



ARCHITECTS



HARRY M. HICE ARCHITECT

511 16th STREET WAS ORIGINALLY DESIGNED AND BUILT BY HARRY HICE, WHO WAS REGISTERED AS THE SUPERVISOR OF THE 'CITY BUILDERS' COMPANY IN MIAMI BEACH. HICE AND HIS COMPANY ALSO DESIGNED AND CONSTRUCTED THE FOLLOWING PROPERTIES:

- REPRESENTATIVE PROJECTS:
- * 420 WEST 31ST STREET (1930)
 - * 1320 FLAMINGO WAY (1935)
 - * 1301+1315+1329+1331+
1339 FLAMINGO WAY (1938-41)
 - * 1604 DREXEL AVENUE (PRESUMED)
 - * 511 16TH STREET

PHOTO ABOVE: 1604 DREXEL AVENUE
PHOTO BELOW: 1301 FLAMINGO WAY



GERARD PITT ARCHITECT (1885-1971)

Pitt was born in New Rochelle, New York, and graduated from Columbia University in 1907. In his early career, he worked both in New York City and Detroit, Michigan. He moved to Miami in 1930 and was in partnership with George L. Pfeiffer from 1940 to 1941. Pitt served as supervising architect for the southeast district of the Florida Hotel Commission from 1935 to 1957. In Miami Beach, he designed dozens of mostly small-scale apartment buildings in the Art Deco and Post-War Modern styles from 1939 to the mid 1960s, when he was in his 80's.

Pitt was one of the most prolific architects in the North Beach area with at least 59 buildings to his credit in the North Shore & Normandy Isles neighborhoods. (4)

REPRESENTATIVE PROJECTS:

- * Miljean Apartments @ 1831 James Avenue (1952)
- * Clifton Hotel @ 1343 Collins Avenue (1948)
- * Beth Tifilon Congregation @ 935 Euclid Avenue (1946)
- * 1800 James Avenue - The Lincoln Arms Apartments (1948)
- * Synagogue at 1545 Jefferson Avenue (1965)
- * 428 Collins - The Shangri-La Condominiums (1959)
- * Montclair Lofts- 1700 Meridian Avenue (1954)
- * Temple Beth Raphael aka Luna Mar 1545 Jefferson Ave. (1965)
- * Bel Air 1036 Washington Avenue (1953)
- * 7500 Block of Byron Avenue (1944)



7/36.1

Owner RUBY GOLIN

Block 52-A

Subdivision LINCOLN

Permit No. 41775

Cost \$ 35,

of Lot 1

General Contractor Arkin Construction Co.Inc.

Architect Gerard Pitt

Zoning Regulations: Use RE

Area 16

Depth 59'

Front 35'

Building Size:

Certificate of Occupancy No. 2245, Nov. 3, 1953.

Type of Construction #3 CBS

Foundation 12x27

Spread footing

Roof Flat

Date

PLUMBING Contractor #34958 Dade Plumbing Co:

1-----Sewer Connection to existing

Date

Temporary Water Closet 1

Swimming Pool Traps

Down Spouts

Wells

Water Closets 8

Lavatories 8

Bath Tubs 8

Showers

Urinals

Sinks

Dishwashers

Laundry

Laundry

Drinking

Floor

Grease

Safety

AIR

SEPTIC

OIL

SPRING

ELEC

OUTLET

HEATING

Engineer

Lot Size 50 x 160

Height 21'

Stories 2

Use APARTMENT HOUSE - 8 efficiencies

Bond No. 1602 DREXEL AVE

Address 515 Sixteenth Street

Permit No. 41775

Cost \$ 35,

for

----- 8

aters

aters

tors

bles

Date

Gas Frylators

Gas Pressing Machine

Gas Vents for Stove

GAS Rough APPROVAL L. Rothman, 7-14-53

GAS FINAL APPROVAL OK, E. Cox, 9-3-53

on Units: Igloo: \$3,000: Sept 18, 1953 OK, P.

275-gal: June 17, 1953

Date June 22, 1953

Temporary Service 1

Neon Transformers

Sign Outlets

Meter Change

Centers of Distributions 9

Service 1

APPROVAL

OSSE

-30-53

BUILDING CARDS

Owner **City Builders Fin. Co.** **RUBY GOLIN** Permit No. **888** **\$14,000.00**
 Lot **1** Block **82 A.** Subdivision **Lincoln** No. **1600** Street **Drexel** Date **Jun. 30, 1924**
 General Contractor **City Builders Fin. Co.** **7156** Address **Miami Beach** **3234-02-0590**
 Front **61'** Depth **37' 6"** Height **25'** Stories **2** Use **Residence & garage**
 Type of construction **Cem. blks.** Foundation **rein. concrete** Roof **B.**

Plumbing Contractor **Archie Cooper** Address **Miami Beach** Date **Aug. 26, 1924**
 No. fixtures **12** Rough approved by **H. Scheible** Date
 Plumbing Contractor Address Date
 No. fixtures set Final approved by Date
 Sewer connection Septic tank **1** Make **Miami San** Date **Aug. 30, 1924**

Electrical Contractor **J.F. Ambrose** Address **Miami Beach** Date **Aug. 28, 1924**
 No. outlets **41** Heaters **1** Stoves **1** Motors Fans Temporary service
 Rough approved by Date
 Electrical Contractor **Lundie Picture Co.** Address **Miami Beach** Date **Nov. 14, 1924**
 No. fixtures set **28** Final approved by Date

Alterations or repairs # **11021** - Roofing - **Palmer Roofing Co.** \$ **200.00** - Date **Apr. 4 - 1938**
 # **17271** - Remodeling interior of garage with old lumber - (**Abe Kaplan**) \$ **250.** May **6, 1943**
 # **18283** - Changing closet into bath room. Day labor \$ **150:** April **29, 1944** (SEE OVER)
 Plumbing --- # **17582** - **P.M. Levi** - 1 water closet - 1 lavatort - 1 shower - May **22 - 1944**

Electrical

BUILDING PERMIT # **18980**....Waterproofing, painting -- **Magnus Olsen**, painter \$ **450**.... Sept. **20, 1944**
 ELECTRICAL PERMIT # **21135** **Astor Electric**: 4 switch outlets, 6 light outlets, 5 receptacles, 6 fixtures, 1 refrigerator, 1 iron - 2 centers of distribution July **9, 1945**

| | | | | | | | |
|--|---------------|----------------------|------------|---------------------|------------|-------|----------------|
| Rear of Lot 1 | | Owner RUBY GOLIN | Block 52-A | Subdivision LINCOLN | Permit No. | 41775 | Cost \$ 35,000 |
| General Contractor Arkin Construction Co.Inc. | | | | | | | |
| Architect Gerard Pitt | | | | | | | |
| Zoning Regulations: | Use RE | Area 16 | Lot Size | 50 x 160 | | | |
| Building Size: | Front 35' | Depth 59' | Height | 21' | Stories 2 | | |
| Certificate of Occupancy No. 2245, | Nov. 3, 1953. | | | | | | |
| Type of Construction #3 CBS | Foundation | 12x27 Spread footing | Roof Flat | Date June 8, 1953 | | | |

| PLUMBING Contractor | #34958 Dade Plumbing Co: | 1-----Sewer Connection to existing | Date June 8, 1 |
|---------------------|--------------------------|-------------------------------------|---------------------|
| Water Closets | 8 | Swimming Pool Traps | Down Spouts |
| Lavatories | 8 | xSteam Hot Water Boilers | Wells |
| Bath Tubs | 8 | | |
| Showers | | ROUGH APPROVAL | L. Rothman, 6-19-53 |
| Urinals | | FINAL APPROVAL OK, E. Cox, | 9-3-53 |
| | | Temporary Water Closet | 1 |

| GAS CONTRACTOR | | 8 | | Date | |
|--------------------------|--|-------------------|-------|----------------------|--|
| Dish Washing Machine | | Gas Ranges | ----- | Gas Frylators | |
| Laundry Trays | | Gas Water Heaters | | Gas Pressing Machine | |
| Laundry Washing Machines | | Gas Space Heaters | | Gas Vents for Stove | |
| Drinking Fountains | | Gas Refrigerators | | | |
| Floor Drains | | Gas Steam Tables | | | |
| Grease Traps | | Gas Broilers | | | |
| Safe Wastes | | | | | |

GAS Rough APPROVAL L. Rothman, 7-14-53

GAS FINAL APPROVAL OK, E. Cox, 9-3-53

AIR CONDITIONING Contractor #42706 Twelve 3/4-ton Units: Igloo: \$3,000: Sept 18, 1953 OK, Plaag, 9/18/
SEPTIC TANK Contractor
OIL BURNER Contractor #35021 Amber Fuel Oil: 275-gal: June 17, 1953
SPRINKLER Contractor

| ELECTRICAL Contractor #39722 Gates Elec Co Inc: | | Date | June 22, 1953 |
|---|-------------|-------------------|--------------------------|
| OUTLETS | Switches | 32 | Ranges |
| | Lights | 42 | Irons |
| | Receptacles | 56 | Refrigerators |
| | | | Fans |
| | | | Motors |
| HEATERS | Water | | Appliances |
| | | | 8 (1 HP) |
| | | 9 | Meter Change |
| | | 8 | Sign Outlets |
| | | 8 | Centers of Distributions |
| | | Service | 1 |
| | | Neon Transformers | |
| | | Temporary Service | 1 |

APPROVAL
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APPROVAL
OSSER
-30-53

ALTERATIONS & ADDITIONS

Building Permits:

#80889 Biscayne Roofing Re-roof job 10 squares \$635.00 8/22/68
#82487 Biscayne Roofing Co. Re-roof 1 square \$200.00 6/10/69
#86018 - Reroofing built up \$375.00 1/25/71
#09401-AAA Roofing-Re-roof 2500 sq.ft-\$2350-7-20-76

Plumbing Permits:

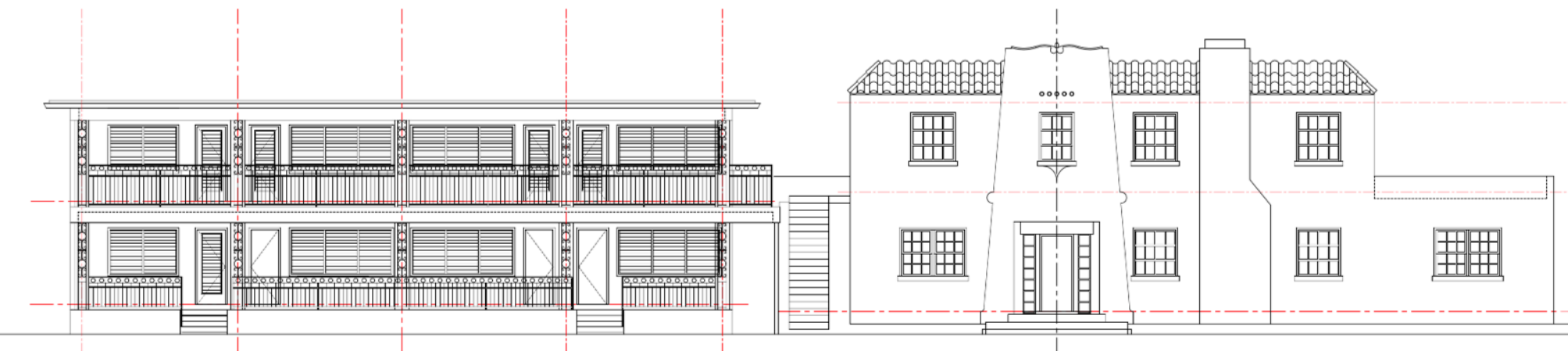
#50307-Elliott Plumbing- 1 lavatory; 1 water closet; 1 sewer connection; 2 roof inlet-10-30-73 C.K.B. 3/7/74

Electrical Permits:

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

| DATE | PROCESS | DESCRIPTION | WORK | CUMULATIVE | APPRAISED BLDG. | | BUILDING |
|--------|---------|-------------|------|------------|----------------------|---|------------|
| ISSUED | NO. | OF WORK | COST | WORK COST | VALUE BEFORE REMODEL | % | PERMIT NO. |
| | | | | | | | |

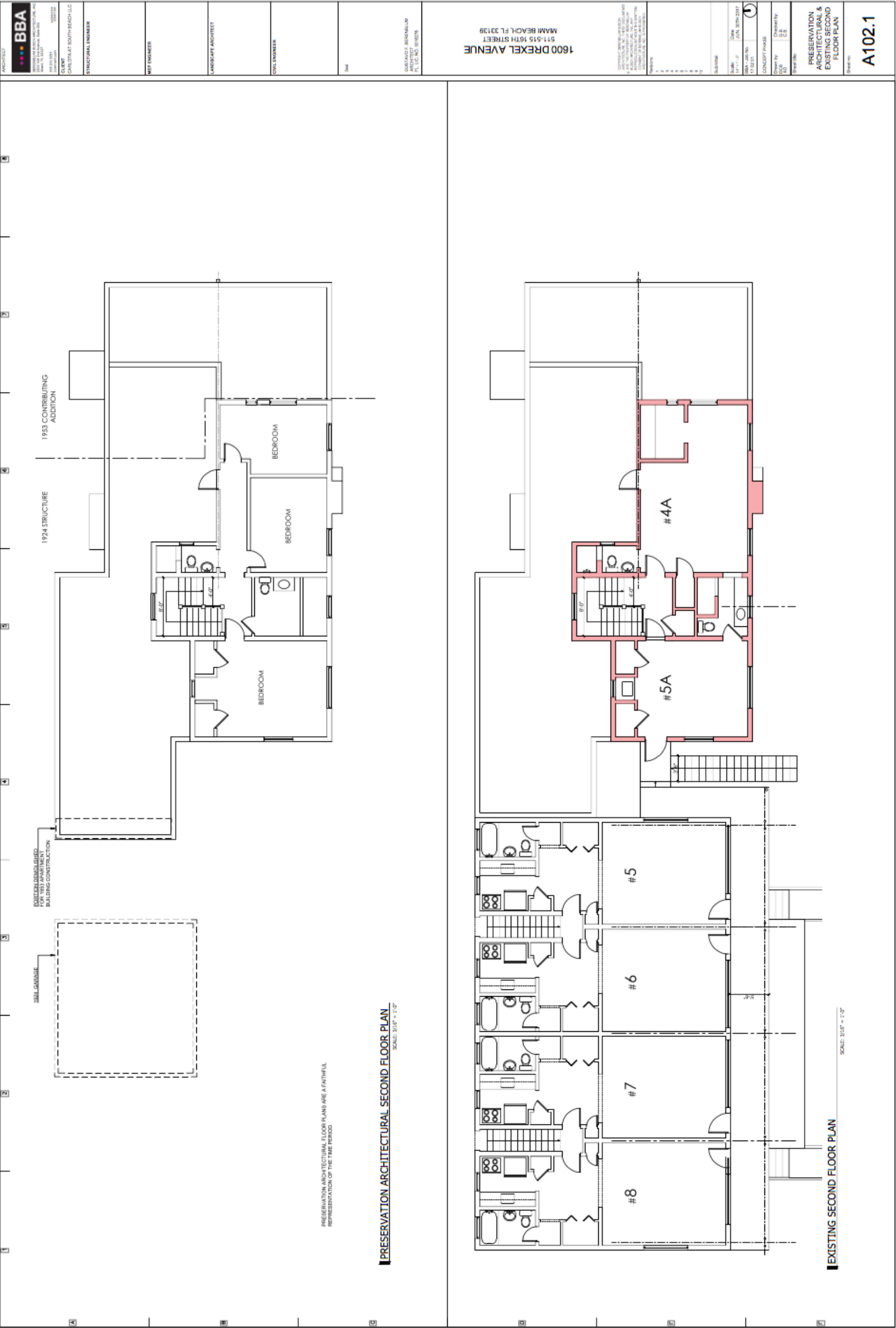


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EXISTING DRAWINGS

THE FOLLOWING EXISTING CONDITION DRAWINGS WERE ORIGINALLY COMPLETED BY NEAL R. DEPUTY ARCHITECT IN 2001. THESE DRAWINGS HAVE BEEN UPDATED AND COORDINATED WITH THE SITE BUILDINGS BY BBA ARCHITECTS.

THERE WERE NO ORIGINAL DRAWINGS AVAILABLE FOR EITHER BUILDING AT THE RECORDS DESK OF THE CITY OF MIAMI BEACH BUILDING DEPARTMENT.



BIBLIOGRAPHY

- (1) "Museum Historic District Expanded District Designation Report": Prepared by the City of Miami Beach Department of Historic Preservation & Urban Design, May 1992, p.5
- (2) Progressive Architecture Magazine Nov 1982, "Deco Rating", p. 92.
- (3) The Making of Miami Beach 1933-1942 by Jean Francois Lejeune & Allan T. Shulman, 2000, p.35.
- (4) ibid., p. 36.
- (5) Ibid., p.37.
- (6) Ibid., p.38.
- (7) Ibid., p.57.
- (8) Courtesy Miami Dade Property Appraiser
- (9) Photograph by Arthur Marcus



Carlota at South Beach, LLC.

CONDITIONS OF APPROVAL FOR THE PROPERTY LOCATED AT: 511-515 16 STREET

The Applicant agrees to the following operational conditions for the pool deck area to be constructed in the front, or functional rear, of the property, adjacent to Drexel Avenue, for any use of the property that is not a single-family or multi-family use and shall bind themselves, their lessees, permittees, concessionaires, renters, guests, users, and successors and assigns and all successors in interest in whole or in part to comply with the following operational requirements and/or limitations.

I. POOL OPERATIONAL CONDITIONS

- i. The hours of operation for the pool area shall be as follows:

Pool Hours

Sundays - Saturdays | 7:00 AM - 11:00 PM

- ii. No food or beverage service will be available in the pool area.
- iii. Outdoor cooking, food preparation, and/or serving are prohibited.

II. NOISE CONDITIONS

- i. A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as amended, shall be deemed a violation of this approval and subject the approval to modification in accordance with the procedures for modification of prior approvals as provided for in the Code, and subject the applicant to the review provided for in the first sentence of this subparagraph.
- ii. The Historic Preservation Board shall retain the right to call the applicant back before the board, at the expense of the applicant, to impose and/or modify the hours of operation, and the placement or use on the property of exterior loudspeakers, fixed or portable, or amend or impose other conditions, should there be a valid violation (as determined by Code Compliance) about loud, excessive, unnecessary, or unusual noise or other conditions of this approval. An adverse adjudication of a violation against the operator is not necessary for the board to have jurisdiction over the matter under this condition. This condition vests jurisdiction independent of any other condition hereof.
- iii. No speakers shall be affixed to the exterior of the Property.

- iv. DJ and/or live entertainment, if any, shall only occur within the interior of the property.
- v. Contact Person. Any proposed Bed & Breakfast use will be supervised and occupied by a person, who must be available for contact on a 24-hour basis, seven days a week. The name and phone number of the 24-hour contact will be provided to abutting neighbors upon request.