

Scope of Work Narrative

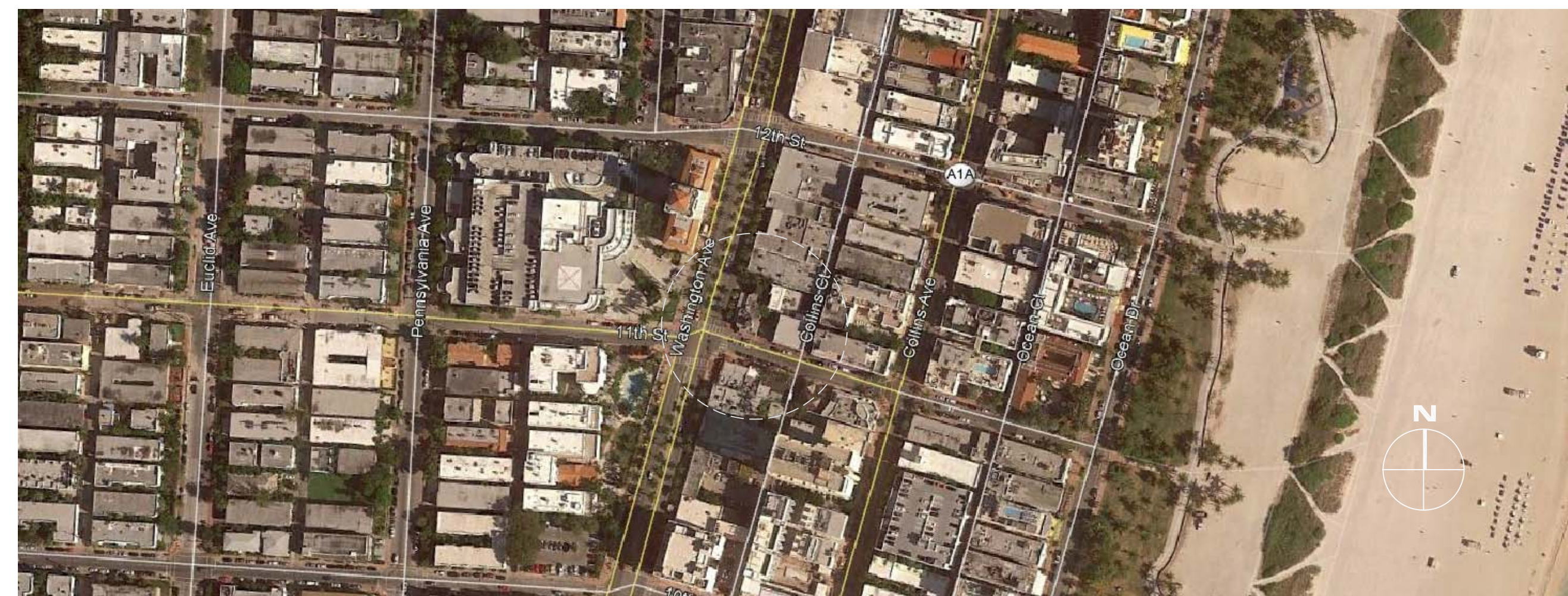
THIS PROJECT CONSISTS OF THE EXTERIOR AND INTERIOR RENOVATION OF EXISTING BURGER KING RESTAURANT LOCATED ON 1101 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA, 33139. THE SCOPE OF WORK IS AS FOLLOWS:

- PARTIAL DEMOLITION OF EXISTING EXTERIOR CMU WALLS
- MODIFICATION OF STOREFRONT SYSTEM
- MODIFICATION OF EXTERIOR FACADE TO INCLUDE NEW FINISHES AS SHOWN HEREIN
- MODIFICATION OF MAIN ENTRANCE FROM CURRENT LOCATION TO CORNER TOWER
- REMOVAL OF EXTERIOR CANOPY AT REAR OUTDOOR SEATING AREA
- NEW CMU BLOCK ENCLOSURE FOR WALK IN COOLER/ FREEZER TO SQUARE OFF BUILDING NORTH END

Location Map



Street Map



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BURGER KING WHOPPER BAR
FINAL SUBMITTAL - HISTORIC
PRESERVATION BOARD

1101 WASHINGTON AVENUE
MIAMI BEACH, FLORIDA, 33139

FINAL CAP SUBMITTAL
DECEMBER 8, 2017

Project Team

OWNER Burger King Corporation 5505 Blue Lagoon Drive Miami, FL 33126 T. 866.394.2493 www.designwithbk.com	ARCHITECT red design group LLC 1000 S. Red Road, Suite 202 West Miami, FL 33144 T. 305.392.0024 www.reddesigngroup.net	LANDSCAPE MLA Group, Inc. 1016 NE 45th Street Oakland Park, FL, 33334 T. 954.763.4071 www.mlagroupinc.com
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Sheet Index

	COVER SHEET
A-0.1	EXISTING CONDITIONS IMAGES
A-0.2	RENDERINGS
A-0.3	FAR DIAGRAMS & SITE ZONING INFO
A-0.4	EXISTING / DEMO SITE PLAN
A-0.5	PROPOSED SITE PLAN
D-1.0	EXISTING/DEMOLITION PLAN
D-3.0	EXISTING/DEMOLITION ELEVATIONS
D-3.1	EXISTING/DEMOLITION ELEVATIONS
A-1.0	PROPOSED FLOOR PLAN
A-3.0	PROPOSED ELEVATIONS
A-3.1	PROPOSED ELEVATIONS
A-3.2	PROPOSED ELEVATIONS
A-3.0a	PROPOSED COLORED ELEVATIONS
A-3.1a	PROPOSED COLORED ELEVATIONS
A-3.2a	PROPOSED COLORED ELEVATIONS
A-4.0	EXISTING BUILDING SECTION

Architecture

L-1	LANDSCAPE PLAN
L-2	TREE DISPOSITION PLAN
L-3	LANDSCAPE DETAILS & SPECIFICATIONS

Landscape

CODES INFORMATION

THE FOLLOWING BUILDING CODES, CURRENT EDITIONS
UNLESS OTHERWISE SPECIFIED, WILL BE ADHERED TO:
- FLORIDA BUILDING CODE - FBC 2014
- FLORIDA EXISTING BUILDING CODE 2014
- FLORIDA ACCESSIBILITY CODE 2014
- FBC PLUMBING CODE 2014
- FBC MECHANICAL CODE 2014
- FBC ELECTRICAL CODE 2014
- FBC FUEL-GAS CODE 2014
- NFPA 101 CURRENT EDITION
- FLORIDA FIRE PREVENTION CODE 5th EDITION
- CITY OF MIAMI BEACH ORDINANCES

CONSTRUCTION TYPE

EXISTING TYPE V UNSPRINKLERED TO REMAIN

OCCUPANCY TYPE

EXISTING ASSEMBLY GROUP A-2 TO REMAIN

OCCUPANCY COUNT

	AREA	LOAD FACTOR	LOAD
1- CORRIDOR	66 SF	100	-
2- RESTROOMS	123 SF	200	-
3- STANDING AREA	120 SF	3	40
4- LOOSE SEATING	400 SF	15	27
5- FIXED SEATING	422 SF	24 SEATS	24
6- KITCHEN	1407 SF	100	15
7- EXT. WALL @	106 SF	-	-
4 & 5 ABOVE			-
TOTALS	2644 SF		106

INDOOR SEATING = 51 SEATS
OUTDOOR SEATING =46 SEATS
TOTAL SEATING = 97 SEATS

TO THE BEST OF THE ARCHITECTS AND ENGINEERS KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.



1 Existing North Facade
N.T.S.



2 Existing South Facade
N.T.S.



3 Existing South-West Facade
N.T.S.



4 Existing West Facade
N.T.S.

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Revisions		
NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17

Sheet Information

Date	11-20-17
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Drawn	LSC, JP
Checked	EHM
Approved	EHM
Title	

EXISTING
CONDITIONS
IMAGES

Sheet

A-0.1



1 EXTERIOR VIEW
N.T.S.



2 VIEW OF EXTERIOR SEATING AREA
N.T.S.



3 VIEW OF EXTERIOR SEATING AREA
N.T.S.

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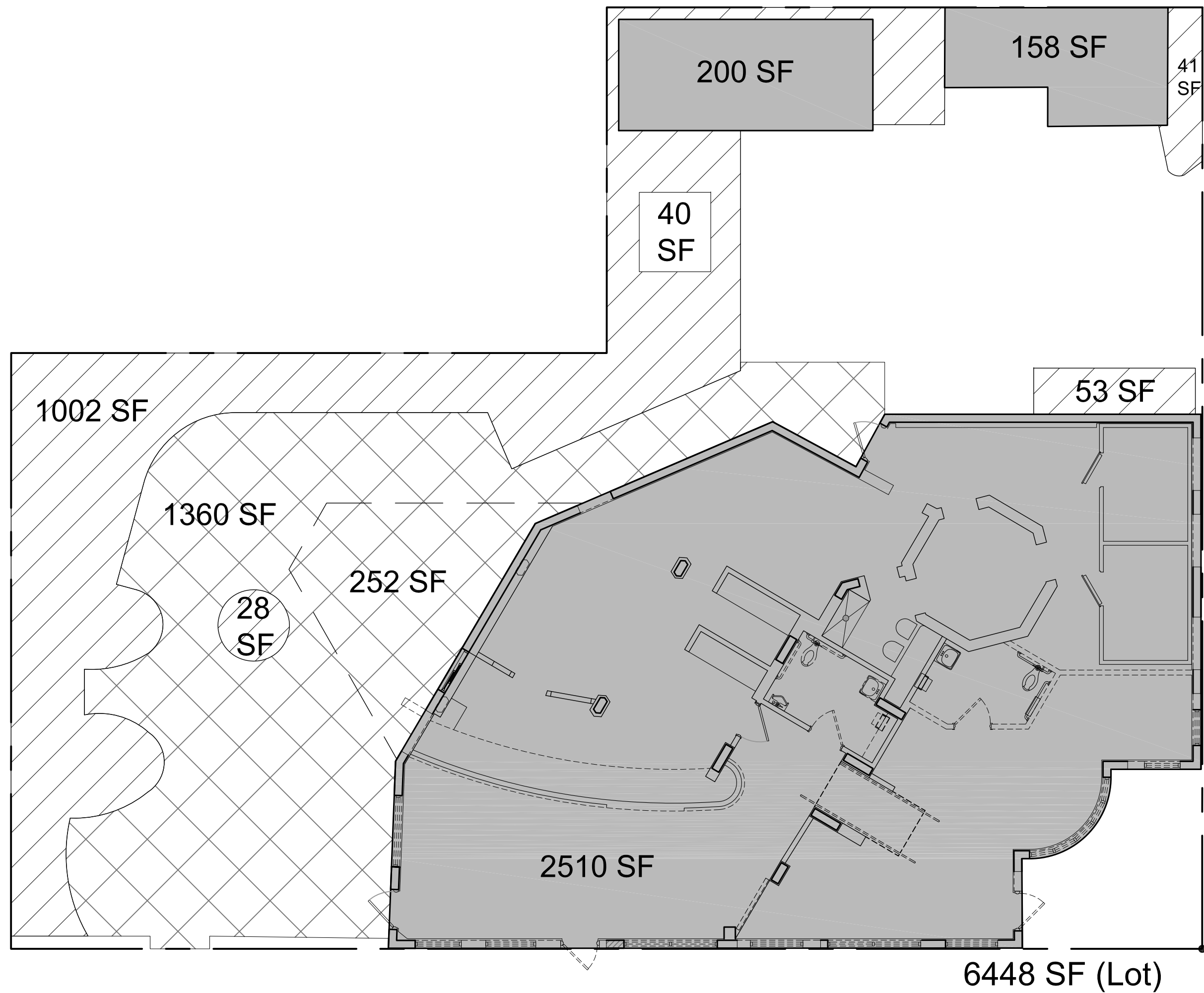
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RENDERINGS

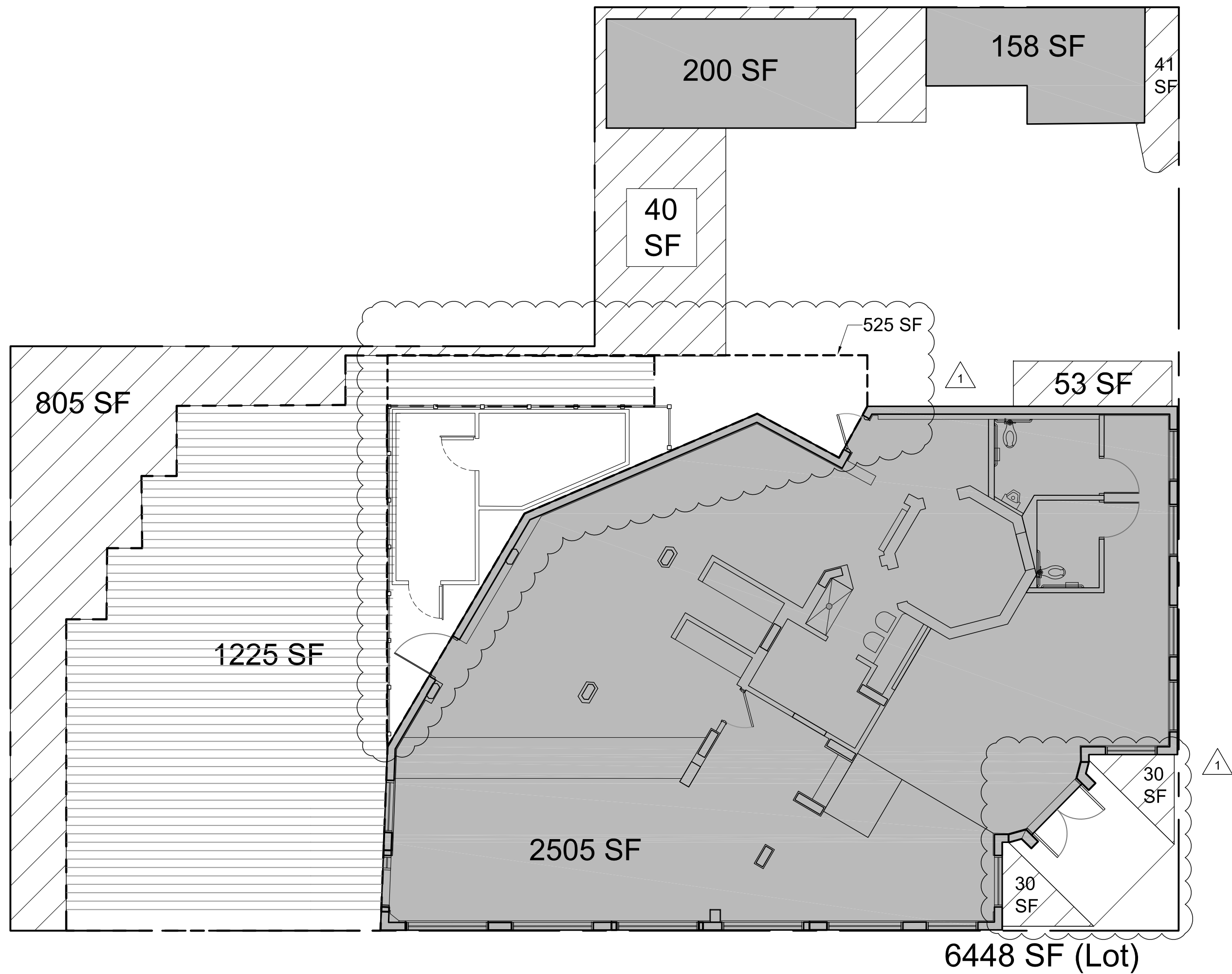
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A-0.2



1 FAR DIAGRAM - EXISTING
SCALE: 1/8" = 1'-0"

BUILDING AREA
LANDSCAPE AREA
PAVERS AREA
ASPHALT/SIDEWALK AREA
CANOPY OVERHEAD



2 FAR DIAGRAM - PROPOSED
SCALE: 1/8" = 1'-0"

BUILDING AREA
LANDSCAPE AREA
PAVERS AREA
ASPHALT/SIDEWALK AREA
CANOPY OVERHEAD

SITE ZONING INFORMATION		1																								
SITE LOCATION: _____ 1101 WASHINGTON AVENUE MIAMI BEACH, FLORIDA, 33139		SITE DATA: ZONING : CD-2 COMMERCIAL, MEDIUM INTENSITY <table><tr><td>LOT AREA</td><td>EXISTING</td><td>PROPOSED</td></tr><tr><td>TOTAL LOT</td><td>6,448 S.F. (100%)</td><td>6,448 S.F. (100%)</td></tr><tr><td>BUILDING FOOTPRINT</td><td>2,510 S.F. (39.0%)</td><td>2,505 S.F. (38.9%)</td></tr><tr><td>LANDSCAPE</td><td>1,096 S.F. (17.0%)</td><td>919 S.F. (14.3%)</td></tr><tr><td>PAVERS</td><td>1,360 S.F. (21.1%)</td><td>1,225 S.F. (19.0%)</td></tr><tr><td>ASPHALT/SIDEWALK</td><td>1,124 S.F. (17.4%)</td><td>1,441 S.F. (22.3%)</td></tr><tr><td>TRASH ROOM</td><td>158 S.F. (2.4%)</td><td>158 S.F. (2.4%)</td></tr><tr><td>FPL VAULT</td><td>200 S.F. (3.1%)</td><td>200 S.F. (3.1%)</td></tr></table>	LOT AREA	EXISTING	PROPOSED	TOTAL LOT	6,448 S.F. (100%)	6,448 S.F. (100%)	BUILDING FOOTPRINT	2,510 S.F. (39.0%)	2,505 S.F. (38.9%)	LANDSCAPE	1,096 S.F. (17.0%)	919 S.F. (14.3%)	PAVERS	1,360 S.F. (21.1%)	1,225 S.F. (19.0%)	ASPHALT/SIDEWALK	1,124 S.F. (17.4%)	1,441 S.F. (22.3%)	TRASH ROOM	158 S.F. (2.4%)	158 S.F. (2.4%)	FPL VAULT	200 S.F. (3.1%)	200 S.F. (3.1%)
LOT AREA	EXISTING		PROPOSED																							
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ZONING DISTRICT: _____ COMMERCIAL, CD-2																										
LOT AREA: _____ 6,448 SQ. FT.																										
LOT LEGAL DESCRIPTION: THE WEST 79.30 FEET OF LOT 8 AND THE WEST 50 FEET OF LOT 9, BLOCK 29 OF "OCEAN BEACH ADDITION NO. 2", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 56, PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.		F.A.R.: <table><tr><td>FLOOR AREA</td><td>EXISTING</td><td>PROPOSED</td></tr><tr><td>BUILDING FOOTPRINT</td><td>2,510 S.F.</td><td>2,505 S.F.</td></tr><tr><td>FPL VAULT</td><td>200 S.F.</td><td>200 S.F.</td></tr><tr><td>CANOPY OVERHEAD</td><td>252 S.F.</td><td>525 S.F.</td></tr><tr><td>WALK-IN REF.</td><td>N/A</td><td>204 S.F.</td></tr><tr><td>TOTAL</td><td>2,962 S.F.</td><td>3,434 S.F.</td></tr></table> 2,962 S.F. / 6448 S.F. = 0.46 3,434 S.F. / 6448 S.F. = 0.53 MAX F.A.R. = 1.5 EXIST F.A.R. = 0.46 PROPOSED F.A.R. = 0.53	FLOOR AREA	EXISTING	PROPOSED	BUILDING FOOTPRINT	2,510 S.F.	2,505 S.F.	FPL VAULT	200 S.F.	200 S.F.	CANOPY OVERHEAD	252 S.F.	525 S.F.	WALK-IN REF.	N/A	204 S.F.	TOTAL	2,962 S.F.	3,434 S.F.						
FLOOR AREA	EXISTING		PROPOSED																							
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FPL VAULT	200 S.F.		200 S.F.																							
CANOPY OVERHEAD	252 S.F.	525 S.F.																								
WALK-IN REF.	N/A	204 S.F.																								
TOTAL	2,962 S.F.	3,434 S.F.																								
EXISTING AND PROPOSED SQUARE FOOTAGE:																										
EXISTING BUILDING SQUARE FOOTAGE _____ 2,868 SQ. FT.																										
PROPOSED BUILDING SQUARE FOOTAGE _____ 3,160 SQ. FT.																										
MINIMUM OPEN SPACE REQUIRED (20%) _____ 1,290 SQ. FT.																										
TOTAL OPEN SPACE PROVIDED (51%) _____ 3,288 SQ. FT.																										
SETBACKS:																										
	ALLOWED	PROVIDED																								
FRONT	5'	(EXIST TO REMAIN)																								
EXTERIOR SIDE	5'	(EXIST TO REMAIN)																								
INTERIOR SIDE	5'	(EXIST TO REMAIN)																								
REAR	5'	(EXIST TO REMAIN)																								

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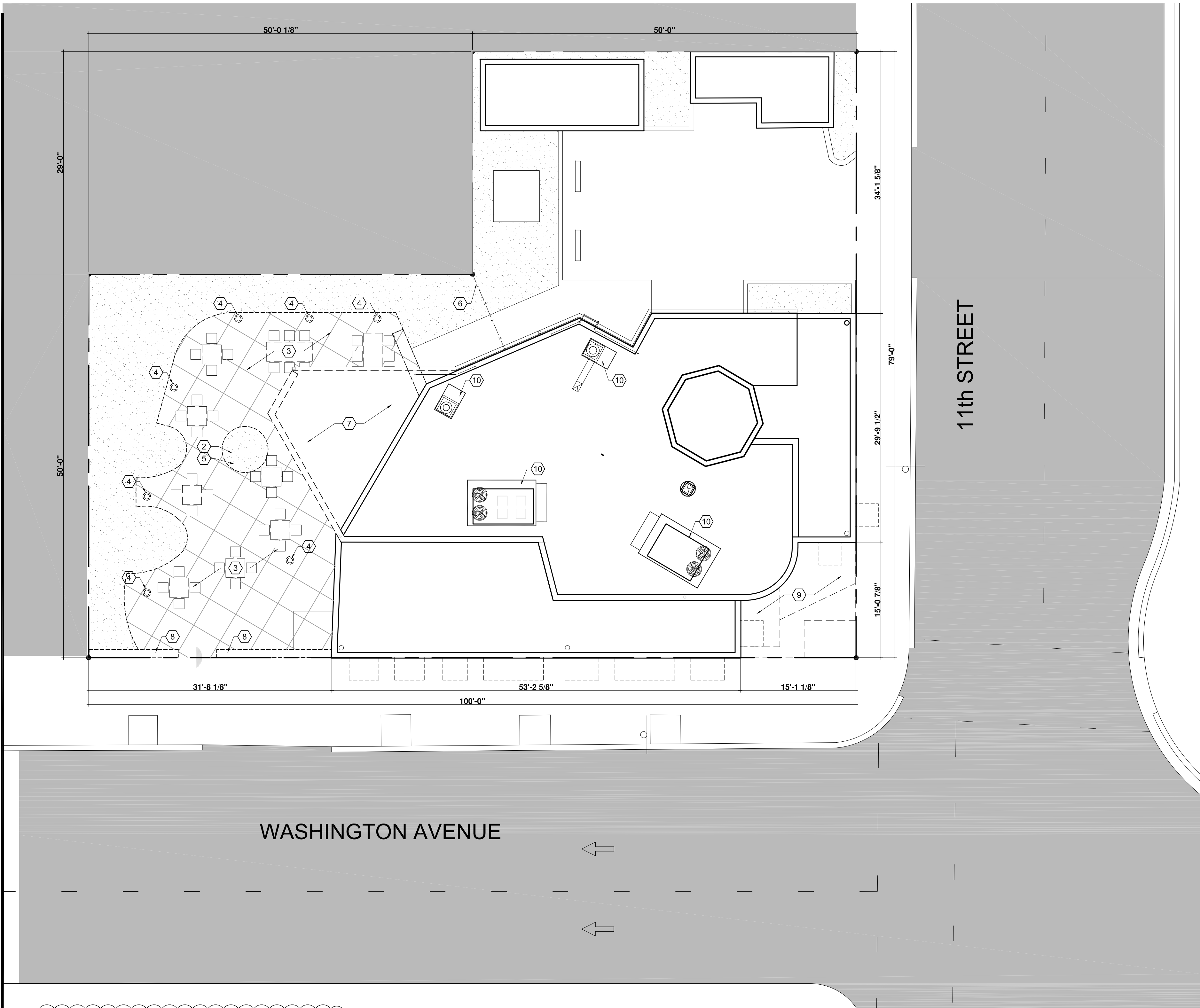
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FAR DIAGRAMS &
SITE ZONING INFO



1

SITE PLAN

SCALE: 1/8" = 1'-0"

N

SITE DEMOLITION KEY NOTES

NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT/ENGINEER.

- NO WORK THIS AREA.
- RELOCATE LANDSCAPE AS REQUIRED. REFER TO LANDSCAPE DRAWINGS.
- REMOVE EXISTING OUT DOOR SEATING FURNITURE. PREPARE AREA TO RECEIVE NEW EXTERIOR FURNITURE AND FLOOR FINISH.
- REMOVE EXISTING LIGHTING FIXTURES AS SHOWN. PREPARE AREA TO RECEIVE NEW LIGHT POLES AND FIXTURES. REFER TO LANDSCAPE & ELECTRICAL DRAWINGS.
- REMOVE LANDSCAPE PLANTERS AS SHOWN. REFER TO LANDSCAPE DRAWINGS FOR NEW LANDSCAPE REQUIREMENTS.
- REMOVE EXISTING WOOD FENCE. COORDINATE REPLACEMENT WITH OWNER REPRESENTATIVE.
- REMOVE EXISTING COLUMN AND CANOPY STRUCTURE OVERHEAD AS SHOWN. CONTRACTOR TO PROVIDE ADEQUATE SHORING AND USE CAUTION AS TO PREVENT DAMAGE TO EXISTING PROPERTY. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING KNEE WALL AS SHOWN. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING SLOPED SURFACE AS REQUIRED TO RECEIVE NEW ENTRANCE CONCRETE PAD.
- EXISTING ROOFTOP MECHANICAL EQUIPMENT TO REMAIN

GENERAL DEMOLITON NOTES

- THE GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO CARRY OUT THIS DEMOLITION PROJECT IN FULL COMPLIANCE WITH THE 2014 FLORIDA BUILDING CODE.
- G.C. IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- G.C. IS RESPONSIBLE FOR THE STORAGE AND DISPOSAL OF DEBRIS FOR THE DURATION OF CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR PROVIDING BARRICADES TO STOP ANY PEDESTRIAN TRAFFIC AT THE AREA OF CONSTRUCTION.
- IN THE EVENT THAT ANY DISCREPANCIES ARE FOUND DURING THE DEMOLITION STAGE, THE G.C. IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT/ ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- ALL ELECTRICAL OUTLETS, FIXTURES, EQUIPMENT, ETC. BEING REMOVED SHALL HAVE ALL WIRES PULLED BACK ALL THE WAY TO THE POINT OF ORIGIN.
- ALL ABANDONED PLUMBING PIPES BELOW SLAB AND INSIDE WALLS SHALL BE CAPPED OFF USING AN APPROVED METHOD.
- G.C. IS RESPONSIBLE FOR NOTIFYING THE GAS CO. OF ANY GAS LINES, OR FUEL STORAGE TANKS FOUND IN THE PATH OF CONSTRUCTION PRIOR TO REMOVAL.
- G.C. SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ANY DEBRIS THAT MAY OCCUR DUE TO THE SCOPE OF WORK.
- G.C. IS RESPONSIBLE FOR PATCHING UP ANY AREAS DAMAGED DUE TO THE DEMOLITION OR CONSTRUCTION OF THIS PROJECT.
- OWNER IS RESPONSIBLE FOR PROVIDING AN ASBESTOS REPORT PRIOR TO THE REMOVAL OF ANY MATERIALS.
- G.C. SHALL DISCONNECT ALL EXISTING UTILITIES AS REQUIRED PRIOR TO COMENCING WORK.
- CONTRACTOR SHALL PROVIDE SHORING AS REQUIRED AT NEW MASONRY WALL OPENINGS WHILE PREPARING NEW STRUCTURAL SUPPORTS.

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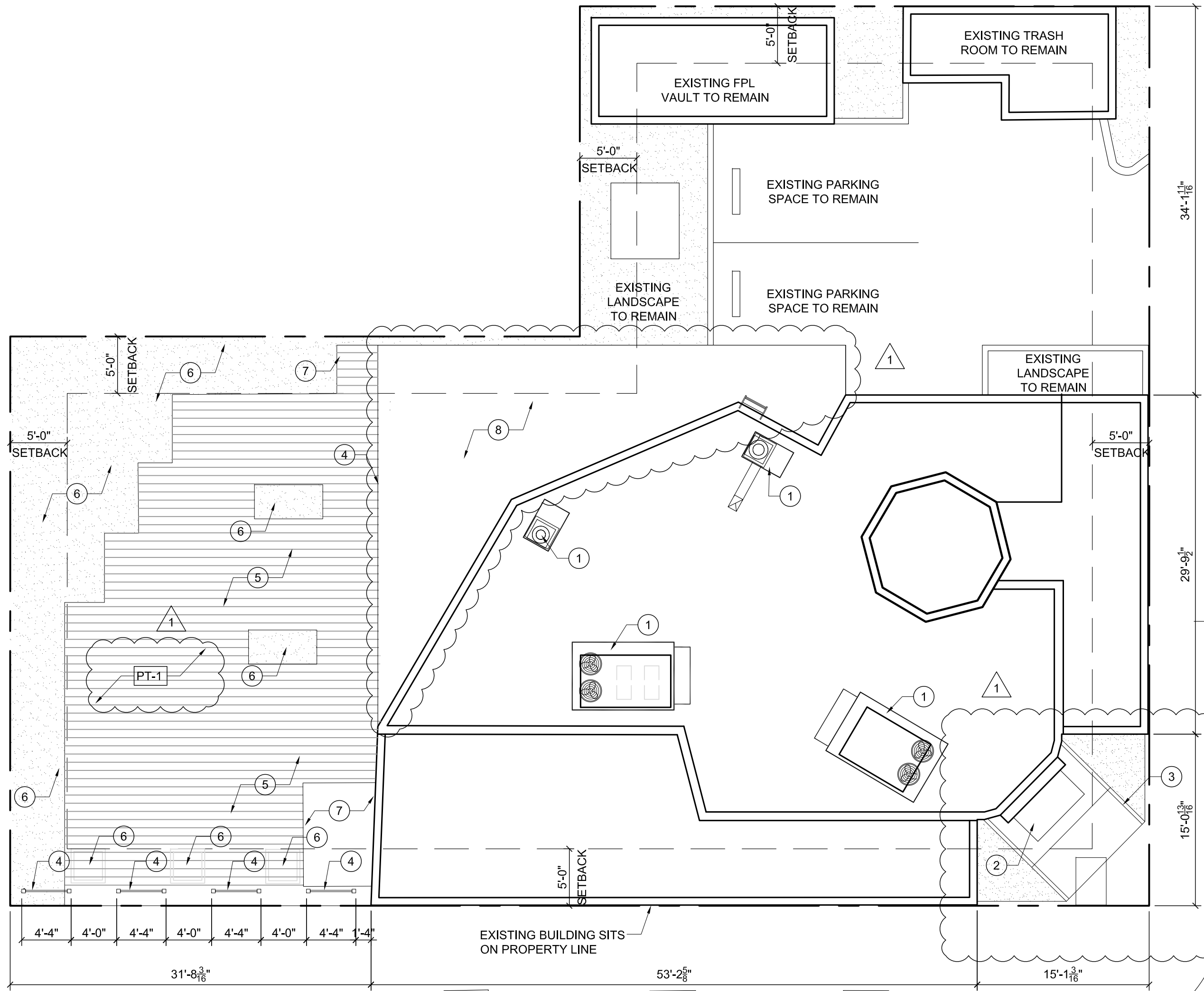
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EXISTING / DEMO
SITE PLAN

Sheet

A-0.4



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0" N

PLAN LEGEND	
	EXISTING CONCRETE COLUMN TO REMAIN
	EXISTING WALL TO REMAIN
	NEW BLOCK WALL
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
	WALL OR PARTITION WITH EXISTING DOOR TO REMAIN
	NEW DOOR TO BE INSTALLED
	LIGHT FIXTURES
	WALL MOUNTED LIGHT FIXTURE
	WALL MOUNTED FLUORESCENT LIGHT
	NEW HIGH HAT LIGHT FIXTURE
	FLUORESCENT LIGHT
	HVAC SUPPLY GRILL
	EXHAUST FAN
	TV LOCATION
	NEW WORK KEYNOTE
	ELEVATION SYMBOL
	SECTION SYMBOL

- SITE PLAN KEY NOTES**
- ROOF TOP HVAC EQUIPMENT TO REMAIN
 - NEW ENTRANCE CANOPY UNDER SEPARATE PERMIT. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 - NEW ENTRANCE CONCRETE PAD WITH SLOPES COMPLYING WITH FBC 2014 ACCESSIBILITY
 - NEW OUTDOOR SEATING ALUMINUM TRELLIS PRIVACY SCREENS UNDER SEPARATE PERMIT. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 - NEW EXTERIOR FLOORING AT OUTDOOR SEATING
 - NEW LANDSCAPE AS SHOWN ON LANDSCAPE PLANS
 - INSTALL NEW CONCRETE PAVERS AS SHOWN
 - NEW CANOPY BY DELEGATED ENGINEER. GC TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR FABRICATION AND INSTALLATION.

LANDSCAPE NOTE

1. LANDSCAPE SHALL COMPLY WITH LANDSCAPING REQUIREMENTS DESCRIBED IN THE MIAMI BEACH CODE OF ORDINANCES. REFER TO LANDSCAPE DRAWINGS.

EXTERIOR FINISH SCHEDULE		
PT-1	PORCELAIN TILE	TILE: PAR 18449S6 150 x 18.7cm x 6mm MANUFACTURER: QUERCIA PETRAEA

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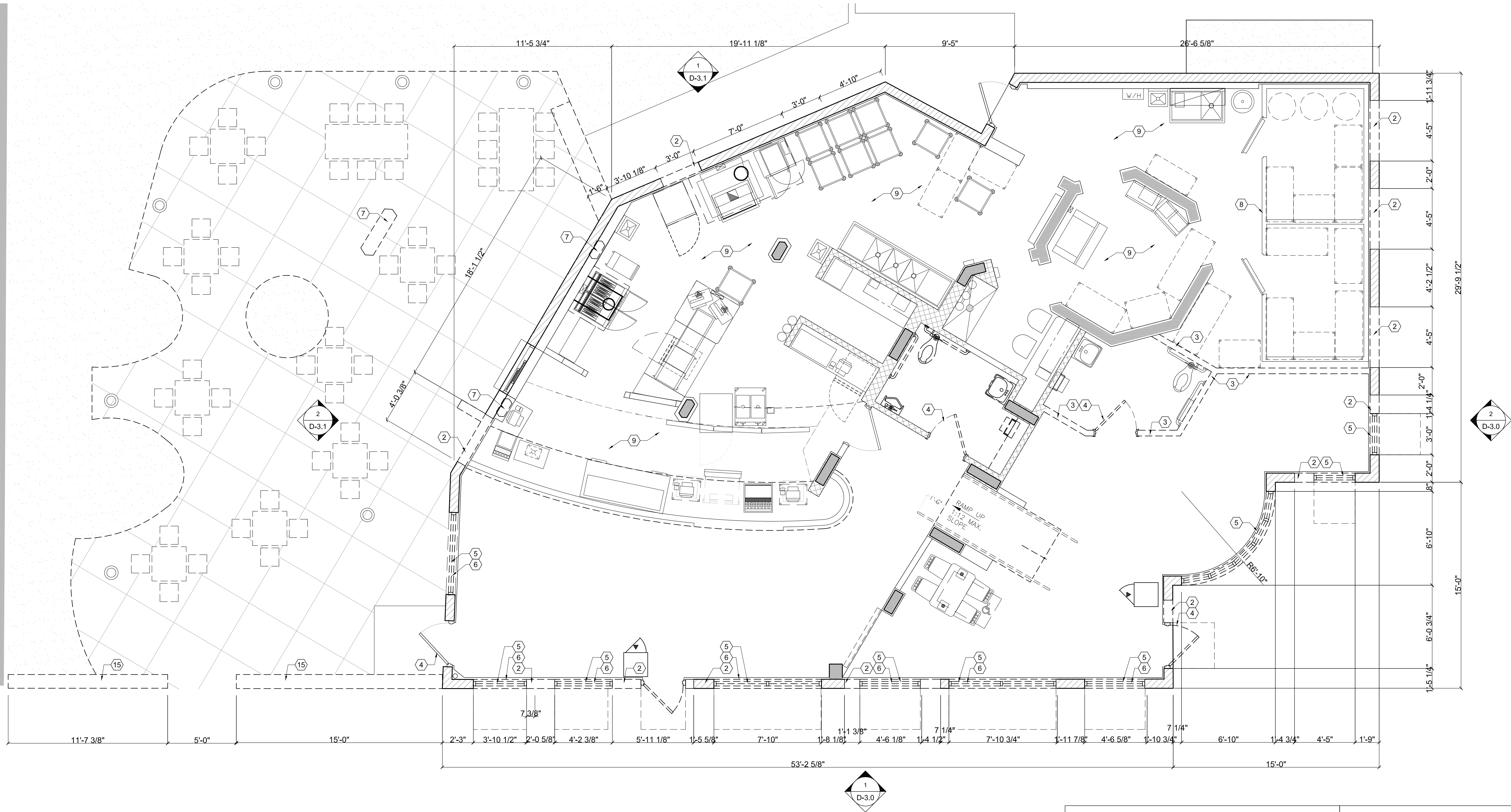
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PROPOSED
SITE PLAN

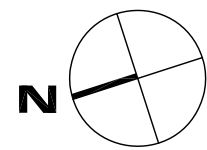
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1 EXISTING/ DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



DEMOLITON KEY NOTES

NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.

- NO WORK THIS AREA.
- PARTIALLY REMOVE EXISTING CMU WALL. CONTRACTOR TO PROVIDE ADEQUATE SHORING AND EXERCISE CAUTION IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY OF STRUCTURAL ELEMENTS TO REMAIN. GC TO PREPARE ALL AREAS TO RECEIVE NEW FINISHES.
- REMOVE EXISTING INTERIOR PARTITION.
- REMOVE EXISTING DOOR, HARDWARE, FRAME AND MOLDINGS.
- REMOVE EXISTING WINDOW, HARDWARE AND FRAME.
- PREPARE WALL AREA AROUND OPENING TO BE CLOSED.
- REMOVE EXISTING CONCRETE COLUMN. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING WALK-IN FREEZER/COOLER. GC TO COORDINATE WITH OWNER STORAGE AND/OR RELOCATION OF WALK-IN FREEZER/COOLER. REFER TO MEP DRAWINGS.
- REMOVE AND RELOCATE KITCHEN APPLIANCES AND EQUIPMENT. CAP ALL PLUMBING LINES AS REQUIRED. REFER TO MEP DRAWINGS.
- REMOVE WITH CAUTION EXISTING ROOF AND ROOF STRUCTURE AS NEEDED. PREPARE AREA FOR NEW ROOF AS PER NEW ROOF LAYOUT.
- DEMO EXISTING CONCRETE SLOPED SURFACE. PREPARE AREA TO RECEIVE NEW FINISHES.
- REMOVE EXISTING AWNING.
- REMOVE EXISTING MILLWORK, AND EQUIPMENT. COORDINATE WITH OWNER RELOCATION AND STORAGE OF EQUIPMENT APPLIANCES.
- REMOVE LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- REMOVE CONCRETE KNEE WALL. REFER TO STRUCTURAL DRAWINGS.

DEMOLITION LEGEND

	EXISTING CMU WALL TO REMAIN.
	EXISTING PARTITION TO REMAIN.
	EXISTING TO BE REMOVED.
	EXISTING CONCRETE COLUMN OR WALL TO REMAIN.
	EXISTING COLUMN TO BE REMOVED.
	EXISTING DOOR TO REMAIN AND DOOR TO BE REMOVED.
	DEMOLITION KEY NOTE SYMBOL.
	ELEVATION SYMBOL.
	SECTION SYMBOL.

NOTE:
CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECTS OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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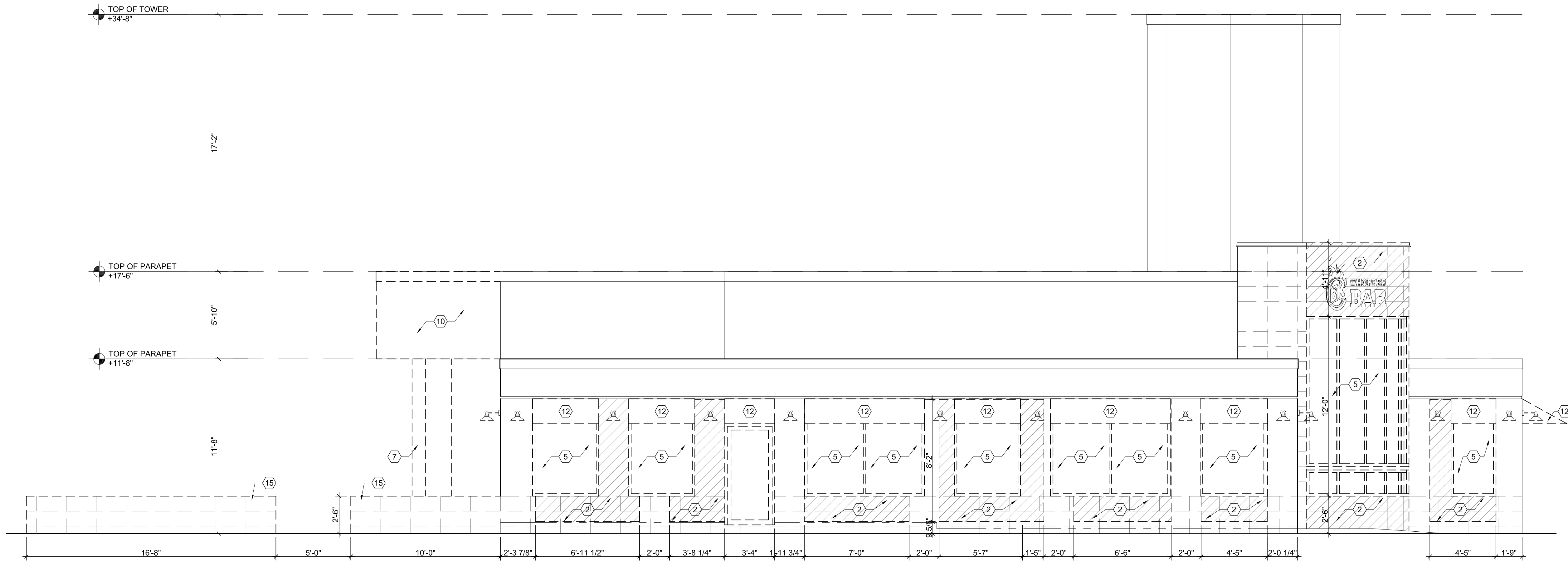
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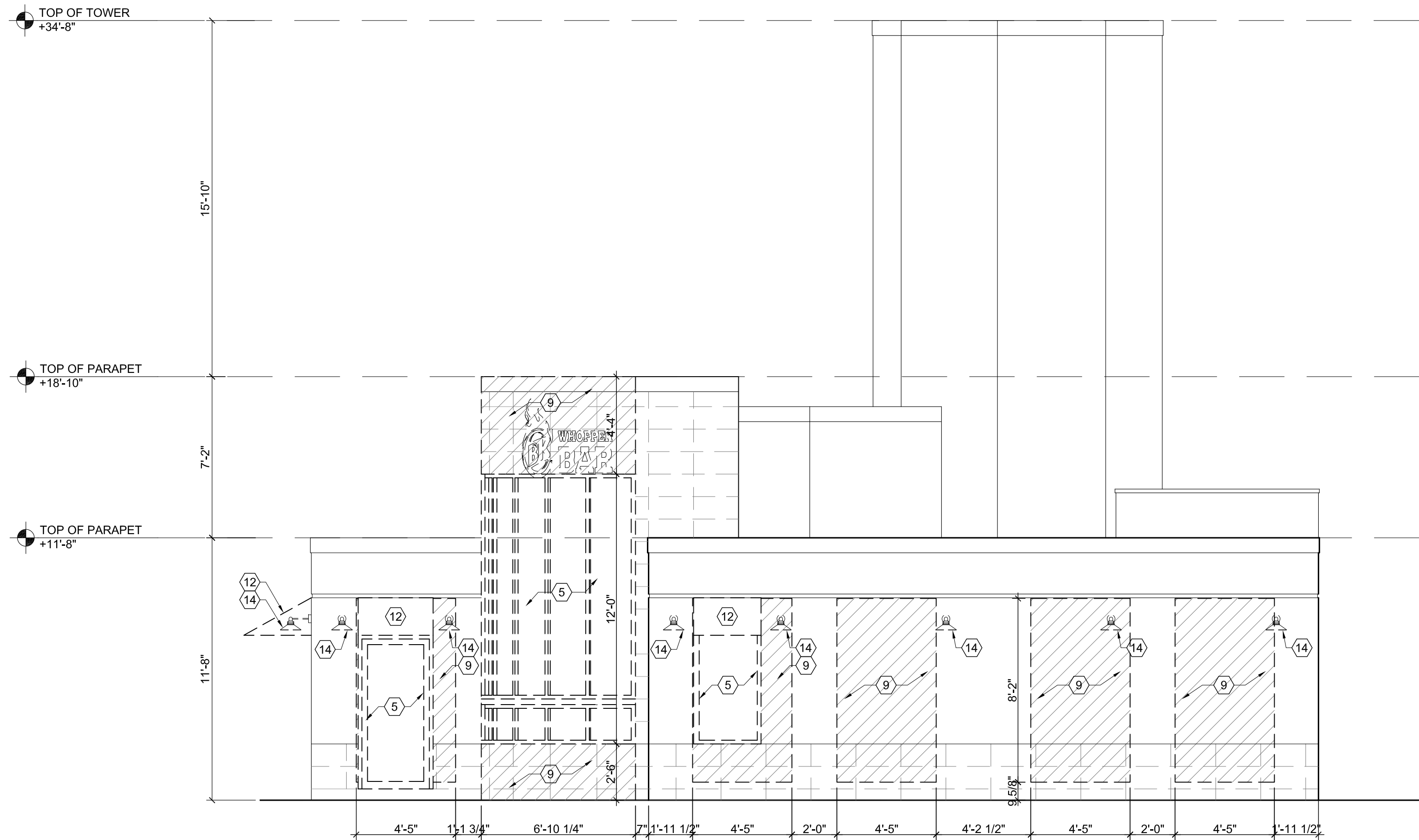
EXISTING
DEMOLITION
FLOOR PLAN

Sheet

D-1.0



1 EXISTING/ DEMOLITION WEST ELEVATION
SCALE: 1/4"=1'0"



2 EXISTING/ DEMOLITION SOUTH ELEVATION
SCALE: 1/4"=1'0"

DEMOLITON KEY NOTES	DEMOLITION LEGEND	
<p>NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.</p> <p>1 NO WORK THIS AREA.</p> <p>2 PARTIALLY REMOVE EXISTING CMU WALL. CONTRACTOR TO PROVIDE ADEQUATE SHORING AND EXERCISE CAUTION IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY OF STRUCTURAL ELEMENTS TO REMAIN. GC TO PREPARE ALL AREAS TO RECEIVE NEW FINISHES.</p> <p>3 REMOVE EXISTING INTERIOR PARTITION.</p> <p>4 REMOVE EXISTING DOOR, HARDWARE, FRAME AND MOLDINGS.</p> <p>5 REMOVE EXISTING WINDOW, HARDWARE AND FRAME.</p> <p>6 PREPARE WALL AREA AROUND OPENING TO BE CLOSED.</p> <p>7 REMOVE EXISTING CONCRETE COLUMN. REFER TO STRUCTURAL DRAWINGS.</p> <p>8 REMOVE EXISTING WALK-IN FREEZER/COOLER. GC TO COORDINATE WITH OWNER STORAGE AND/OR RELOCATION OF WALK-IN FREEZER/COOLER. REFER TO MEP DRAWINGS.</p> <p>9 REMOVE AND RELOCATE KITCHEN APPLIANCES AND EQUIPMENT. CAP ALL PLUMBING LINES AS REQUIRED. REFER TO MEP DRAWINGS.</p> <p>10 REMOVE WITH CAUTION EXISTING ROOF AND ROOF STRUCTURE AS NEEDED. PREPARE AREA FOR NEW ROOF AS PER NEW ROOF LAYOUT.</p> <p>11 DEMO EXISTING CONCRETE SLOPED SURFACE. PREPARE AREA TO RECEIVE NEW FINISHES.</p> <p>12 REMOVE EXISTING AWNING.</p> <p>13 REMOVE EXISTING MILLWORK, AND EQUIPMENT. COORDINATE WITH OWNER RELOCATION AND STORAGE OF EQUIPMENT APPLIANCES.</p> <p>14 REMOVE LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.</p> <p>15 REMOVE CONCRETE KNEE WALL. REFER TO STRUCTURAL DRAWINGS.</p>		EXISTING CMU WALL TO REMAIN.
		EXISTING PARTITION TO REMAIN.
		EXISTING TO BE REMOVED.
		EXISTING CONCRETE COLUMN OR WALL TO REMAIN.
		EXISTING COLUMN TO BE REMOVED.
		EXISTING DOOR TO REMAIN AND DOOR TO BE REMOVED.
		DEMOLITION KEY NOTE SYMBOL.
		ELEVATION SYMBOL.
		SECTION SYMBOL.
	NOTE: CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.	

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Revisions		
NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17

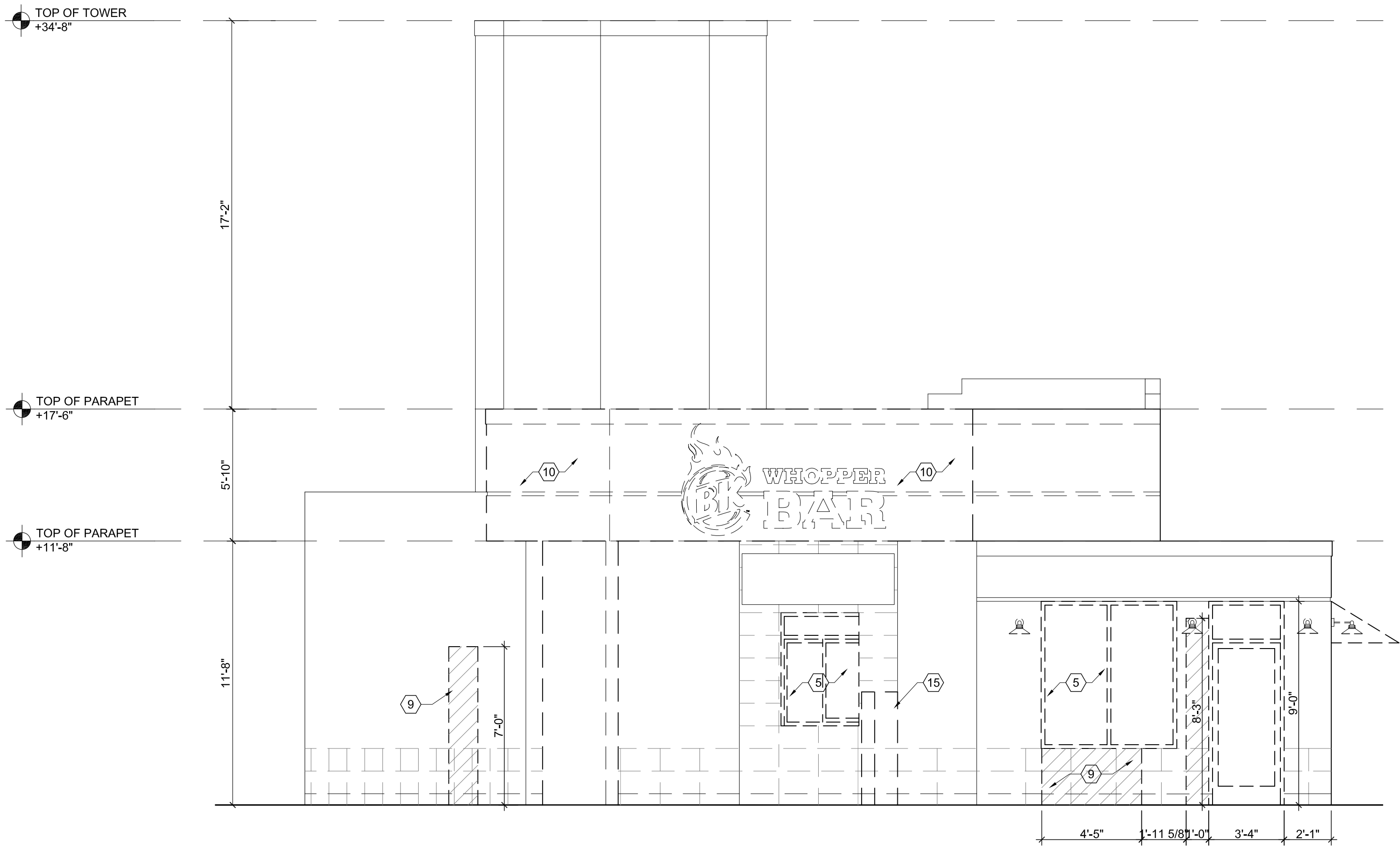
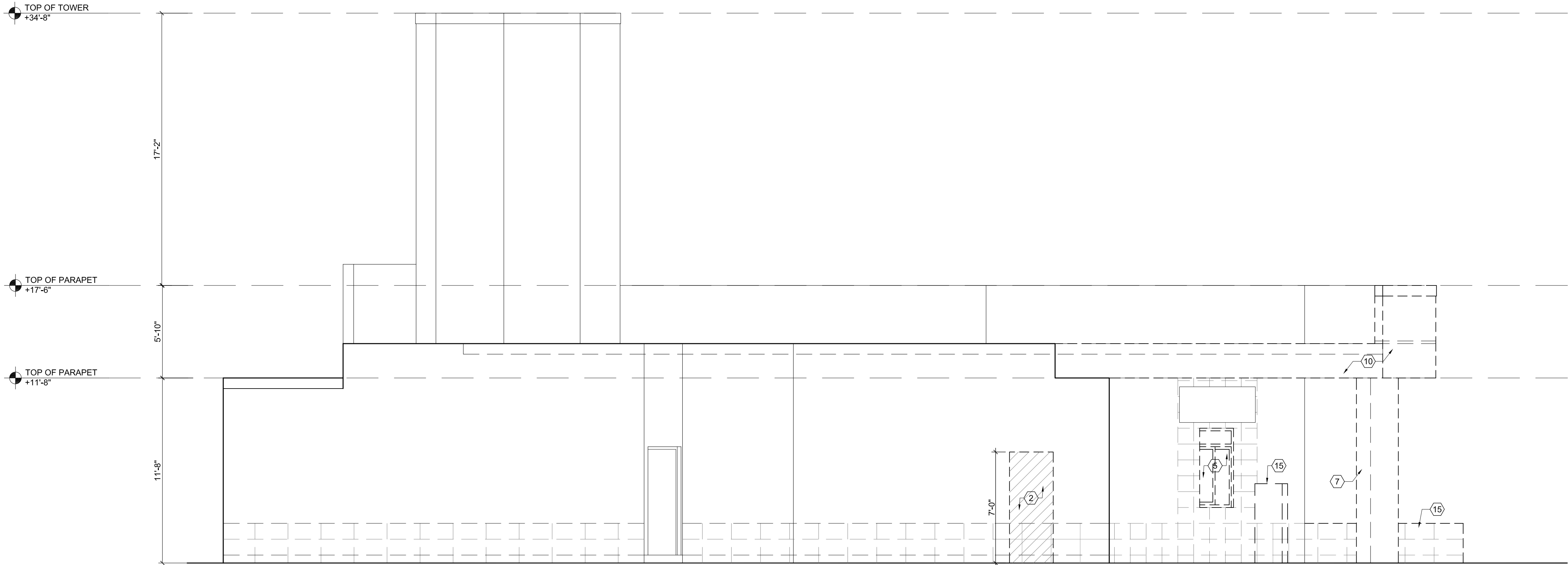
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Date	11-20-17
Job Number	17013
Scale	VARIES
Drawn	LSC, JP
Checked	EHM
Approved	EHM
Title	

EXISTING
DEMOLITION
ELEVATIONS

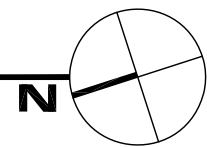
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1 EXISTING/ DEMOLITION FLOOR PLAN
SCALE



DEMOLITON KEY NOTES

NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.

- NO WORK THIS AREA.
- PARTIALLY REMOVE EXISTING CMU WALL. CONTRACTOR TO PROVIDE ADEQUATE SHORING AND EXERCISE CAUTION IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY OF STRUCTURAL ELEMENTS TO REMAIN. GC TO PREPARE ALL AREAS TO RECEIVE NEW FINISHES.
- REMOVE EXISTING INTERIOR PARTITION.
- REMOVE EXISTING DOOR, HARDWARE, FRAME AND MOLDINGS.
- REMOVE EXISTING WINDOW, HARDWARE AND FRAME.
- PREPARE WALL AREA AROUND OPENING TO BE CLOSED.
- REMOVE EXISTING CONCRETE COLUMN. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING WALK-IN FREEZER/COOLER. GC TO COORDINATE WITH OWNER STORAGE AND/OR RELOCATION OF WALK-IN FREEZER/COOLER. REFER TO MEP DRAWINGS.
- REMOVE AND RELOCATE KITCHEN APPLIANCES AND EQUIPMENT. CAP ALL PLUMBING LINES AS REQUIRED. REFER TO MEP DRAWINGS.
- REMOVE WITH CAUTION EXISTING ROOF AND ROOF STRUCTURE AS NEEDED. PREPARE AREA FOR NEW ROOF AS PER NEW ROOF LAYOUT.
- DEMO EXISTING CONCRETE SLOPED SURFACE. PREPARE AREA TO RECEIVE NEW FINISHES.
- REMOVE EXISTING AWNING.
- REMOVE EXISTING MILLWORK, AND EQUIPMENT. COORDINATE WITH OWNER RELOCATION AND STORAGE OF EQUIPMENT APPLIANCES.
- REMOVE LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- REMOVE CONCRETE KNEE WALL. REFER TO STRUCTURAL DRAWINGS.

DEMOLITION LEGEND

	EXISTING CMU WALL TO REMAIN.
	EXISTING PARTITION TO REMAIN.
	EXISTING TO BE REMOVED.
	EXISTING CONCRETE COLUMN OR WALL TO REMAIN.
	EXISTING COLUMN TO BE REMOVED.
	EXISTING DOOR TO REMAIN AND DOOR TO BE REMOVED.
	DEMOLITION KEY NOTE SYMBOL.
	ELEVATION SYMBOL.
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NOTE:
CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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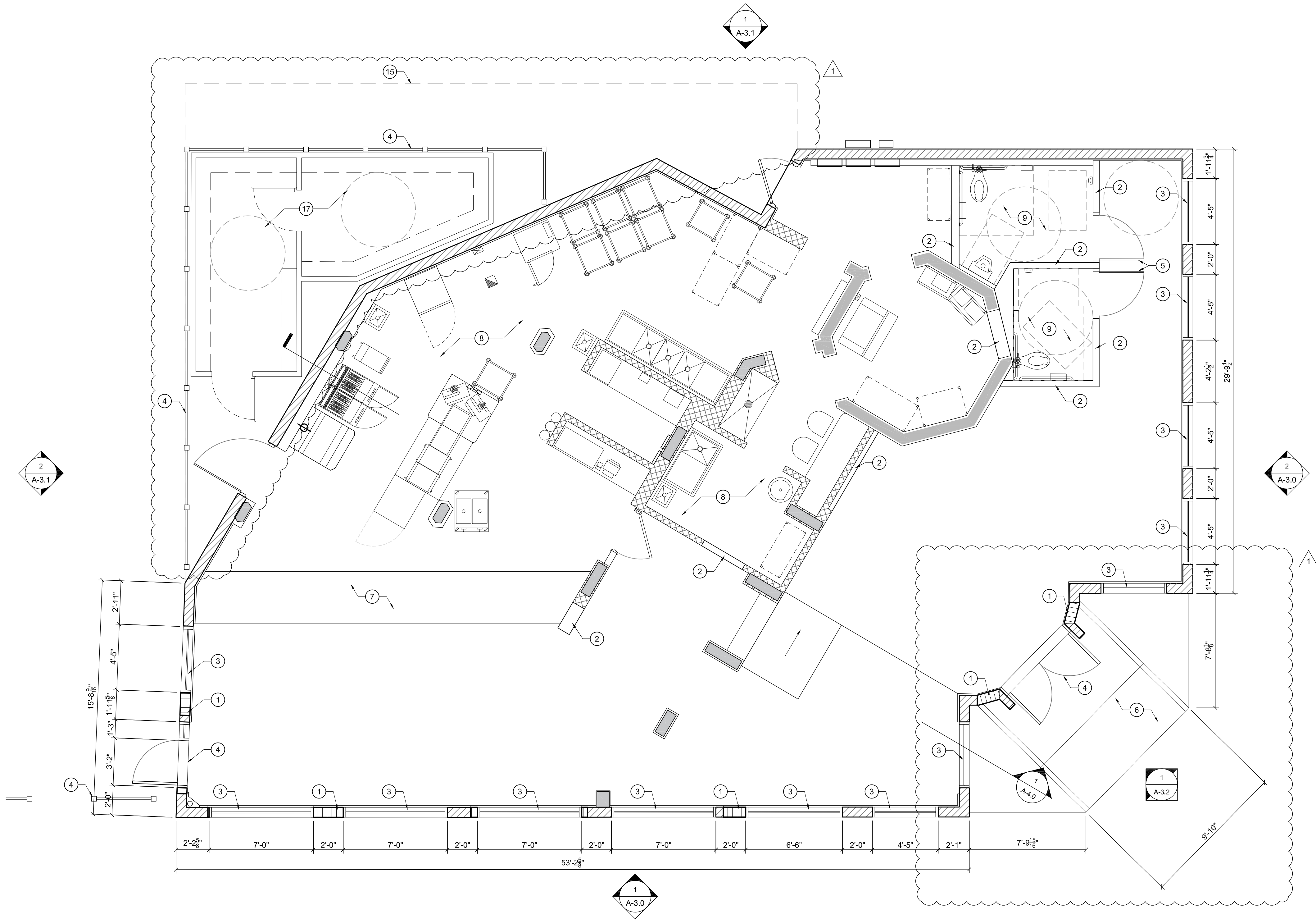
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NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17
2	COMMON RESTROOMS	02-05-15

Sheet Information	
Date	11-20-17
Job Number	17013
Scale	VARIES
Drawn	LSC, JP
Checked	EHM
Approved	EHM
Title	

EXISTING
DEMOLITION
ELEVATIONS

Sheet

D-3.1



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- REFER TO DEMOLITION NOTES
- FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. REFER TO GENERAL NOTES SHEET A-1.0
- PROTECT ALL EXISTING HVAC SYSTEMS TO REMAIN DURING RENOVATION WORK.
- IF DURING DEMOLITION OF CERAMIC TILE, SUBSTRATE IS IMPACTED BEYOND REPAIR, NEW SUBSTRATE TO MATCH EXISTING SHALL BE PROVIDED. ALIGN AND BLEND WITH ADJACENT. THERE SHALL BE NO ABRUPT OR NOTICEABLE CHANGES IN SURFACES, FINISHED OR UNFINISHED.
- EXTENT OF AREA IMPACTED BY DEMOLITION WORK SHALL BE CONFIRMED BY CONTRACTOR AFTER FIELD VERIFICATION OF EXISTING CONDITIONS.
- COORDINATE SEQUENCE OF WORK WITH OWNER.
- COORDINATE CABINET HARDWARE WITH OWNER.
- COORDINATE LOCATION OF ALL ACCESSORIES WITH OWNER.
- GC TO PROVIDE BACKING AS REQUIRED AT EXISTING WALLS FOR NEW MILLWORK AND EQUIPMENT. REFER TO GENERAL NOTES.

PLAN LEGEND

	EXISTING CONCRETE COLUMN TO REMAIN
	EXISTING WALL TO REMAIN
	NEW BLOCK WALL
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
	WALL OR PARTITION WITH EXISTING DOOR TO REMAIN
	NEW DOOR TO BE INSTALLED
	LIGHT FIXTURES
	WALL MOUNTED LIGHT FIXTURE
	WALL MOUNTED FLUORESCENT LIGHT
	NEW HIGH HAT LIGHT FIXTURE
	FLUORESCENT LIGHT
	HVAC SUPPLY GRILL
	EXHAUST FAN
	TV LOCATION
	NEW WORK KEYNOTE
	ELEVATION SYMBOL
	SECTION SYMBOL

NEW WORK KEY NOTES

- NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.
- NEW 8" CMU BLOCK WALL. REFER TO STRUCTURAL DRAWINGS.
 - NEW PARTITION WALL, REFER TO WALL TYPES.
 - NEW IMPACT RESISTANT WINDOW WITH MDC NOA, REFER TO WINDOWS SCHEDULE.
 - NEW IMPACT RESISTANT DOOR WITH MDC NOA, REFER TO DOORS SCHEDULE.
 - NEW INTERIOR DOOR, FRAME AND HARDWARE TO BE SELECTED BY OWNER.
 - NEW CONCRETE PAD AND SLOPE. REFER TO STRUCTURAL DRAWINGS.
 - NEW COUNTER BY DECOR PROVIDER. REFER TO INTERIOR DECOR DRAWINGS.
 - NEW/ RELOCATED KITCHEN EQUIPMENT AND APPLIANCES. REFER TO MEP DRAWINGS.
 - NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR. REFER TO MEP PLANS.
 - NEW ALUMINUM TRELLIS PRIVACY FENCE UNDER SEPARATE PERMIT. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
 - NEW FIXED ALUMINUM PANEL LOUVERS TO MATCH NICHHA EXTERIOR FINISH COLOR.
 - WOOD LOOK NICHHA EXTERIOR CLADDING PER OWNER SELECTION.
 - NEW SIGN. ALL SIGNAGE UNDER SEPARATE PERMIT.
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 - NEW WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DWGS FOR DETAILS.
 - CUSTOM WALK IN COOLER/ FREEZER MUST HAVE A MIAMI DADE COUNTY NOA.

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Revisions		
NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17
1	FINAL SUBMITTAL	12-08-17

Sheet Information

Date	12-08-17
Job Number	17013
Scale	VARIES
Drawn	LSC, JP
Checked	EHM
Approved	EHM

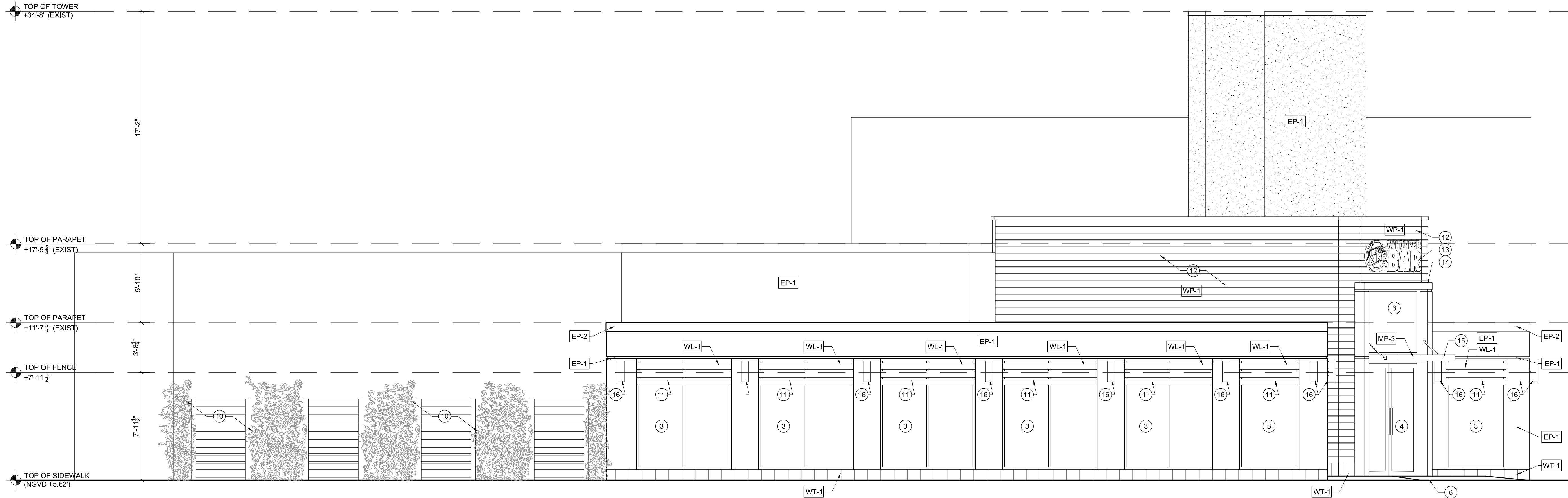
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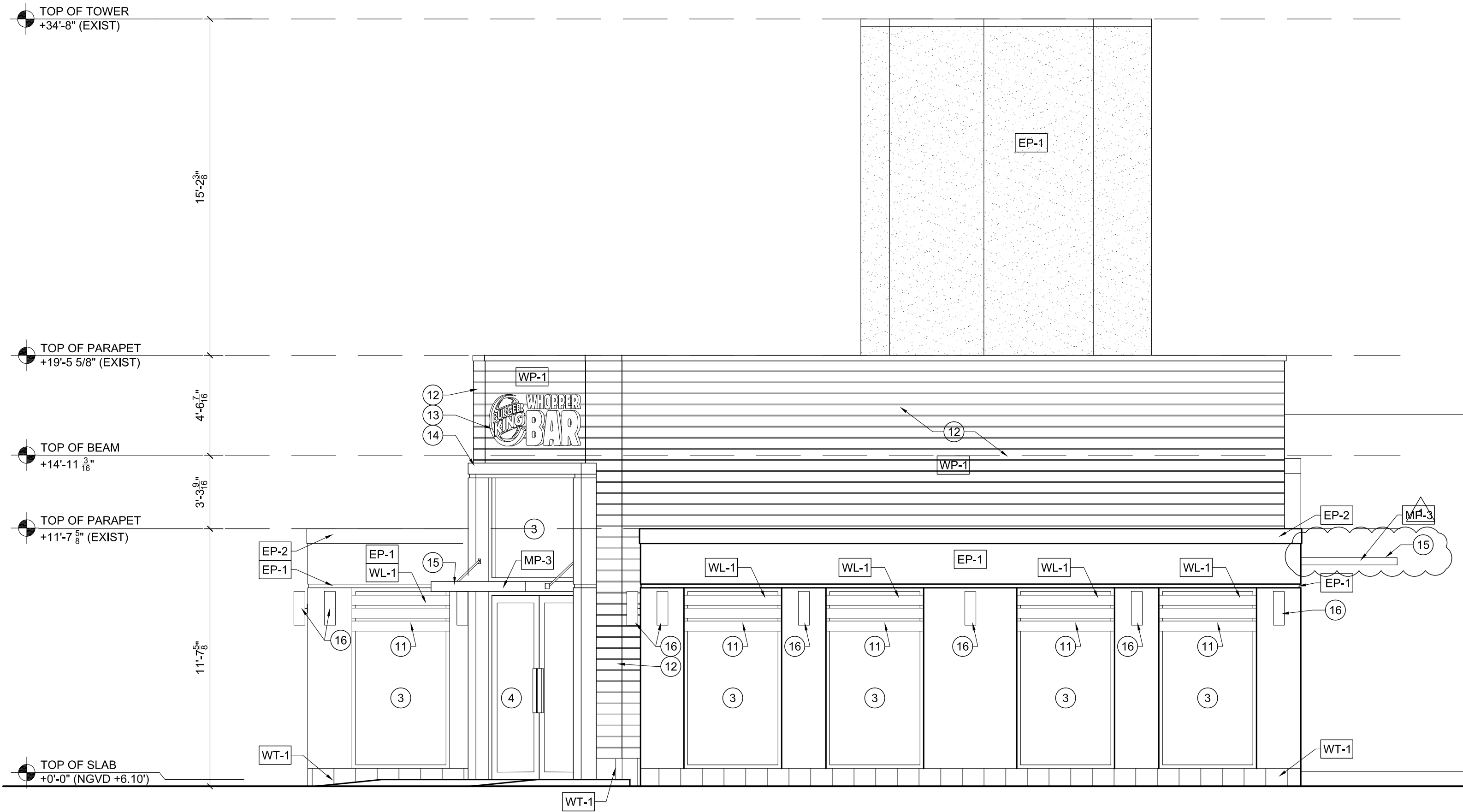
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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

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EXTERIOR FINISH SCHEDULE

TAG	DESCRIPTION	SPECIFICATION
EP-1	EXTERIOR PAINT	MODEL: (COLOR) ONLINE (FINISH) SW 7072 LRV MANUFACTURER: SHERWIN WILLIAMS
EP-2	EXTERIOR PAINT	MODEL: (COLOR) RED (FINISH) MANUFACTURER: SHERWIN WILLIAMS
WP-1	WOOD PANEL	MODEL: VINTAGE WOOD EF762 COLOR: CEDAR MANUFACTURER: NICHHA FIBER CEMENT
WL-1	WOOD LOUVER	MODEL: VINTAGE WOOD EF762 COLOR: CEDAR MANUFACTURER: NICHHA FIBER CEMENT
WT-1	WALL TILE	TILE: 250F FROST 12" x 24" MANUFACTURER: FAHRENHEIT NOTE: LATICRETE 22 MIDNIGHT BLACK GROUT
MP-3	METAL CANOPY	CUSTOM METAL CANOPY COLOR SHALL MATCH SHERWIN WILLIAMS SW 7075 LRV 13 WEB GRAY

NEW WORK KEY NOTES

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- 8 NEW/ RELOCATED KITCHEN EQUIPMENT AND APPLIANCES. REFER TO MEP DRAWINGS.
- 9 NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR. REFER TO MEP PLANS.
- 10 NEW ALUMINUM TRELLIS PRIVACY FENCE UNDER SEPARATE PERMIT. SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
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Revisions		
NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17
1	FINAL SUBMITTAL	12-08-17

Sheet Information	
Date	12-08-17
Job Number	17013
Scale	VARIES
Drawn	LSC, JP
Checked	EHM
Approved	EHM

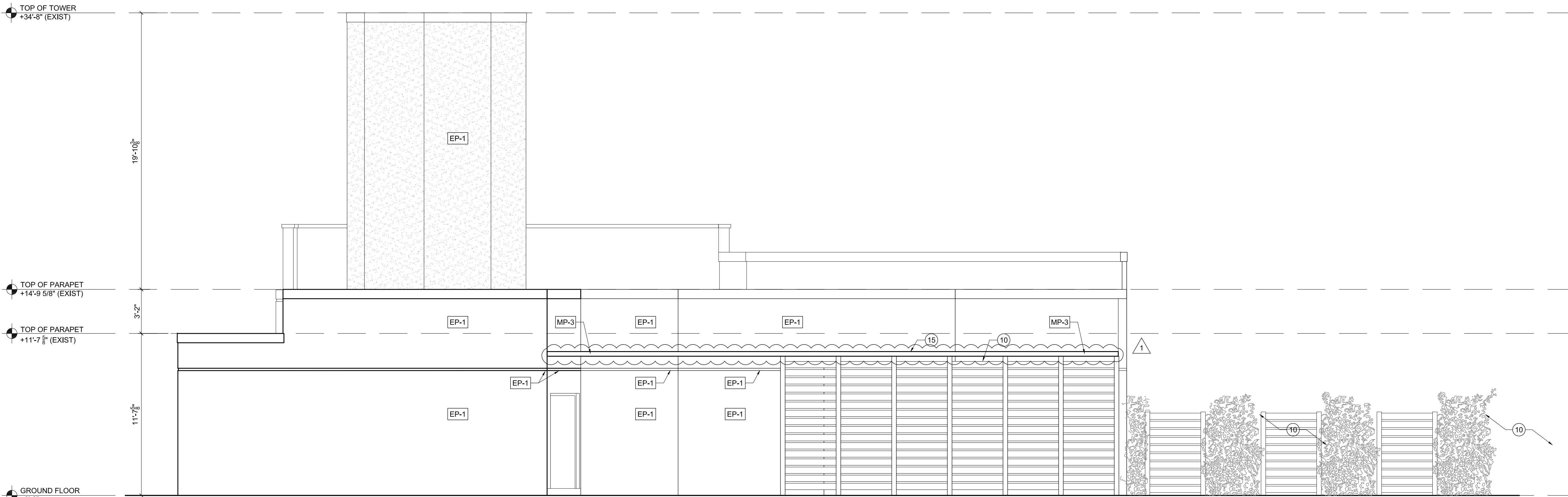
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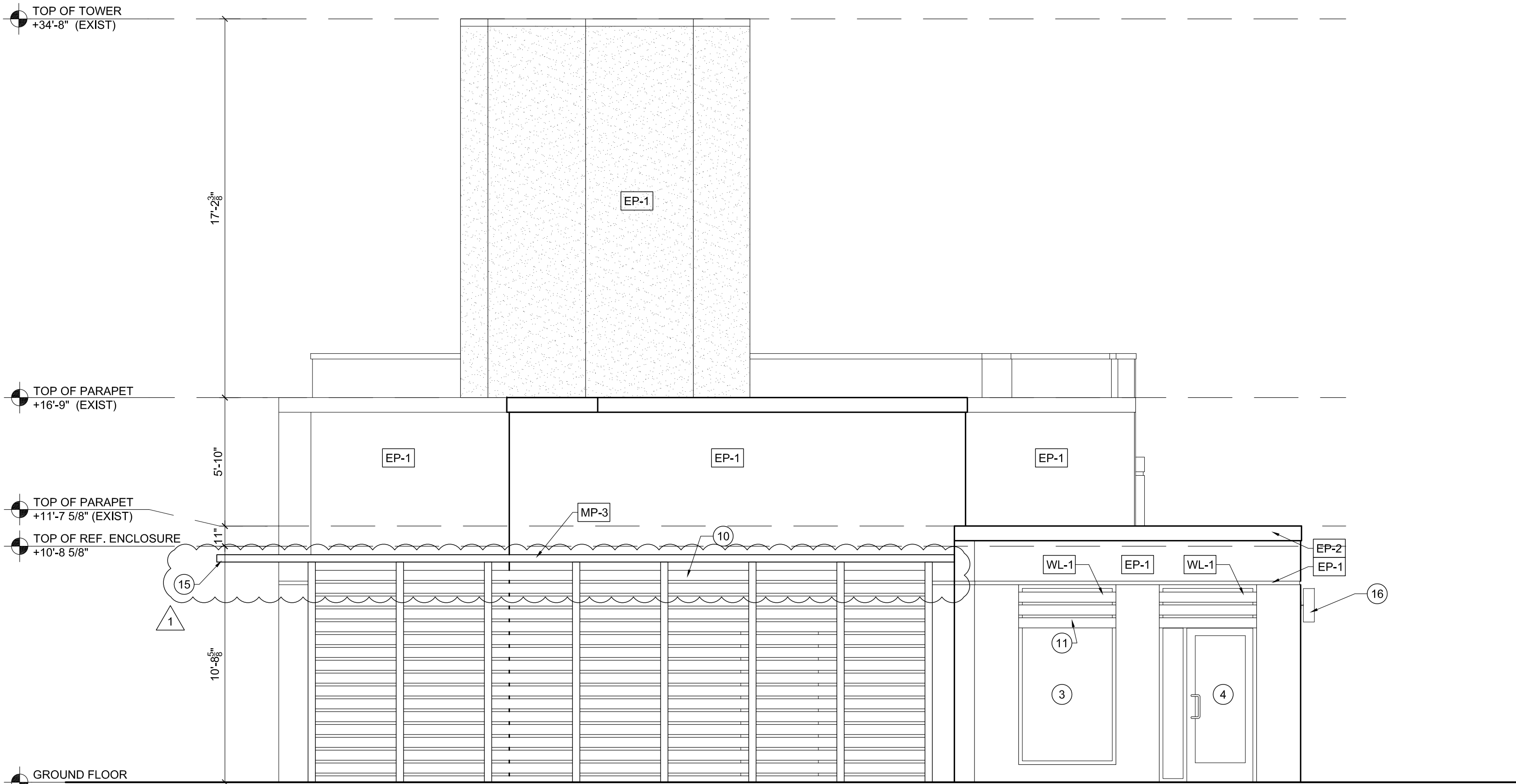
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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

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Revisions		
NUMBER	ISSUE	DATE
1	FIRST SUBMITTAL	11-20-17
1	FINAL SUBMITTAL	12-08-17

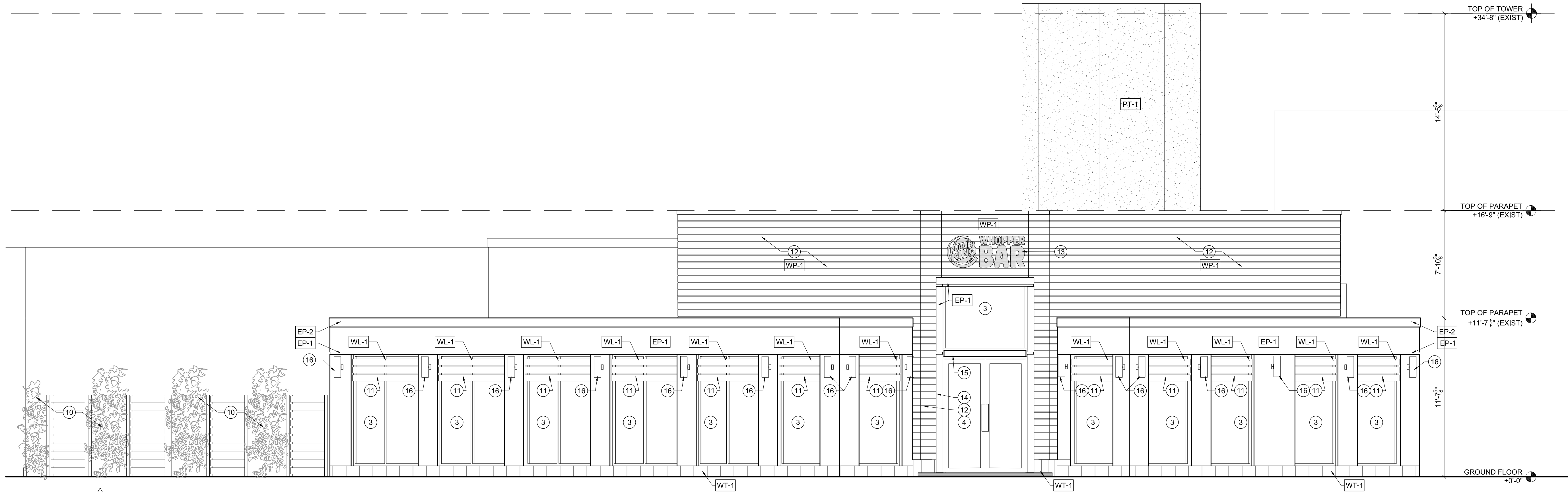
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Date	12-08-17
Job Number	17013
Scale	VARIES
Drawn	LSC, JP
Checked	EHM
Approved	EHM

Title

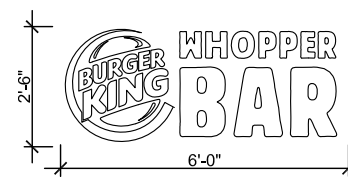
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ELEVATIONS

Sheet

A-3.1



1 SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0"

SIGNAGE		
WALL SIGN	ALLOWED	PROVIDED
 Quantity - 1 Area - 15 square feet	Maximum area: Maximum - 100 square feet Minimum - 15 square feet Maximum area percentage: 0.75 square feet for every foot of linear frontage Washington Avenue Frontage - 68.25 ft. x 0.75 = 51.2 sqft. 11th Street Frontage - 44.8 ft. x 0.75 = 33.6 sqft. <small>*Multiple signs for the same establishment may be permitted through the design review process if the aggregate sign area does not exceed the largest maximum permitted area</small>	15 sqft

EXTERIOR FINISH SCHEDULE		
TAG	DESCRIPTION	SPECIFICATION
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WL-1	WOOD LOUVER	MODEL: VINTAGE WOOD EF762 COLOR: CEDAR MANUFACTURER: NICHHA FIBER CEMENT
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GENERAL NOTES	NEW WORK KEY NOTES
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7. COORDINATE CABINET HARDWARE WITH OWNER.	6 NEW CONCRETE PAD AND SLOPE. REFER TO STRUCTURAL DRAWINGS.
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Revisions		
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1	FIRST SUBMITTAL	11-20-17
1	FINAL SUBMITTAL	12-08-17

Sheet Information	
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Scale	VARIES
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Approved	EHM
Title	

PROPOSED
ELEVATIONS

Sheet

A-3.2

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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO DEMOLITION NOTES
2. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. REFER TO GENERAL NOTES SHEET A-1.0
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EXTERIOR FINISH SCHEDULE

TAG	DESCRIPTION	SPECIFICATION
EP-1	EXTERIOR PAINT	MODEL: (COLOR) ONLINE (FINISH) SW 7072 LRV MANUFACTURER: SHERWIN WILLIAMS
EP-2	EXTERIOR PAINT	MODEL: (COLOR) RED (FINISH) MANUFACTURER: SHERWIN WILLIAMS
WP-1	WOOD PANEL	MODEL: VINTAGE WOOD EF762 COLOR: CEDAR MANUFACTURER: NICHHA FIBER CEMENT
WL-1	WOOD LOUVER	MODEL: VINTAGE WOOD EF762 COLOR: CEDAR MANUFACTURER: NICHHA FIBER CEMENT
WT-1	WALL TILE	TILE: 250F FROST 12" x 24" MANUFACTURER: FAHRENHEIT NOTE: LATICRETE 22 MIDNIGHT BLACK GROUT
MP-3	METAL CANOPY	CUSTOM METAL CANOPY COLOR SHALL MATCH SHERWIN WILLIAMS SW 7075 LRV 13 WEB GRAY

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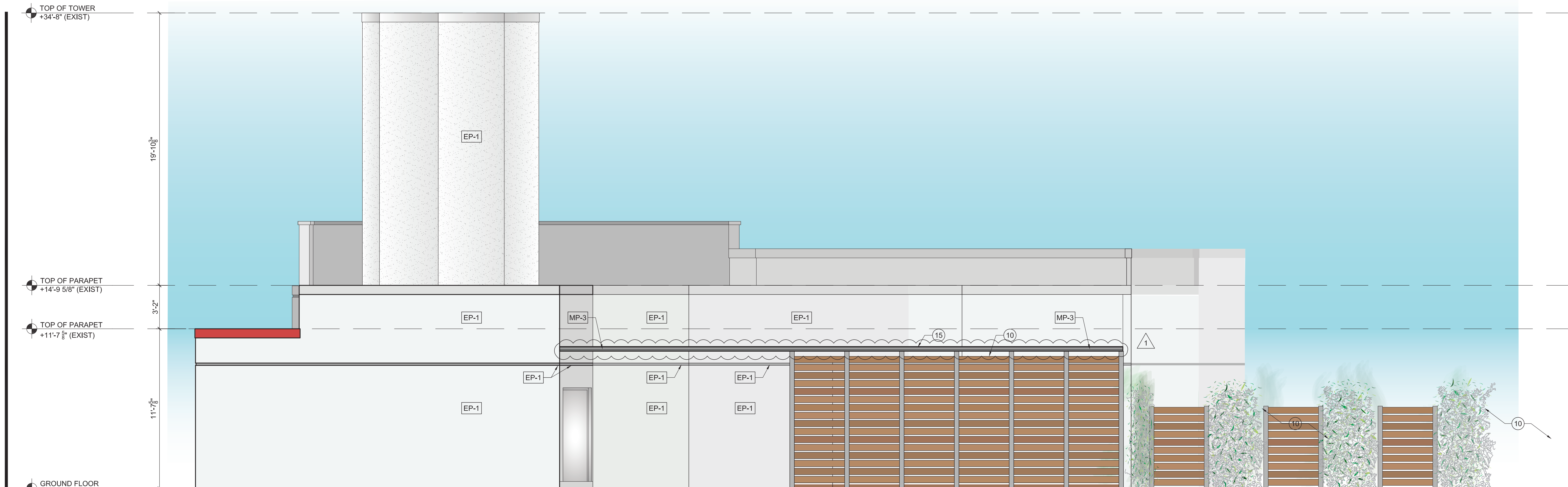
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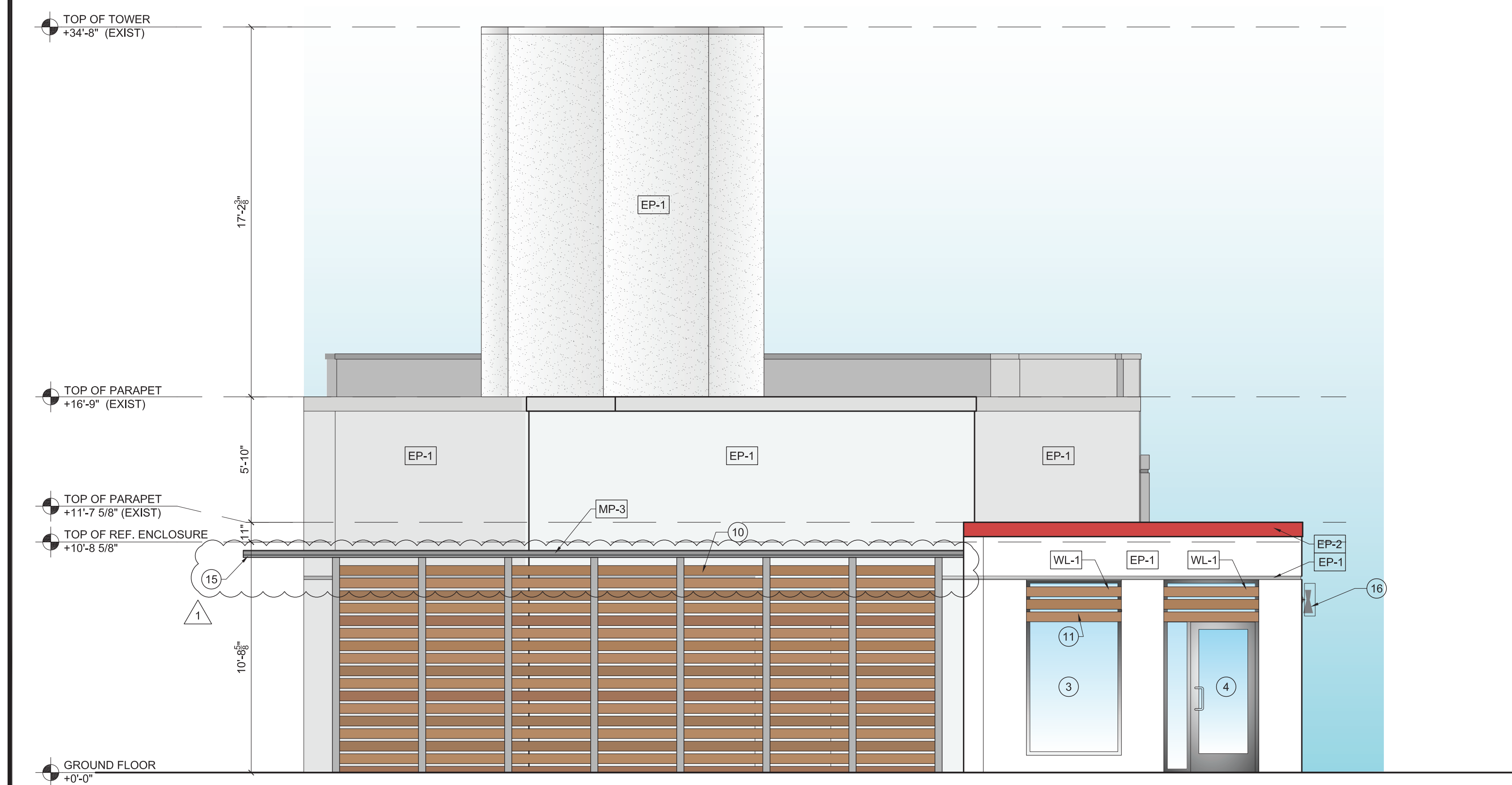
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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
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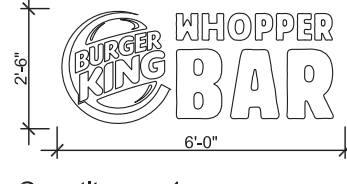
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1 SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0"

SIGNAGE		
WALL SIGN	ALLOWED	PROVIDED
 Quantity - 1 Area - 15 square feet	Maximum area: Maximum - 100 square feet Minimum - 15 square feet Maximum area percentage: 0.75 square feet for every foot of linear frontage Washington Avenue Frontage - 68.25 ft. x 0.75 = 51.2 sqft. 11th Street Frontage - 44.8 ft. x 0.75 = 33.6 sqft. <small>*Multiple signs for the same establishment may be permitted through the design review process if the aggregate sign area does not exceed the largest maximum permitted area</small>	15 sqft

GENERAL NOTES			NEW WORK KEY NOTES	
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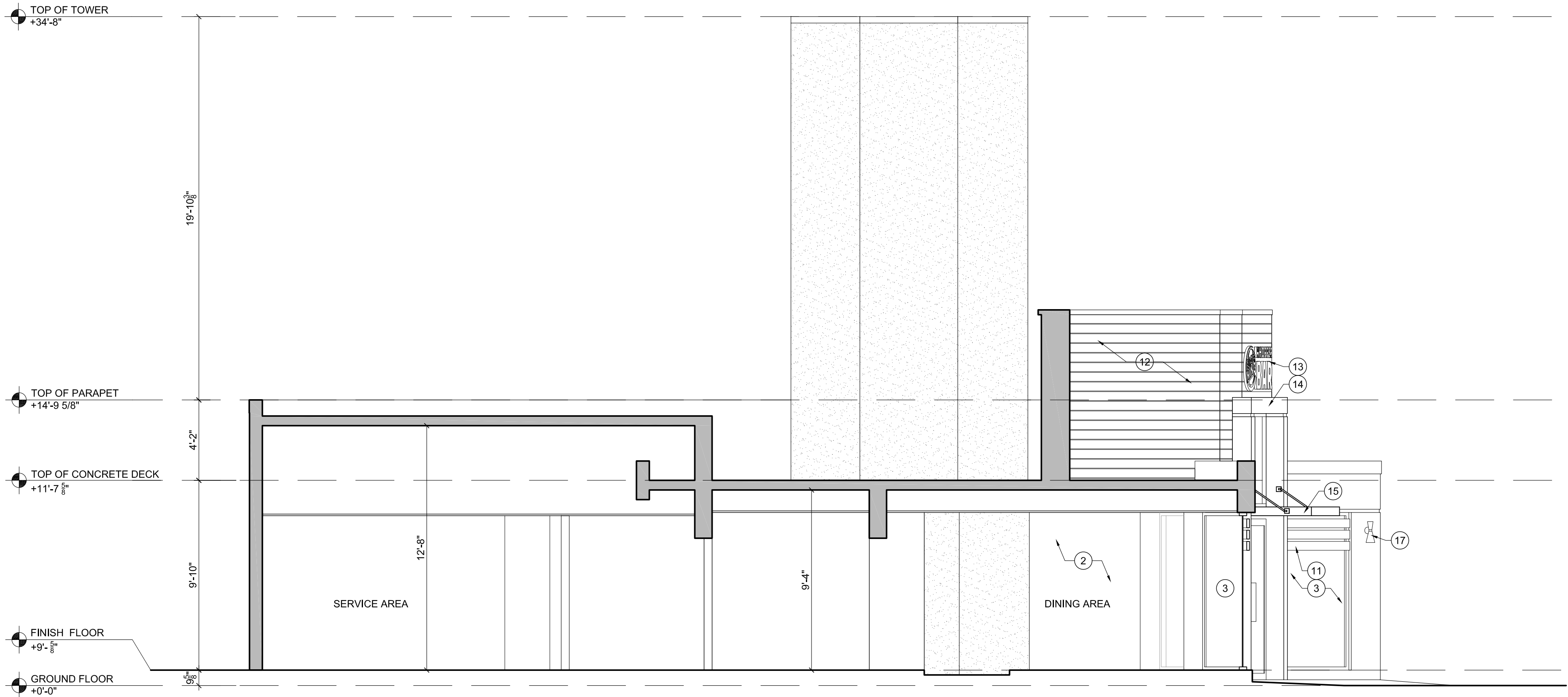
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A-3.2a



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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- ALTERNATE: STACKED WOOD PATTERN FINISH TO WRAP EXISTING TOWER.
- NEW WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DWGS FOR DETAILS.

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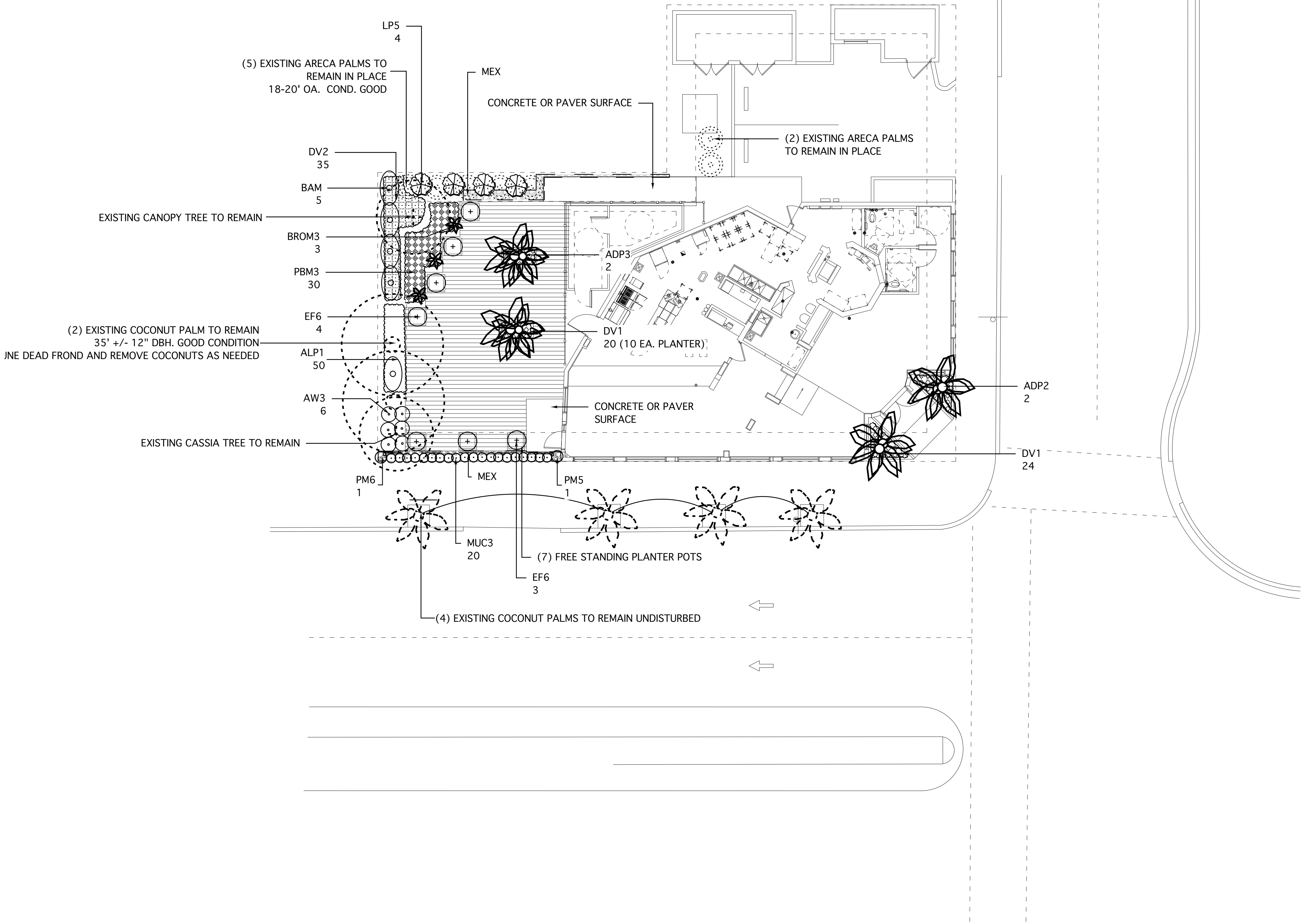
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EXISTING
BUILDING
SECTION

Sheet

A-4.0



PLAN KEY



EXISTING PALM TO REMAIN UNDISTURBED

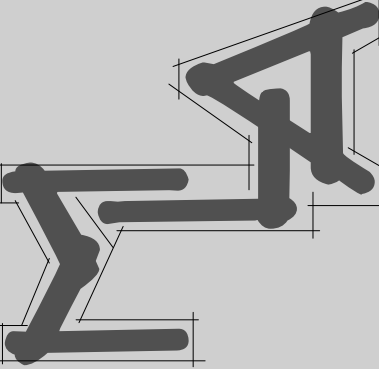
MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
ADP2	VEITCHIA MERILLII	5' CT. DBL. TRUNKS SPECIMEN	2
ADP3	ADONIDIA PALM	4" DBH HIGH DROUGHT TOLERANCE	2
ALP1	ALPINIA ZERUMBET DWF	12" X12" 15" O.C. GROUND COVER	50
AW3	ACALYPHA WILKENSIANA	36" X 24" 24" O.C. MEDIUM DROUGHT TOLERANCE	6
BAM	BAMBUSA SPP.	CLUMPING VARIETY 10' O.A. MIN. 5 STEMS	5
BROM3	BROMELIADS	7 GAL. SUN OR SHADE AS NEEDED	3
DV2	DIETES VEGATA	12" FULL TO POT 18" O.C. SUN/SHADE-GROWN	35
EF6	EUGENIA FOETIDA	5' X 2' SPR. FULL TO BASE NATIVE	7
LP5	RHAPIS EXCELSA	FULL TO POT, 5' O.A. MEDIUM DROUGHT TOLERANCE	4
PBM3	PHILODENDRON SELLOUM	12"X15" 24" O.C. MEDIUM DROUGHT TOLERANCE	30

MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
DV1	DIETES IRIIDOIDES	12" FULL TO POT 12" 15" O.C.	44
MUC3	MUHLENBERGIA CAPILLARIS	20" X 12" 15" O.C. NATIVE	20
PM5	PODOCARPUS MACROPHYLLA	5' X 24" SPR. FULL TO BASE 30" O.C.	2

CONTRACTOR SHALL DO TAKE OFF FROM PLANS. PLANS SHALL
TAKE PRECEDENCE OVER PLANT LIST.
REFER TO SHEET L-2 FOR PLANTING DETAILS AND SPECIFICATIONS

LA 6666695 ISA 0827A

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954-763-1077
e - mlag@mpla.com
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landscape architecture

REVISIONS:
CITY COMMENTS: 12/7/17

SHEET TITLE:

LANDSCAPE
PLAN

PROJECT:

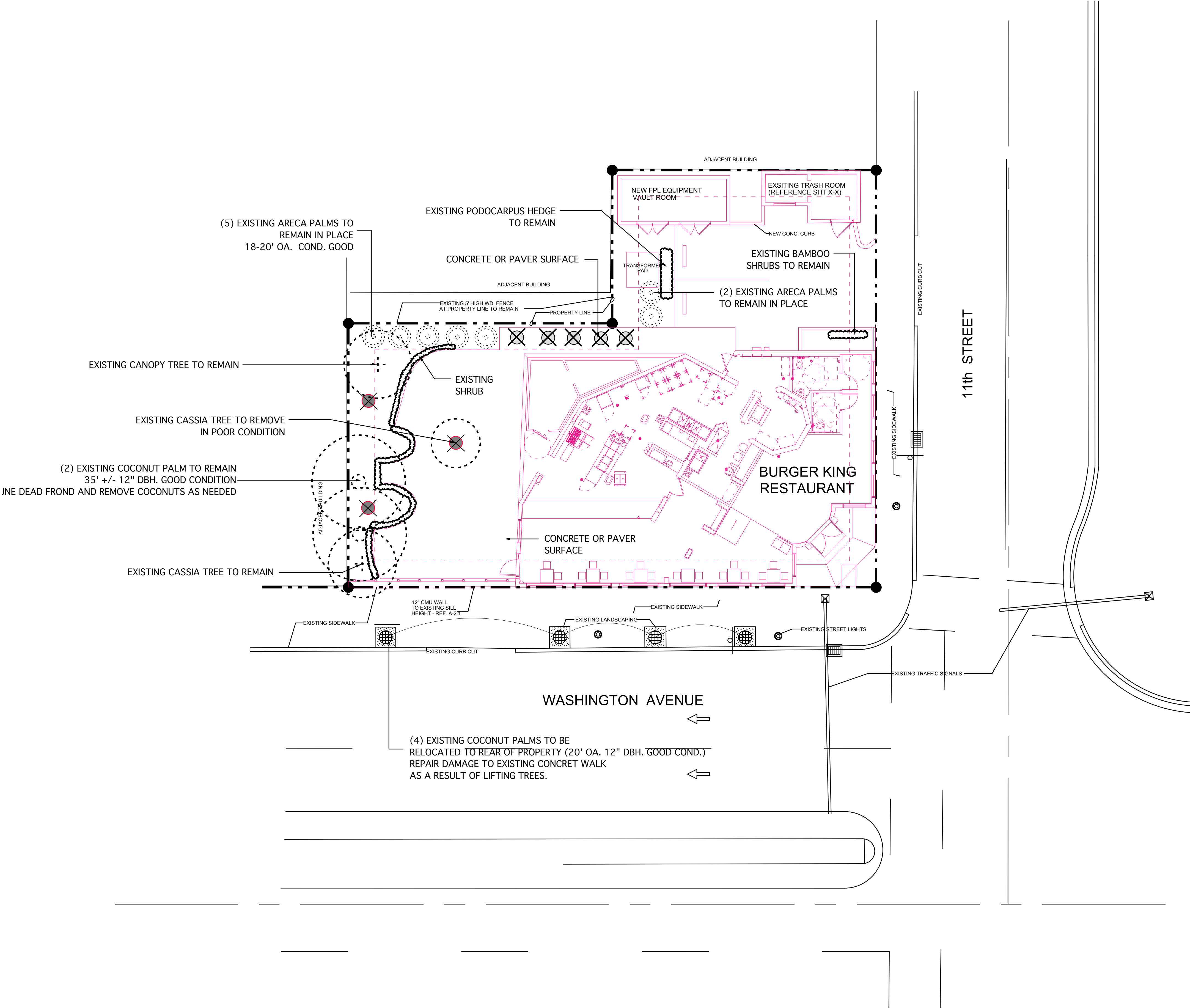
BURGER KING WHOPPER BAR

1101 WASHINGTON AVENUE

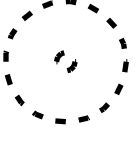
MIAMI BEACH, FL 33139


SEAL:
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DATE DRAWN: 10-26-17
SHEET NO.


L-1




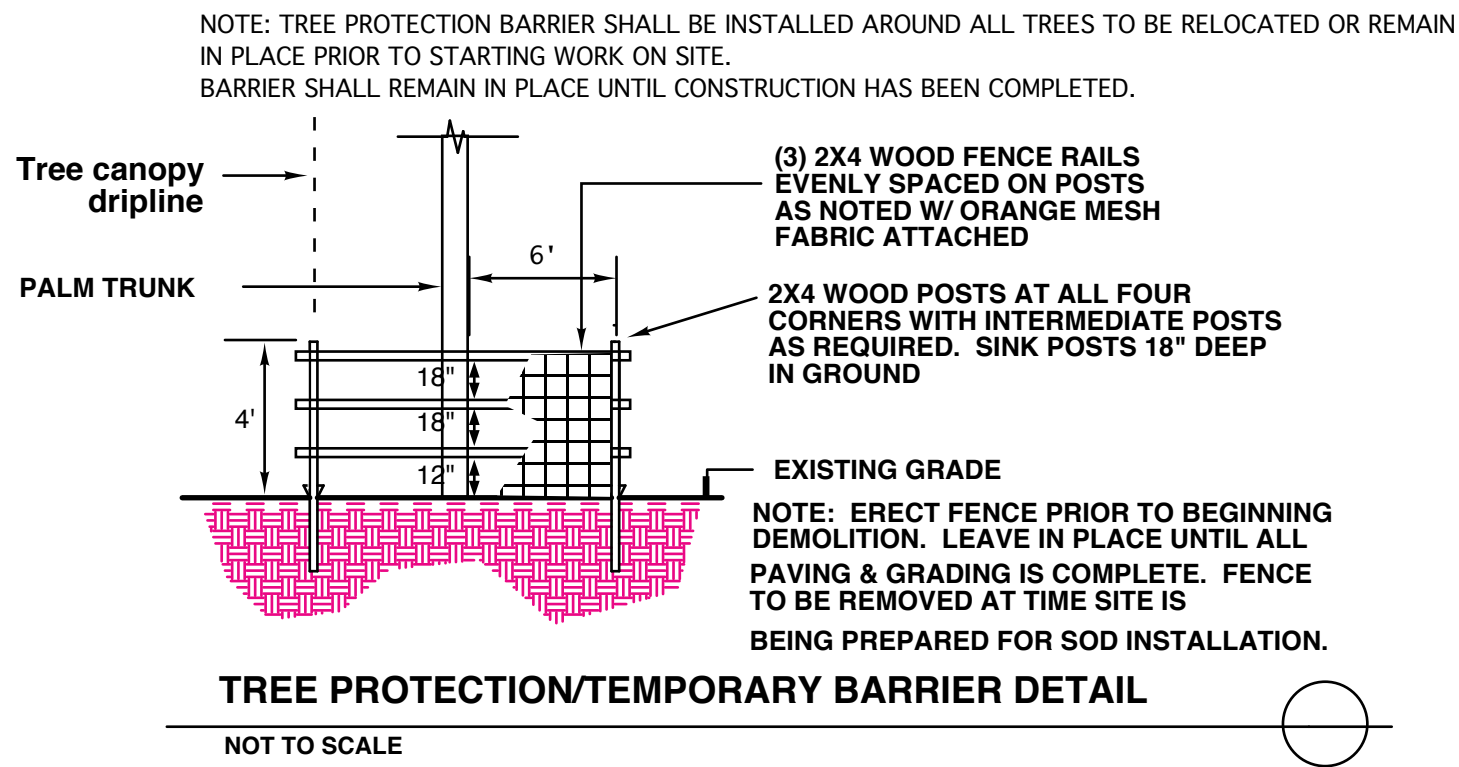
PLAN KEY

 EXISTING PALM TO REMAIN UNDISTURBED

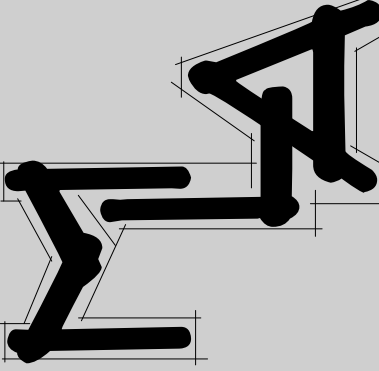
 EXISTING TREE TO REMAIN UNDISTURBED

 EXISTING TREE /PALM TO BE REMOVED

 EXISTING SHRUBS TO REMAIN



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landscape architecture

REVISIONS:

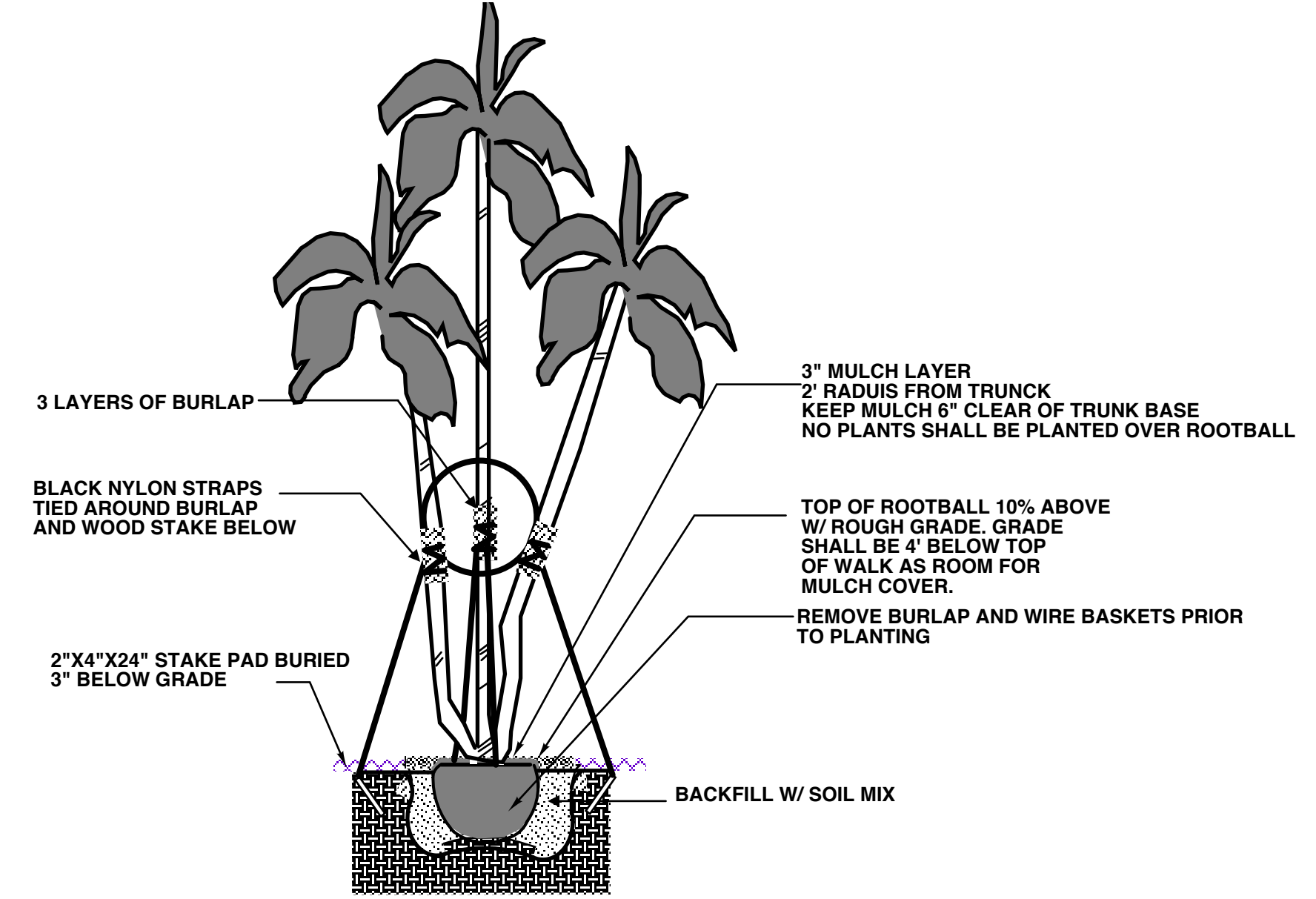
SHEET TITLE:
**EXISTING TREE
DISPOSITION
PLAN**

PROJECT:
**BURGER KING WHOPPER BAR
1101 WASHINGTON AVENUE
MIAMI BEACH, FL 33139**

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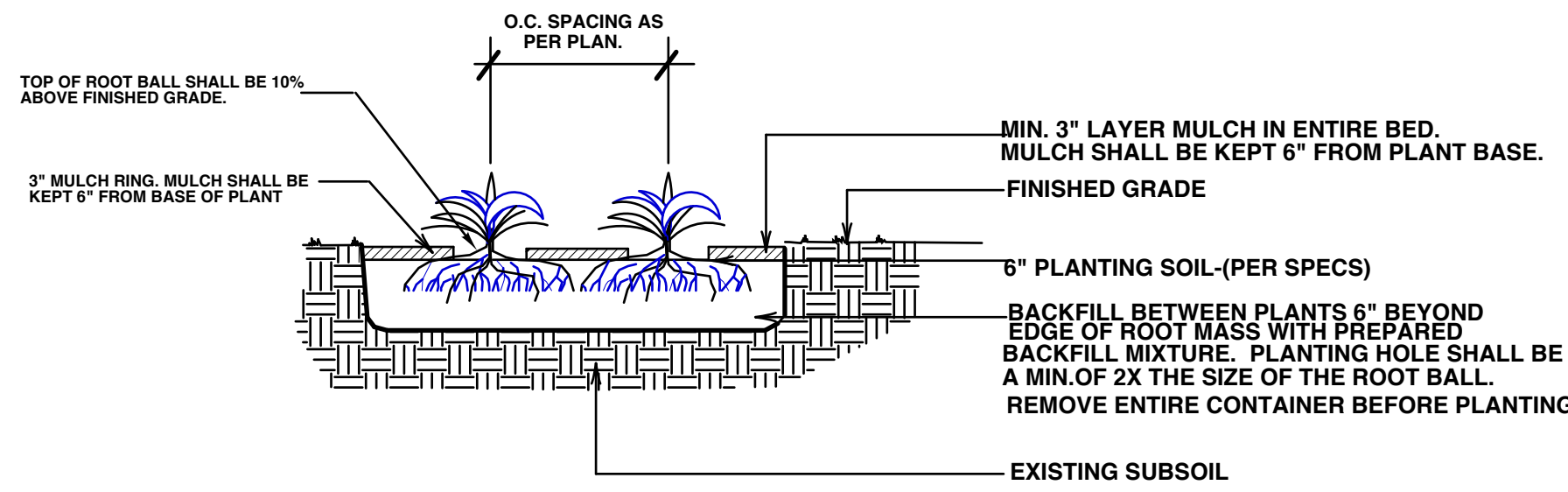
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DATE DRAWN: 10-26-17
SHEET NO.

L-2
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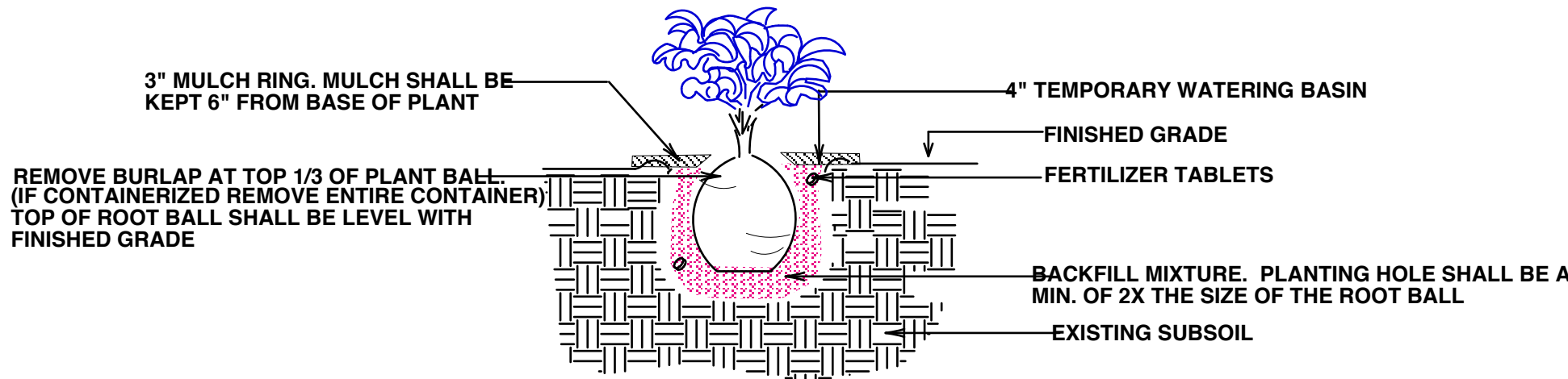
MULTI TRUNK PALM PLANTING DETAIL

NOT TO SCALE



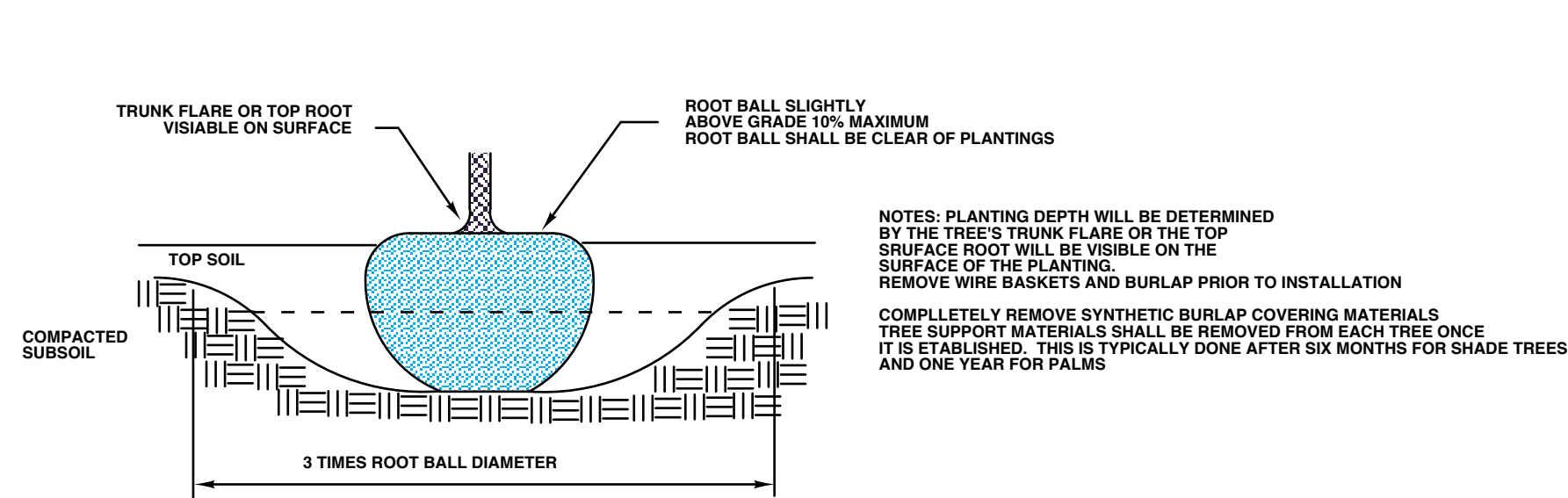
GROUNDCOVER/ANNUALS PLANTING DETAIL

NOT TO SCALE



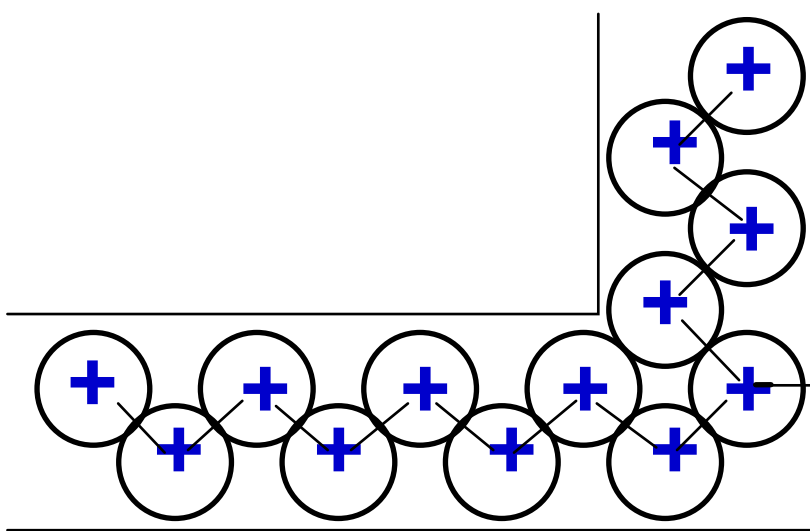
SHRUB PLANTING DETAIL

NOT TO SCALE



ROOT BALL DETAIL

NOT TO SCALE

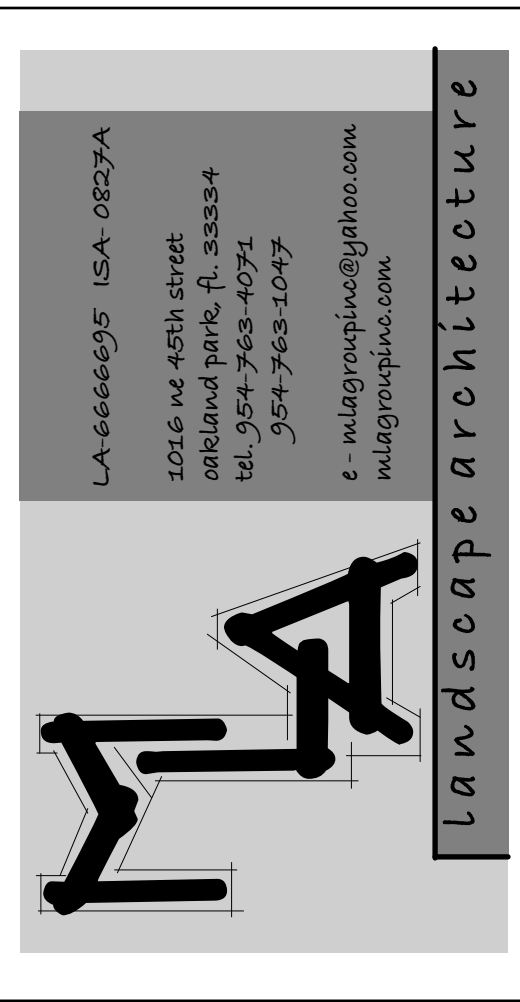


PLANTING SPACE DETAIL

NOT TO SCALE

LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF ARSENIC FREE EUCALYPTUS MULCH/ FLORIMULCH & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
- ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK DBH. OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN (CONTAINER TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
- LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANTS MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS AND UTILITIES. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: PG (FIELD GROWN), CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWEST FROND), GAL (GALLON CAN), 3 GAL (3 GALLON CAN), OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH), SPK (INDICATES SPREAD), Hvy (INDICATED HEAVY), MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTORS OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER ACTS OF NATURE OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. ALL WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED. ALL PLANTING PITS SHALL BE A MIN. OF 2X THE ROOTBALL SIZE.
- DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST
- COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, MINOR TRACE ELEMENTS AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD WEIGHT OR "MILORGANITE" NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING. DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING AT THE RATE:
 - 5 LBS OR 14.5 CUPS / PALMS
 - 3 LBS OR 8.70 CUPS / 12'-16" MATERIAL
 - 2 LBS OR 5.80 CUPS / 8'-12" MATERIAL
 - 0.69 LBS OR 2.00 CUPS / 6'-8" MATERIAL
 - 0.19 LBS OR 1/2 CUP / 3 GAL. MATERIAL
 - 0.10 LBS OR 1/4 CUP / 1 GAL. MATERIALFERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:
 - SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 1 GAL. CONTAINER, 1/4 LB PER 1 GAL. CONTAINER) AND GROUND COVER THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER GAL. PLANT 2 PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURER'S RECOMMENDATION.
- SUPER ABSORBENT POLYMER - "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE, COLLOID YMEK, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES IT'S WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
 - 1 PAC PER TREE - 36" BALL SIZE
 - 2 PAC PER TREE - OVER 36" BALL SIZE
 - 1 PAC PER 20 GAL. CONTAINER
 - 0.5 PACS PER 7-10 GAL. CONTAINER
 - 0.25 PACS PER 3 GAL. CONTAINER
 - 0.12 PACS PER 1 GAL. CONTAINER
- LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% MUCK. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
- WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER
- PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS - "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
- MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE: WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS, SHALL BE REPAIRED PROMPTLY. ALL TREE/PALM TRIMMING SHALL BE DONE IN ACCORDANCE WITH ANSI-300 STANDARDS. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING
- (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BID FOR PROTECTION.
- MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL. SEE FIGURES 1 AND 2 AT THE END OF THE CHAPTER.
- GRASS: AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PLEMETTO AND SHALL BE IRRIGATED. SOD SHALL BE WEED/PEST FREE/LAID SMOOTH WITH TIGHT JOINTS AND CUT TO CONFORM TO CURBS AND PLANTERS.
- WHERE THE LANDSCAPE EASEMENT ABUTS ON SITE VEHICULAR USE AREAS SUCH AS TRAFFIC LANES, THE LANDSCAPE EASEMENT SHALL BE SEPARATED FROM THE TRAFFIC LANES BY CONTINUOUS CONCRETE CURBING WITH AN 18-INCH DEPTH BELOW GRADE. EXTRUDED CURBING INSTALLED ON TOP OF THE PAVING IS PROHIBITED.
- EXCAVATION REQUIREMENT:
 - REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND PLANTING SOIL AT LEAST TO THE TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED.
- A LANDSCAPE PERMIT IS REQUIRED FOR ALL LANDSCAPE INSTALLATIONS INCLUDING NEW SINGLE FAMILY HOMES THAT ARE NOT PART OF A PLANNED COMMUNITY. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
- TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC ATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE CITY.
 - MINIMUM SOIL DEPTH:
 - REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES
 - ROOTBALL SOIL:
 - REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
 - NATIVE SOIL:
 - REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.
 - ARID PLANS:
 - REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
- USE OF ORGANIC MULCHES:
 - A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC ARSENIC FREE MULCH MATERIAL AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
- ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
- THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE REQUIRED ON ALL SITES INCLUDING ABUTTING RIGHTS-OF WAY, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITIDA MAY BE USED FOR HEDGE MATERIAL. WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FICUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS
- HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 24 INCHES, WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TO CHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANTS SPACING MAY BE ADJUSTED ACCORDING TO PLAT SIZES SO LONG A THE PRECEDING IS ACHIEVED
- ALL ABOVE GROUND ELEMENTS INCLUDING BUT NOT LIMITED TO DUMPSTERS, FENCES, WALLS, A/C UNITS, IRRIGATION PUMPS, TRANSFORMERS AND GENERATORS SHALL BE SCREENED WITH LANDSCAPE MATERIAL TO THE HEIGHT OF THE ELEMENT.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE RUST FREE 100% COVERAGE & 100% OVERLAP. CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO IMPEVIOUS AREAS.



REVISIONS:

SHEET TITLE: LANDSCAPE DETAILS AND SPECIFICATIONS

BURGER KING WHOPPER BAR

1101 WASHINGTON AVENUE

MIAMI BEACH, FL 33139

PROJECT:

SEAL:

DATE DRAWN: 10-26-17

SHEET NO.

L-3

of-3