE BEACH	FL	33009	USA
JUAN CARLOS LOPEZ &W LAURA M	200 S BISCAYNE BLVD #2900	MIAMI	FL	33131-5324	USA
MIGUEL A INGUANZO &W MARIA M	3100 SW 130 AVE	MIAMI	FL	33175-2514	USA
JUAN A PASCUAL	7951 NW 166 ST	HIALEAH	FL	33016	USA
AUGUSTIN J BUNUEL	2201 BRICKELL AVE #58	MIAMI	FL	33129-2134	USA
JDGC LLC	7750 NW 5 ST	PEMBROKE PINES	FL	33024	USA
STPAC INC	1255 COLLINS AVE #307	MIAMI BEACH	FL	33139-4639	USA
BARBARA MICHELETTI	2954 CARAMBOLA CIR S	COCONUT CREEK	FL	33066	USA
CLECIO EUGENIO PRIMO	28233 N VIA SONATA DR	VALENCIA	CA	91354	USA
JOSE MIGUEL GONZALEZ PEREZ	PO 10677 CAPARRA STATION	SAN JUAN	PR	00922-0677	USA
GARY T KANE	1255 COLLINS AVE 404	MIAMI BEACH	FL	33139	USA
GEORGINA LOPEZ	1255 COLLINS AVE #405	MIAMI BEACH	FL	33139-4640	USA
ELIZABETH VENTO	100 SW 30TH RD	MIAMI	FL	33129-2724	USA
GEORGE E WOLLNER TRS	701 PENNSYLVANIA AVE NW 1123	WASHINGTON	DC	20004	USA
MARIA E FRAGA &	PO BOX 190915	SAN JUAN	PR	00919	USA
XANAS INVESTMENT CORP	5800 W 13 AVE	HIALEAH	FL	33012-6355	USA

Property Owner	Address	City	State	Zip Code	Country
EDUARDO J ELIZONDO JTRS	110 W SUNRISE AVE	CORAL GABLES	FL	33133	USA
SIGFRIDUS F JORNA	1255 COLLINS AVE #503	MIAMI BEACH	FL	33139-4640	USA
ISLANDER 504 LLC	1492 SOUTH MIAMI AVE	MIAMI	FL	33130	USA
ISLANDER 505 LLC	1492 SOUTH MIAMI AVE	MIAMI	FL	33130	USA
GIANNI ROBERTO MARIA PAOLUCCI	1255 COLLINS AVE # 508	MIAMI BEACH	FL	33139	USA
GARY KANE	1255 COLLINS AVE #601	MIAMI BEACH	FL	33139	USA
I MARY CORRIEA JTRS	11030 NW 62 AVE	HIALEAH	FL	33012	USA
CARMEN MORRINA JTRS	7030 W 12 LN	HIALEAH	FL	33011	USA
ISLANDER 604 LLC	1492 S MIAMI AVE	MIAMI	FL	33130	USA
E BRUCE BERMAN &	1255 COLLINS AVE #605	MIAMI BEACH	FL	33139-4642	USA
MARCOS F ALMEIDA	1255 COLLINS VE #606	MIAMI BEACH	FL	33139	USA
PHILIPPE LASCAR	90 ALTON RD #104	MIAMI BEACH	FL	33139	USA
JOHN WOOD	10074 MARION RD	PRINCETON	KY	42445	USA
MARIA M INGUANZO	3100 SW 130 AVE	MIAMI	FL	33175-2514	USA
SYLVAN G FELDSTEIN	395 RIVERSIDE DR APT 1C	NEW YORK	NY	10025	USA
RAYMOND FAILER &W	10275 COLLINS AVE #222	BAL HARBOUR	FL	33154-1420	USA
MARIA LUISA PUYANS	1255 COLLINS AVE 704	MIAMI BEACH	FL	33139	USA
AGUSTIN J BUNUEL	2201 BRICKELL AVE #58	MIAMI	FL	33129-2134	USA
TERESA BAILEY	130 S AMMONS ST	LAKEWOOD	CO	80226	USA
ISMELIA M CORREIA JTRS	11030 NW 62 AVE	HIALEAH	FL	33012	USA
MARINA FRAGA TRS	8275 SW 5 ST	MIAMI	FL	33144	USA
JEFFREY WATSON TRS	82 WOOD PLACE	ROSWELL	GA	30075	USA
I MARY CORREIA JTRS	11030 NW 62 AVE	HIALEAH	FL	33012	USA
PATRICIA NAZAR	1255 COLLINS AVE # 806	MIAMI BEACH	FL	33139	USA
MIRIELA MARCOS	1255 COLLINS AVE 807	MIAMI BEACH	FL	33139	USA
PATRICIA QUINTANA	1255 COLLINS AVE #808	MIAMI BEACH	FL	33139-4644	USA
JAIME NAVARRO	8315 MENTEITH TER	MIAMI LAKES	FL	33016	USA
JULIA P REED	1255 COLLINS AVE #903	MIAMI BEACH	FL	33139-4644	USA
CLAUDIO MUNS	1255 COLLINS AVE #904	MIAMI BEACH	FL	33139-4644	USA

Property Owner	Address	City	State	Zip Code	Country
GABRIEL FERNANDEZ & JORGE MOYA	7810 COQUINA DR	NORTH BAY VILLAGE	FL	33141	USA
FRANCISCO MANSILLA JTRS	1255 COLLINS AVE UNIT 908	MIAMI	FL	33139	USA
JOAN S DRUMMOND BRANSON	1150 COLLINS AVE	MIAMI	FL	33139	USA
NILDA SARLABOUS	1334 COLLINS AVE #201	MIAMI BEACH	FL	33139-4221	USA
RAQUEL MANTILLA	1334 COLLINS AVE # 301	MIAMI BEACH	FL	33139-4221	USA
TAMARIN HOLDINGS LLC	1680 MICHIGAN AVE #700	MIAMI BEACH	FL	33139	USA
ANTONIO RIFA	1334 COLLINS AVE UNIT 501	MIAMI BEACH	FL	33139-4227	USA
HANK OLSON	1334 COLLINS AVE UNIT 601	MIAMI BEACH	FL	33139-4228	USA
ELI DA SILVA	1334 COLLINS AVE #202	MIAMI BEACH	FL	33139	USA
JEFFREY GOTTESMAN	407 RED BUD WAY	NEVADA CITY	CA	95959	USA
MABEL CHORENS	1334 COLLINS AVE 402	MIAMI	FL	33139	USA
FE MILAGROS CARBONELL JTRS	1334 COLLINS AVE 502	MIAMI BEACH	FL	33139-4244	USA
EMMA D SHANER	1334 COLLINS AVE UNIT 602	MIAMI BEACH	FL	33139-4228	USA
HOUSHIG A TEJIRIAN	1334 COLLINS AVE #303	MIAMI BEACH	FL	33139	USA
ELIZABETH BORBOLLA	13309 SW 1 ST	MIAMI	FL	33184-1170	USA
MATTHEW C KOBIN TRS	25981 MCKENNA CT	LAKE FOREST	CA	92680	USA
JEAN C ROMERO	1334 COLLINS AVE APT #204	MIAMI	FL	33139	USA
CARMI REAL ESTATE FLORIDA CORP	1334 COLLINS AVE #304	MIAMI BEACH	FL	33139	USA
TIMOTHY CHARLES GRAY	1334 COLLINS AVE #404	MIAMI BEACH	FL	33139-4227	USA
RAFAEL ALVAREZ	3865 W 8 CT	HIALEAH	FL	33012	USA
MANUEL SIQUES &W LUCILA ET ALS	8331 SW 12 TERR	MIAMI	FL	33144	USA
ABDULLAH BAIG	1390 OCEAN DR #101	MIAMI BEACH	FL	33139	USA
GHAHS LLC	1691 MICHIGAN AVENUE #320	MIAMI BEACH	FL	33139	USA
MICHAEL S MORT	PO BOX 255	MC LEAN	VA	22101-0255	USA
JANE KRUPP	1390 OCEAN DRIVE #401	MIAMI BEACH	FL	33139-4246	USA
WILLIAM O HOLCOMBE &W JEAN W	1390 OCEAN DRIVE #501	MIAMI BEACH	FL	33139-4246	USA
IRVING DANESH	1390 OCEAN DR 102	MIAMI BEACH	FL	33139	USA
CHRISTENE HARTKORN	1390 OCEAN DR UNIT 202	MIAMI BEACH	FL	33139-4245	USA
ARTHUR LOUIS STEPHENS TRS	719 E HERRING AVE	WEST COVINA	CA	91790	USA

Property Owner	Address	City	State	Zip Code	Country
ROSY CANCELA	145 JEFFERSON AVE UNIT 442	MIAMI BEACH	FL	33139	USA
MIAMI BEACH CTC INC	8301 NW 197 STREET	MIAMI	FL	33015	USA
PAUL ANDRE MAN SON HING	1390 OCEAN DR UNIT#103	MIAMI BEACH	FL	33139	USA
NORMAN LEVENSON TRS	1390 OCEAN DR # 203	MIAMI BEACH	FL	33139	USA
KURT MATIS	1390 OCEAN DR #303	MIAMI BEACH	FL	33139	USA
OLIVIER ADAM	219 E 49 ST APT 3	NEW YORK	NY	10017	USA
OCEAN CITY VIEW INC	1390 OCEAN DRIVE #503	MIAMI BEACH	FL	33139-4246	USA
JOHN PETER VERONESI	61 MASSACHUSETTS AVE	LONGMEADOW	MA	01106	USA
DANIEL ROBERT WASSEM	2411 NORTH HALL ST #29	DALLAS	TX	75204	USA
CRISTALLO REAL ESTATE INC	255 OCEANIC AVE	FORT LAUDERDALE	FL	33308	USA
FIRST COMMER MGMT SERV INC	7348 NW 8 ST	MIAMI	FL	33126-2922	USA
JOHN I REUBENS	1390 OCEAN DR #205	MIAMI BEACH	FL	33139-4245	USA
HERBERT F HOFER	1390 OCEAN DR #305	MIAMI BEACH	FL	33139	USA
ZORI HAYON TRS	PO BOX 19 1678	MIAMI BEACH	FL	33119	USA
CARLO ROMAGNOLI	1390 OCEAN DR UNIT 505	MIAMI BEACH	FL	33139-4224	USA
VICTOR KANEFSKY &W ALICE G	11 WYNDHAM RD	SCARSDALE	NY	10583	USA
BRUCE ATLAS GORDON	1390 OCEAN DR 306	MIAMI BEACH	FL	33139	USA
PESCIOLINO LLC	2378 SW 26 LN	MIAMI	FL	33133	USA
ANGEL L PALACIOS	1390 OCEAN DR #506	MIAMI BEACH	FL	33139	USA
DONALD A WORTH &W NINA WEBER	1390 OCEAN DRIVE #207	MIAMI BEACH	FL	33139-4245	USA
SALVADOR MIRANDA	1390 OCEAN DR UNIT 307	MIAMI BEACH	FL	33139-4245	USA
BILL KALYVAS	680 76 AVE	ST PETE BEACH	FL	33706	USA
MAGOLP LLC	100 LINCOLN ROAD UNIT 939	MIAMI BEACH	FL	33139	USA
E D Y INC	1051 WASHINGTON AVE	MIAMI BEACH	FL	33139-5017	USA
1502 PANORAMIC VIEW INC	1455 OCEAN DR #1502	MIAMI BEACH	FL	33139-4141	USA
NETHERLAND MEZZ LLC	676 N MICHIGAN AVE 3700	CHICAGO	IL	60611	USA
ARNOLD W DONALD TRS	1330 OCEAN DR 3C A	MIAMI BEACH	FL	33139	USA
SCARLET FIRE LLC	676 N MICHIGAN AVE 3700	CHICAGO	IL	60611	USA
OCEAN DRIVE CLEVELANDER INC	1455 OCEAN DRIVE # 1502	MIAMI BEACH	FL	33139	USA

Property Owner	Address	City	State	Zip Code	Country
MIAMI RIVER CAT LLC	1455 OCEAN DR 1502	MIAMI BEACH	FL	33139	USA
IMCRO S A	1330 OCEAN DR UNIT 5A	MIAMI BEACH	FL	33139-4257	USA
BANK OF NEW YORK MELLON	4500 AMON CARTER BLVD	FORT WORTH	TX	76155	USA
TRIPLE SKY LLC	1330 OCEAN DR #R5D	MIAMI BEACH	FL	33139	USA
TIZIANA IDONE & GIULIO IDONE JTRS	8370 W FLAGLER ST #125	MIAMI	FL	33144	USA
MARTIN NIXDORF	12900 STROH RANCH PL STE 200	PARKER	CO	80134	USA
EUGENE E STARK (TRS)	1330 OCEAN DR #R7B	MIAMI BEACH	FL	33139	USA
JOHN ADAMS	1330 OCEAN DR #R7C	MIAMI BEACH	FL	33139	USA
SCARLET BEGONIAS LLC	5373 FISHER ISLAND DR	MIAMI BEACH	FL	33109	USA
STEVEN D BALAAM	1455 OCEAN DRIVE #BH-01	MIAMI BEACH	FL	33139	USA
ELYCE K REMBOS TRS	311 N MONROE ST	HINSDALE	IL	60521	USA
ROSS F MARCHETTA	1455 OCEAN DR BH03	MIAMI BEACH	FL	33139	USA
DAVID T KOLLAT (TRUST)	1455 OCEAN DR #404	MIAMI BEACH	FL	33139-4137	USA
BARRY B SIADAT	1455 OCEAN DR BH-05	MIAMI BEACH	FL	33139	USA
GEORGE LINDEMANN REVOCABLE TRUST	1455 OCEAN DR #BH-06	MIAMI BEACH	FL	33139	USA
G SOUTH BEACH CORP	1680 MICHIGAN AVE #913	MIAMI BEACH	FL	33139	USA
JAMES H WINSTON JR	1455 OCEAN DR 802	MIAMI BEACH	FL	33139-4133	USA
GHASSAN S SALAMEH TRS	1455 OCEAN DR 901	MIAMI BEACH	FL	33139	USA
PAUL E CARUSO & W GAIL S	184 BERTHA PLACE	STATEN ISLAND	NY	10301	USA
MYRNA FEINERMAN TRS	1455 OCEAN DR 1401	MIAMI BEACH	FL	33139	USA
STEPHEN ALEX	1455 OCEAN DR #804	MIAMI BEACH	FL	33139-4140	USA
IVAN SELIN & W NINA E	1455 OCEAN DR #1602	MIAMI	FL	33139	USA
JERRY & LINDA BRUCKHEIMER TRS	16030 VENTURA BLVD	ENCINO	CA	91436	USA
MARK E HARRINGTON	137 NEWBURY ST 5 FLR	BOSTON	MA	02116	USA
ERNESTO GRINBERG & W	1455 OCEAN DR #702	MIAMI BEACH	FL	33139-4137	USA
JAMES WINSTON JR	1455 OCEAN DR #802	MIAMI BEACH	FL	33139-4116	USA
NELSON A TERZIAN & W DEBORAH A	1455 OCEAN DR #902	MIAMI BEACH	FL	33139-4139	USA
RONNIE H LEFF LESSEE	1455 OCEAN DR 1002	MIAMI BEACH	FL	33139-4133	USA
BEACHLIFE DLM LTD	4770 BISCAYNE BLVD 1100	MIAMI	FL	33137	USA

Property Owner MARK E ATKINS	Address ONE CHARLES STREET SOUTH PH 2B	City BOSTON	State MA	Zip Code 02116	Country USA
IVAN SELIN &W NINA	1455 OCEAN DR #TS- 1602	MIAMI BEACH	FL	33139-4133	USA
SAM HINSON	1455 OCEAN DR 703	MIAMI BEACH	FL	33139	USA
ELENA P CARRILLO	1327 N GREENWAY DR	CORAL GABLES	FL	33134-4715	USA
GHASSAN S SALAMEH TRS &	308 BRENTFORD RD	HAVERFORD	PA	19041	USA
RANDOLPH H KNIGHT TRS	PO BOX 8209	ST THOMAS	VI	00801	USA
GARY CREAGH	1455 OCEAN DR UNIT 1103	MIAMI	FL	33139	USA
LEWIS COHEN	1455 OCEAN DR 1404	MIAMI	FL	33139	USA
ALBERTO AGUDELO (TRUST)	1455 OCEAN DR #1503	MIAMI BEACH	FL	33139-4141	USA
SURALEX INTERNATIONAL CORP	1455 OCEAN DR #1603	MIAMI BEACH	FL	33139	USA
WILLIAM J HARNETT	1455 OCEAN DR #604	MIAMI BEACH	FL	33139-4137	USA
GARY GOODMAN &W ENID	3550 WABEEK LAKE DRIVE EAST	BLOOMFIELD HILLS	MI	43802-4137	USA
ECLIPTIC CORPORATION	2237 N COMMERCE PARKWAY	WESTON	FL	33332	USA
WILLIAM H ROEDY	1455 OCEAN DR #1005	MIAMI BEACH	FL	33139	USA
EMFER INC	1455 OCEAN DR # 1104	MIAMI BEACH	FL	33139	USA
AIDEA DESIGNS MIAMI LLC	1455 OCEAN DR 1204	MIAMI BEACH	FL	33139	USA
LEWIS COHEN &W KARON	1455 OCEAN DRIVE 1404	MIAMI	FL	33139	USA
WAYNE FERGUSON	1455 OCEAN DR #1504	MIAMI BEACH	FL	33139-4141	USA
JEROME L & LINDA BRUCKHEIMER TRS	16030 VENTURA BLVD	ENCINO	CA	91436	USA
ARUN K PURI TR	8950 SW 74 CT #1704	MIAMI	FL	33156	USA
HENRY J SMEK &W STANIA	1455 OCEAN DR #805	MIAMI BEACH	FL	33139-4139	USA
T WOODRUFF	3575 CHERRY CREEK N DR	DENVER	CO	80209	USA
OCEANVIEW 1105 LLC	201 ALHAMBRA CIR #601	CORAL GABLES	FL	33134	USA
JOHN F YEE LE	1455 OCEAN DR #1205	MIAMI BEACH	FL	33139	USA
MICHAEL D RUDD TRS	1455 OCEAN DR 1405	MIAMI BEACH	FL	33139-4133	USA
EDUARDO CUE(C0-TRS)	26491 ASCENSION DR	LOS ALTOS	CA	94024	USA
MARCREST TRADING LIMITED	1441 BRICKELL AVE 17 FLOOR	MIAMI	FL	33131	USA
PAUL G WALLNER	1455 OCEAN DR #PH- 03	MIAMI BEACH	FL	33139-4133	USA

Property Owner	Address	City	State	Zip Code	Country
DAVID G HELFRICH	1455 OCEAN DRIVE #706	MIAMI BEACH	FL	33139	USA
PRETORIA ESTATE AG	1455 OCEAN DR #806	MIAMI BCH	FL	33139-4139	USA
DELBERT CLARK	1455 OCEAN DR #906	MIAMI BEACH	FL	33139-4139	USA
LUCIANO CAPICCHIONI TRS	1455 OCEAN DR #1106	MIAMI BEACH	FL	33139	USA
JACK FRIEDEN &W JODIE FRIEDEN	1056 DOWNSHIRE CHASE	VIRGINIA BEACH	VA	23452	USA
STEPHEN WOOD	223 LEGGET RD	HIGH FALLS	NY	12440	USA
MARY J HERNANDEZ GARTNER	6443 DESCO DR	DALLAS	TX	75225	USA
ROBERTO J CALDERON &W LINDA A	1455 OCEAN DR #607	MIAMI BEACH	FL	33139-4137	USA
SCOTT J GIORDANO JTRS	12 WEST 72 ST APT 20A	NEW YORK	NY	10023	USA
JUDITH KOPPEL LE	1455 OCEAN DR APT 807	MIAMI BEACH	FL	33139	USA
CELIA ABERMAN	1455 OCEAN DR #907	MIAMI BEACH	FL	33139	USA
ALFRAMAX LLC	1455 OCEAN DR #1007	MIAMI BEACH	FL	33139	USA
DAVID M GOLDSTEIN	1455 OCEAN DR UNIT 1207	MIAMI	FL	33139	USA
LANI A PAYNE	1455 OCEAN DR UNIT 1407	MIAMI BEACH	FL	33139	USA
ERIC N CHEN	2637 E ATLANTIC BLVD #13888	POMPANO BEACH	FL	33062	USA
RIAD A KABAKIBI	1455 OCEAN DR 1607	MIAMI BEACH	FL	33139	USA
ALFRED C LIGGINS III TR	1455 OCEAN DRIVE # 608	MIAMI	FL	33139-4137	USA
DAVID S CARUSO (TR) &	269 S BEVERLY DR #1089	BEVERLY HILL	CA	90210	USA
CARL FUSCO	1455 OCEAN DR	MIAMI	FL	33139	USA
DIMITRIOS PAPAS &W VIOLA	1216 BEAUBIEN ST	DETROIT	MI	48226	USA
ELLEN TAUB	1455 OCEAN DR 1008	MIAMI BEACH	FL	33139	USA
MOLLIE F ZWEIG	PO BOX 5108	EAST HAMPTON	NY	11937	USA
TOM SHAFRON TR	1455 OCEAN DR APT 1208	MIAMI BCH	FL	33139-4140	USA
JOSEPH FRIEDMAN	10 DOCK LANE	KINGS POINT	NY	11024	USA
THOMAS H MORGAN TRS	1455 OCEAN DR #1508	MIAMI BEACH	FL	33139	USA
BERGSOUTH BEACH PROPERTIES LLC	9 ELMHIRST DRIVE	OLD WESTBURY	NY	11568	USA
CHARLES VICTOR BRICK	1455 OCEAN DR #709	MIAMI	FL	33139	USA
DAVID ALMEIDA	1455 OCEAN DR #809	MIAMI BEACH	FL	33139	USA
COSTA VILLAGGIO HOLDING CO LLC	2 AVERY ST #34-E	BOSTON	MA	02111	USA

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EKAL LLC	10931 N DALE MABRY HWY	TAMPA	FL	33618	USA
JOSEPH HARRISON WILLNER TRS	1455 OCEAN DR #1109	MIAMI	FL	33139	USA
SANFORD A RUBENSTEIN	1455 OCEAN DR 1209	MIAMI BEACH	FL	33139-4140	USA
MOUNIR BADAAN	43 GRACE VIEW DR	KINNELON	NJ	07408	USA
CHARLES P SCHWESTER &W	410 LAKE ROAD	FAR HILLS	NJ	07931	USA
LOPEZ CAPITAL INVESTMENTS LLC	263 GEORGE ROAD	PORT CHARLOTTE	FL	33952	USA
LOUIS A VEGA	1455 OCEAN DR #610	MIAMI BEACH	FL	33139	USA
CURTIS W SLIPMAN	1455 OCEAN DR #710	MIAMI BEACH	FL	33139-4137	USA
JAMES M VALLIDES &W	600 THOMPSONVILLE RD	SUFFIELD	CT	06078	USA
PETER GROOP	1455 S OCEAN DR #910	MIAMI BEACH	FL	33139	USA
TEN TEN INVESTMENT GROUP LLC	1455 OCEAN DR 1010	MIAMI BEACH	FL	33139-4133	USA
DANIEL E GURR	1455 OCEAN DR 1110	MIAMI BEACH	FL	33139-4133	USA
JOHN TAMBERLANE	333 E 43 ST #104	NEW YORK	NY	10017	USA
ABIGALLIE CORP	PO BOX 270327	SAN JUAN	PR	00927	USA
WILLIAM T BEAM JR &W MONETTE L	9601 U S HWY 42	PROSPECT	KY	40059	USA
RICHARD E ABRAMSON &W MARY	1455 OCEAN DR #1610	MIAMI BEACH	FL	33139-4141	USA
1455 OCEAN DR LLC	16500 COLLINS AVE PH 53	SUNNY ISLES BEACH	FL	33160	USA
KEE TAI CHOI	1455 OCEAN DR #611	MIAMI BEACH	FL	33139	USA
MICHAEL E OLIVER &W TRACY S	3333 OAKWELL CT #804	SAN ANTONIO	TX	78218	USA
JAG BOLINA	1455 OCEAN DR 811	MIAMI BEACH	FL	33139-4139	USA
WILLIAMS J MEYER	1455 OCEAN DR #911	MIAMI BEACH	FL	33139	USA
MARJORIE T LACK	94 BEACON ST	BOSTON	MA	02108	USA
ILYA PALINSKY	1455 OCEAN DR APT 1111	MIAMI BEACH	FL	33139-4140	USA
JOSEPH GUTMAN	30 W 61 ST 15D	NEW YORK	NY	10023	USA
ELI EINBINDER	111 E 85 ST APT 26-D	NEW YORK	NY	10028	USA
MARK GOMES	1455 OCEAN DR #1511	MIAMI BEACH	FL	33139	USA
BEHRAD MOHIT	1 BUCKEYE WAY	KENTFIELD	CA	94904	USA
10 MILES BEACH LLC	3 LIMITED PARKWAY	COLUMBUS	OH	43230	USA
BOHAGER PROPERTIES LLC	1341 RAZORBILL LANE	PUNTA GORDA	FL	33983	USA

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VAND GROUP LLC	240 GLEN LAKE DRIVE	ATLANTA	GA	30327	USA
2N CARLYLE DECO LLC	2300 BUFFALO RD BLDG 2000	ROCHESTER	NY	14624	USA
LATUSHKINA LLC	6050 LA GORCE DR	MIAMI BEACH	FL	33140	USA
DAVID JAMES STROUSE & SATISH CHANDRA	9019 NORMA PL 1825 MADISON AVE	WEST HOLLYWOOD RADIOLOGY CENTER	CA NY	90069-4820 10035	USA USA
OCEAN DRIVE CARLYLE LLC	701 PENNSYLVANIA AVE NW #1123	WASHINGTON	DC	20004	USA
MAURO FAIBICHER	1328 CHALMETTE DRIVE	ATLANTA	GA	30306	USA
THOMAS M JOHNSON III	520 LUNALINA HOME RD #104	HONOLULU	HI	96825	USA
JIAN HUA	213 HAMPTON CT	MACON	GA	31210	USA
CARLYLE SOUTH BEACH LLC	50 SOUTH POINT DR #1405	MIAMI	FL	33139	USA
ADERSON CAPITAL LTD	1250 OCEAN DR UNIT 4B	MIAMI BEACH	FL	33139	USA
1250 OCEAN DRIVE 4C LLC	1250 OCEAN DR 4C	MIAMI BEACH	FL	33441	USA
4D CARLYLE DECO LLC	2300 BUFFALO RD BLDG 200	ROCHESTER	NY	14624	USA
CESTARO FAMILY LLC	77 DEERHURST RD	SCARSDALE	NY	10583	USA
MRC REAL ESTATE CORP	66 W FLAGLER ST 1002	MIAMI	FL	33130	USA
CARLYLE PH2 LLC	1100 FOREST AVE	WILMETTE	IL	60091	USA
EAAS LLC	850 OCEAN DR STE 203	MIAMI BEACH	FL	33139	USA
STACI HILLYER	465 OCEAN DR APT #207	MIAMI BEACH	FL	33139	USA
HORNEDO LOPEZ &W MARIANELA	6545 MIAMI LAKEWAY S	MIAMI	FL	33014-2746	USA
OCEAN DR & WEST AVE LLC	16885 DALLAS PARKWAY	ADDISON	TX	75001	USA
MENFIS LLC	465 OCEAN DR 722	MIAMI BEACH	FL	33139	USA
MANUEL D GONZALEZ	465 OCEAN DR #211	MIAMI BEACH	FL	33139	USA
SILVIA YAZJI TRS	13020 SW 2 ST	MIAMI	FL	33184	USA
LUIZ FERNANDO DO MONTE PINTO LE	465 OCEAN DR 214	MIAMI BEACH	FL	33139	USA
RAPHAEL C SOTOLONGO & RICO INVESTMENTS INC	465 OCEAN DR 218 3370 MARY STREET	MIAMI BEACH MIAMI	FL FL	33140 33133	USA USA
ASTERIO INFANTE &W ADDY	465 OCEAN DR #220	MIAMI BEACH	FL	33139-6623	USA
ISABEL M RODRIGUEZ &	530 BIRD RD	MIAMI	FL	33146-1308	USA
AURORA RUIZ HURTE	345 OCEAN DR 624	MIAMI BEACH	FL	33139	USA

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EMILY MACK LE	465 OCEAN DR #223	MIAMI	FL	33139	USA
LETICIA GARCIA ROGENER	465 OCEAN DR #224	MIAMI BEACH	FL	33139-6623	USA
ENZO H VELAZQUEZ TRS	200-05 56 AVE	OAKLAND GARDENS	NY	11364	USA
ANTHONY VELAZQUEZ	7791 NW 46 ST # 428	DORAL	FL	33166	USA
DANIEL MONTI	200 W WASHINGTON SQ	PHILADELPHIA	PA	19106	USA
ALL BUSINESS INTERNATIONAL CORP	465 OCEAN DR #304	MIAMI BEACH	FL	33139	USA
BRYAN BARSA	465 OCEAN DR #305	MIAMI BEACH	FL	33139-6623	USA
LISA AURORA SACCO &	1444 SW 150 AVE	MIAMI	FL	33194-2539	USA
CYNTHIA VICHOT LE	465 OCEAN DR #307	MIAMI BEACH	FL	33139	USA
ISABEL R IRIZARRY	465 OCEAN DR #310	MIAMI BEACH	FL	33139-6623	USA
CARLOS O MURIEL &W MARIA T	PO BOX 840405	PEMBROKE PINES	FL	33084	USA
CLAUDIA P MURIEL BASTIDAS	50 OLD HART RD	BARRINGTON HILLS	IL	60010	USA
ROSALIND A WOFFORD	465 OCEAN DR #314	MIAMI BEACH	FL	33139-6623	USA
MATTHEW CHRYCY JTRS	465 OCEAN DR 315	MIAMI	FL	33139	USA
BRENDA KAYE	465 OCEAN DR UNIT 316	MIAMI BEACH	FL	33139-6623	USA
JOSE MARIA BEGUIRISTAIN TRS	465 OCEAN DR # 317	MIAMI BEACH	FL	33139	USA
IRIS URBIZU & GENEMARIE BIERLEY	1242 SEVILLA AVE	CORAL GABLES	FL	33134-6333	USA
DORIS RIVERA	10773 NW 58 ST # 61	DORAL	FL	33178	USA
PIERDOMENICO DI GIORGIO	465 OCEAN DR #320	MIAMI BEACH	FL	33139	USA
LINDA REZENDES WALSH	276 BARLBOROUGH ST # 5	BOSTON	MA	02116	USA
VICENTE ENRIQUE ROGER TRS	2817 COLUMBUS BLVD	CORAL GABLES	FL	33134	USA
JEANETTE LOMBARDI TRS	PO BOX 4216	MC LEAN	VA	22103-4216	USA
DOROTHY BERNER LE	465 OCEAN DRIVE #324	MIAMI BEACH	FL	33139	USA
ERIC J VELAZQUEZ &W MAUREEN S	6108 MAPLE LEAF DR	DURHAM	NC	27705	USA
MELINE GARABEDIAN	465 OCEAN DR #326	MIAMI BEACH	FL	33139-6663	USA
ANGELES COLINA LE	24 SAVIN CT	STATEN ISLAND	NY	10304	USA
TERRANCE WALSH	465 OCEAN DR 403	MIAMI BEACH	FL	33139	USA
JASON J RODRIGUEZ	465 OCEAN DR #404	MIAMI BEACH	FL	33139-6624	USA
MARIA JOSE MONASTERIO	465 OCEAN DR #405	MIAMI BEACH	FL	33139-6624	USA

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SABRINA PALLADINO	465 OCEAN DR #406	MIAMI BEACH	FL	33139-6624	USA
PAUL PIEROG JR	465 OCEAN DR # 407	MIAMI BEACH	FL	33139	USA
ROBERTO MASEDA	44 SW 64 AVE	MIAMI	FL	33144	USA
EDGAR S MORALES	465 OCEAN DR #409	MIAMI BEACH	FL	33139	USA
FLOORTECHS LLC	465 OCEAN DR # 410	MIAMI BEACH	FL	33139	USA
CRISTINA RODRIGUEZ &	21 MAIN ST # 2	RIDGEFIELD PARK	NJ	07660-2212	USA
GIOVANNI MAZZEO	465 OCEAN DR # 412	MIAMI BEACH	FL	33139	USA
BESMA BOURJINI	340 EAST 93 STREET #17B	NEW YORK	NY	10028	USA
JOHN LOUGHLIN &W	93 TERRACE AVE	RIVERSIDE	RI	02915	USA
CINDY TORRES	465 OCEAN DR UNITS 416 AND 417	MIAMI BEACH	FL	33139	USA
PASCUAL LOFFRENO &W MARIA C	8002 ESTERO BLVD	FT MYERS BEACH	FL	33931	USA
ALEXIS M PAREDES	9325 FENTON ST	ORLANDO	FL	32836	USA
ULRIKE STADLER	465 OCEAN DR #421	MIAMI BEACH	FL	33139	USA
RENE MENENDEZ TRS	465 OCEAN DR 422	MIAMI BEACH	FL	33139	USA
PATRICIA FIELDS	302 BOWERY ST GROUND FLOOR	NEW YORK	NY	10012	USA
ARMANDO BORDA &W GLORIA TEME DE	465 OCEAN DR #424	MIAMI BEACH	FL	33139-6624	USA
ANGELA F ERIKSON	465 OCEAN DR #425	MIAMI BEACH	FL	33139-6624	USA
OSPREY COMMUNICATIONS LLC	3400 SW 27 AVE # 1501	COCONUT GROVE	FL	33133	USA
ESRA PITCHON TRS	269 10 GRAND CENTRAL PKWY # 7C	FLORAL PARK	NY	11005	USA
RENIER CRUZ &W YOLANDA O CRUZ	300 SEVILLE AVE #301	CORAL GABLES	FL	33134	USA
MIRIAM & OSWALDO MORALES &	620 SW 22 RD	MIAMI	FL	33129	USA
THOMAS W DEMOND TRS	465 OCEAN DR 505	MIAMI BEACH	FL	33139	USA
LLOYD DEUTSCH CO- TRS	465 OCEAN DR	MIAMI BEACH	FL	33139	USA
LEYDA E ABREU	465 OCEAN DR #507	MIAMI BEACH	FL	33139	USA
CHAD GETTLEMAN	82 CHESTER AVE	BROOKLYN	NY	11218	USA
ANDREY KOLESNICHENKO	178 LANCASTER AVE	WEST SPRINGFIELD	MA	01089	USA
IMMACULATE MEDICI	169 AINSLIE ST	BROOKLYN	NY	11211	USA
ESTELLE ROSS TRS	41 BUXTON ST	LIDO BEACH	NY	11561	USA

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LEONOR GUERRERO	5465 N BAY RD	MIAMI BCH	FL	33140-2031	USA
ANTONIA CABRERA	465 OCEAN DR UNIT 514	MIAMI BEACH	FL	33139-6624	USA
CARLOS R BARDASANO TRS	1411 CADIZ AVE	CORAL GABLES	FL	33134-3525	USA
ANN THOMAS TRS	465 OCEAN DR #516	MIAMI BEACH	FL	33139	USA
GYULA SZENTMIHALY LE	PO BOX 1571	CHAMPLAIN	NY	12919	USA
HADDA A BURGOA	1220 N 11 CT	HOLLYWOOD	FL	33019	USA
GORDON BAKER STEWART	465 OCEAN DR #519	MIAMI BEACH	FL	33139	USA
JOANNE ARTESE	465 OCEAN DR #520	MIAMI BEACH	FL	33139-6625	USA
EMMIE VAZQUEZ	465 OCEAN DR 521	MIAMI BEACH	FL	33139	USA
MICHAEL MOGELGARD	412 34 AVE	SEATTLE	WA	98122	USA
SAMBIAN CORP	1680 MICHIGAN AVE 700	MIAMI BEACH	FL	33139	USA
PAVEL GAZDOVICH	465 OCEAN DR 524	MIAMI	FL	33139	USA
PETER J ALBO JR	27 LORNE RD	TURNERSVILLE	NJ	08012	USA
GINA M BATTAGLINI	465 OCEAN DR #526	MIAMI BEACH	FL	33139	USA
RAUL G FUNTANELLAS &W	PO BOX 6650	LONG ISLAND CITY	NY	11106	USA
LUIS A ROMANACH & LIBIA M MENDEZ	75 TRACEY PLACE	ENGLEWOOD	NJ	07631	USA
MARTA M GONZALEZ	465 OCEAN DR #603	MIAMI BEACH	FL	33139-6625	USA
MARIA DE AZA &H TOMAS DE AZA	465 OCEAN DR #604	MIAMI BEACH	FL	33139-6625	USA
ROGER DIB JTRS	231 85 ST	BROOKLYN	NY	11209	USA
AUSTIN S O TOOLE	465 OCEAN DR #606	MIAMI BEACH	FL	33139-6625	USA
DAVID BATES	217 PALM AVE	MIAMI	FL	33139	USA
BARRY CAVALANCIA	465 OCEAN DR 608	MIAMI BEACH	FL	33139	USA
BRIGITTE FAUCHER	1329 ALTON RD	MIAMI BEACH	FL	33139	USA
MIRTA H PILOTO	465 OCEAN DR 610	MIAMI BEACH	FL	33139	USA
ANNE COTTER &H JOHN A MAGUIRE	465 OCEAN DR #611	MIAMI BEACH	FL	33139-6625	USA
ERNESTO DIAZ	465 OCEAN DR 612	MIAMI BEACH	FL	33139	USA
MARIA ISABEL CASABLANCA	444 BRICKELL AVE #416	MIAMI	FL	33131	USA
JULIA BESHARAT	465 OCEAN DR #615	MIAMI	FL	33139	USA
GERRY LOGUE JTRS	8430 CRESTHILL RD	LOS ANGELES	CA	90069	USA

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ULRICH GRIMM JTRS	240 CENTRAL PARK SOUTH # 21H	NEW YORK	NY	10019	USA
SERGINE DUPIN DES VASTINES	465 OCEAN DR #618	MIAMI BEACH	FL	33139-6625	USA
JAMES R BOUCHER	465 OCEAN DR #619	MIAMI BEACH	FL	33139-6625	USA
JEAN CHRISTOPHER GRAMONT	465 OCEAN DR #620	MIAMI BEACH	FL	33139	USA
RAMON ANTONIO PEREZ TR &	2203 SW 105 CT	MIAMI	FL	33165-7940	USA
JOANTHAN B COHEN &W	149 SEGOVIA WAY	JUPITER	FL	33458	USA
CAROL M DAN REVOCABLE TRU TRU FOR	1635 W 27 ST	MIAMI BEACH	FL	33140-4212	USA
WALTER E HOLMES TRS	465 OCEAN DR #624	MIAMI	FL	33139	USA
CHRISTIAN P LOFFRENO	18000 SAN CARLOS BLVD APT 3	FORT MYERS BEACH	FL	33931-2329	USA
CONCEPCION CANERO TRS	520 SW 131 CT	MIAMI	FL	33184	USA
HELEN G G THOMSON	465 OCEAN DR # 701	MIAMI BEACH	FL	33139	USA
FRIKA05 LLC	401 OCEAN DR 825	MIAMI BEACH	FL	33139	USA
LUIS R CORTES	2653 BELLINGHAM CT	CAPE CORAL	FL	33991	USA
DAVID B MANSUR JTRS	4323 FOREST PARK AVE	SAINT LOUIS	MO	63108	USA
PATRICIA ANN WASHINGTON &H	465 OCEAN DR #705	MIAMI BEACH	FL	33139-6625	USA
PAT FRANCIS CASEY	465 OCEAN DRIVE #706	MIAMI BEACH	FL	33139	USA
ALEJANDRO SILVA	1010 VALENCIA AVE	CORAL GABLES	FL	33134	USA
BETTY BLUE INC	1054 KANE CONCOURSE	BAL HARBOR	FL	33154-2107	USA
MALO REAL ESTATE INC	2875 NE 191 ST #302	AVENTURA	FL	33180	USA
GABRIEL SERRANO SANMIGUEL	465 OCEAN DR 710	MIAMI	FL	33139	USA
FREDY G MURIEL &W KARIM	465 OCEAN DR #711	MIAMI	FL	33139-6626	USA
YOLANDA BERMEJO	465 OCEAN DR APT 712	MIAMI BEACH	FL	33139-6626	USA
MYRIAM LUCIA MENDOZA JTRS	465 OCEAN DR #714	MIAMI BEACH	FL	33139	USA
HOWARD M COHEN	465 OCEAN DR #715	MIAMI BEACH	FL	33139-6626	USA
DAHLEN WEE	47 W 34 ST STE 434	NEW YORK	NY	10001	USA
JOEL LEVITT TRS	465 OCEAN DR #717	MIAMI BEACH	FL	33139	USA
FREDRIC R LANDESMAN &W DEBORAH	275 CENTRAL PARK WEST 18A	NEW YORK	NY	10024	USA
MARK PASTREICH TRS	115 LIVINGSTON ST	POUGHKEEPSIE	NY	12601	USA

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LOWTIDE CORP NV	4743 US 19 COMMUNITY PLAZA	NEW PORT RICHEY	FL	34652	USA
ROBERTO TAJANLANGIT JR	465 OCEAN DR 721	MIAMI BEACH	FL	33139	USA
MF1 LLC	465 OCEAN DR #722	MIAMI BEACH	FL	33139	USA
NATALIE T BUNKS &H ABE	340 W 28 ST APT 7B	NEW YORK	NY	10001	USA
ALEJANDRO J FERNANDEZ	465 OCEAN DR UNIT 724	MIAMI BEACH	FL	33139-6626	USA
IGNACIO SOUTO	465 OCEAN DR #725	MIAMI BEACH	FL	33139-6626	USA
SAMAN BEHNAM	465 OCEAN DR #726	MIAMI BEACH	FL	33139	USA
SCOTT C STETLER	465 OCEAN DR UNIT 801	MIAMI BEACH	FL	33139-6626	USA
WILLIAM WINNEWISSE &	465 OCEAN DR #802	MIAMI BEACH	FL	33139-6626	USA
JAVIER GONZALEZ &W ANA TRIS	465 OCEAN DR #803	MIAMI BEACH	FL	33139-6626	USA
HILDA CAAMANO &W GILBERT CAAMANO	465 OCEAN DR #804	MIAMI BEACH	FL	33139-6626	USA
ELMER W REINHARDT &W ESIN &	465 OCEAN DR #805	MIAMI BEACH	FL	33139-6626	USA
DIANE ROMANO & PATRICIA GOFF	77 WEST 24 ST 27A	NEW YORK	NY	10010	USA
MARSHA SUNSHINE &H MORRIS H	465 OCEAN DR UNIT 807	MIAMI BEACH	FL	33139-6626	USA
MIGUEL MARTINEZ	465 OCEAN DR 808	MIAMI BEACH	FL	33139	USA
DAVID J MARDINI	465 OCEAN DR #809	MIAMI BEACH	FL	33139-6626	USA
FAMIGLIA REAL LLC TRS	2313 SW 99 AVE	MIAMI	FL	33165	USA
MELHEM F MELHEM TRS	465 OCEAN DR #811	MIAMI BEACH	FL	33139	USA
MARION LANGE	300 W 55 ST #18-G	NEW YORK	NY	10019	USA
MARK OWENS &W INNA A	465 OCEAN DR 814	MIAMI	FL	33139	USA
NANCY MCDERMOTT TRS	465 OCEAN DR #815	MIAMI BEACH	FL	33139-6626	USA
LESTER P MARTIN	465 OCEAN DR #816	MIAMI BEACH	FL	33139-6626	USA
ROGELIO PRETTO &W JUDY M	510 VALENCIA AVE 1	CORAL GABLES	FL	33134-5753	USA
FRANK N RAY &W LOUBNA	5326 ALTON RD	MIAMI BEACH	FL	33140	USA
DAVID FEINBERG &W NINA B	1501 N STATE PARKWAY APT 11C	CHICAGO	IL	60610	USA
SYLVIA A RODRIGUEZ TRS	4400 GRANADA BLVD	CORAL GABLES	FL	33146	USA
DAVID HOLZMAN EST OF	465 OCEAN DR UNIT 821	MIAMI BEACH	FL	33139-6626	USA
HARRY COLCORD	465 OCEAN DR # 822	MIAMI BEACH	FL	33139	USA
LINDA R WALSH TRS	276 MARLBOROUGH ST	BOSTON	MA	02116	USA

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JAMES MICHAEL OCONNOR TRS	465 OCEAN DR #826	MIAMI BEACH	FL	33139	USA
DAVID E KAPELL &W	400 FRONT ST	GREENPORT	NY	11944	USA
MARIO S CUERVO	465 OCEAN DR 902	MIAMI BEACH	FL	33139	USA
GREG MOHR	465 OCEAN DR #903	MIAMI BEACH	FL	33139-6627	USA
JOSEPH A TUMAY	465 OCEAN DRIVE UNIT 904	MIAMI BEACH	FL	33139	USA
ROLAND DIB	8423 RIDGE BLVD	BROOKLYN	NY	11209	USA
CLEARWORLD & SONS LLC	650 WEST AVE # 2610	MIAMI BEACH	FL	33139	USA
MANUEL NELSON MORA	465 OCEAN DR UNIT #907	MIAMI BEACH	FL	33139	USA
RENE FEAL &W MORAIMA	13250 SW 37 TER	MIAMI	FL	33175-6900	USA
JUAN J SISO &W	465 OCEAN DR #909	MIAMI BEACH	FL	33139-6627	USA
MIGUEL A GONZALEZ DEL VALLE III	465 OCEAN DR # 910	MIAMI BEACH	FL	33139	USA
VIA DEL CORSO LLC	6205 BLUE LAGOON DR #130	MIAMI	FL	33126	USA
SHAHENAZ SULIMAN	9338 DEER CREEK DR	TAMPA	FL	33647-2286	USA
CRISTIAN BROTEA	10 COTTAGE PL U3C	WHITE PLAINS	NY	10601	USA
WILLIAM S GRIMALDI	290 VINCENT AVE STE 4	HACKENSACK	NJ	07601	USA
BLUE SEA RE LLC	1390 BRICKELL AVE STE 200	MIAMI	FL	33131	USA
LARS EKBERG &W	465 OCEAN DR #918	MIAMI BEACH	FL	33139-6627	USA
GEORGES A CIBAUD	465 OCEAN DR #919	MIAMI BEACH	FL	33139-6627	USA
MITOMER LLC	8360 W FLAGLER ST 203	MIAMI	FL	33144	USA
JOSE RODRIGUEZ DEAN	764 EDGEWATER AVE	RIDGEFIELD	NJ	07567	USA
ROBERT S KAMIN &	171 SCHENCK CIR	HEWLETT	NY	11557-2227	USA
MARILYN & MARLA A SOLE	7 EKLOF CT	CROTON-ON- HUDSON	NY	10520	USA
LYNDA E HOUSTON TRS	155 N HARBOR DR #4205	CHICAGO	IL	60601	USA
ITALINVESTORS LLC	2900 N 24TH AVE APT 2204	HOLLYWOOD	FL	33020	USA
JOY A USICH	465 OCEAN DR UNIT 1001	MIAMI BEACH	FL	33139-6627	USA
LIBIA ELENA NAHAS	465 OCEAN DR UNIT 1002	MIAMI BEACH	FL	33139	USA
RONDINELLA 2395 CORP	465 OCEAN DR 1003	MIAMI BEACH	FL	33139	USA
PETARDVEST INC	3850 SW 87 AVE #203	MIAMI	FL	33165-5473	USA
ERICA BEECHEER MONAS	465 OCEAN DR #1005	MIAMI BEACH	FL	33139-6627	USA

Property Owner	Address	City	State	Zip Code	Country
SUZY ILLOUZ LE	465 OCEAN DR #1006	MIAMI BEACH	FL	33139-6627	USA
STEVEN HARNEY	465 OCEAN DR UNIT 1007	MIAMI BEACH	FL	33139	USA
ALGLOR COMPANY INC	901 BRICKELL KEY BLVD #3108	MIAMI	FL	33131	USA
MARTINA HAJKOVA	465 OCEAN DR #1010	MIAMI BCH	FL	33139-6627	USA
BEATRIZ FRAGA DAVIDSON &W	710 PARADISO AVE	MIAMI	FL	33146-2041	USA
ALVARO E RIVAS	465 OCEAN DR #1012	MIAMI BEACH	FL	33139-6627	USA
STEPHEN CASEY	465 OCEAN DR #1014	MIAMI BEACH	FL	33139	USA
CORRADO COLINI	465 OCEAN DR #1015	MIAMI BEACH	FL	33139-6627	USA
AUSTIN KUTSCHER &W MARY E	465 OCEAN DR # 1016	MIAMI BEACH	FL	33139-6627	USA
CARY KAPPEL	500 WEST 43 ST #36D	NEW YORK	NY	10036	USA
JOANNE & DANIEL A LAVNER	2381 SUN VALLEY CIR	WINTER PARK	FL	32792	USA
465 OCEAN DRIVE LLC	755 BLUE ROAD	MIAMI	FL	33146	USA
DIEMME LLC	450 ALTON ROD #1804	MIAMI BEACH	FL	33139	USA
CORAZON PELUDO INC	650 NW 43 AVE	MIAMI	FL	33126-5406	USA
ROLANDO SILVA &W IRENE	135 SAN LORENZO AVE #880	CORAL GABLES	FL	33146	USA
ANTHONY J BAZZAN	630 GENERAL LAFAYETTE ROAD	MERION STATION	PA	19066	USA
RANDY J EPSTEIN	1301 N DEARBORN #606	CHICAGO	IL	60610	USA
CHRISTIAN A LIBARIDIAN &	2633 LARMAR RD	LOS ANGELES	CA	90068	USA
ADELE & STEPHEN A ROSEN	345 W 88TH ST APT 6B	NEW YORK	NY	10024	USA
HESSLER FINANCE LTD	407 LINCOLN RD #PH-5E	MIAMI BEACH	FL	33139	USA
AMERICA GOMEZ & ROSALIA GOMEZ	630 SOUTH SHORE DR	MIAMI BEACH	FL	33141-2406	USA
LOIS KAPLAN TRS	2523 BUCKLAND LN	NORTHBROOK	IL	60062	USA
HEIDI JO FIORELLO LE	9760 NW 58 COURT	PARKLAND	FL	33076	USA
JULIAN SPIRER	7920 MARYKNOLL AVE	BETHESDA	MD	20817	USA
JULIAN SPIRER &W DIANE	7920 MARYKNOLL AVE	BETHESDA	MD	20817	USA
ENRIQUE M FONTS &W TERESA	1607 PONCE DE LON BLVD #12A	MIAMI	FL	33134	USA
GIL GORDON	465 OCEAN DR #1108	MIAMI BEACH	FL	33139-6628	USA
THOMAS REICHERT	465 OCEAN DR # 1109	MIAMI BEACH	FL	33139	USA
MELANIE LYNN GROCH	465 OCEAN DR # 1111	MIAMI BEACH	FL	33139	USA

Property Owner	Address	City	State	Zip Code	Country
JONATHAN D NITKIN	465 OCEAN DR #1112	MIAMI BEACH	FL	33139-6628	USA
GATOR DEVELOPMENT CORP	7850 NW 146 ST	MIAMI LAKES	FL	33016	USA
STEPHANIE SLADON	465 OCEAN DR #1115	MIAMI BEACH	FL	33139-6628	USA
PAUL PECHMAN	17 LEATHERSTOCKING LN	SCARSDALE	NY	10583-6924	USA
MARTA HERRERA LE	465 OCEAN DR #1117	MIAMI BEACH	FL	33139-6628	USA
MICHAEL CONWAY JTRS	27739 CONESTOGA DR	ROLLING HILLS ESTATES	CA	90274	USA
UGO CAMPELLO &W VALERIA	9830 SW 125 AVE	MIAMI	FL	33186-2406	USA
SILVIA CAMPELLO TR	9830 SW 125 AVE	MIAMI	FL	33186-2406	USA
ROBERT BRUCE GORDON	2121 S OCEAN BLVD 801	POMPANO BEACH	FL	33062	USA
JOSEPH JEROME DANENZA	465 OCEAN DR # 1122	MIAMI	FL	33139-6628	USA
MIGUEL ANGEL MOBILE	465 OCEAN DR APT 1123	MIAMI BEACH	FL	33139-6628	USA
STELLA REAL ESTATE INC	150 SE 2 AVE #1010	MIAMI	FL	33131	USA
TERRENCE SULLIVAN	32120 ROSEVEAR ST	BEVERLY HILLS	MI	48025	USA

Item # 9—Architectural Plans and Exhibits

9a: Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.

9d: Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.

9h: Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).

9i: Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)

9n: Specifications of pole and equipment

9o: Proposed elevations , materials, and finishes noted

-Survey

SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:
9FLB003932D/MI90XSL95D

LATITUDE/LONGITUDE:
25.783897/-80.130142

CROSS STREET:
13TH ST & OCEAN DR
CITY, STATE, ZIP:
MIAMI BEACH, FL 33139



IF YOU DIG IN ANY STATE
DIAL 811 FOR THE LOCAL
"ONE CALL CENTER" -
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS
CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN
ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES
WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E)
UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE
RESPONSIBILITY OF THE CONTRACTOR.

NOTE:
GENERAL CONTRACTOR IS REQUIRED TO CROSS CHECK COORDINATES, EXHIBIT PHOTO, AERIAL
PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND.
CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO ASSIGNED MOBILITIE CM.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A
TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE
MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT
DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER
SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND
NO COMMERCIAL SIGNAGE IS (N).

SITE INFORMATION

SITE ID:	9FLB003932D
CASCADE ID:	MI90XSL95D
LATITUDE:	25.783897
LONGITUDE:	-80.130142
CROSS STREET:	13TH ST & OCEAN DR
CITY, STATE, ZIP:	MIAMI BEACH, FL 33139
COUNTY:	MIAMI-DADE COUNTY
JURISDICTION:	MIAMI BEACH CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITIE, LLC 3475 PIEDMONT ROAD NE, SUITE 1000 ATLANTA, GEORGIA 30305 PHONE: (312) 638-5400

ENGINEER

KMB DESIGN GROUP, LLC
1800 ROUTE 34, SUITE 209
WALL, NJ 07719
FOR QUESTIONS EMAIL: DESIGNTEAM@KMBDG.COM
TEL: (732) 280-5623 FAX: (732) 280-3980 www.KMBDG.com

DO NOT SCALE DRAWINGS

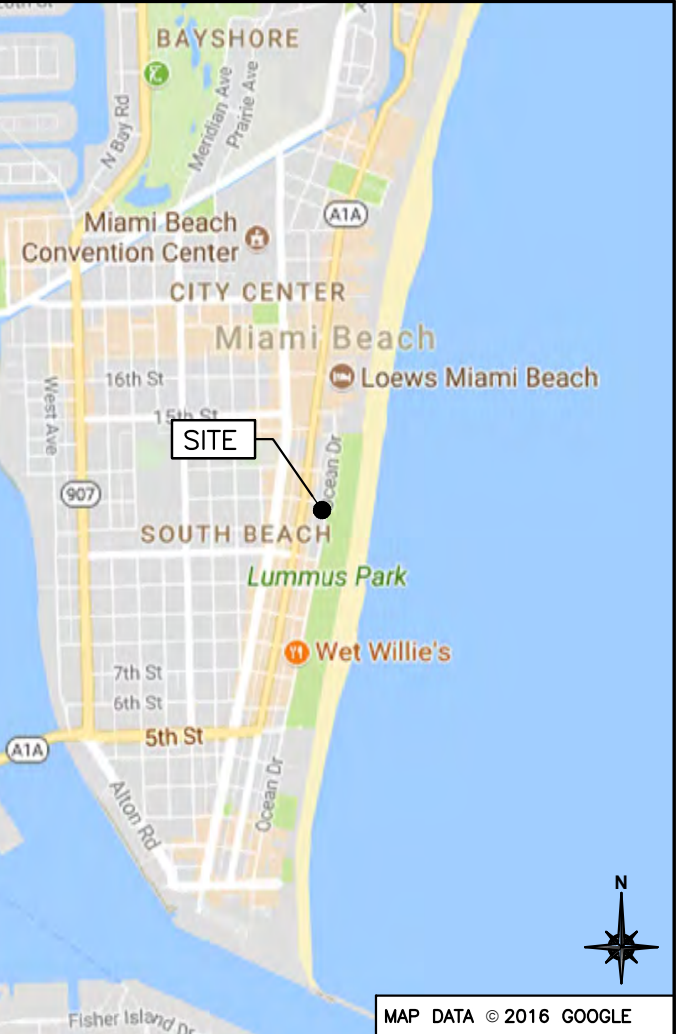
CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD
CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE
ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

LOCATION MAPS

VICINITY MAP



REGIONAL MAP



PROJECT DESCRIPTION

END USER PROPOSES TO REPLACE EXISTING STEEL POLE AND
INSTALL EQUIPMENT ON A NEW STEEL POLE WITHIN AN
EXISTING RIGHT-OF-WAY.
THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE EXISTING STEEL LIGHT POLE
- INSTALL A NEW STEEL LIGHT POLE WITH PROPOSED
BACKHAUL TRANSPORT EQUIPMENT

CODES

2014 FLORIDA BUILDING CODE, 5TH EDITION
NATIONAL ELECTRICAL SAFETY CODE
TIA/EIA-222-G-2 OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	UTILITY SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
EX-1	EXCAVATION DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	EMBEDMENT DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
ATTACHED	SITE SURVEY

mobilitie

FINAL SUBMITTAL
DATE: 12/8/17

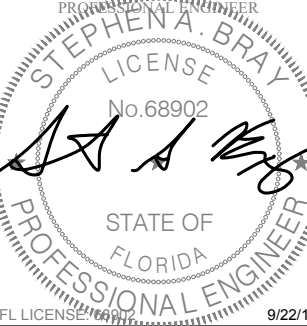
FIRST SUBMITTAL
DATE: 10/11/17

PROJECT NO:	9FLB003932D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-18-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray



IT IS A VIOLATION OF THE LAW FOR ANY
PERSON, UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS DOCUMENT

MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

NOTE:
EXHIBIT PHOTO IS FOR
REFERENCE USE ONLY
AND SHOULD NOT BE
USED FOR
CONSTRUCTION
PURPOSES.

EXISTING LIGHT POLE
TO BE REPLACED
WITH SMALL-CELL
STEALTH LIGHT POLE


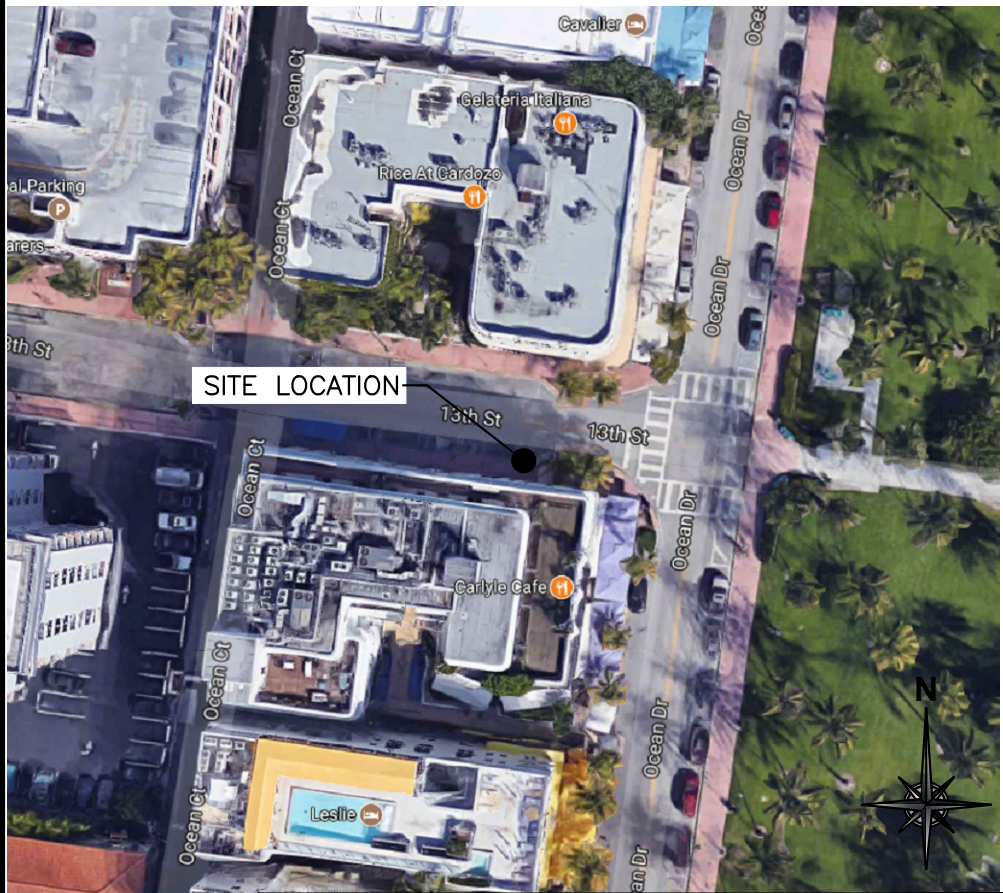


EXHIBIT PHOTO

SCALE: NOT TO SCALE

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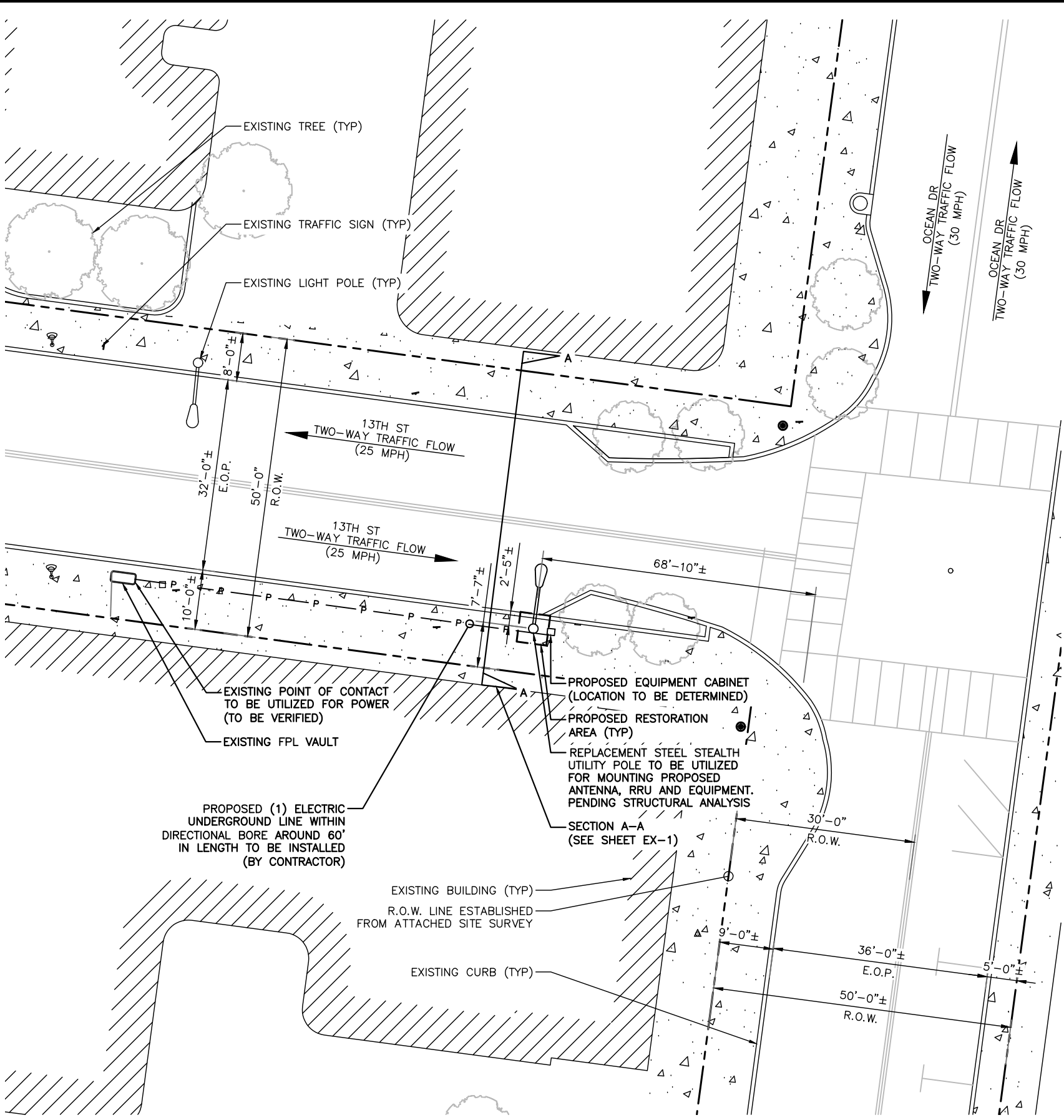


SITE LOCATION

AERIAL SITE LOCATION

SCALE: NOT TO SCALE

2



EXISTING TREE (TYP)

EXISTING TRAFFIC SIGN (TYP)

EXISTING LIGHT POLE (TYP)

13TH ST
TWO-WAY TRAFFIC FLOW
(25 MPH)

13TH ST
TWO-WAY TRAFFIC FLOW
(25 MPH)

OCEAN DR
TWO-WAY TRAFFIC FLOW
(30 MPH)

OCEAN DR
TWO-WAY TRAFFIC FLOW
(30 MPH)

EXISTING POINT OF CONTACT
TO BE UTILIZED FOR POWER
(TO BE VERIFIED)

EXISTING FPL VAULT

PROPOSED (1) ELECTRIC
UNDERGROUND LINE WITHIN
DIRECTIONAL BORE AROUND 60'
IN LENGTH TO BE INSTALLED
(BY CONTRACTOR)

PROPOSED EQUIPMENT CABINET
(LOCATION TO BE DETERMINED)

PROPOSED RESTORATION
AREA (TYP)

REPLACEMENT STEEL STEALTH
UTILITY POLE TO BE UTILIZED
FOR MOUNTING PROPOSED
ANTENNA, RRU AND EQUIPMENT.
PENDING STRUCTURAL ANALYSIS

SECTION A-A
(SEE SHEET EX-1)

EXISTING BUILDING (TYP)

R.O.W. LINE ESTABLISHED
FROM ATTACHED SITE SURVEY

EXISTING CURB (TYP)

32'-0"±
E.O.P.

50'-0"±
R.O.W.

10'-0"±

7'-7"±

2'-5"±

68'-10"±

30'-0"±
R.O.W.


9'-0"±

36'-0"±
E.O.P.

50'-0"±
R.O.W.

5'-0"±


NOTE:
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES,
AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO
BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY
DIRECTED TO THE ASSIGNED MOBILITIE CM.



ENLARGED SITE PLAN

SCALE: 1" = 20'-0" (1" = 10'-0" ON 24"x36" SHEET)

3



PROJECT NO: 9FLB003932D

DRAWN BY: RC

CHECKED BY: SJB

D	12-07-17	REVISION
C	11-14-17	REVISION
B	09-22-17	REVISION
A	08-18-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray

PROFESSIONAL ENGINEER

STEPHEN A. BRAY

LICENSE No. 68902

STATE OF FLORIDA

PROFESSIONAL ENGINEER

FL LICENSE 68902 12/7/17

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MI90XSL95D

MIAMI BEACH, FL 33139

REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE

EXHIBIT PHOTO & SITE PLAN

SHEET NUMBER

SP-1

PROJECT NO: 9FLB003932D
 DRAWN BY: RC
 CHECKED BY: SJB

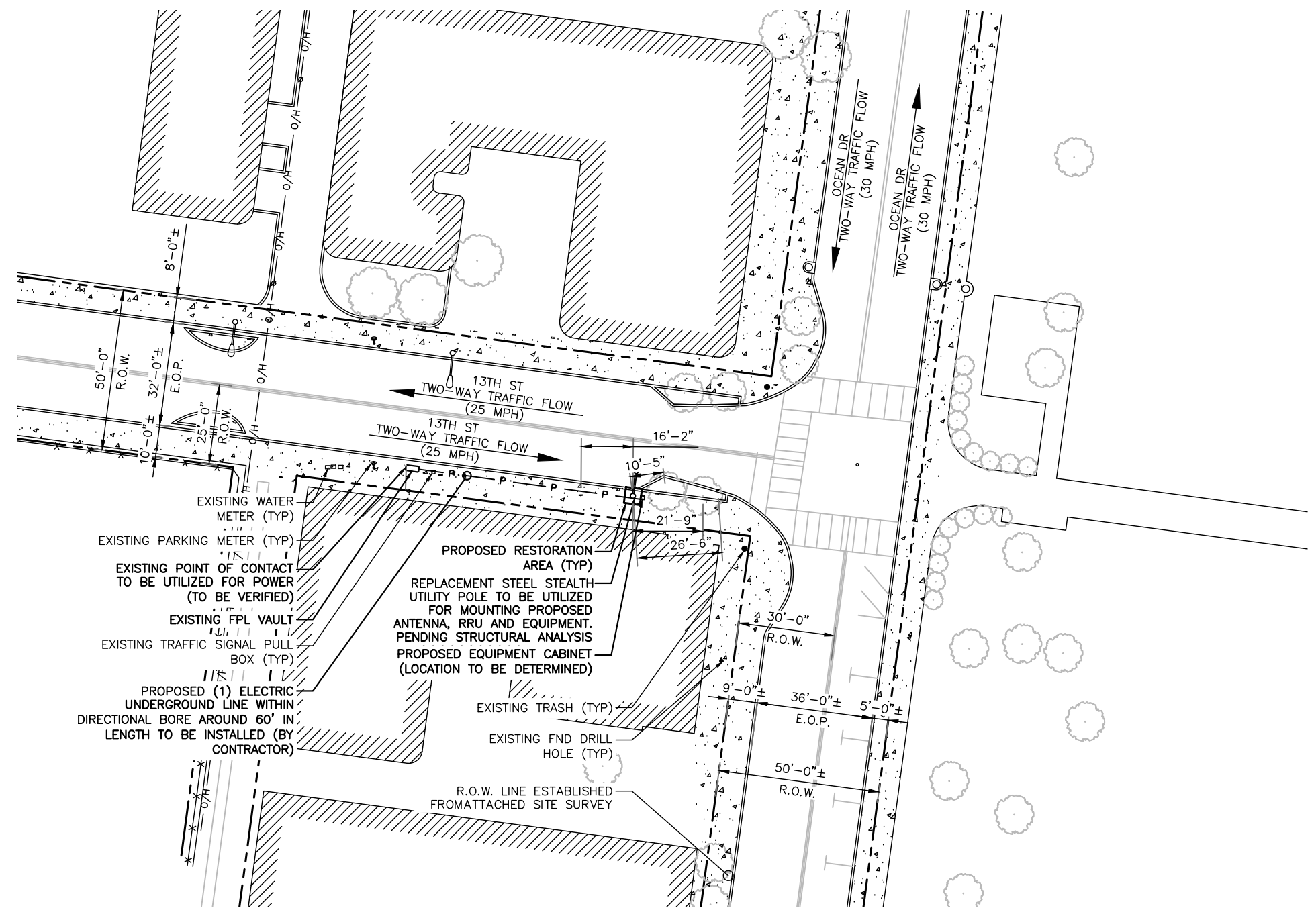
D	12-07-17	REVISION
C	11-14-17	REVISION
B	09-22-17	REVISION
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MI90XSL95D
 MIAMI BEACH, FL 33139
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
UTILITY SITE PLAN

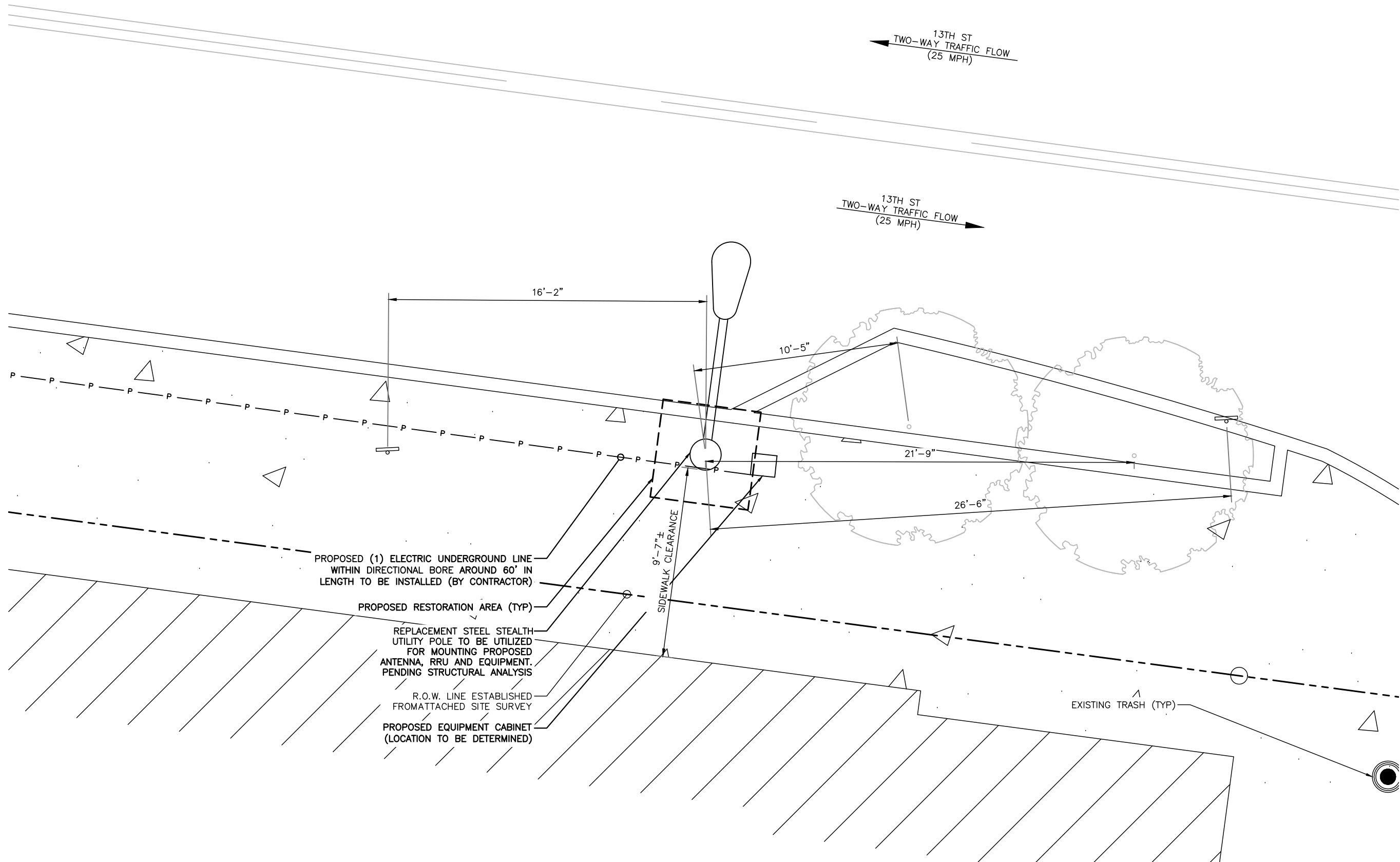
SHEET NUMBER
SP-2



NOTE:
 1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
 2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
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UTILITY SITE PLAN
 SCALE: 1" = 40'-0" (1" = 20'-0" ON 24"x36" SHEET)



NOTE:
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3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



ENLARGED SITE PLAN

SCALE: 1" = 5'-0"



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B	09-22-17	REVISION
A	08-18-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

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STATE OF FLORIDA

PROFESSIONAL ENGINEER

FL LICENSE # 68902 12/7/17

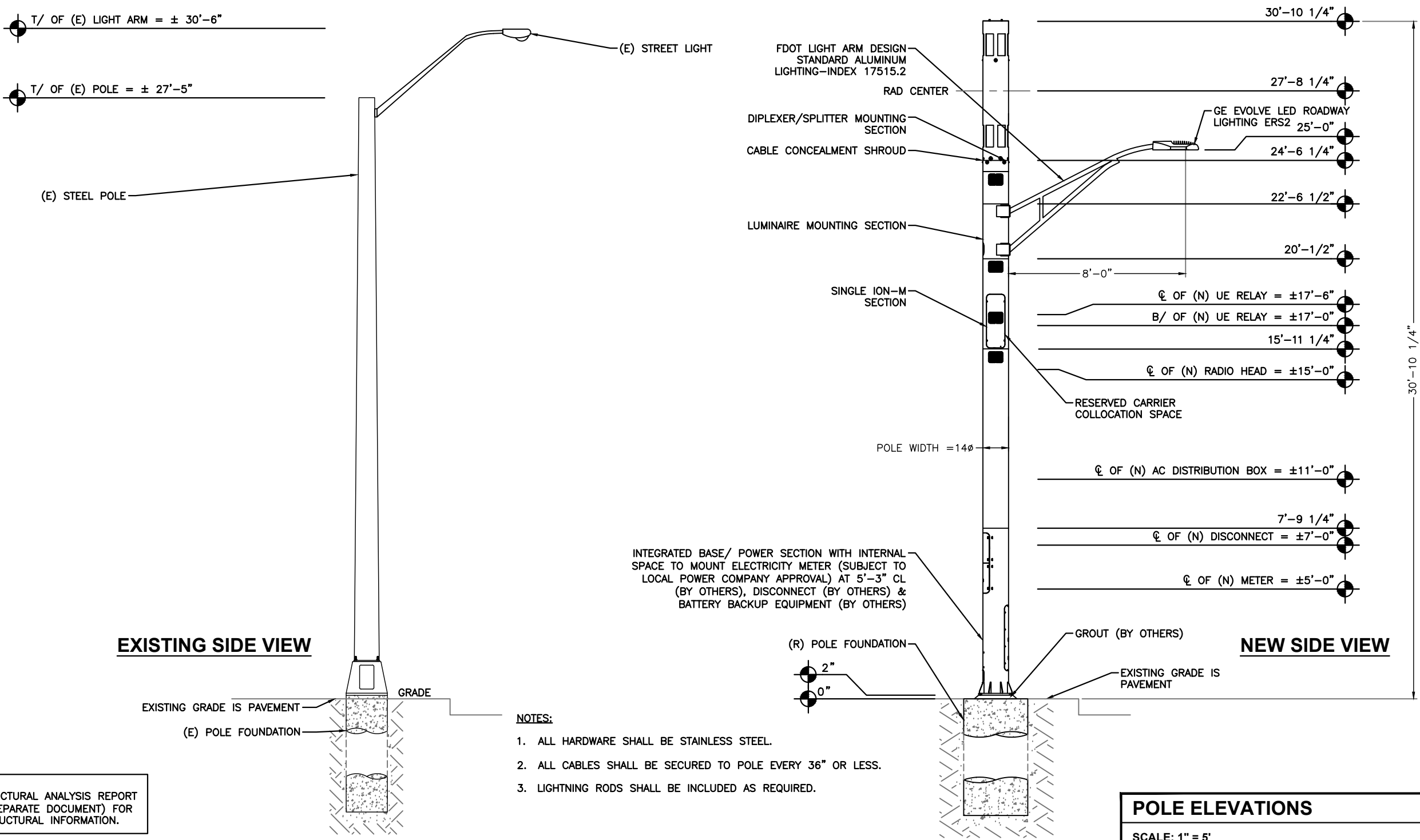
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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
SP-3

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)



- NOTES:
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
 2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
 3. LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT
MI90XSL95D (SEPARATE DOCUMENT) FOR
ADDITIONAL STRUCTURAL INFORMATION.

POLE ELEVATIONS

SCALE: 1" = 5'

1

PROJECT NO: 9FLB003932D
DRAWN BY: RC
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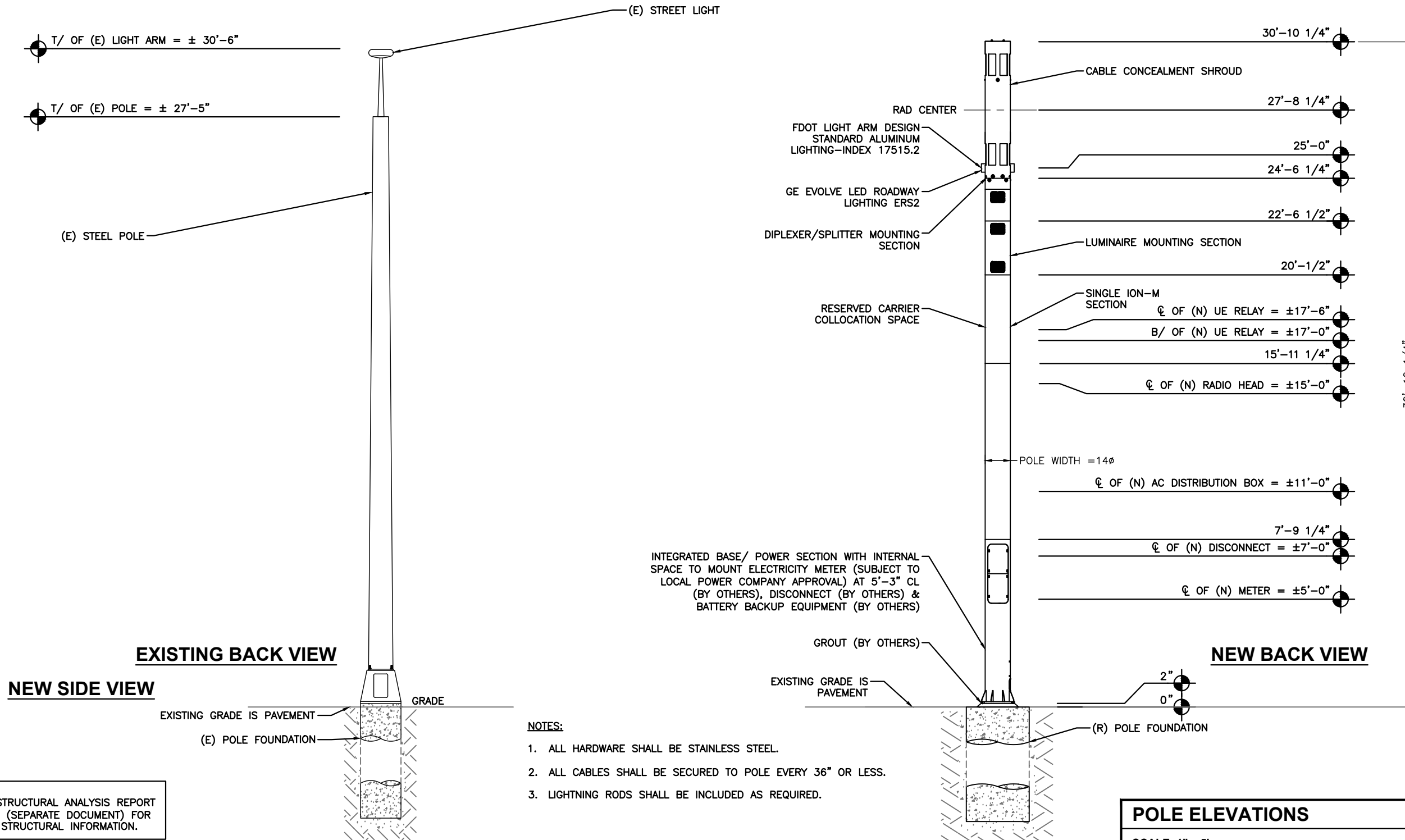
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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-1

NOTE:
POLE FINISH: GALVANIZED PER ASTM123
AND POWDER COATED (COLOR TBD.)

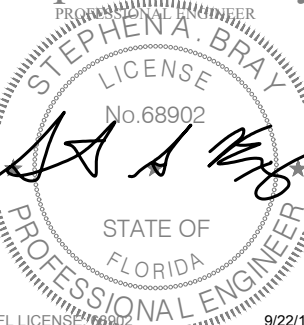


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KMB DESIGN GROUP, LLC

Stephen A. Bray

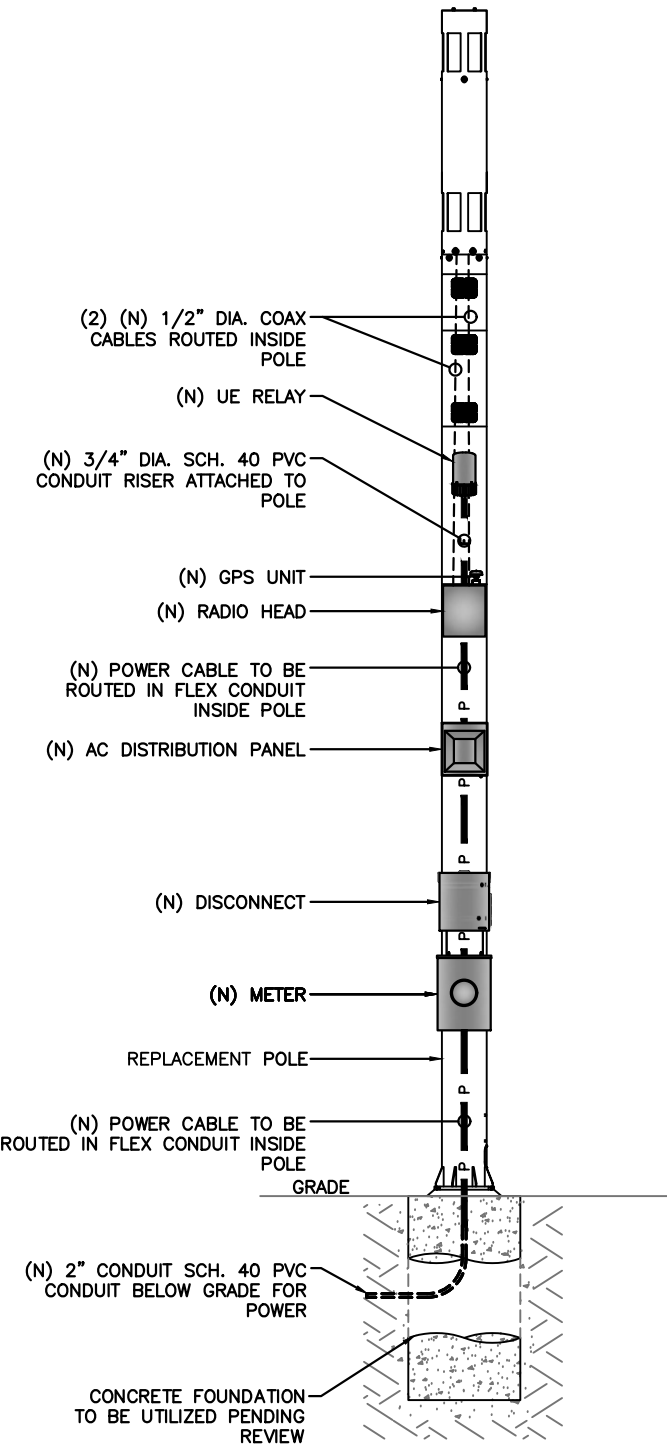


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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE ELEVATIONS

SHEET NUMBER
EV-2



CABLING NOTES:

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
- I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
- II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
- III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRADE LINE.
- IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
- (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
- (2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
- V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
- VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE. NOT REQUIRED FOR COAX.
- B) NEW METALLIC POLES
- I) PROCURE NEW POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
- (1) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
- II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.

PLUMBING DIAGRAM

SCALE: NOT TO SCALE

1

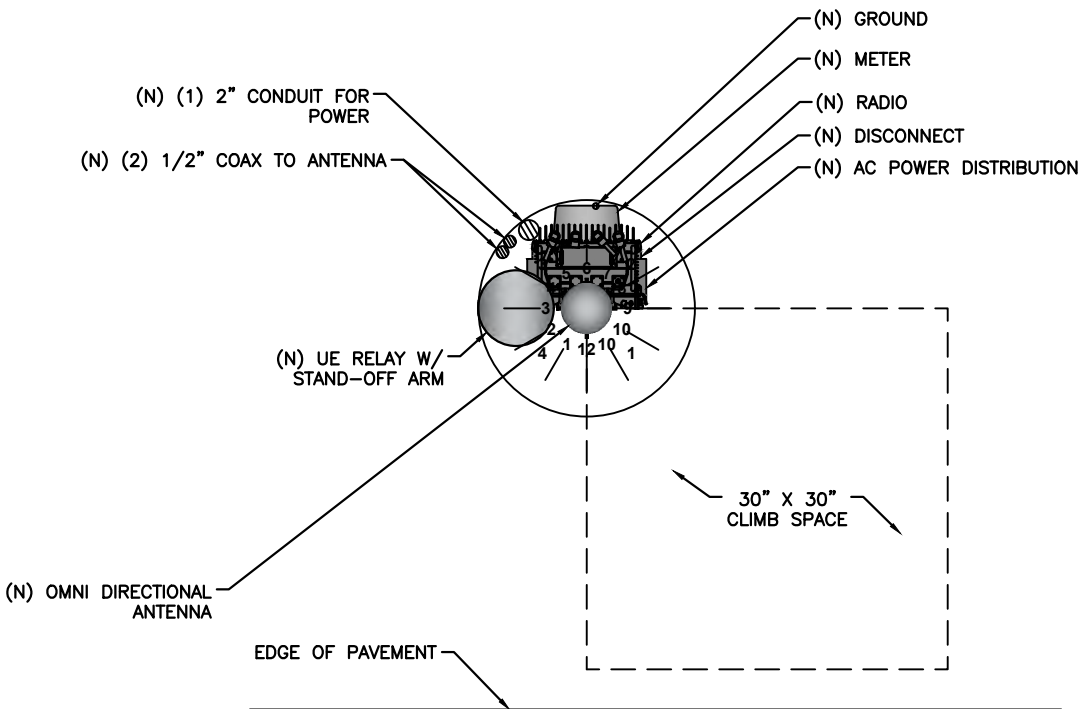
BILL OF MATERIALS							
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AZIMUTH	CABLE	DIMENSIONS (HxWxD)	WEIGHT
1	ANTENNA	ALPHA WIRELESS	AW3477-S	TBD	12'-6"±	30.7" X 4.7" DIAMETER	7 LBS
1	UE RELAY	AIRSPAN	iR460-SPB-ST-1-P-0	TBD	3'±	13" X 7" DIAMETER	8.8 LBS
-	-	-	-	-	-	-	-
1	GPS	TALLYSMAN	GPS-ANT-3	-	-	2" X 2.6" DIAMETER	0.3 LBS
1	RADIO	AIRSPAN	AH4000	-	3'±	20.3" X 10.3" X 8.3"	42 LBS
-	-	-	-	-	-	-	-
1	AC DISTRIBUTION PANEL	TRANSECTOR	1101-1207-1012	-	1'±	12" X 12" X 4"	17 LBS
1	NEMA TYPE-3R DISCONNECT	SIEMENS	GF222NR (EXAMPLE)	-	1'±	15.45" X 8.7" X 5.95"	14 LBS
1	METER SOCKET	MILBANK	U4801-XL-5T9 (EXAMPLE)	-	75'±	19" X 13" X 4.84"	21 LBS

RFDS REVISION TYPE: NOT FINAL
RFDS REVISION NUMBER: N/A
RFDS REVISION TIMESTAMP: N/A

BILL OF MATERIALS

SCALE: NOT TO SCALE

2



RISER ORIENTATION DIAGRAM

SCALE: NOT TO SCALE

3

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PROJECT NO: 9FLB003932D
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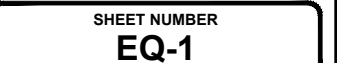
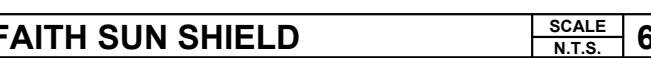
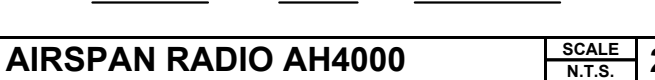
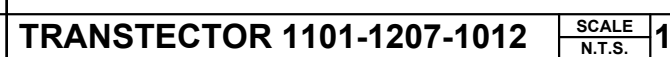
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B 09-22-17
A 08-18-17 FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC
Stephen A. Bray
PROFESSIONAL ENGINEER
No. 68902
STATE OF FLORIDA
FL LICENSE 68902 9/22/17
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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
PLUMBING & RISER DIAGRAM

SHEET NUMBER
PL-1



NOT USED

SCALE: NOT TO SCALE

1

(N) 1/2" COAX FROM RADIO TO ANTENNA (TYP.)

(N) TOWER STANDOFF (VALMONT STK SERIES OR EQUIVALENT)

(N) 1/2" SNAP-IN (VALMONT 12SH-3 OR EQUIVALENT)

REPLACEMENT STEEL STEALTH UTILITY POLE

(N) STAINLESS STEEL BANDING (TYP.) MANUFACTURED BY BAND-IT #C204B9, 1/2" WITH C45499 BUCKLES, OR APPROVED EQUAL

NOTE:
SPACE SNAP-INS PER CABLE MANUFACTURER'S SPECIFICATIONS

CABLE MOUNTING DETAIL

SCALE: NOT TO SCALE

2

NOT USED


SCALE: NOT TO SCALE

3

5"


10"

NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.
Obey all posted signs and site guidelines for working in radio frequency environments.

SITE ID: 9FLB003932D
Contact 877-244-7889



In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(b)

5"

4"

Mobilitie, LLC

In case of Emergency Contact

E-mail: MNOC@mobilitie.com

Phone: (877) 244-7889

Please Reference Site ID

Site ID 9FLB003932D

FCC ID

ANTENNA SIGNAGE:
ON METAL POLES – ADHESIVE VINYL OR PLACARD STRAPPED WITH SS TIES

SIGN PLACEMENT:
AFFIX TO THE STRUCTURE 3–4' BELOW THE COMMERCIAL RF ANTENNA(S)
SIZE APPROX. 8" x 5"

OWNER / OPERATOR NOTE:
SITE ID LABEL TO BE AFFIXED AT OR NEAR THE POINT OF POWER CONNECTION WITH TZeS241 LABELING TAPE OR EQUIVALENT BLACK ON WHITE LABELING TAPE OF AT LEAST 18mm WIDTH WITH EXTRA-STRENGTH ADHESIVE. USE ANY COMPATIBLE P-TOUCH LABEL MAKER. TEXT SHOULD BE PRINTED IN ALL CAPS WITH A MINIMUM HEIGHT OF 1/2".


ANTENNA SIGNAGE

EMERGENCY CONTACT SIGN

POLE MOUNTED SIGNS

SCALE: NOT TO SCALE

4



PROJECT NO: 9FLB003932D

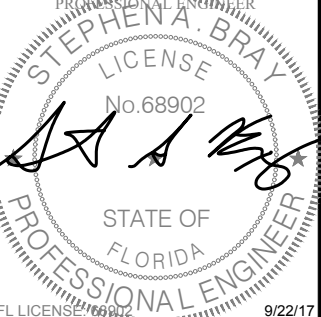
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MI90XSL95D

MIAMI BEACH, FL 33139

REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE

EQUIPMENT DETAILS

SHEET NUMBER

EQ-2

NOT USED

SCALE: NOT TO SCALE

1

13TH ST
TWO-WAY TRAFFIC FLOW
(25 MPH)

13TH ST
TWO-WAY TRAFFIC FLOW
(25 MPH)

R.O.W. LINE ESTABLISHED FROM
ATTACHED SITE SURVEY

HDD PILOT DIAMETER IN
ACCORDANCE WITH CONDUIT
PULL DIAMETER REQUIREMENTS

REPLACEMENT UTILITY
POLE LOCATED IN THE
R.O.W.

PROPOSED ENTRY/EXIT
DIRECTIONAL BORE PIT

HDD PILOT HOLE

NOTE:

1. ALL HDD CONTRACTORS SHALL BE LICENSED AS "A"
OR "C3" CONTRACTORS IN THE APPLICABLE STATE.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE
WITH TR-46 AND ASTM F1962-11

HORIZONTAL BORE PLAN

SCALE: NOT TO SCALE

2

LENGTH OF BORE

PAVED ROADWAY SURFACE

EXISTING UTILITY

3" MIN

4' MIN UNDER
PAVED ROADWAYS

6' MIN UNDER DITCHES
AND OTHER DRAINAGE'S

PROPOSED BORE ALIGNMENT

4" MIN

SUGGESTED VERTICAL MINIMUM CLEARANCES

TRENCH DEPTH TO COMPLY
WITH LOCAL JURISDICTIONAL AND
ELECTRICAL COMPANY STANDARDS

DIRECTIONAL BORING DETAILS

SCALE: NOT TO SCALE

3

NOT USED

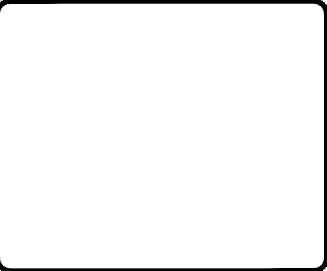
SCALE: NOT TO SCALE

4

NOT USED

SCALE: NOT TO SCALE

5



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9/22/17

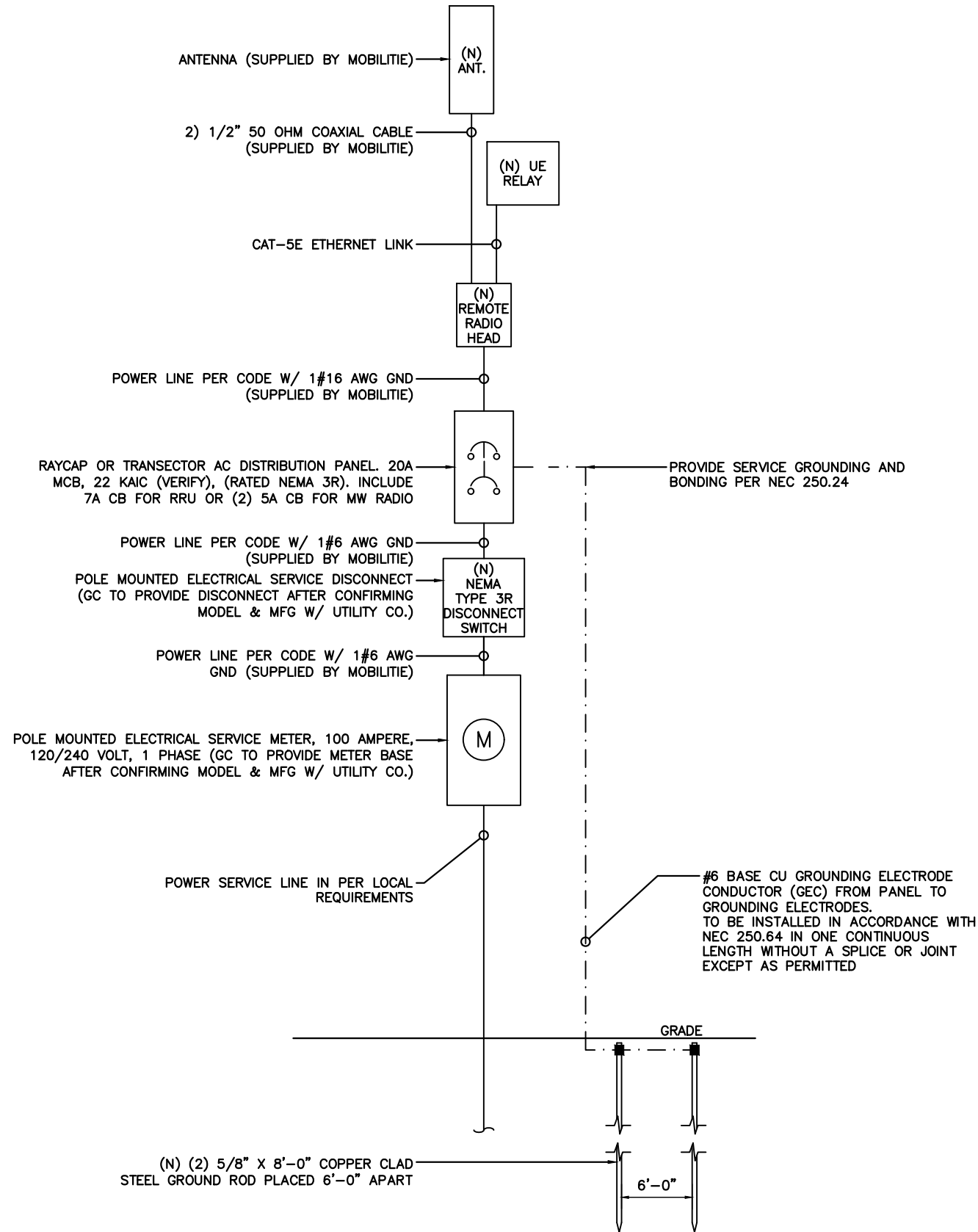
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MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
EXCAVATION DETAILS

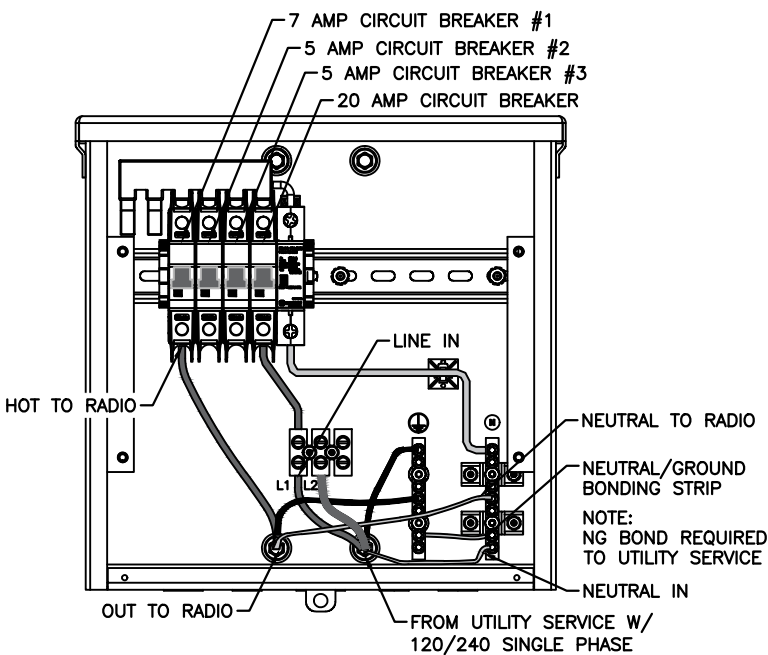
SHEET NUMBER
EX-1



ONE-LINE DIAGRAM

SCALE: NOT TO SCALE

1



TRANSECTOR EXPORT
AC DISTRIBUTION BOX

BREAKER SCHEDULE

SCALE: NOT TO SCALE

2

NOTES:

1. NOMINAL POWER IS CALCULATED AS 80% OF OEM DOCUMENTED MAXIMUM POWER.
2. CALCULATIONS FOR UE W/ NOKIA DO NOT NEED TO INCLUDE THE POWER FOR THE UE ANTENNA AS IT IS INCLUDED IN THE MAX POWER FIGURE. CALCULATIONS FOR UE W/ AIRSPAN MUST INCLUDE UE AS IT IS NOT INCLUDED
3. KVA IS CALCULATED FROM THE CONSUMPTION VALUE ASSUMING A PF=1. MAXIMUM POWER WAS USED FOR KVA. WHERE MAXIMUM WAS NOTED BY THE OEM THE QUOTED FIGURE WAS USED. WHERE AVERAGE/NOMINAL POWER WAS NOTED BY THE OEM MAXIMUM POWER WAS CALCULATED BY INCREASING AVERAGE/NOMINAL POWER BY A FACTOR OF 50%

Airspan Scenario 2 AH4000 High Power Radio and UE Backhaul

Unit	Sub Description	Max Power (W)	Max Current (A)	KVA	kWh/Yr
AirHarmony 4000	LTE Base Station	540	4.50	0.54	4730.4
Airspan IR460	UE Relay	N/A	N/A	N/A	N/A
Total		540	4.50	0.54	4730.4

LOAD CALCULATIONS

SCALE: NOT TO SCALE

3

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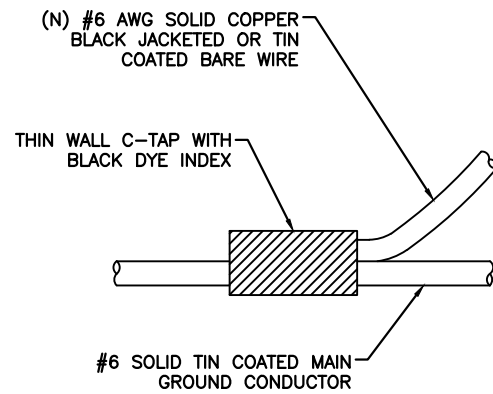
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MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-1

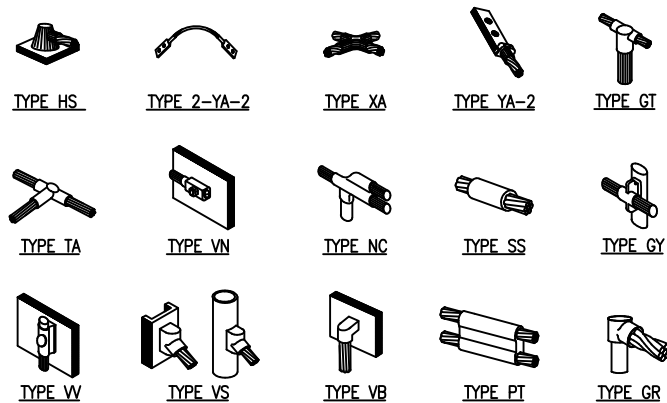
NOTE:
CONTRACTOR TO SURROUND COMPLETED CONNECTION WITH HEAT-SHRINK TUBING TO ENSURE WEATHER PROOF CONNECTION



C-TAP DETAIL

SCALE: NOT TO SCALE

1

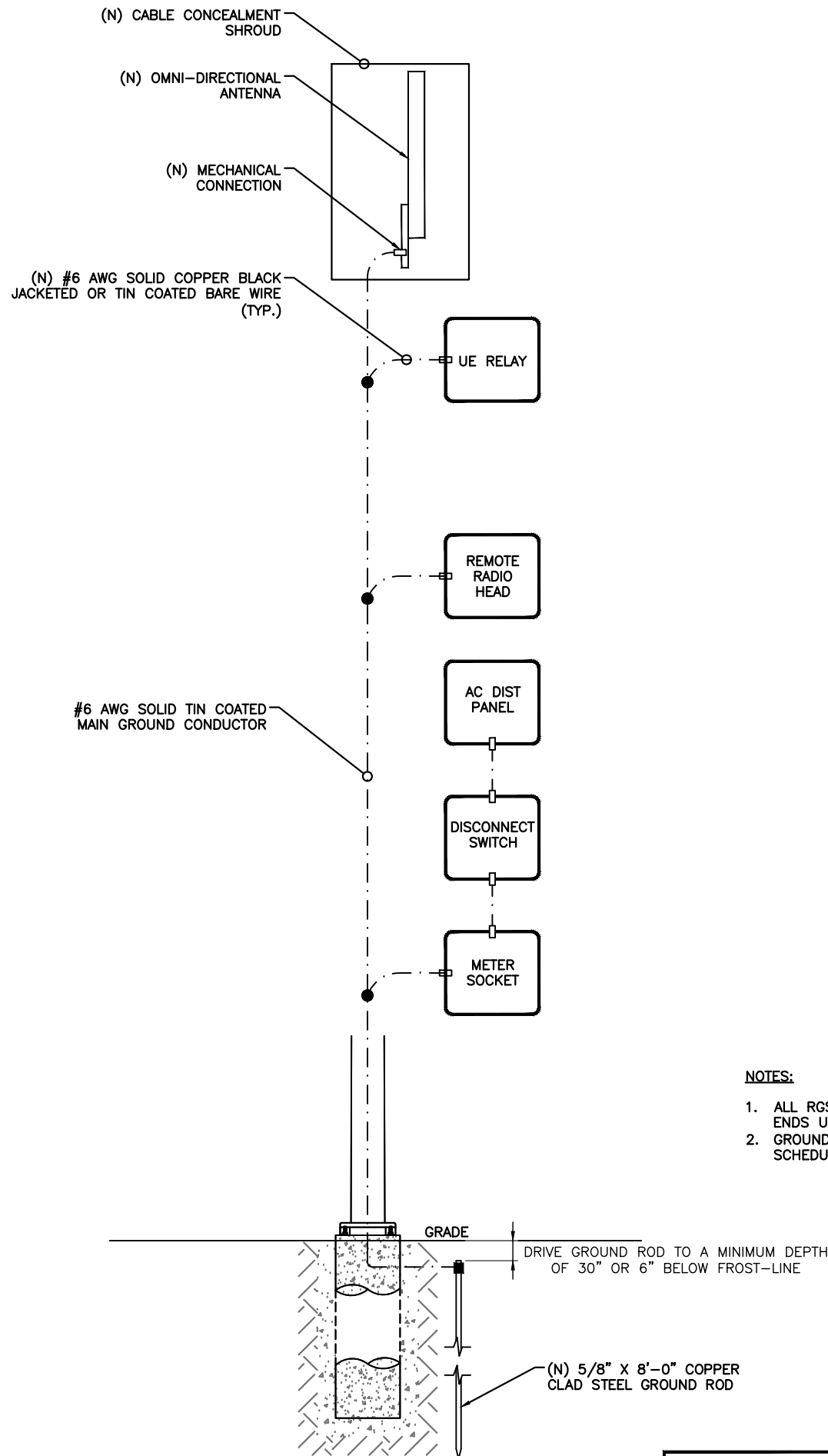


NOTE:
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

WELD CONNECTION DETAILS

SCALE: NOT TO SCALE

2



- NOTES:
1. ALL RGS TO BE GROUNDED AT BOTH ENDS USING GROUNDING BUSHINGS
 2. GROUND WIRE TO BE RUN IN 1/2" SCHEDULE 40 PVC.

GROUNDING RISER DIAGRAM

SCALE: NOT TO SCALE

3

- LEGEND
- CADWELD CONNECTION
 - MECHANICAL CONNECTION
 - COMPRESSION CONNECTION

NOTE:
GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

REINFORCED CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL SITECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 28 DAYS. CONTINUOUS INSPECTION AND TESTING IS NOT REQUIRED. THE CONTRACTOR MAY SUBSTITUTE 5000 PSI FOR HIGH EARLY STRENGTH.

SLUMP – 4” MIN. / 6” MAX.
AIR ENTRAINMENT – 2% TO 3% BY VOLUME

CLASSES OF CONCRETE

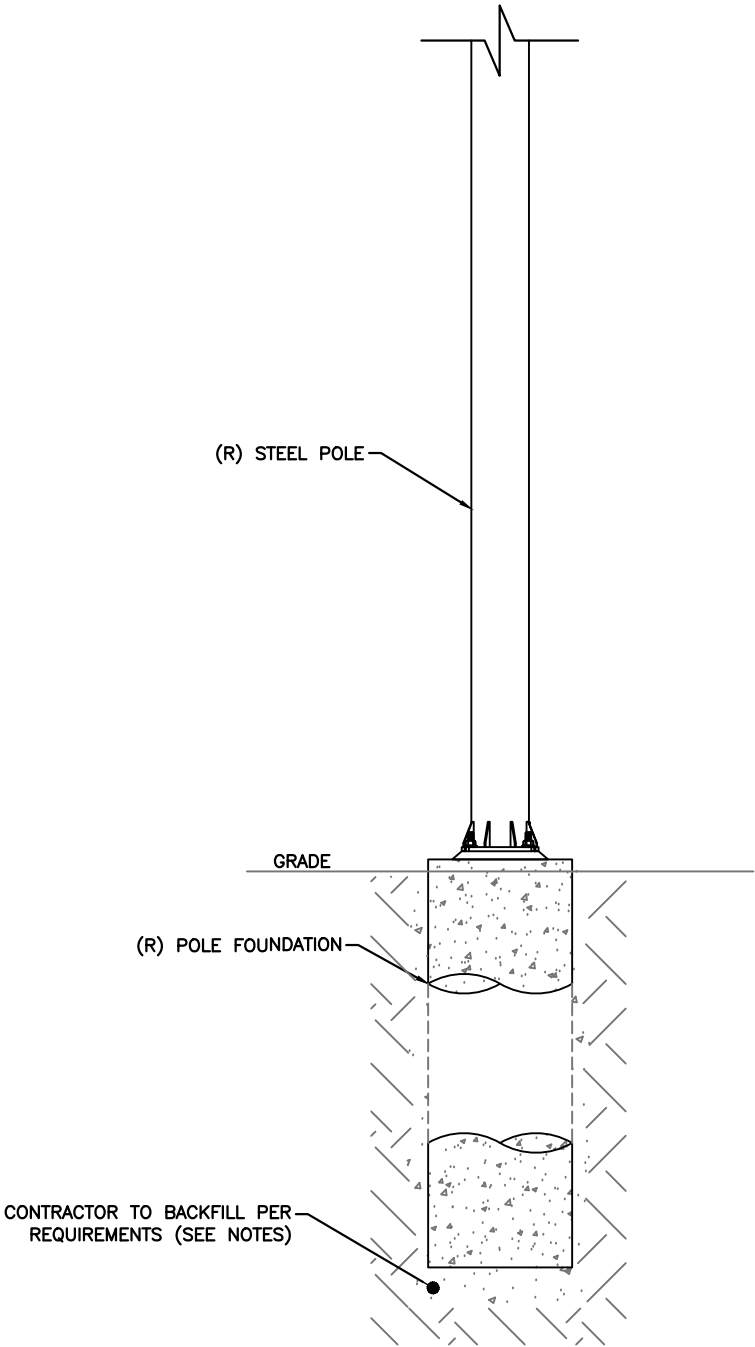
CLASS	28 DAY STRENGTH (PSI)	MAX. WATER/CEMENT RATIO	PLACEMENT LOCATION	
TYPE 1	3000	0.55	ALL LOCATIONS	NORMAL WEIGHT

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL FABRIC UNLESS OTHERWISE NOTED. SPLICES FOR REBAR SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD, UNO. STAGGER SPLICES UNO. LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST TWO FULL MESHES, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3”
CONCRETE EXPOSED TO EARTH OR WEATHER
#6 AND LARGER.....2”
#5 AND SMALLER & W.W.F.....1-1/2”
5. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4”.
6. INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE ANCHOR BOLTS, DOWEL, OR RODS SHALL CONFORM TO THE ANCHOR MANUFACTURER'S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL. IF THE MANUFACTURER'S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. MECHANICAL VIBRATION IS REQUIRED ON ALL SLABS TO REDUCE THE HONEYCOMB EFFECT UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDUIT SIZES AND PENETRATION LOCATION PRIOR TO POURING THE SLAB. REFER TO SHELTER MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. ALLOWABLE SOIL PRESSURE = 2500 PSF (ASSUMED).

NOTE:
SEE GN-3 FOUNDATION, EXCAVATION AND BACKFILL FOR ADDITIONAL NOTES.

NOTE:
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
POLE FOUNDATION DETAILS

SHEET NUMBER
S-1

POLE FOUNDATION DETAILS

SCALE: NOT TO SCALE

1

PLAN NOTES:

1. PLANS DEPICTED ARE GENERAL GUIDELINES FOR TEMPORARY VEHICULAR TRAFFIC CONTROL PLANS (TCP) TO INCLUDE PEDESTRIAN AND WORKER SAFETY. CONTRACTOR IS REQUIRED TO HAVE PREPARED A SITE-SPECIFIC TCP FOR REVIEW AND APPROVAL BY THE HIGHWAY AUTHORITY HAVING JURISDICTION. IF REQUIRED, THE FIRM PREPARING THE TCP SHALL BE AUTHORIZED OR CERTIFIED BY THE AUTHORITY HAVING JURISDICTION.
2. EXTEND CHANNELIZATION DEVICES INTO SHOULDER WHERE APPLICABLE.
3. DISTANCES AS INDICATED IN TABLE 1 SHOULD BE INCREASED FOR CONDITIONS THAT WOULD AFFECT STOPPING. DISTANCE SUCH AS DOWNGRADES OR LIMITED SIGHT DISTANCES. DISTANCES CAN BE DECREASED FOR LOW-SPEED (RESIDENTIAL) AREAS WITH APPROVAL BY THE AUTHORITY HAVING JURISDICTION. NIGHT-TIME WORK IS PROHIBITED UNLESS IT IS REQUIRED AS A CONDITION OF APPROVAL BY THE HIGHWAY AND LOCAL AUTHORITY HAVING JURISDICTION.
4. SHOULDER TAPERS SHOULD BE 1/3 OF THE ON-STREET TAPER LENGTH.
5. MAINTAIN A MINIMUM LANE WIDTH OF 10'.

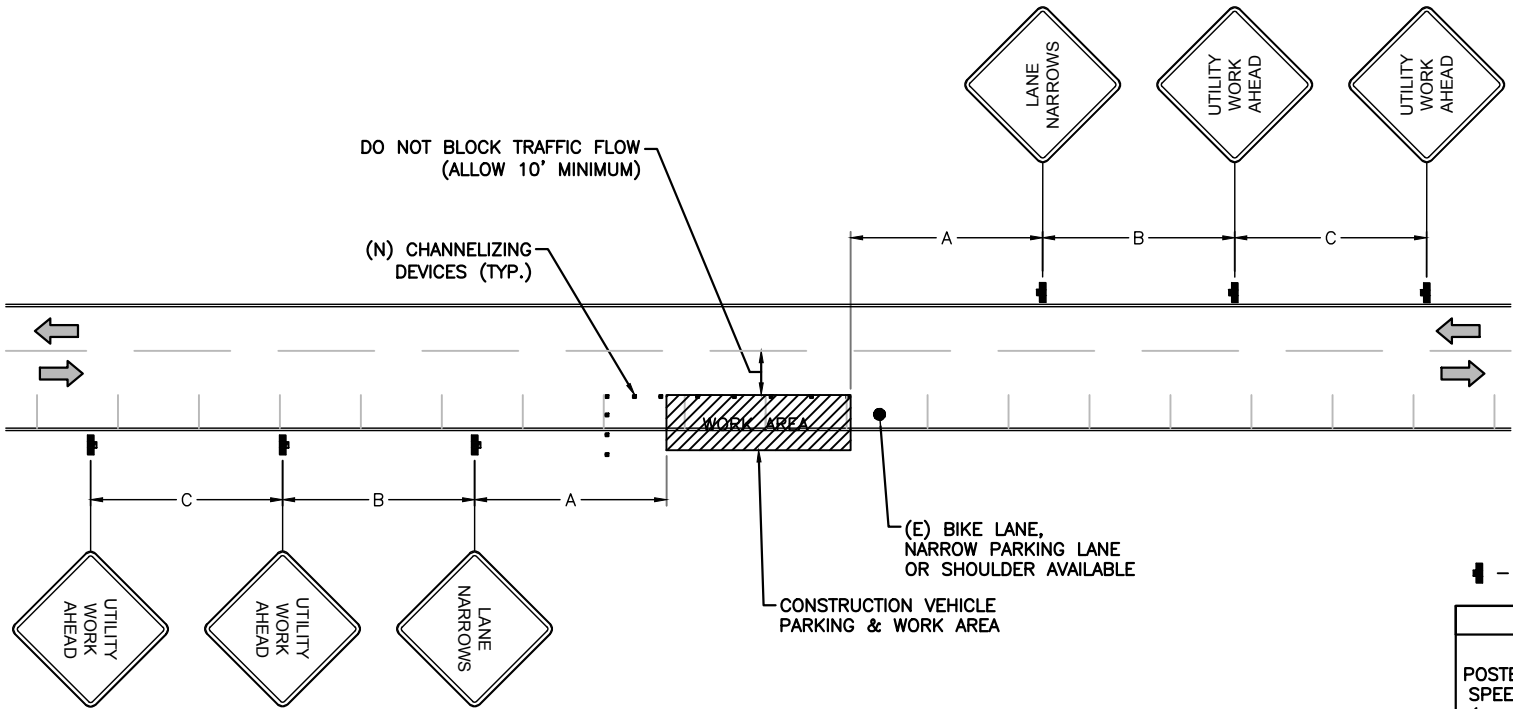


TABLE 1					
POSTED SPEED (MPH)	DISTANCE BETWEEN SIGNS			TAPER	BUFFER
	A	B	C	L (SEE NOTE)	
15	100'	100'	100'	45'	100'
20	100'	100'	100'	80'	115'
25	100'	100'	100'	125'	155'
30	200'	200'	200'	180'	200'
35	200'	200'	200'	245'	250'
40	350'	350'	350'	320'	305'
45	350'	350'	350'	540'	360'
50	500'	500'	500'	600'	425'
55	500'	500'	500'	660'	495'
60	500'	500'	500'	720'	570'
65	500'	500'	500'	780'	645'

NOTES:

A) DISTANCES IN FEET UNLESS OTHERWISE NOTED.

B) CONTRACTOR TO VERIFY (E) SPEED LIMIT.

C) DISTANCES SHOWN ARE NOT VALID FOR LIMITED ACCESS HIGHWAYS. CONSULT STATE DOT MANUAL FOR DISTANCES.

D) ADJUST DISTANCES TO COMPLY WITH REQUIREMENT OF THE STATE OR LOCAL HIGHWAY AUTHORITY HAVING JURISDICTION. SEE NOTE 1, SHEET TC-2.

E) TAPER LENGTHS SHOWN BASED ON 12' LANE WIDTH. SEE NOTE 18, SHEET TC-2.

VEHICULAR TRAFFIC CONTROL PLAN - CURBSIDE PARKING

SCALE: NOT TO SCALE

1

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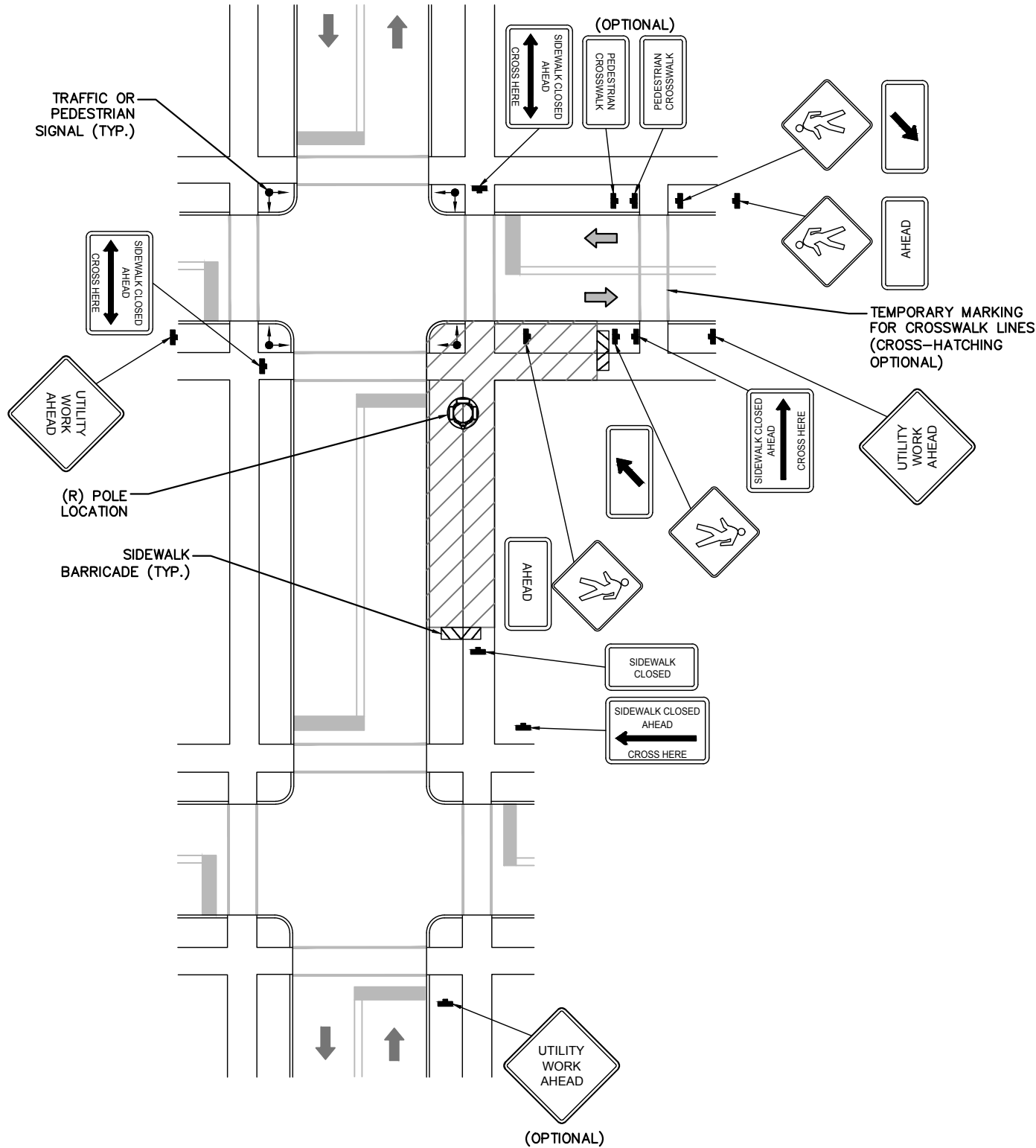
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MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
VEHICULAR TRAFFIC CONTROL PLAN

SHEET NUMBER
TC-1

TRAFFIC CONTROL GENERAL NOTES

1. ALL TEMPORARY TRAFFIC CONTROL SIGNAGE, LAYOUTS AND PROCEDURES SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, WHICHEVER IS MORE STRINGENT.
2. PRIOR TO ANY ROAD CONSTRUCTION, TRAFFIC CONTROL SIGNS AND DEVICES SHALL BE IN PLACE.
3. TRAFFIC CONTROL DEVICES FOR LANE CLOSURES INCLUDING SIGNS, CONES, BARRICADES, ETC. SHALL BE PLACED AS SHOWN ON PLANS. SIGNS SHALL NOT BE PLACED WITHOUT ACTUAL LANE CLOSURES AND SHALL BE IMMEDIATELY REMOVED UPON REMOVAL OF THE CLOSURES.
4. SELECTION, PLACEMENT, MAINTENANCE, AND PROTECTION OF TRAFFIC, PEDESTRIANS, AND WORKERS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) – PART VI "TEMPORARY TRAFFIC CONTROL", AND LOCAL JURISDICTIONAL REQUIREMENTS UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS, AND SHALL BE APPROVED BY THE APPROPRIATE HIGHWAY AUTHORITY HAVING JURISDICTION.
5. ADVANCE WARNING SIGNS, DISTANCES, AND TAPER LENGTHS MAY BE EXTENDED TO ADJUST FOR REDUCED VISIBILITY DUE TO HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY AND FOR ACTUAL TRAFFIC SPEEDS IF IN EXCESS OF POSTED SPEED LIMITS.
6. TAPERS SHALL BE LOCATED TO MAXIMIZE THE VISIBILITY OF THEIR TOTAL LENGTH.
7. CONFLICTING OR NON-OPERATING SIGNAL INDICATIONS ON THE (E) TRAFFIC SIGNAL SYSTEMS SHALL BE BAGGED OR COVERED.
8. ALL (E) ROAD SIGNS, PAVEMENT MARKINGS AND/OR PLOWABLE PAVEMENT REFLECTORS WHICH CONFLICT WITH THE (N) TRAFFIC CONTROL PLAN SHALL BE COVERED, REMOVED, OR RELOCATED. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO MATCH PRE-CONSTRUCTION CONDITION AFTER COMPLETION OF WORK.
9. CONTRACTOR SHALL CONTACT LOCAL AUTHORITY HAVING HIGHWAY JURISDICTION AND PROVIDE ADDITIONAL "FLAGMEN" OR POLICE SUPERVISION, IF REQUIRED.
10. ALL EXCAVATED AREAS WITHIN OR ADJACENT TO THE ROADWAY SHALL BE BACKFILLED AND PLACED ON A MINIMUM 6H:1V SLOPE PRIOR TO END OF EACH WORK DAY. OTHER EXCAVATED AREAS WITHIN THE CLEAR ZONE ARE TO BE EITHER BACKFILLED OR PRECAST CONCRETE CURB BARRIER CONSTRUCTION BARRIER SET TEMPORARILY IN PLACE TO SHIELD VEHICULAR AND PEDESTRIAN TRAFFIC.
11. WHERE DICTATED BY LOCAL CONDITIONS, THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING PEDESTRIAN AND WORKER CROSSING LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES AND OSHA REQUIREMENTS.
12. CONSTRUCTION ZONE SPEED LIMIT IF REDUCED FROM POSTED LIMITS SHALL BE IN ACCORDANCE WITH MUTCD AND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
13. THERE SHALL BE NO WORKERS, EQUIPMENT, OR OTHER VEHICLES IN THE BUFFER SPACE OR THE ROLL AHEAD SPACE.
14. DRIVEWAYS AND/OR SIDE STREETS ENTERING THE ROADWAY AFTER THE FIRST ADVANCE WARNING SIGN SHALL BE PROVIDED WITH AT LEAST ONE W20-1 SIGN (ROAD WORK AHEAD) AS A MINIMUM.
15. CONES MAY BE SUBSTITUTED FOR DRUMS AND INSTALLED UPON THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION PROVIDED THEY COMPLY WITH MUTCD.
16. THE SPACING BETWEEN CONES, TUBULAR MARKERS, VERTICAL PANELS, DRUMS, AND BARRICADES SHOULD NOT EXCEED A DISTANCE IN FEET EQUAL TO 1.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TAPER CHANNELIZATION, AND A DISTANCE IN FEET EQUAL TO 2.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TANGENT CHANNELIZATION.
17. WHEN CHANNELIZATION DEVICES HAVE THE POTENTIAL OF LEADING VEHICULAR TRAFFIC OUT OF THE INTENDED VEHICULAR TRAFFIC SPACE, THE CHANNELIZATION DEVICES SHOULD BE EXTENDED A DISTANCE IN FEET OF 2.0 TIMES THE SPEED LIMIT IN MPH BEYOND THE DOWNSTREAM END OF THE TRANSITION AREA.
18. TAPER LENGTHS ARE CALCULATED AS FOLLOWS:
 $L = WS^2/60$ (40 MPH AND HIGHER) OR $L2 = WS$ (OVER 40 MPH),
WHERE W= OFFSET WIDTH (FT), S= TRAFFIC SPEED (MPH).



TYPICAL PEDESTRIAN / WORKER SAFETY PLAN

SCALE: NOT TO SCALE

1

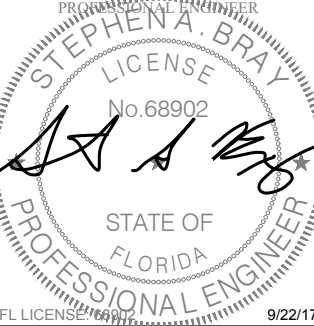
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MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
PEDESTRIAN TRAFFIC
CONTROL PLAN

SHEET NUMBER
TC-2

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILITIE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO OWNER-SUPPLIED ITEMS. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - TRANSMITTER
 - UHF ANTENNA AND MOUNTING BRACKETS, GPS UNIT AND KU BACKHAUL
 - UHF COAX AND HANGERS
 - INTEGRATED LOAD CENTER
- DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILITIE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
- DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMIS AND APPROVED SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
- THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
- CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITIE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
- IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.
- CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
- CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
- CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
- MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ANY EROSION CONTROL MEASURES, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
- ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
- THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OF REGULATIONS, A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILITIE CM PRIOR TO PROCEEDING WITH THE WORK.
- ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

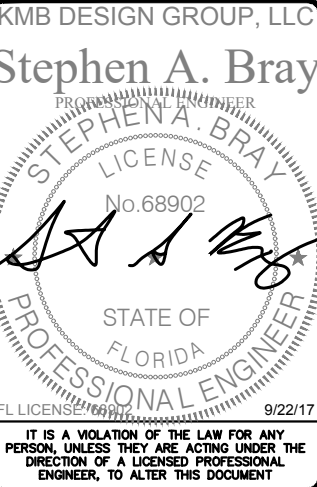
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILITIE CM AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE MOBILITIE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
 - UL – UNDERWRITERS LABORATORIES
 - NEC – NATIONAL ELECTRICAL CODE
 - NEMA – NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - OSHA – OCCUPATIONAL SAFETY AND HEALTH ACT
 - SBC – STANDARD BUILDING CODE
 - NFPA – NATIONAL FIRE PROTECTION AGENCY
 - ANSI – AMERICAN NATIONAL STANDARDS INSTITUTE
 - IEEE – INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
 - ASTM – AMERICAN SOCIETY FOR TESTING MATERIALS
- REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILITIE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
- (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
- CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC... ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILITIE CM, PRIOR TO BEGINNING ANY WORK.
- MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION, UNLESS OTHERWISE NOTED.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY FUNCTIONAL AND SHALL BE APPROVED BY THE MOBILITIE CM AND LOCAL JURISDICTION. ANY DIFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

mobilitie

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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1

ELECTRICAL NOTES CONT'D

1. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
2. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
3. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
4. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILITIE CM PRIOR TO INSTALLATION.
6. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILITIE CM UPON FINAL ACCEPTANCE.
7. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
8. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
9. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
10. RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
11. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
12. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, UNLESS OTHERWISE NOTED, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
13. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
14. SERVICE: AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
15. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
16. ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
17. CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOM".
18. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL

GROUNDING NOTES:

1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR SIZED TO MATCH COMPONENTS OR LOG SIZE.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7. ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. USE SOLID COPPER, BLACK JACKETED WIRE ON NON WOOD POLES AND SOLID TINNED COPPER, BARE (NO JACKET) WIRES ON WOOD POLES. BLACK WIRES WILL USE A SINGLE STRIPE OF GREEN ELECTRICAL TAPE WITHING 12" OF THE CONNECTION POINTS TO IDENTIFY AS GROUNDING WIRE.
8. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
9. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
10. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
11. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:

A. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.

B. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).

C. ONE (1) OR (2) HOLES TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
12. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS).
14. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.

3. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
4. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT.
5. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
6. GPS EQUIPMENT (WHEN REQUIRED) IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DOING SO WILL DAMAGE THE GPS UNIT.
7. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
8. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVES APPROVAL TO ENERGIZE THE EQUIPMENT.

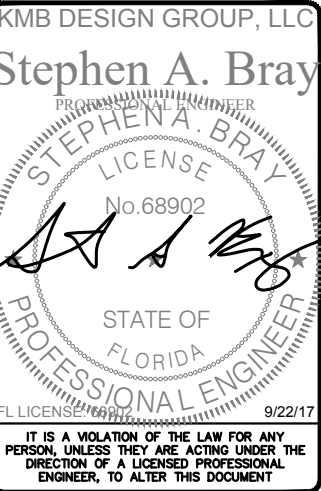
SITE WORK NOTES:

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE. BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILITIE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
7. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

mobilitie

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MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-2

SITE WORK NOTES CONT'D

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILLS PLACED ON (E) SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE (E) SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DEBRIS, PAPER, TRASH, WEEDS, BRUSH, EXCESS FILL, OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

ENVIRONMENTAL NOTES:

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES AS REQUIRED BY THE LOCAL JURISDICTION WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE, BUT IS NOT LIMITED TO SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

FOUNDATION, EXCAVATION AND BACKFILL NOTES:

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
2. BACKFILL OF THE POLE SHALL BE PERFORMED BASED ON THE WATER TABLE. FLOWABLE FILL MIXTURES PURCHASED FROM CONCRETE PLANTS WILL BE USED INSTEAD OF FOAM IN WATER TABLE AREAS.

A: NORMAL SOILS ORDER OF PREFERENCE – FOAM, FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES

B: HIGH WATER TABLE SOILS ORDER OF PREFERENCES – FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES.
3. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED LIME STONE #57 MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
5. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
6. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
7. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
8. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
9. NEWLY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE: TYPAR-3401 AS MANUFACTURED BY TYPAR GEOSYNTHETICS OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENCE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED.
10. IN ALL AREAS TO RECEIVE FILL: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH (E)/PREPARED SOIL SURFACE.
11. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
12. IN AREAS WHICH (E) GRAVEL SURFACING IS REMOVED OR DISTURBED DURING

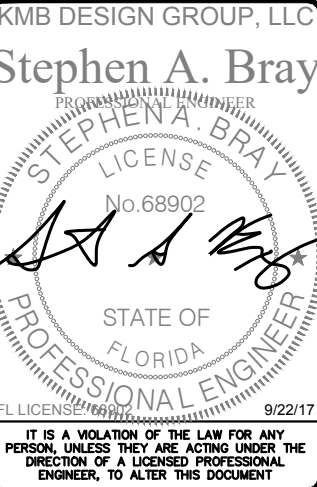
CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.

13. (E) GRAVEL SURFACING MAY NOT BE REUSED.
14. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
15. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING 'MATTS' OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
16. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
17. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

mobilitie

PROJECT NO:	9FLB003932D
DRAWN BY:	RC
CHECKED BY:	SJB

B	09-22-17	REVISION
A	08-18-17	FOR CLIENT REVIEW



MI90XSL95D
MIAMI BEACH, FL 33139
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-3

LESSOR'S LEGAL DESCRIPTION
MIAMI-DADE COUNTY, CITY OF MIAMI BEACH RIGHT OF WAY

FLOOD ZONE DESIGNATION
THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "AE" WITH A BFES OF 8 FEET. AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 12086C0317L DATED 09/11/09.

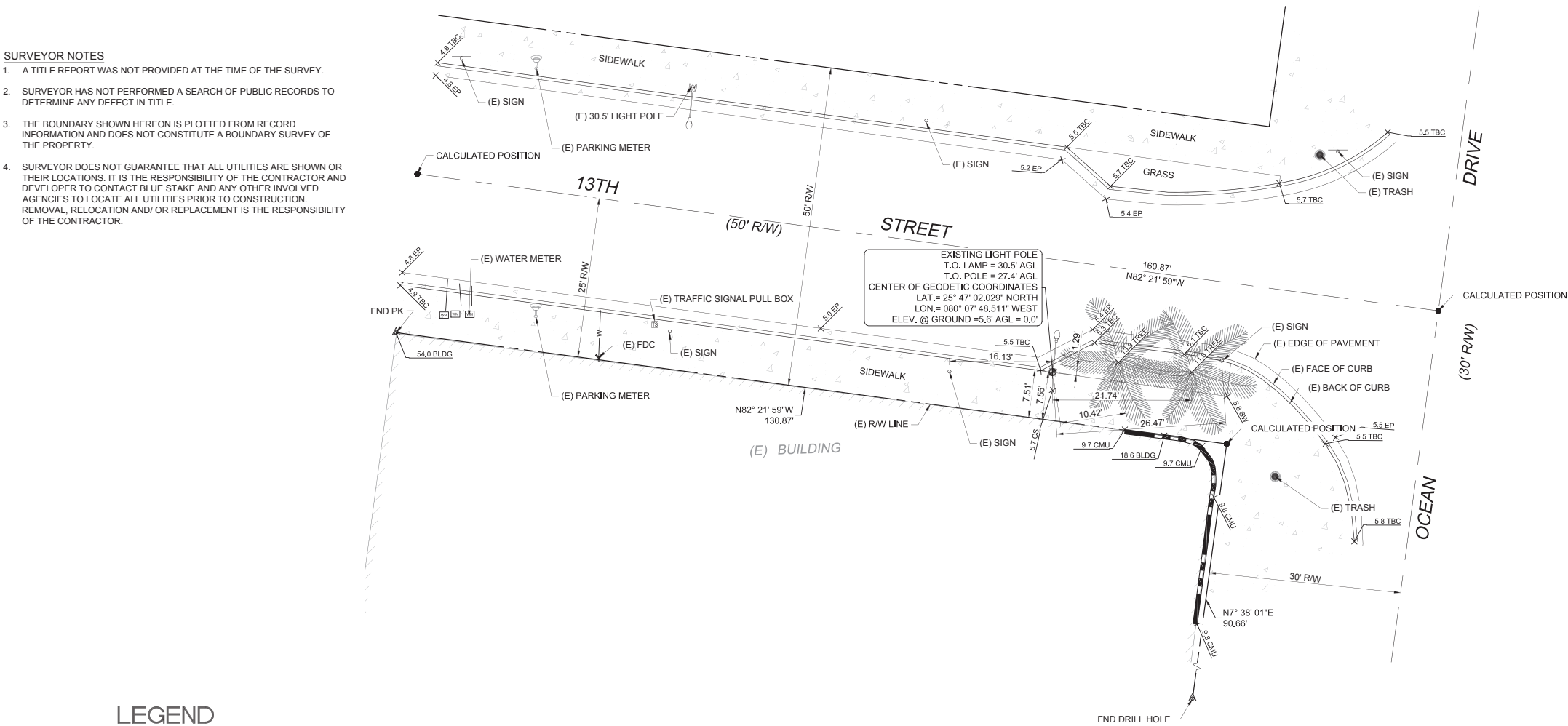
ZONE AE - AN AREA INUNDATED BY 1% ANNUAL CHANCE FLOODING, FOR WHICH BFES HAVE BEEN DETERMINED.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 12B SEPARATIONS BASED ON NETWORK GPS SOLUTIONS OR CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM FLORIDA STATE PLANE COORDINATE ZONE EAST, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 08/06/17.

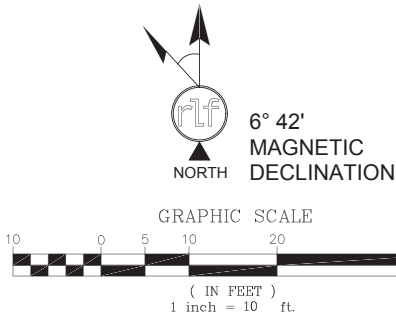
SURVEYOR NOTES

- A TITLE REPORT WAS NOT PROVIDED AT THE TIME OF THE SURVEY.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.



LEGEND

- (E) EXISTING
- FDC FIRE DEPARTMENT HOOKUP
- (E) ELECTRIC MANHOLE
- (S) SANITARY SEWER MANHOLE
- (F) FIBER MANHOLE
- (TS) TRAFFIC SIGNAL PULL BOX
- PK/WASHER
- (BCFL) BRASS CAP FLUSH (BCFL)
- WATER METER
- STREET LIGHT W/ MAST ARM
- DECIDUOUS TREE
- WATER VALVE
- PARKING METER
- SIGN
- BREAKLINE
- TRASH
- POSITION OF GEODETIC COORDINATES
- POWER POLE
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL VAULT
- RIGHT-OF-WAY LINE
- CENTERLINE



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FIELD BY:	JTS
DRAWN BY:	VAL
CHECKED BY:	KEM

REVISIONS

NO.	DATE	DESCRIPTION
1	09/15/17	FINAL



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PROJECT No. 08002092
SITE NAME: MI90XSL95D
SITE ADDRESS: 13TH ST & OCEAN DR MIAMI BEACH FL, 33139

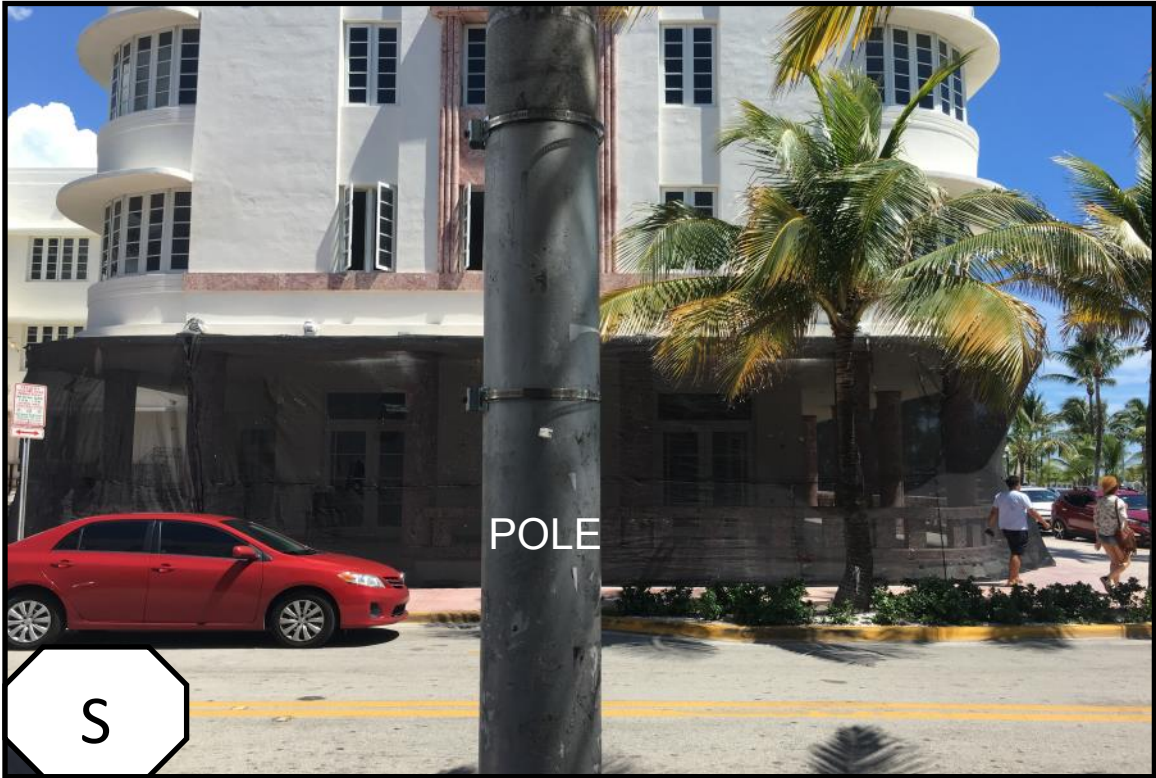
SHEET TITLE: TOPOGRAPHIC SURVEY

SHEET NO. LS-1	REVISION: 1
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Photos taken on 8/15/17



VIEWS FROM
PROPOSED
LOCATION



Approximate Address: 102 13th Street
Candidate: MI90XSL95D

Photos taken on 8/15/17



Additional
Site Photos



Approximate Address: 102 13th Street
Candidate: MI90XSL95D