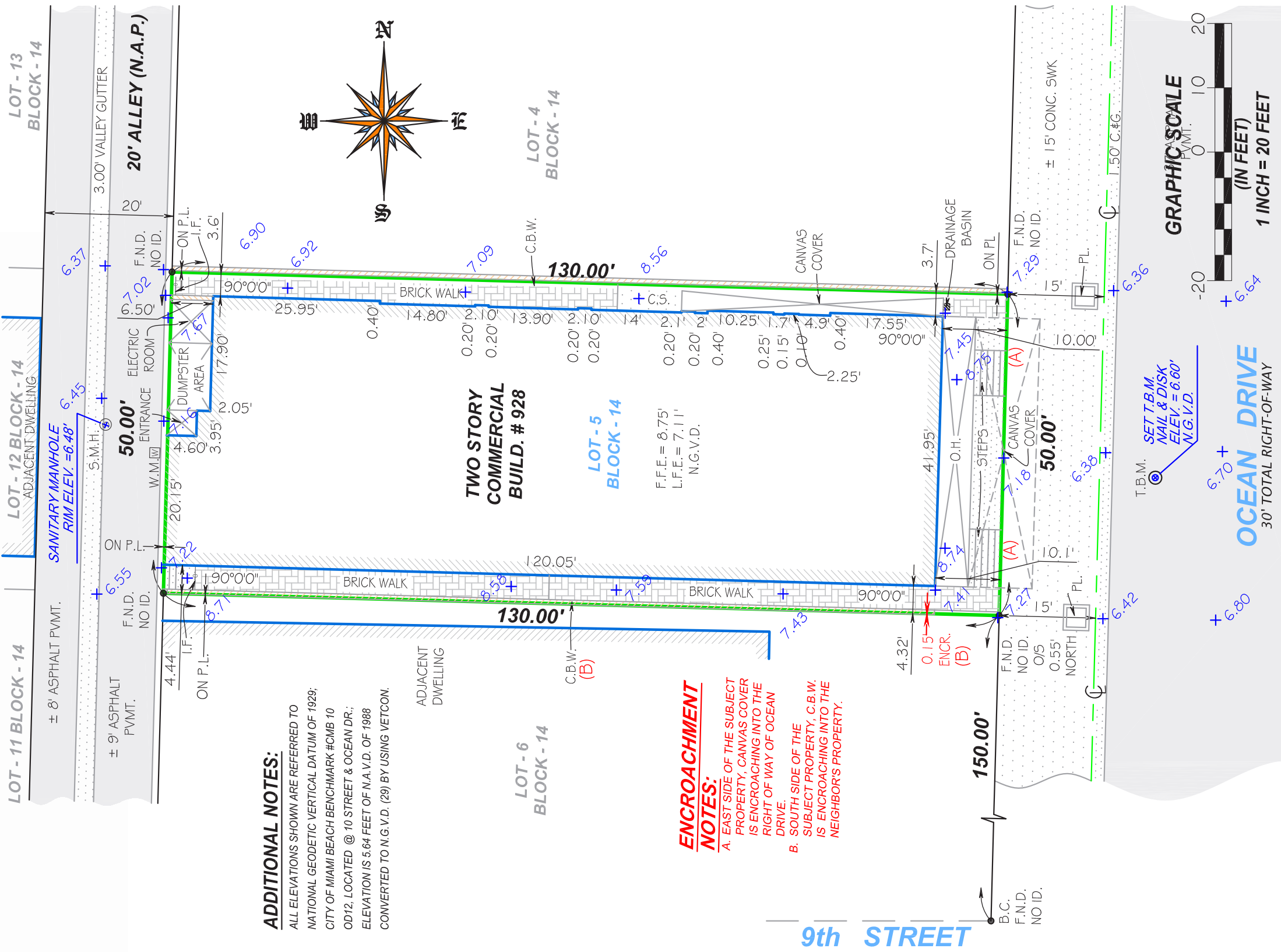


JOHN IBARRA & ASSOCIATES, INC.
 Professional Land Surveyors & Mappers
 WWW.IBARRALANDSURVEYORS.COM
 2804 DEL PRADO BLVD SOUTH
 SUITE NO. 202 UNIT 1
 CAPE CORAL, FL 33904
 PH: (239) 540-2660
 FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

928 OCEAN DR, MIAMI BEACH, FLORIDA 33139
 (REV. 10/31/2017)



ADDITIONAL NOTES:

ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929; CITY OF MIAMI BEACH BENCHMARK #CMB 10 OD12, LOCATED @ 10 STREET & OCEAN DR.; ELEVATION IS 5.64 FEET OF N.A.V.D. OF 1988 CONVERTED TO N.G.V.D. (29) BY USING VETCOM.

ENCROACHMENT NOTES:
 A. EAST SIDE OF THE SUBJECT PROPERTY, CANVAS COVER IS ENCROACHING INTO THE RIGHT OF WAY OF OCEAN DRIVE.
 B. SOUTH SIDE OF THE SUBJECT PROPERTY, C.B.W. IS ENCROACHING INTO THE NEIGHBOR'S PROPERTY.



LB# 7806

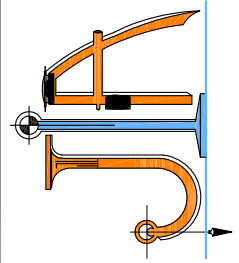
LEGAL DESCRIPTION:

LOT 5, BLOCK 14 OCEAN BEACH ADDITION NO. 2 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 56 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

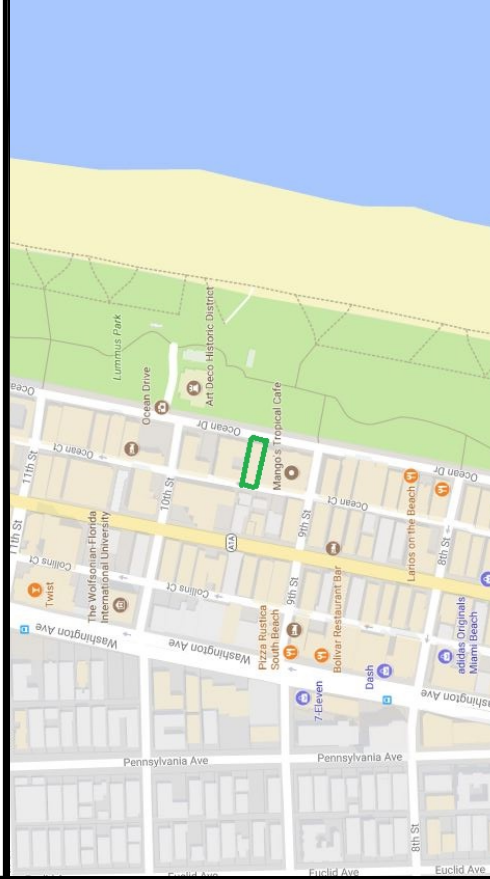
CERTIFICATION:

NANCY CALARA.

DRAWN BY:	F.S.
FIELD DATE:	10/27/2017
SURVEY NO:	16-005239-2
SHEET:	2 OF 2



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LOCATION SKETCH
 SCALE = N.T.S.



VIEW OF SUBJECT PROPERTY
 928 OCEAN DR, MIAMI BEACH, FLORIDA 33139

- ABBREVIATIONS**
- A = ARC
 - A/C = AIR CONDITIONER PAD
 - A.E. = ANCHOR EASEMENT
 - A.R. = ALUMINUM ROOF
 - A.S. = ALUMINUM SHED
 - ASPH. = ASPHALT
 - B.C. = BLOCK CORNER
 - B.LDG. = BUILDING
 - B.M. = BENCH MARK
 - B.C.R. = BROWARD COUNTY RECORDS
 - B.O.B. = BASIS OF BEARING
 - B.S.L. = BUILDING SETBACK LINE
 - (C) = CALCULATED
 - C.B. = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.B.W. = CONCRETE BLOCK WALL
 - CH. = CHORD
 - CH.B. = CHORD BEARING
 - CH.L. = CHORD LENGTH
 - CL. = CLEAR
 - C.O. = CLEAN OUT
 - C.L.F. = CHAIN LINK FENCE
 - C.M.E. = CANAL MAINTENANCE EASEMENT
 - CONC. = CONCRETE
 - C.U.P. = CONCRETE UTILITY POLE
 - C.P.P. = CONCRETE PORCH
 - C.S. = CONCRETE SLAB
 - C.W. = CONCRETE WALK
 - D.E. = DRAINAGE EASEMENT
 - D.M.E. = DRAINAGE MAINTENANCE EASEMENT
 - DRIVE = DRIVEWAY
 - DEGREES = DEGREES
 - EB = ELECTRIC BOX

- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENCR. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- FF.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & DISK
- FEET = FEET
- FNIP = FEDERAL NATIONAL INSURANCE PROGRAM
- F.N. = FOUND NAIL
- H. = HIGH OR (HEIGHT)
- IN. & EG. = INGRESS AND EGRESS EASEMENT
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- L.B. = LICENSED BUSINESS
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- MINUTES = MINUTES
- (M) = MEASURED DISTANCE
- M.B. = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENT
- M.H. = MANHOLE
- N.A.P. = NOT A PART OF
- NGVD = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- # OR NO. = NUMBER
- O/S = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES

- O.R.B. = OFFICIAL RECORDS BOOK
- O.V.H. = OVERHANG
- P.V.M.T. = PAVEMENT
- PL. = PLANTER
- P.L. = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.R.C. = POINT OF REVERSE CURVATURE
- P.WY. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P.P. = POWER POLE
- P.P.S. = POOL PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- (R) = RECORD DISTANCE
- R.R. = RAIL ROAD
- RES. = RESIDENCE
- R.W. = RIGHT-OF-WAY
- RAD. = RADIUS OR RADIAL
- RGE. = RANGE
- R.O.E. = ROOF OVERHANG EASEMENT
- SEC. = SECTION
- STORY = STORY
- SIDEWALK = SIDEWALK
- SWK. = SET IRON PIPE
- S.I.P. = SOUTH
- S. = SOUTH
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- SECONDS = SECONDS

- T = TANGENT
- TB = TELEPHONE BOOTH
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- TWP. = TOWNSHIP
- UTIL. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- M. = MONUMENT LINE
- Δ = CENTER LINE
- ◊ = DELTA

LEGEND

- OVERHEAD UTILITY LINES
- CONCRETE BLOCK WALL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- BUILDING SETBACK LINE
- UTILITY EASEMENT
- LIMITED ACCESS RW
- NON-VEHICULAR ACCESS RW
- EXISTING ELEVATIONS

x 0.00

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, WHICH COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECT'S SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS, IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: *John Ibarra*

JOHN IBARRA (DATE OF FIELD WORK) 10/27/17

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 8.00 FT). THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/2009.

REVISED ON: _____
 REVISED ON: _____

DRAWN BY:	F.S.
FIELD DATE:	10/27/2017
SURVEY NO.:	16-005239-2
SHEET:	1 OF 2

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.



LB# 7806

Location Plan + Zoning Data



928 OCEAN DRIVE
MIAMI BEACH, FLORIDA 33139

BUILT: 1994

FULL LEGAL DESCRIPTION

3 54 42 34 53 42
Ocean beach addn no 2 pb 2-56
Lot 5 blk 14
Lot size 50.000 X 130
Or 12342-335 1184 6

FOLIO NO.
02-3234-008-0040

LOCAL CODE:
City Of Miami Beach, Zoning Ordinance

ZONING:
MXE (Mixed Use Entertainment District)
Commercial

OCCUPANCY TYPE:
A-2

TWO-STORY BUILDING
CONSTRUCTION TYPE: IIA

BUSINESS ENTITY DATA:
THE GROUND FLOOR SPACE AND ROOFTOP ARE
OPERATED BY THE SAME VENDOR

INTERIOR GROUND FLOOR SEATING = 36 SEATS
ROOFTOP SEATING = 70 SEATS



Adjacent Building Use Diagram

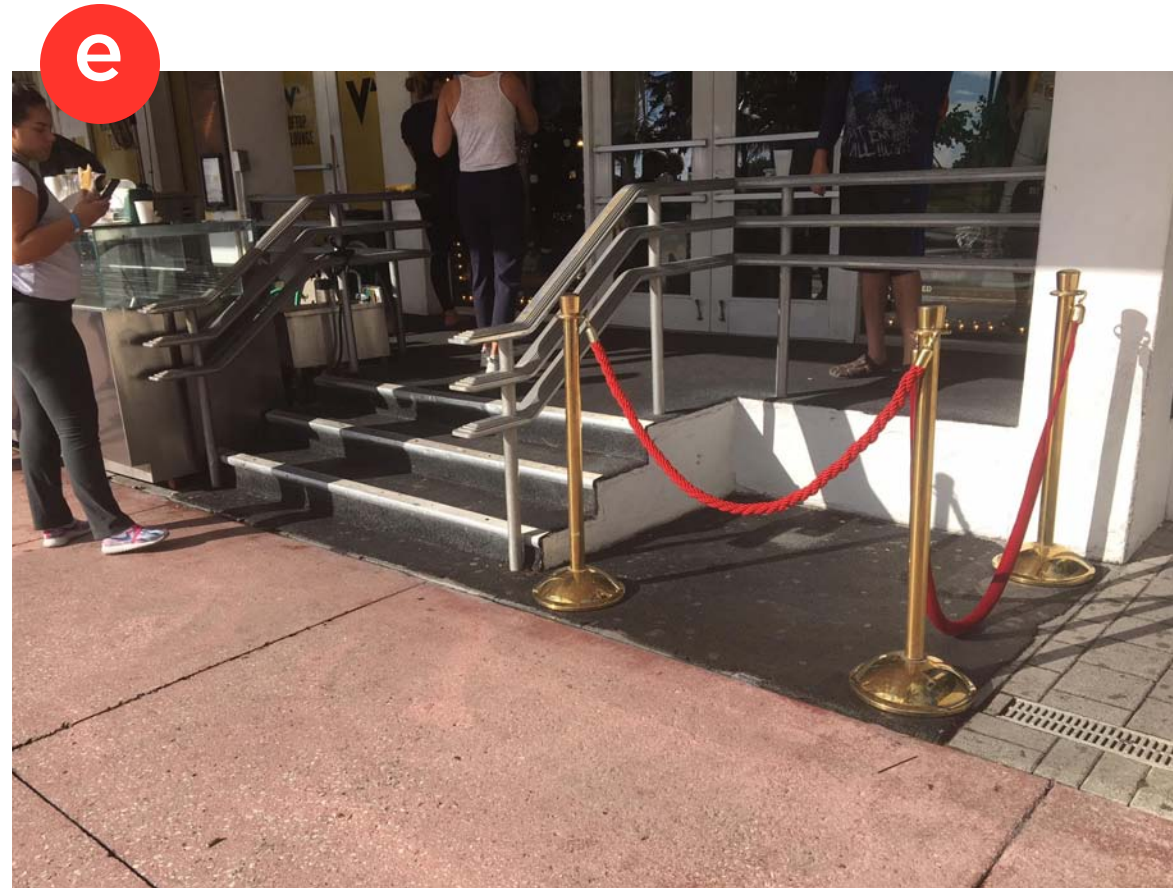


Contextual Photos around Site



Views from across Ocean Drive

- a** View from Beach side looking West
- b** View from the Southeast looking North up Ocean Drive
- c** View from the North looking South down Ocean Drive



Views at the Sidewalk

- d** View from Voodoo Sidewalk Cafe North
- e** Stair entry view from the North
- f** View from Voodoo Sidewalk Cafe South
- g** Stair entry view from the South

Project Photos | Ground Floor Storefront



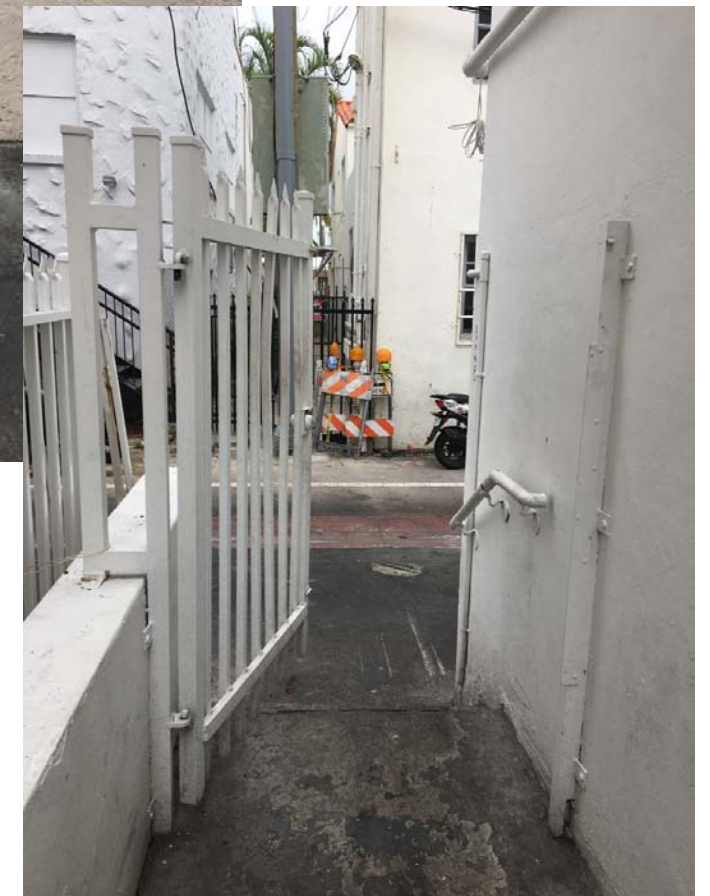
Highlighted area of storefront to be demolished / replaced

Contextual Photos around Site



Views from the Building rear at 928 Ocean Drive

- h** Ocean Court Alley view from the Southwest
- i** Side gate exit toward Ocean Court Alley



Project Photos | Ground Floor

j



k



l



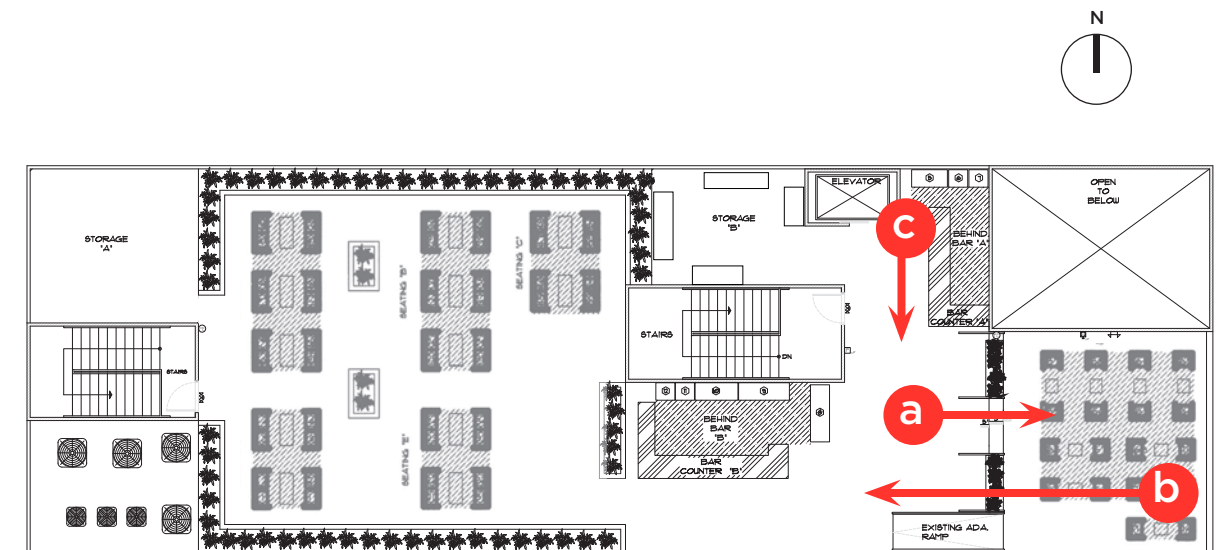
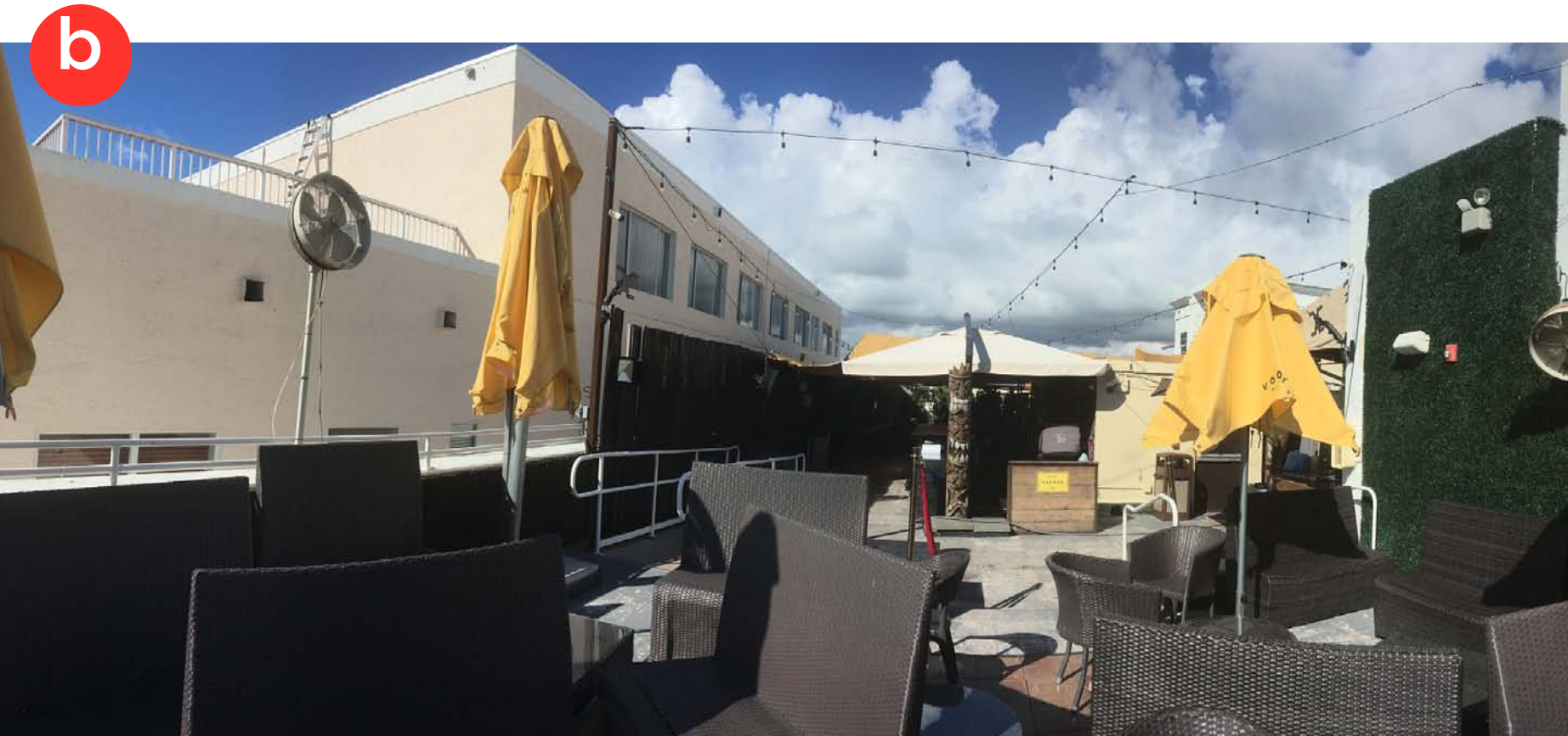
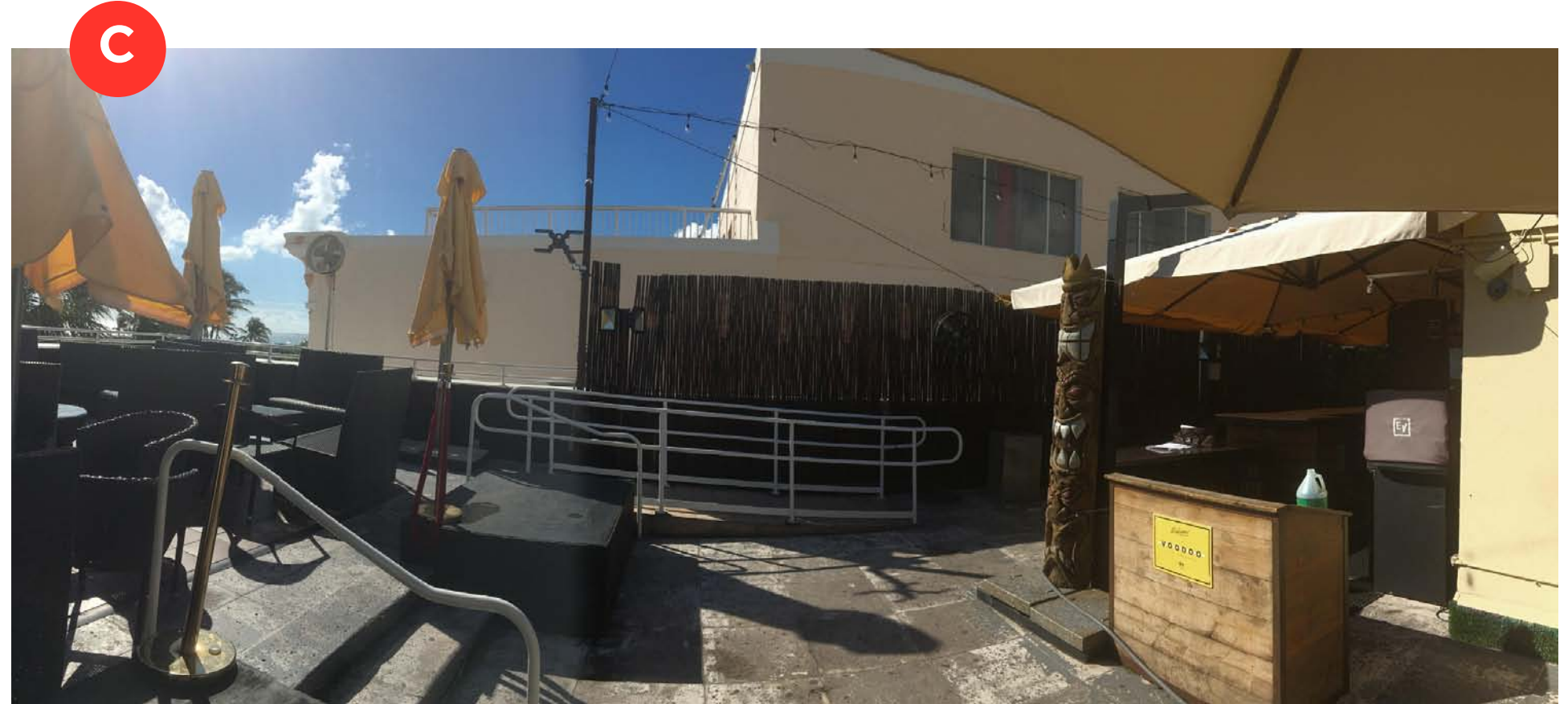
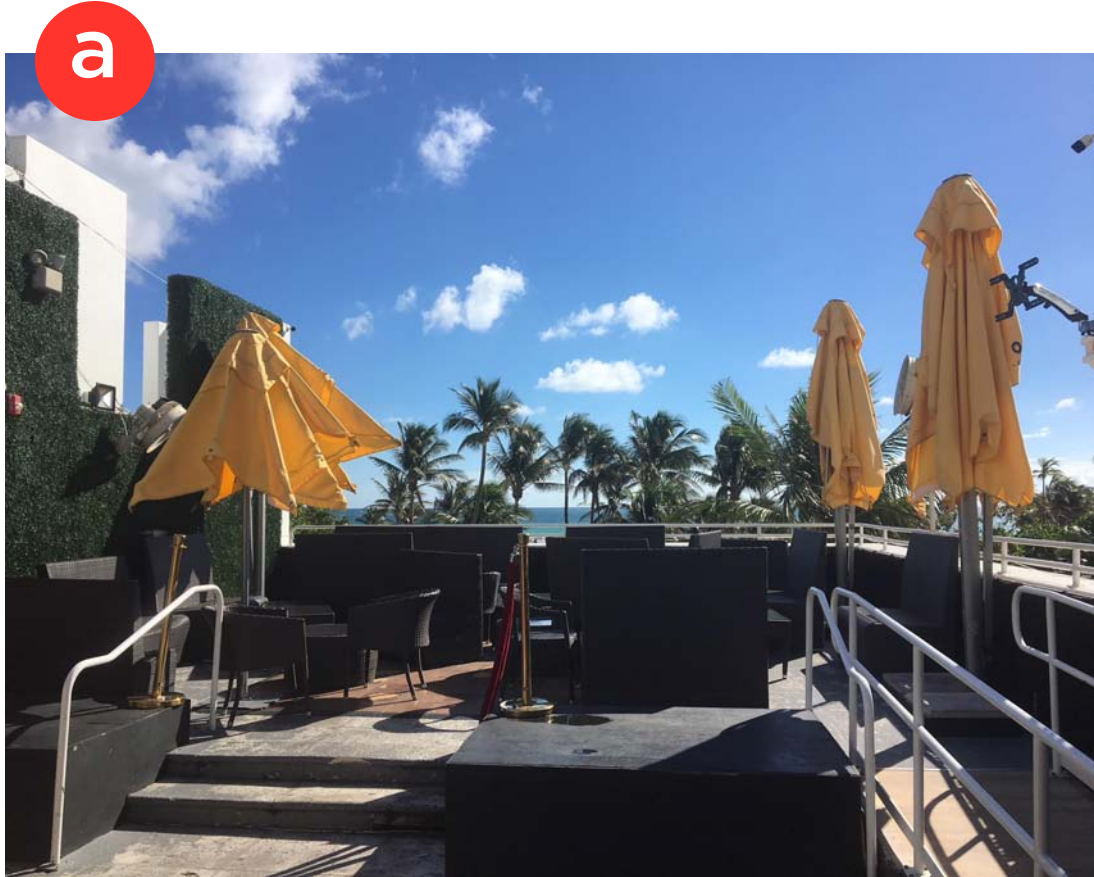
m



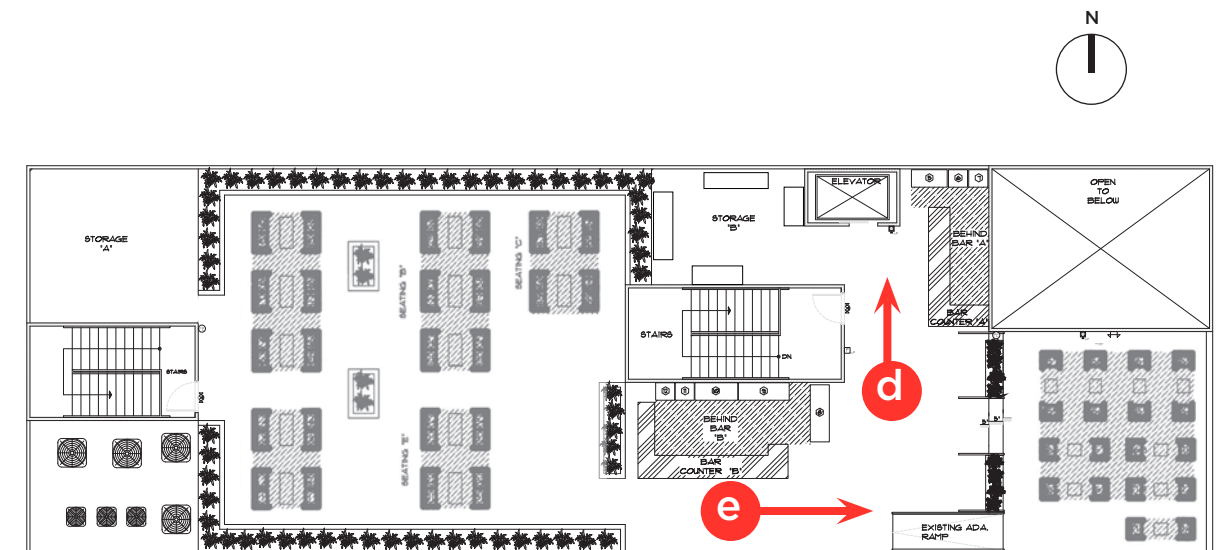
Side walkway views

- j** Looking up from the Southeast side of the Building
- k** South side walkway looking toward the rear of the Building
- l** South side walkway looking toward the rear of the Building
- m** South side walkway looking toward Ocean Drive (east)

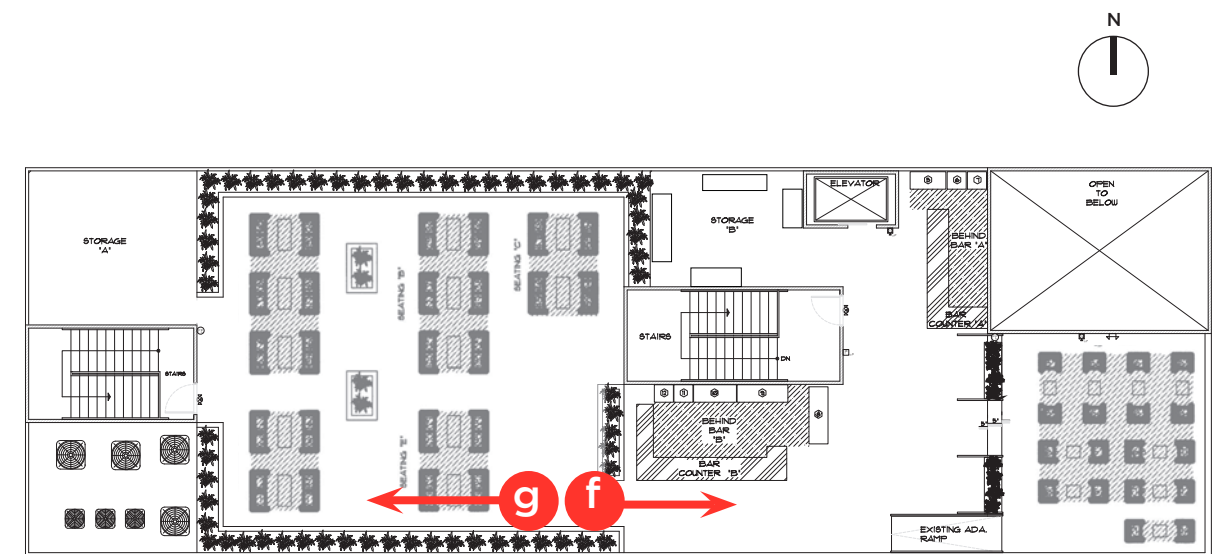
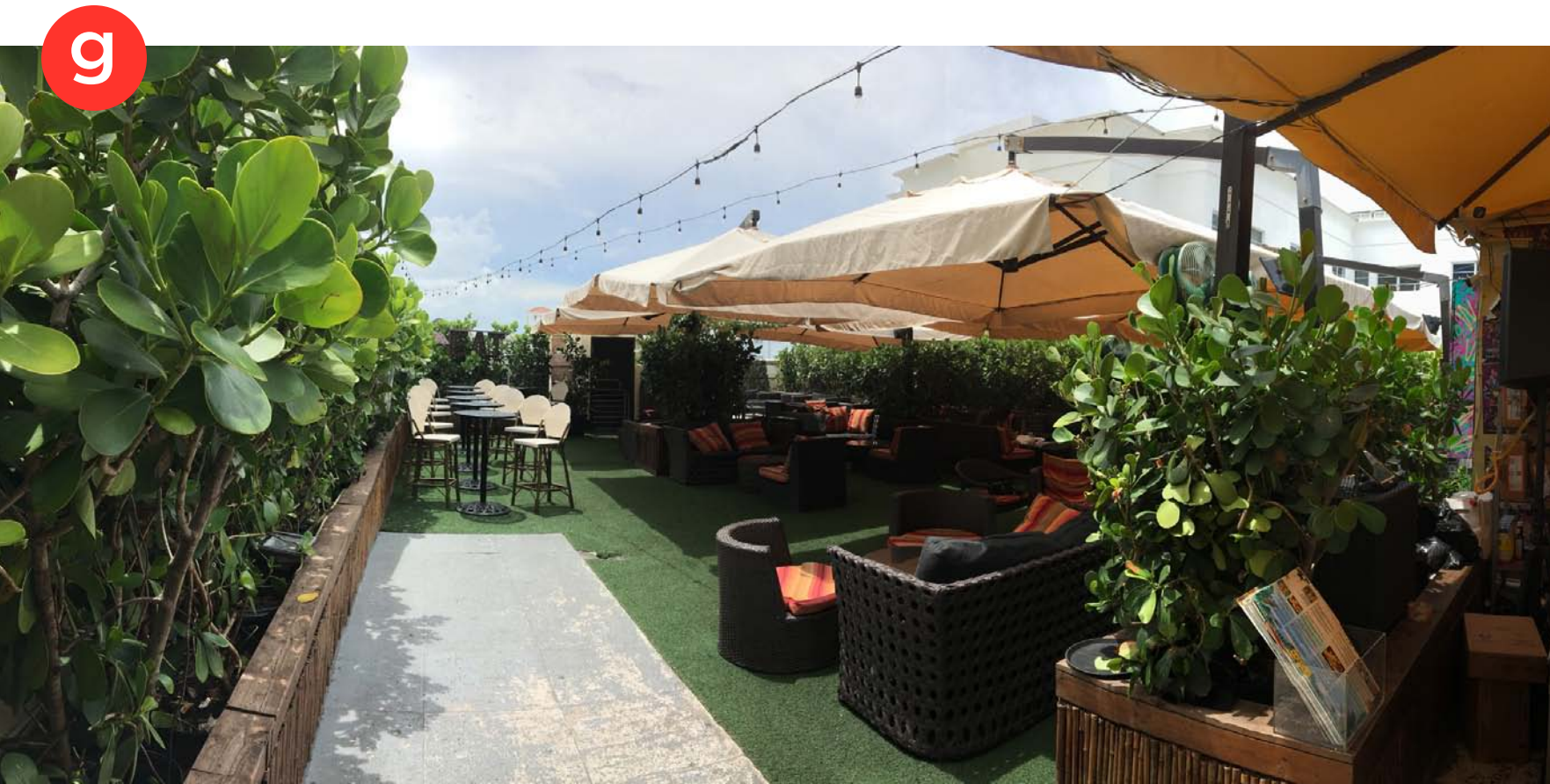
Project Photos | Rooftop East



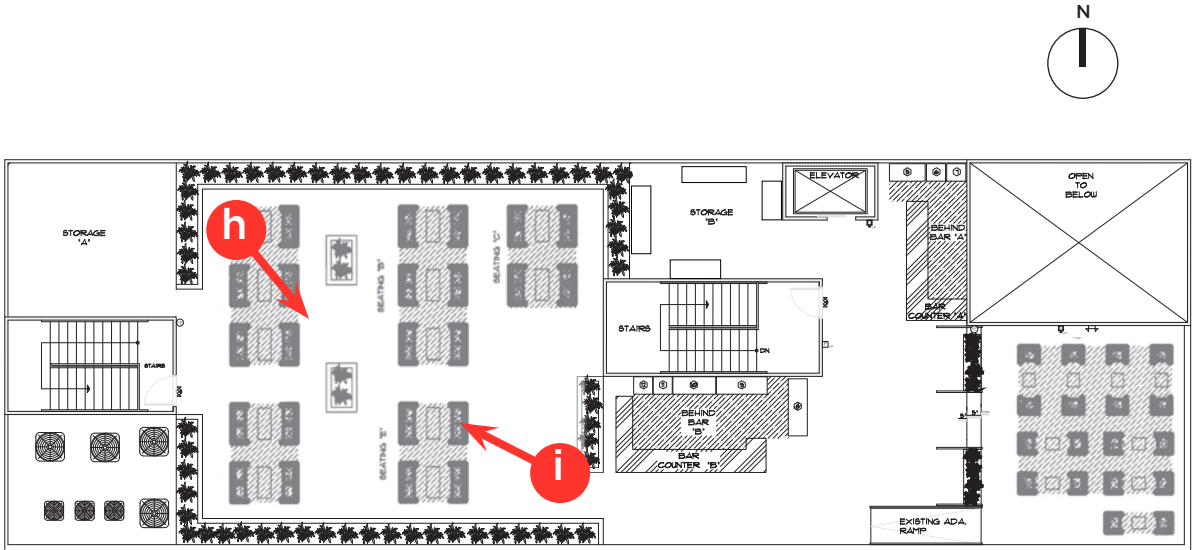
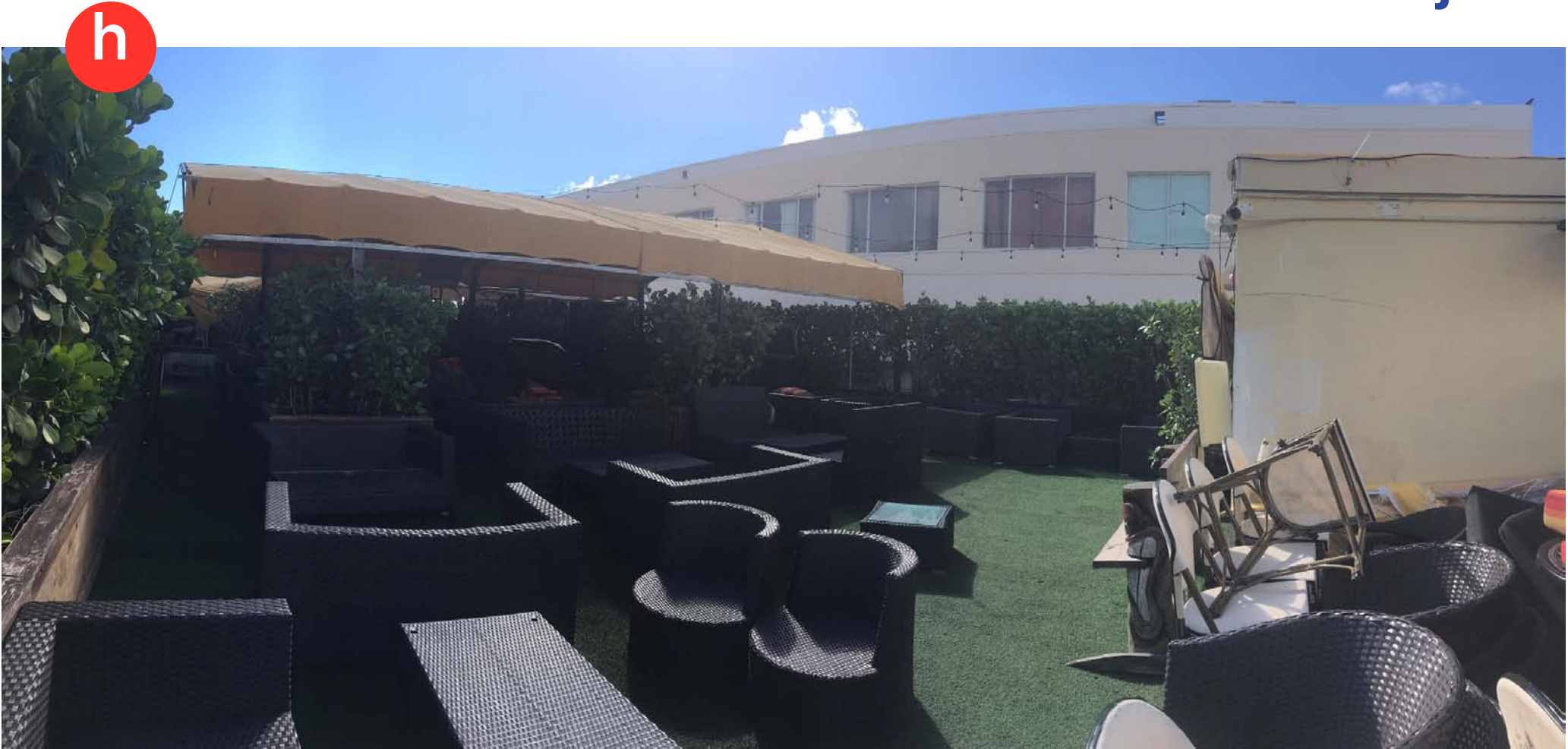
Project Photos | Rooftop Central



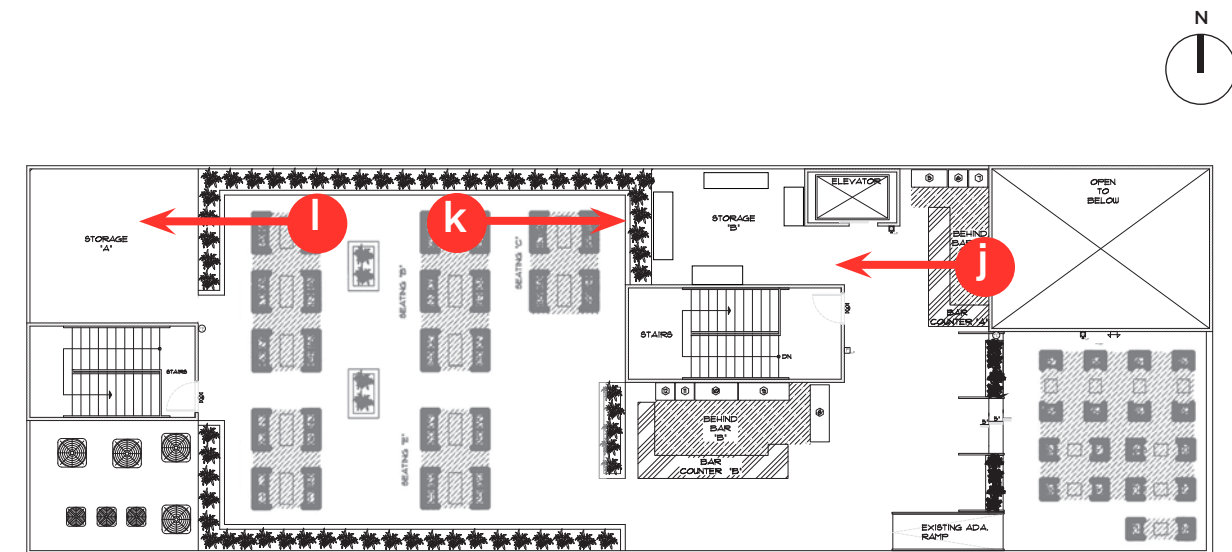
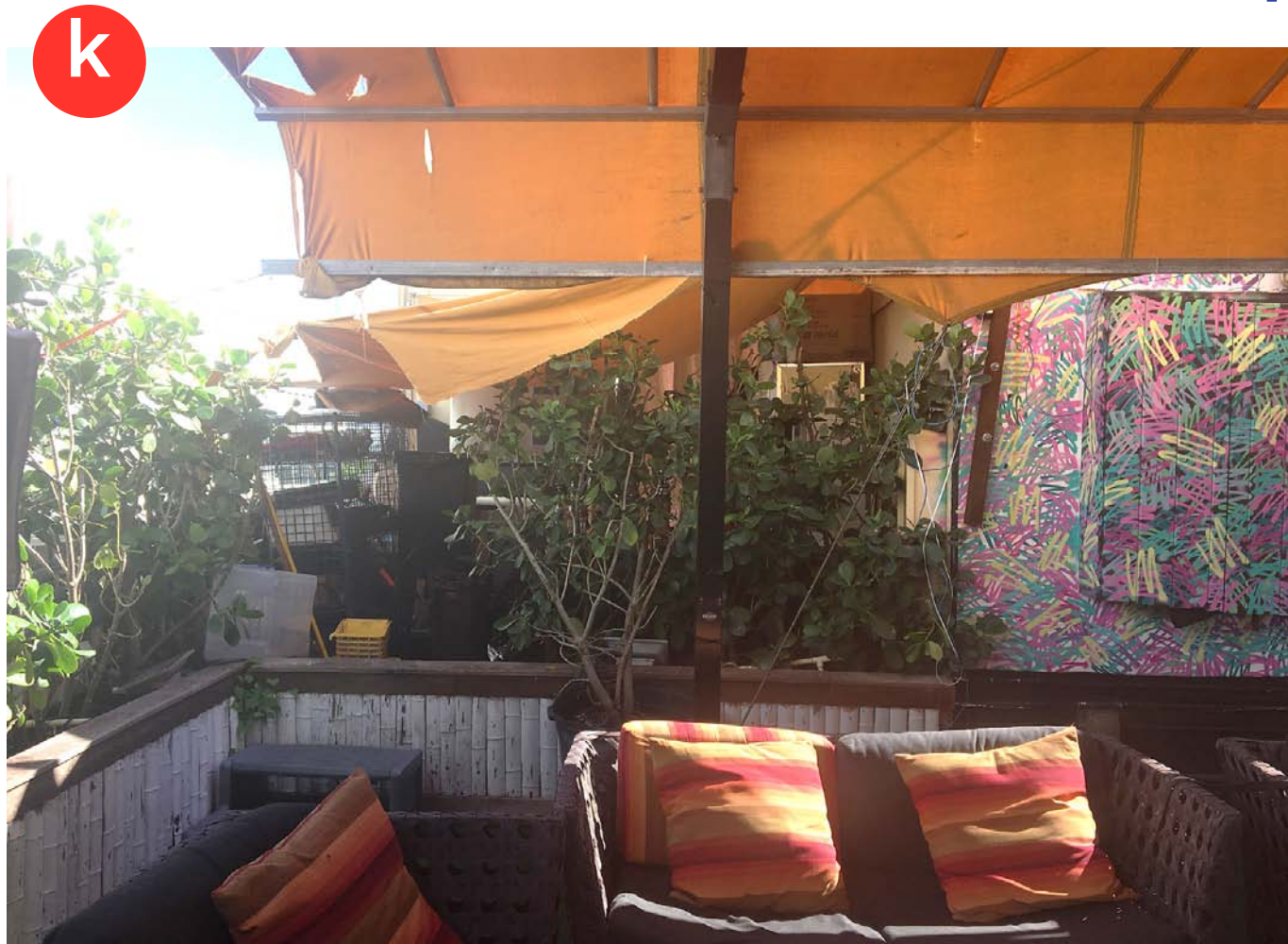
Project Photos | Rooftop Central

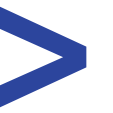


Project Photos | Rooftop West



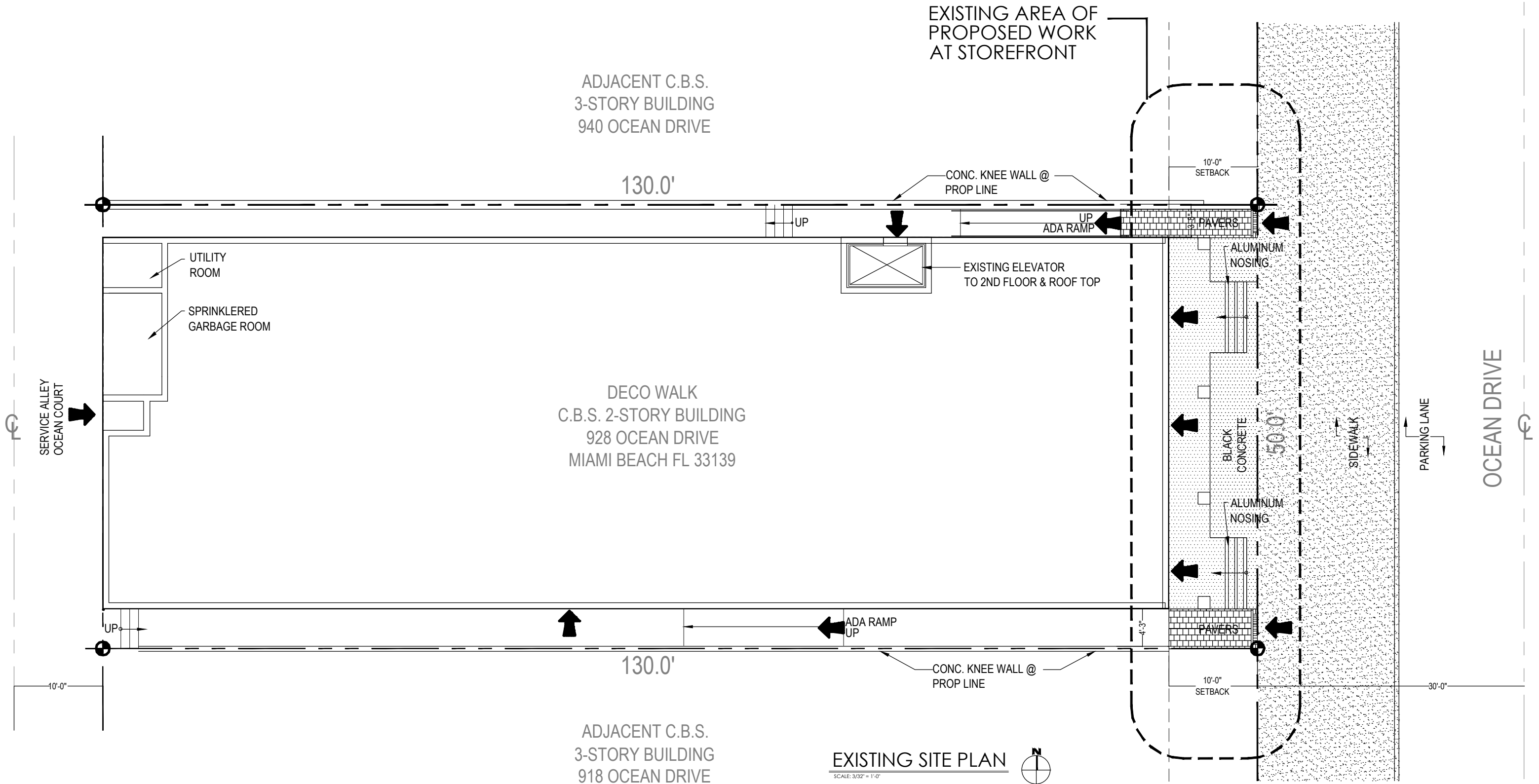
Project Photos | Rooftop Storage Areas



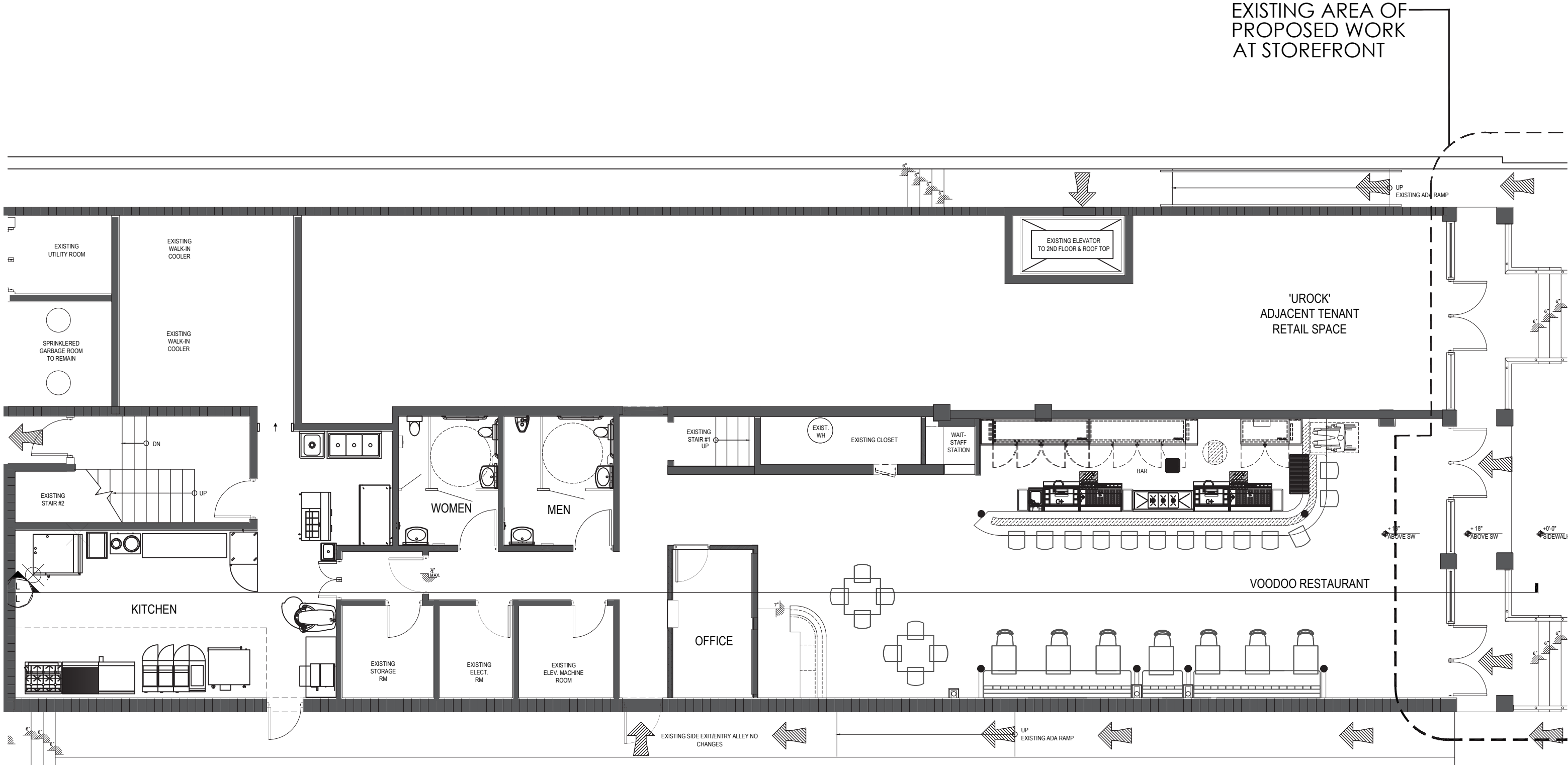


EXISTING CONDITION DRAWINGS

Existing Site Plan

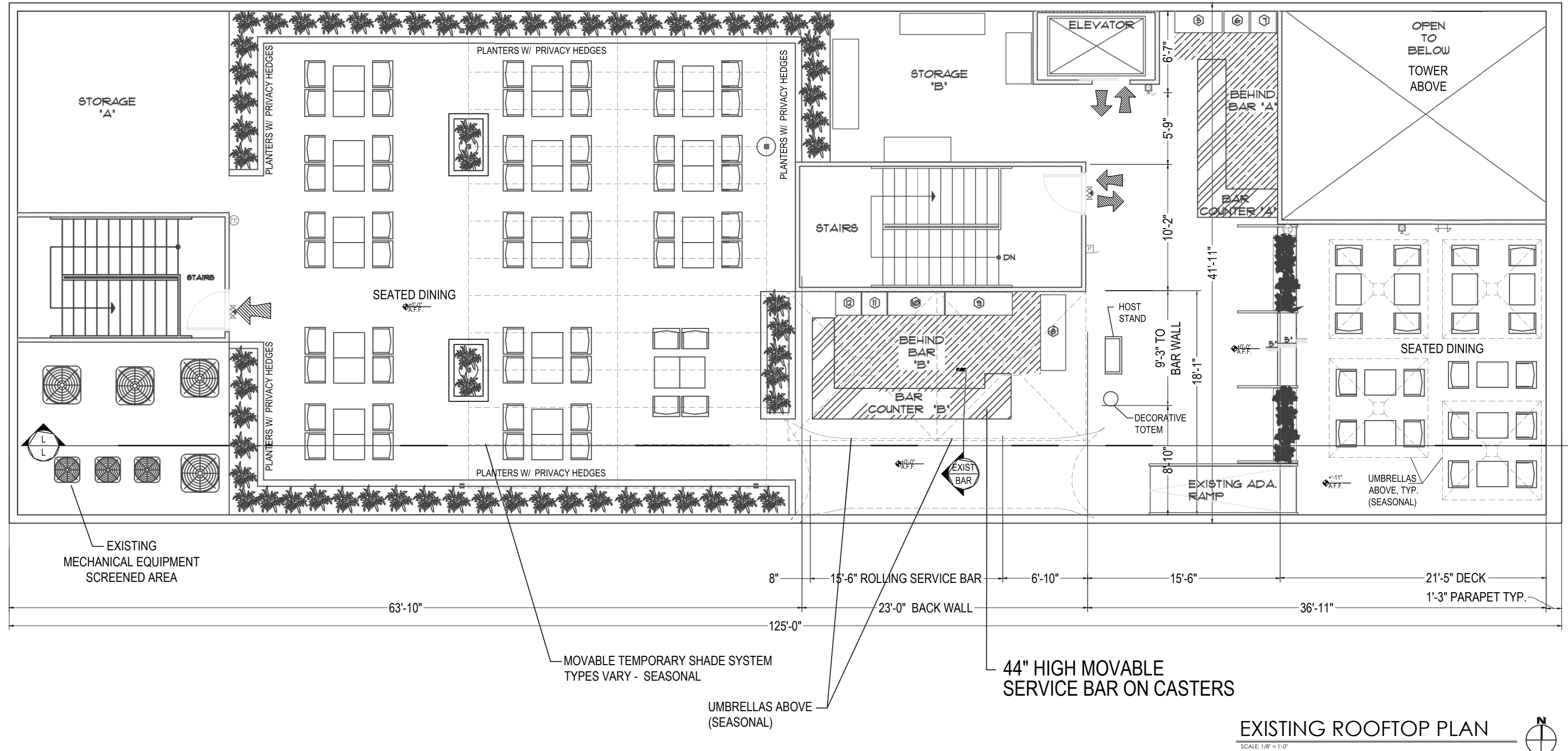


Existing Ground Floor Plan

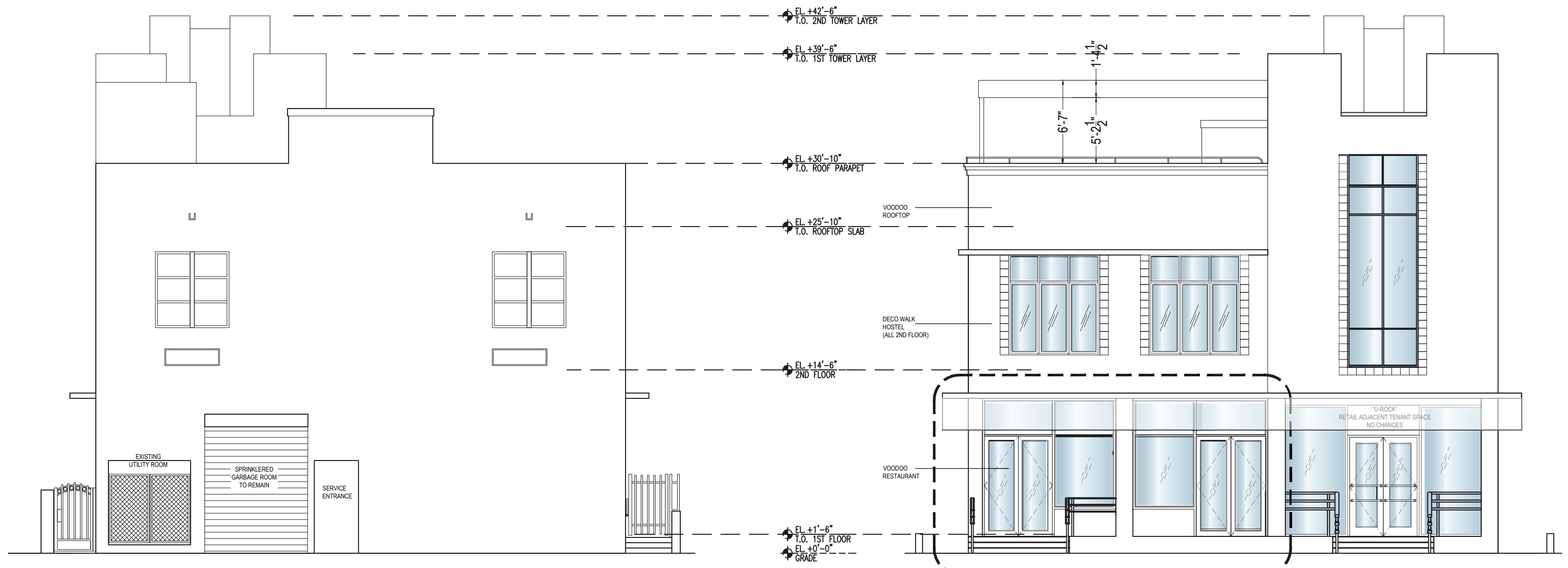


EXISTING FIRST FLOOR PLAN 
SCALE: 1/8" = 1'-0"

Existing Rooftop Plan



Existing East Elevation



WEST ELEVATION (REAR)

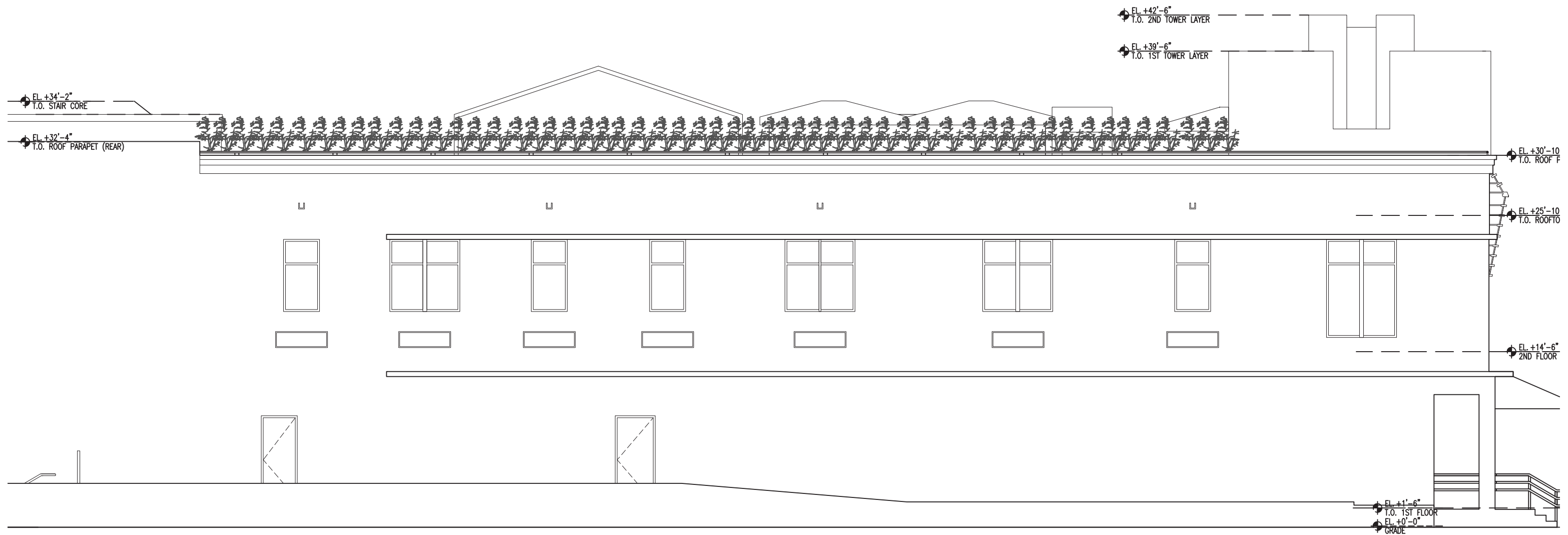
SCALE: 1/8" = 1'-0"

EXISTING AREA OF PROPOSED WORK AT STOREFRONT

EAST ELEVATION (FRONT)

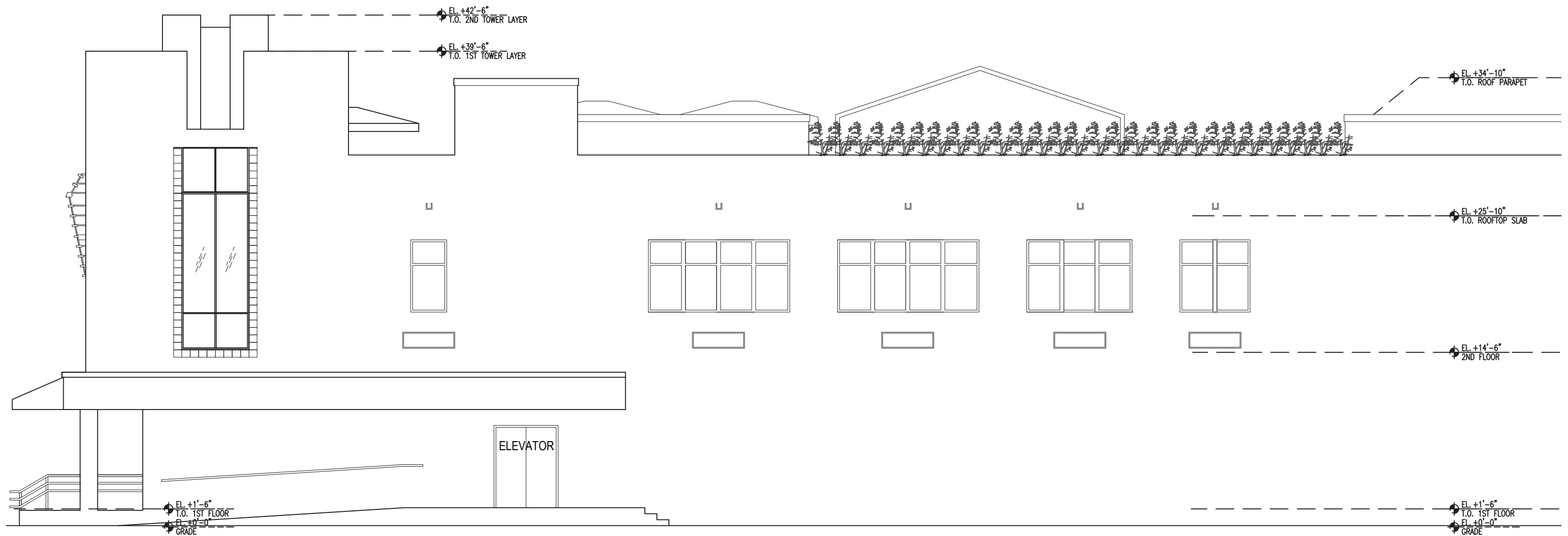
SCALE: 1/8" = 1'-0"

Existing South Elevation



SOUTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"

Existing North Elevation



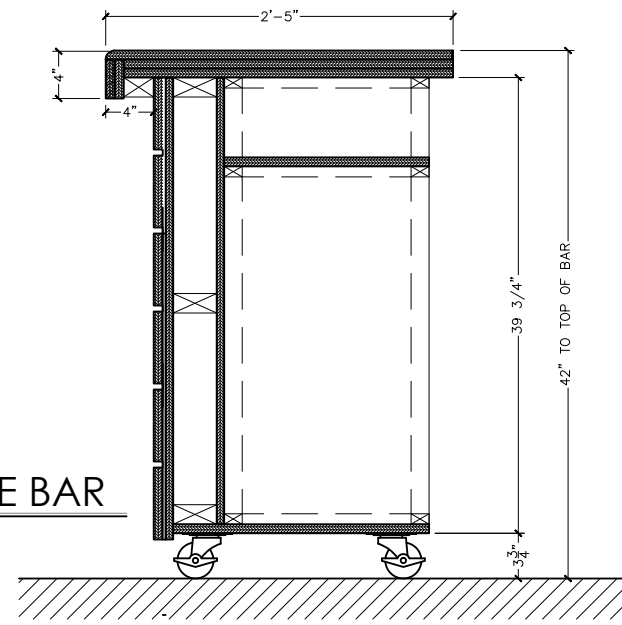
NORTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"

Existing Building Section L-L

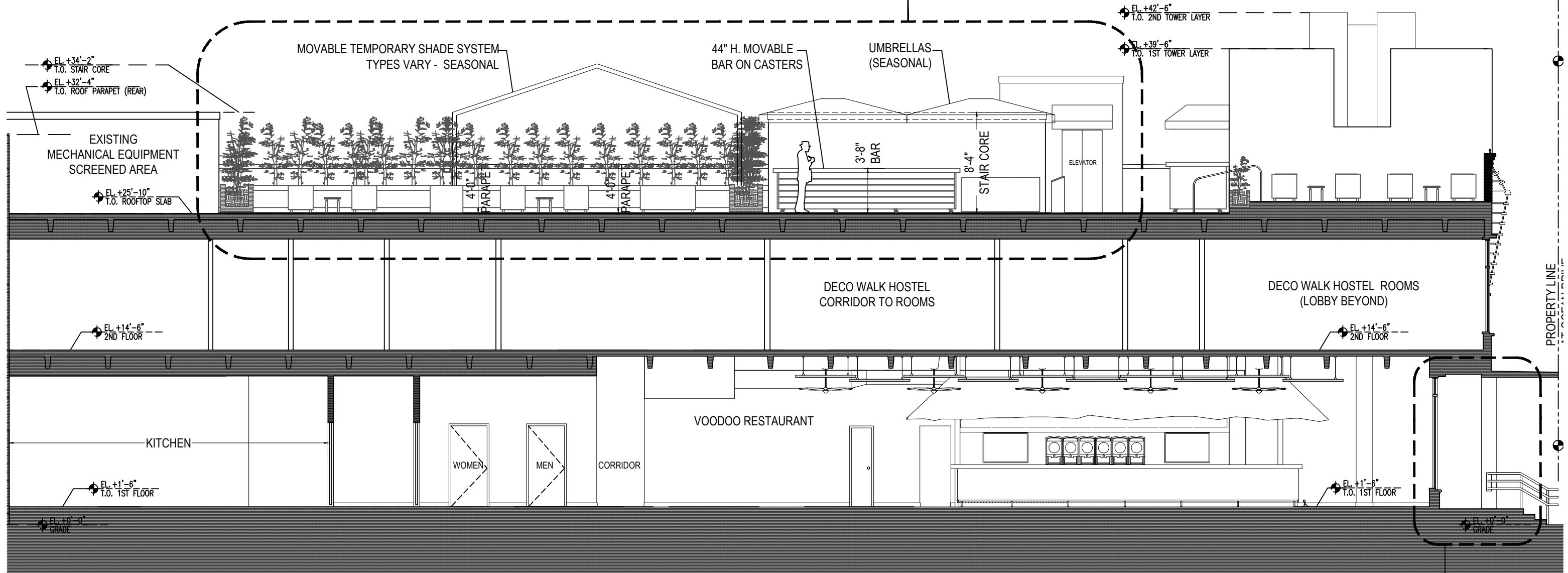


SECTION @ MOVABLE BAR

SCALE: 3/4" = 1'-0"



EXISTING AREA OF PROPOSED WORK AT ROOFTOP



BLDG SECTION L-L

SCALE: 1/8" = 1'-0"

EXISTING AREA OF PROPOSED WORK AT STOREFRONT