Owner City Builders Fin. Co. Permit No. 688 $14,000.00

front Lot 1 Block 52 A. Subdivision Lincoln No. 1600 Street Drexel Date Jan. 30, 1924

3234-02-0590

General Contractor City Builders Fin. Co. Address Miami Beach

Front 61' Depth 97' 6" Height 25' Stories 2 Use Residence & garage

Type of construction Cem. blks. Foundation rein. concrete Roof B.

Plumbing Contractor Archie Cooper Address Miami Beach Date Aug. 26, 1924

No. fixtures 12 Rough approved by H. Scheibly Date

Plumbing Contractor Address Date

No. fixtures set Final approved by Date

Sewer connection Septic tank 1 Make Miami San... Date Aug. 30, 1924

Electrical Contractor J.F. Ambrose Address Miami Beach Date Aug. 28, 1924

No. outlets 41 Heaters 1 Stoves 1 Motors Fans Temporary service

Rough approved by Date

Electrical Contractor Lundie Fixture Co. Address Miami Beach Date Nov. 14, 1924

No. fixtures set 28 Final approved by Date

Alterations or repairs # 11021- Roofing- Palmer Roofing Co- $ 200.00- Date Apr. 4-1938

17271 - Remodeling interior of garage with old lumber - (Abe Kaplan) $ 250. May 6, 1943

18263..Changing closet into bath room.. day labor $ 150: April 29, 1944 (SEE OVER)

Plumbing---# 17582 - P.M.Levi - 1 water closet - 1 lavatort - 1 shower - May 22 -1944

Electrical

BUILDING PERMIT # 18980....Waterproofing, painting -- Magnus Olsen, painter $ 450.... Sept. 20, 1944

ELECTRICAL PERMIT # 21135 Astor Electric: 4 switch outlets, 6 light outlets, 5 receptacles, 6 fixtures, 1 refrigerator, 1 iron - 2 centers of distribution July 9, 1945

ORD. #75-34 5-13-92 CERTIFICATION DATE: 6-15-92

7136.1

Owner RUBY GOLIN

Permit No. 41775 Cost $ 35,000

Rear of Lot 1 Block 52-A Subdivision LINCOLN

Address 515 Sixteenth Street

General Contractor Arkin Construction Co.Inc.

Bond No. 1602 Deposit Nov

Architect Gerard Pitt

Engineer

Zoning Regulations: Use RE Area 16

Lot Size 50 x 160

Building Size: Front 35' Depth 59'

Height 21' Stories 2

Certificate of Occupancy No. 2265, Nov. 3, 1953.

Use APARTMENT HOUSE - 8 efficiences

Type of Construction #3 CBS Foundation 12x27 Spread footing Roof Flat Date June 8,1953

OK, BROWN, 10-30-53

PLUMBING Contractor #34958 Dade Plumbing Co: 1----Sewer Connection to existing Date June 8, 195

Temporary Water Closet 1

Water Closets	8	Swimming Pool Traps	Down Spouts
Lavatories	8	~~Steam~~ Hot Water Boilers 1	Wells
Bath Tubs	8	ROUGH APPROVAL L. Rothman, 6-19-53	
Showers		FINAL APPROVAL OK, E. Cox, 9-3-53	
Urinals			
Sinks	8		
Dish Washing Machine			
Laundry Trays			
Laundry Washing Machines			
Drinking Fountains			
Floor Drains			
Grease Traps			
Safe Wastes			

GAS Contractor Date

Gas Ranges ----- 8 Gas Frylators

Gas Water Heaters Gas Pressing Machine

Gas Space Heaters Gas Vents for Stove

Gas Refrigerators

Gas Steam Tables

Gas Broilers

GAS Rough APPROVAL L. Rothman, 7-14-53

GAS FINAL APPROVAL OK, E. Cox, 9-3-53

AIR CONDITIONING Contractor #42706 Twelve 3/4-ton Units: Igloo: $3,000: Sept 18, 1953 OK,Plagg,9/18/53

SEPTIC TANK Contractor

OIL BURNER Contractor #35021 Amber Fuel Oil: 275-gal: June 17, 1953

SPRINKLER Contractor

ELECTRICAL Contractor #39722 Gates Elec Co Inc: Date June 22, 1953

	Switches	32	Ranges		Temporary Service 1
OUTLETS	Lights	42	Irons	8	Neon Transformers
	Receptacles	56	Refrigerators	8	Sign Outlets
			Fans	9	Meter Change
			Motors	8 (1 HP)	Centers of Distributions 9
HEATERS	Water		Appliances		Service 1
	Space	8			Violations
FIXTURES	42		Electrical Contractor		Date

FINAL APPROVAL By H. Robbins Date 10-30-53

Alterations or Repairs—Over

PERMIT #

B0200141

20

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

New/Addition/Remodel

10-15-2001

Receipt

Date Applied: **10/10/2001**
Date Completed:

Date Issued: **10/12/2001**
Date Expired: **04/10/2002**

Activity Number: **B0200141**
Status: **APPROVED**

Entered By: **BLEBODR**

Site Address: **511 16 ST MBCH**
Parcel #: **0234002050**

Balance Due: **$8.00**
Valuation: **$12,000.00**

Applicant: **SOUTH FLORIDA RESTORATION INC** Owner: **JORGE CUELLAR & W DOSDADA**
20268 NE 15 CT **90 SHORE DRIVE WEST**
N MIAMI BCH FL 33179 **MIAMI FL 331332619**
305-671-9660

Description: **REPAIR DUE TO FIRE DAMAGE**

Payments made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

20

NEW

PANEL C

TYPE: 120/240V 1Ø 3W
SURFACE
VOLTAGE:
MOUNTING: SURFACE

(ALL 20A., 1P. CIRCUITS EXCEPT AS NOTED)

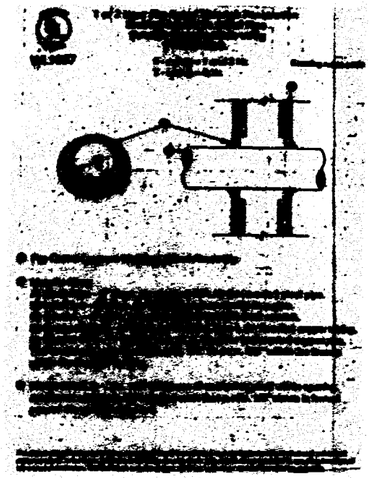
AMPS	POLES	TOTAL V.A.	VOLT. DROP	WIRE	REMARKS	CKT. NO.		CKT. NO.	REMARKS	WIRE	VOLT. DROP	TOTAL V.A.	POLES	AMPS
20	1	1800	1½	12	FIRE ALARM	1		2	REF	12	1½	1200	1	20
20	1	1800	1½	12	SEC. ALT.	3		4	SMALL A/C	12	1½	1500	1	20
15	1	1500	1½	14	EMERGENCY	5		6	LAV	12	1½	1200	1	20
						7		8	SMALL ALT.	12	1½	1200	1	20
						9		10						
						11		12						
						13		14						
						15		16						
						17		18						
						19		20						
						21		22						
						23		24						
						25		26						
						27		28						
						29		30						
						31		32						
						33		34						
						35		36						
						37		38						
						39		40						
						41		42						

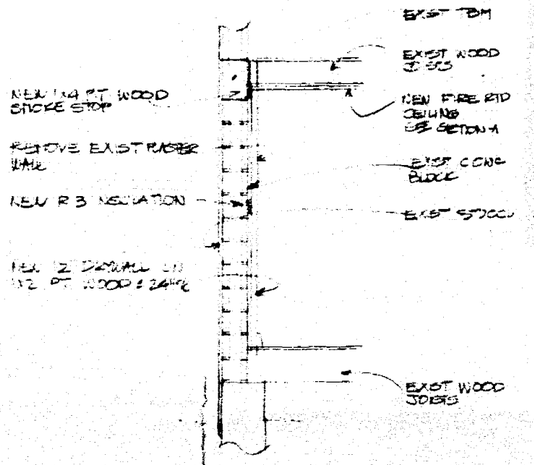
Ø CONTROLLED BY TIME CLOCK

CONNECTED LOAD: 9200 @ 38.4 AMPS

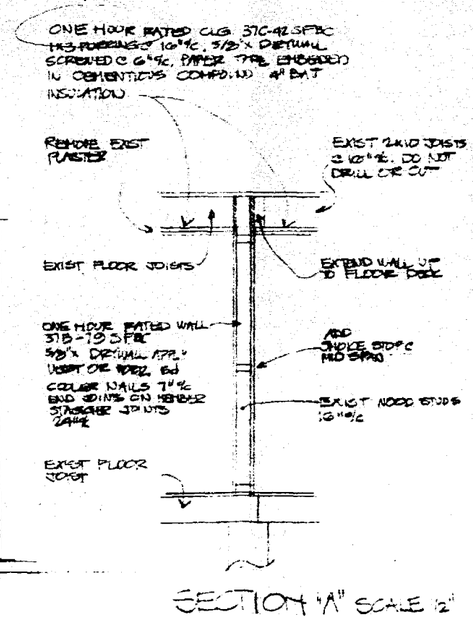
FEEDER: FED FROM

GF

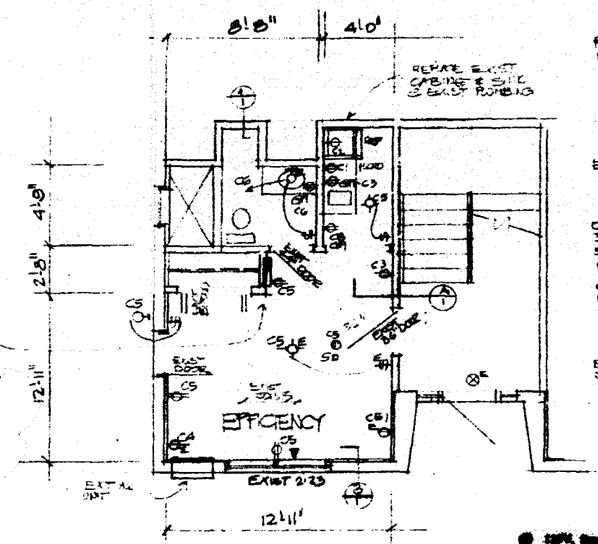




SECTION "B" SCALE 1/2"=1'-0"



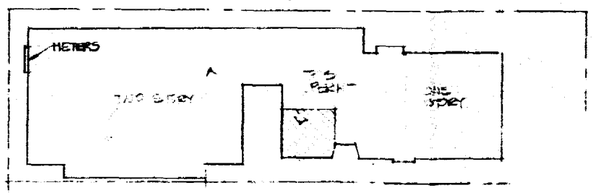
SECTION "A" SCALE 1"



FLOOR PLAN SCALE 1/4"=1'-0"

EXISTING ELECT
NEW ELECT

BATTERY BACK UP



16 STREET

LOCATION PLAN NTS

DREXEL

REPLACE EXIST ELECT PANEL

Upon approval repairs work is complete any fire damage repairs to existing walls & ceilings shall be repaired

SCHEDULE

SYMBOL	DESCRIPTION	MFR	CATALOG NUMBER	REMARKS

SYMBOLS

ABBREVIATIONS

GENERAL NOTES

1.
2.
3.
4.
5.
6.
7.
8.
9.
10.

KEYNOTES

1.
2.
3.
4.
5.
6.
7.
8.
9.
10.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

AGENCY:	
FIRE:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
PLUMBING:	
LANDMARKS:	
STRUCTURAL:	
ZONING:	
PUBLIC WORKS:	

DATE: 7 SEPT 01
BY: BRT

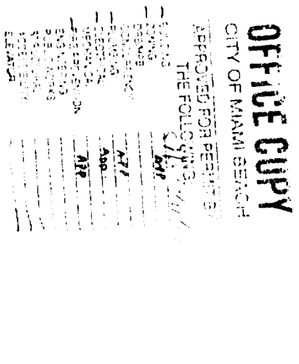
511 16 STREET UNIT B4

SHEET
1 OF 1

20

B0200141

511 16th ST



Andrew Morgan Services

Suite 109, 513 US 1, North Palm Beach, Florida 33408
Phone: 561-881-8999 • Email: amorganservices@gmail.com
Certificate of authorization #26093

August 15th, 2015.

Replacement of rotten floor joists at 511 16th Street, Unit 3A, Miami Beach FL 33139.

Building department comment:
Provide a report or letter by a Registered Engineer or Architect after a preliminary inspection and describing existing conditions of the building and required repairs. 1.1 If the report determines that the repairs are nonstructural and do not exceed 25% of the replacement value of the building. Repairs may be made per FBC Exist. Bldg 506.2.4, 1.2. If the report determines that there is structural damage. The building must be evaluated as per FBC Exist. Bldg. Sec. 506.2.2.1 1.2A (Provide evaluation calculations) If the Pre-damaged building is found to be not in compliance. Provide repair details and calculation as required in Sec. 506.2.2.3 1.3 If the report determines that there is structural damage to the vertical load carrying components, (exposed or deteriorated reinforcing etc.) the repairs must comply with Section 506.2.2 or 506.2.3 1.4 If the report determines that there is structural damage to the lateral wind resisting system (exposed or deteriorated reinforcing etc.) the repairs must comply with Section 506.2.3.1 or 506.2.3 2 A Florida Licensed Professional Engineer or Registered Architect shall prepare plans and/or elevations indicating locations of observed damage or deterioration and describing extent of damage observed. 3. A Florida Licensed Professional Engineer or Registered Architect shall prepare a procedure and repair details required for various degrees of damage.

Extent of damage:
The area to be repaired is less than 10 percent of the building area.
Rotten floor joists in area shown. See attached floor plan sheet and submitted S01.
The stem wall on which the joists sit is not damaged.

Determination:
The roof and bearing walls of the building shall not be repaired. The lateral load bearing system has not been damaged.
The floor joists and floor deck are to be replaced as required because of the rotten joists.

Scope of work.

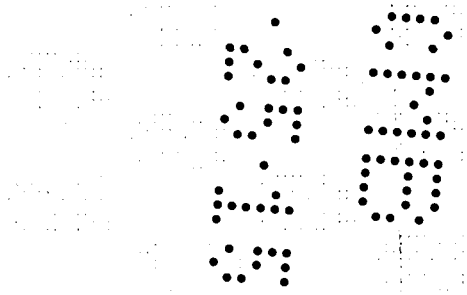
1. –Replace partially rotten floor joists in bathroom area, see attached floor plan showing which floor joists require replacement.
2. –Replace damaged floor joist bearer along west exterior wall (in Living room and Bathroom). Provide new bearer per structural drawing S01. See attached sheet 9 of Southern Pine load tables for allowable span for 2x10.
3. –The floor joists in Living room shall remain (new bearer along west wall as noted above)
4. –Repair existing, partially damaged, concrete packing on stem wall under exterior door threshold in living room, where shown on attached floor plan. Replace stem wall packing with concrete block packing.
5. –Replace missing cement board and wall finish at bathroom walls as per plan.
6. –Replace missing plumbing fixtures in bathroom and kitchenette at the time of inspection. Install new fixtures per plan.
7. –Repair missing floor finish in entire apartment. Subflooring has been removed in bathroom and at west side of living room area. Provide new subflooring (3/4 APA CDX plywood. #8 ring shank nails @ 6" centers to the floor joists). Install where missing and replace only as required to replace floor joists.

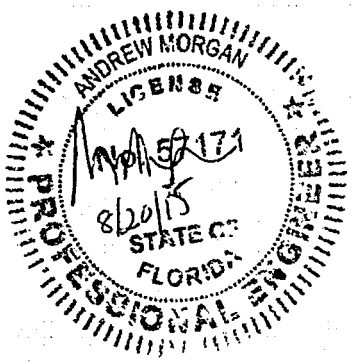
Andrew Morgan Services
Suite 109, 513 US 1, North Palm Beach, Florida 33408
Phone: 561-881-8999 • Email: amorganservices@gmail.com
Certificate of authorization #26093

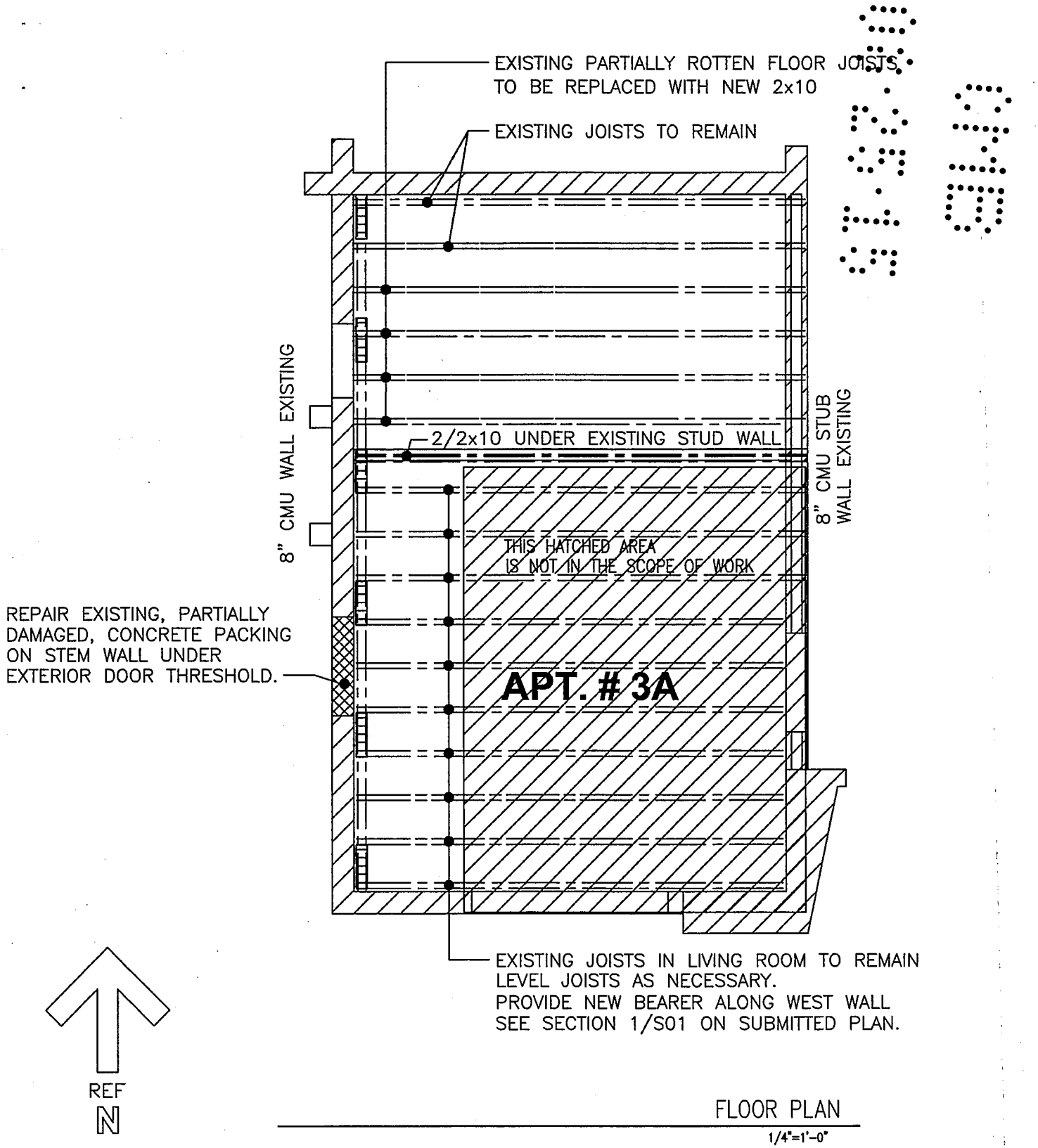
No work shall be done on the exterior load bearing walls or on the roof structure.
See attached floor joist design information.

Sincerely,

Andrew Morgan, P.E.

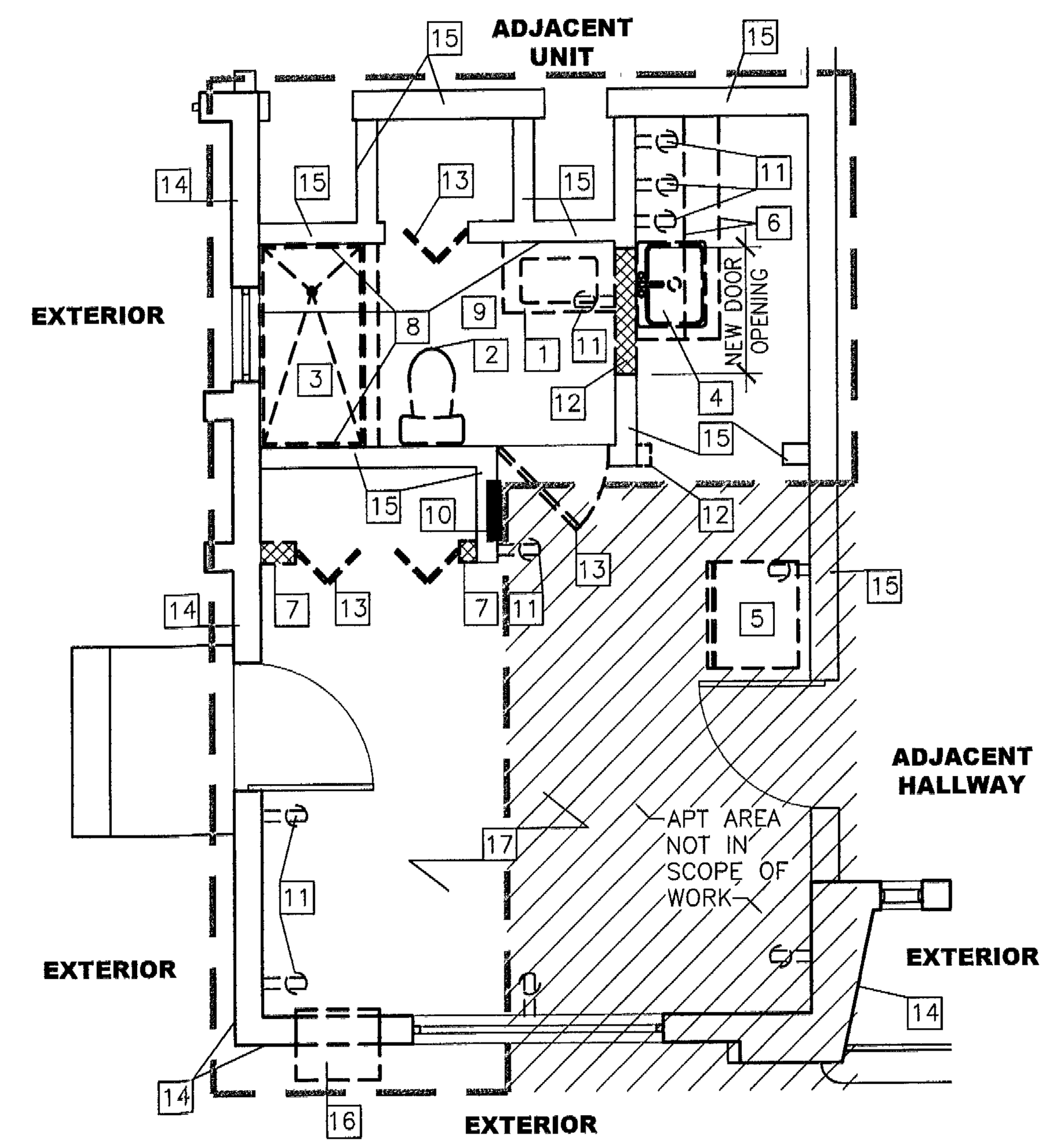






FLOOR PLAN

1/4"=1'-0"



EXISTING / DEMOLITION FLOOR PLAN

SCALE 1/4"=1'-0"

PLAN NOTES:

1. REMOVE EXIST. VANITY WITH SINK AND FACUET AND REPLACE WITH NEW.
2. REMOVE EXIST. TOILET AND REPLACE WITH NEW.
3. REMOVE EXIST. SHOWER PAN, FAUCET AND ENCLOSURE.
4. EXISTING SINK AND FAUCET TO BE REMOVED. (CAP OFF EXISTING PLUMBING LINES)
5. EXISTING REFRIGERATOR TO BE REMOVED AND REPLACED WITH NEW.
6. EXISTING LOWER AND UPPER CABINETS TO BE REMOVED.
7. REMOVE EXIST. NON-LOAD-BEARING WOOD STUD PARTITION AS REQ'D FOR NEW WORK.
8. REMOVE EXIST. WALL FINISH ON INDICATED BATHROOM WALLS.
9. REMOVE EXIST. FLOOR FINISH. REPLACE ROTTEN FLOOR JOISTS AND SUBFLOORING WHERE NECESSARY. SEE STRUCTURAL DRAWINGS FOR FLOOR WORK SCOPE AND DETAILS.
10. EXISTING ELECTRICAL PANEL TO REMAIN.
11. EXISTING RECEPTACLES TO BE REMOVED, RELOCATED OR REPLACED WITH NEW AS REQUIRED FOR NEW WORK, TYP. REF. TO ELECTRICAL PLAN ON THIS SHEET.
12. REMOVE PORTION OF WALL AS REQ'D FOR NEW WORK.
13. REMOVE EXISTING DOOR AND FRAME.
14. EXISTING CONCRETE WALL TO REMAIN.
15. EXISTING WOOD STUD PARTITION TO REMAIN.
16. EXISTING A/C WALL UNIT TO BE REMOVED AND REPLACED WITH NEW.
17. EXISTING CEILING TO REMAIN, TYP.

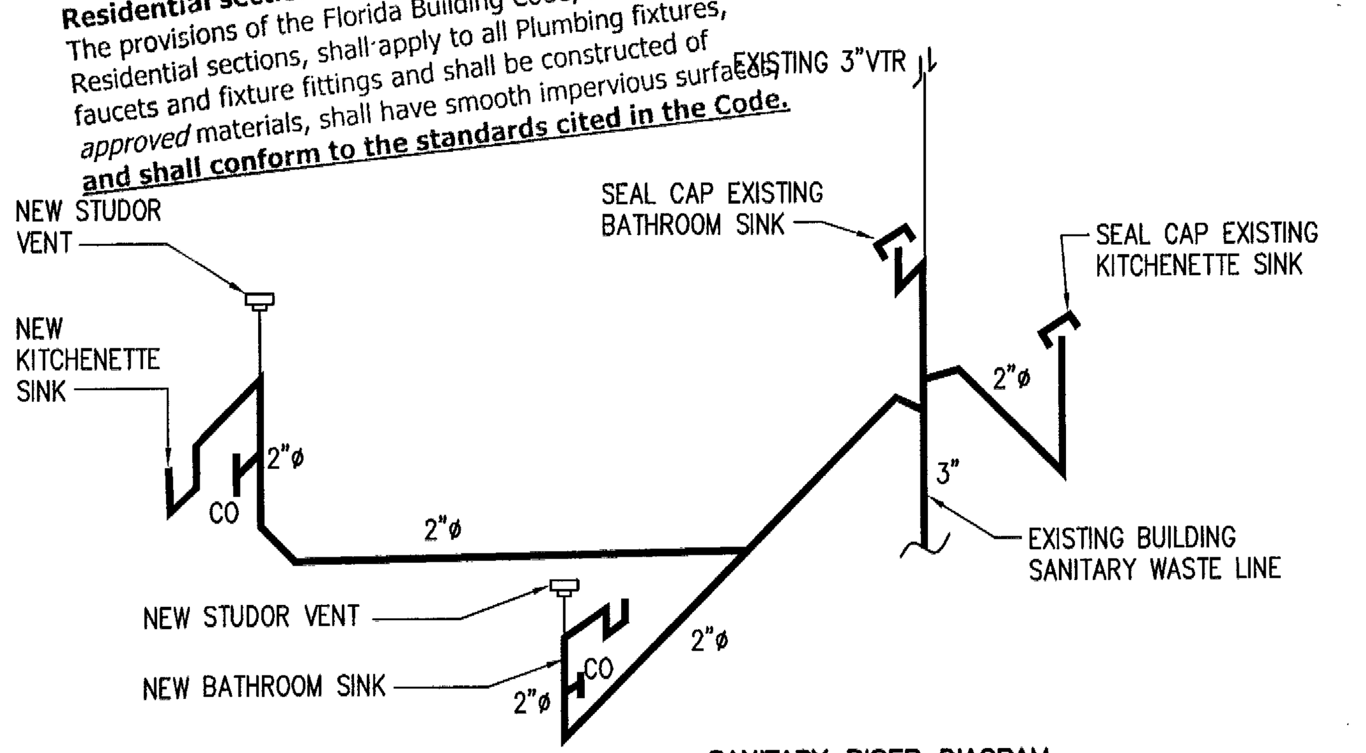
LEGEND:

- EXISTING WALL TO REMAIN
- EXIST. WOOD STUD PARTITION TO BE REMOVED
- EXISTING ITEMS TO BE REMOVED AS NOTED

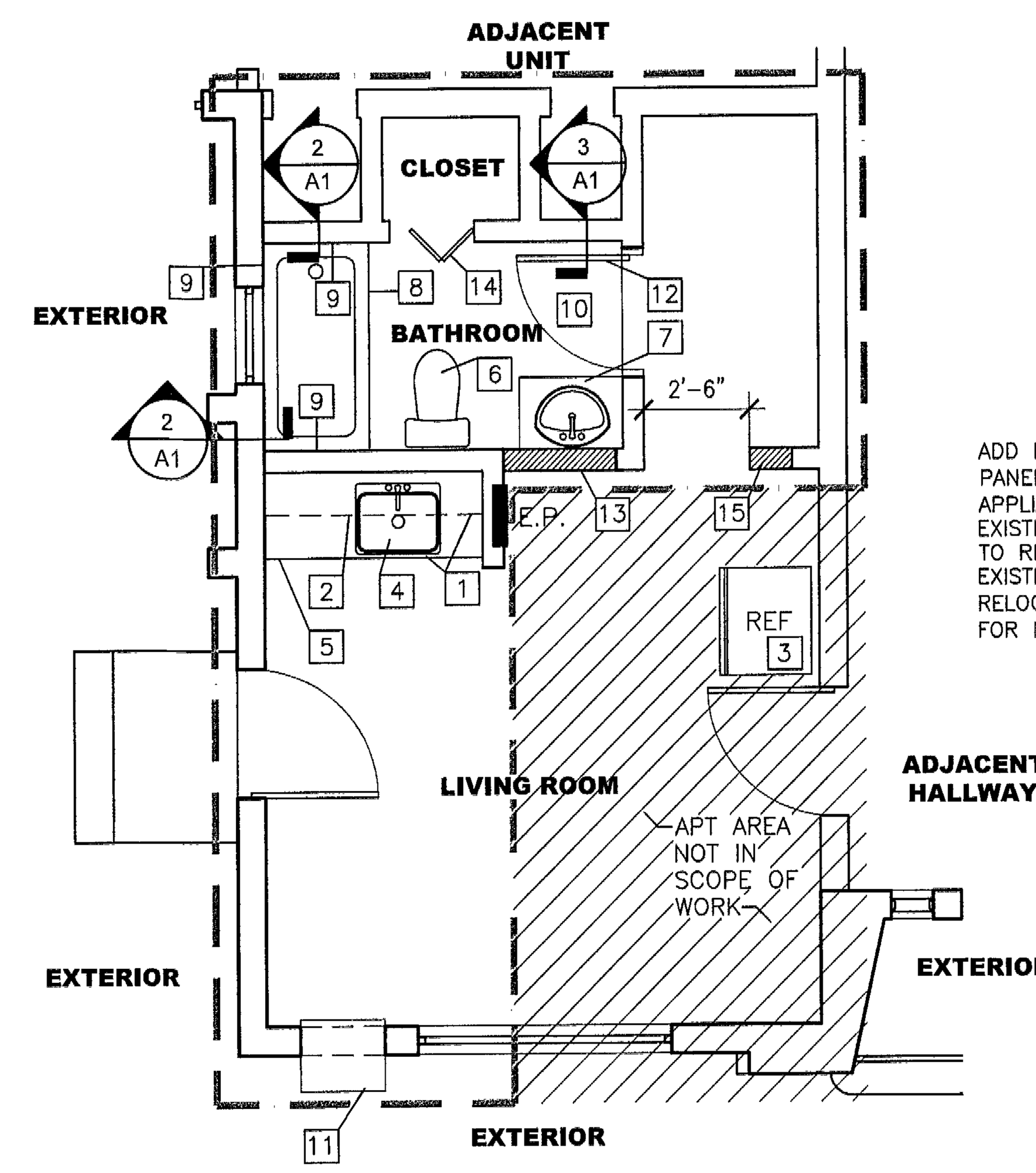
NOTES:

1. ALL DOORS AND FRAMES TO REMAIN UNLESS NOTED OTHERWISE ON PLAN.
2. ALL WINDOWS TO REMAIN.
3. ALL EXTERIOR WALLS ARE CONCRETE.
4. ALL INTERIOR PARTITIONS ARE WOOD.

Florida Building Code, Plumbing section 402 and Residential section P2701.1.
The provisions of the Florida Building Code, Plumbing and Residential sections, shall apply to all Plumbing fixtures, faucets and fixture fittings and shall be constructed of *approved* materials, shall have smooth impervious surfaces **and shall conform to the standards cited in the Code.**



5 SANITARY RISER DIAGRAM FOR RELOCATED KITCHENETTE AND BATH SINKS
N.T.S.



FLOOR PLAN

SCALE 1/4"=1'-0"

SCOPE OF WORK AREA

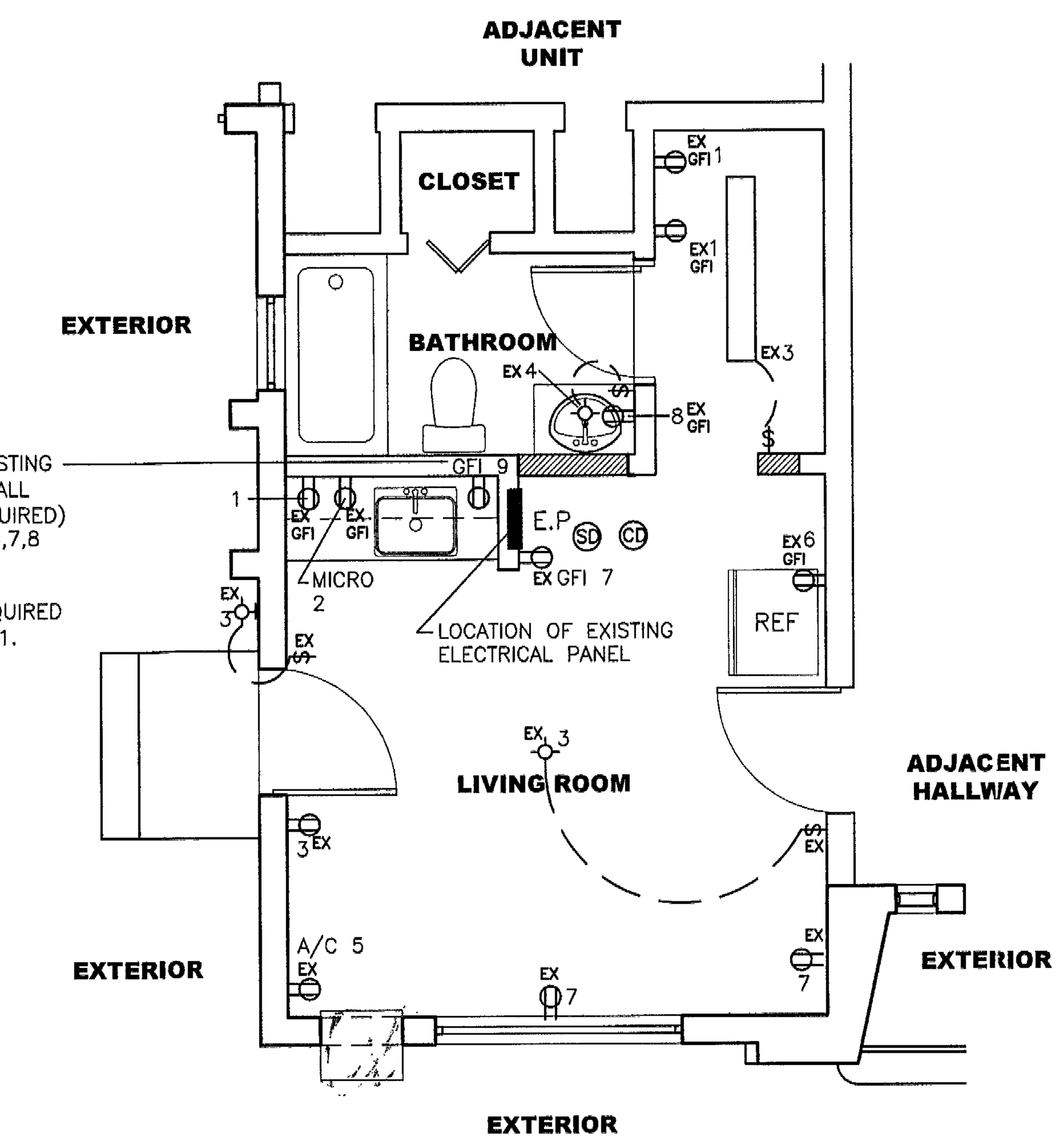
PLAN NOTES:

1. INSTALL NEW BASE AND WALL CABINETS.
2. INSTALL NEW MICROWAVE ABOVE.
3. PROVIDE NEW REFRIGERATOR.
4. INSTALL NEW SINK AND FAUCET. EXTEND NEW SANITARY LINE TO EXISTING STACK AS SHOWN ON RISER DIAGRAM ON THIS SHEET. INSTALL NEW STUDOR VENT.
5. INSTALL NEW COUNTERTOP PER OWNER'S DIRECTION.
6. INSTALL NEW TOILET. CONNECT TO EXISTING SANITARY AND WATER LINE.
7. INSTALL NEW VANITY WITH SINK AND FAUCET. EXTEND NEW SANITARY LINE TO EXISTING STACK AS SHOWN ON RISER DIAGRAM ON THIS SHEET. INSTALL NEW STUDOR VENT.
8. INSTALL NEW BATH TUB, FAUCET AND SHOWER ROD. PROVIDE ANTI-SCALD VALVE AS REQ'D. CONNECT TO EXISTING SANITARY AND WATER LINE.
9. INSTALL 1/2" CEMENT BOARD (AND TILE FINISH FROM TUB TO CEILING) ON EXISTING FRAMING AT WET WALLS.
10. INSTALL NEW TILE FLOORING IN BATHROOM. FOLLOW TILE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
11. INSTALL NEW A/C WALL UNIT IN EXISTING WALL OPENING, SEE DETAIL ON THIS SHEET. GENERAL ELECTRIC, PRODUCT # AJEQ12DCD, 11,600/11,400 COOLING BTU, 11,600/9,500 RESISTANCE HEAT BTU
12. INSTALL NEW SINGLE DOOR (2'-8" X 6'-8") AND FRAME.
13. FILL IN OPENING IN EXISTING WOOD STUD PARTITION TO MATCH EXISTING P.T. WOOD STUDS ON BATHROOM SIDE INSTALL 1/2" CEMENT BOARD AND TILE FINISH (ALTERNATIVELY INSTALL RESISTANT GYPSUM BOARD, PAINTED). ON LIVING ROOM SIDE USE 1/2" GYP. BOARD, PAINTED.
14. INSTALL NEW BI-FOLD DOOR IN EXISTING OPENING.
15. EXTEND EXISTING PARTITION AS INDICATED (NEW P.T. WOOD STUDS TO MATCH EXISTING @ 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE).

PROJECT GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE 2014 FBC, EXISTING BUILDING AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. EXISTING DRYWALL FINISH TO REMAIN UNLESS NOTED OTHERWISE ON PLAN. PATCH AND PAINT AS REQUIRED FOR NEW WORK.
3. THE PROJECT WORK AREA IS 261 S.F.
4. THE PROJECT NEW FLOORING AREA IS 253 S.F. (APT ON FIRST FLOOR)
5. THE PROJECT CLASSIFICATION IS ALTERATION LEVEL 2.
6. BUILDING INFORMATION:
   - OCCUPANCY TYPE: R2
   - BUILDING CONSTRUCTION TYPE: 5B
7. GENERAL SCOPE OF WORK:
   - ENCLOSE EXISTING BATHROOM DOOR OPENING.
   - OPEN NEW BATHROOM DOOR
   - RELOCATE EXISTING KITCHENETTE SINK.
   - REMOVAL OF EXISTING (NON-LOAD-BEARING) CLOSET PARTITION AND DOOR TO ALLOW INSTALLATION OF NEW KITCHENETTE CABINETS AND NEW KITCHENETTE SINK.
   - REMOVAL OF EXISTING KITCHENETTE CABINETS.
   - REMOVAL OF EXISTING AND INSTALLATION OF NEW VANITIES, PLUMBING FIXTURES AND FINISHES AT BATHROOM.
   - INSTALLATION OF NEW RECEPTACLES AS REQUIRED FOR NEW WORK.
   - INSTALLATION OF NEW VINYL TILE FLOORING IN LIVING SPACE & CERAMIC TILE IN BATHROOM.
   - REPLACEMENT OF ROTTEN FLOOR JOISTS AND SUBFLOORING WHERE NECESSARY. CONTRACTOR TO VERIFY EXISTING CONDITION.
8. WALL AND FLOOR FINISHES SELECTED BY OWNER.
9. FIELD VERIFY ALL DIMENSIONS.
10. ALL NEW PLUMBING FIXTURES SHALL BE COMPLIANT WITH THE 2014 FBC: PLUMBING
11. A MINIMUM 2X4 HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN TWO STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE AND WALL CABINET.

ADD NEW 20A CIRCUIT IN EXISTING PANEL FOR: 9. (TWO 20A SMALL APPLIANCE CIRCUITS ARE REQUIRED) EXISTING CIRCUITS: 1,2,3,4,5,6,7,8 TO REMAIN. EXISTING RECEPTACLES TO BE RELOCATED/REPLACED AS REQUIRED FOR NEW WORK. SEE NOTE #1.



ELECTRICAL PLAN

SCALE 1/4"=1'-0"

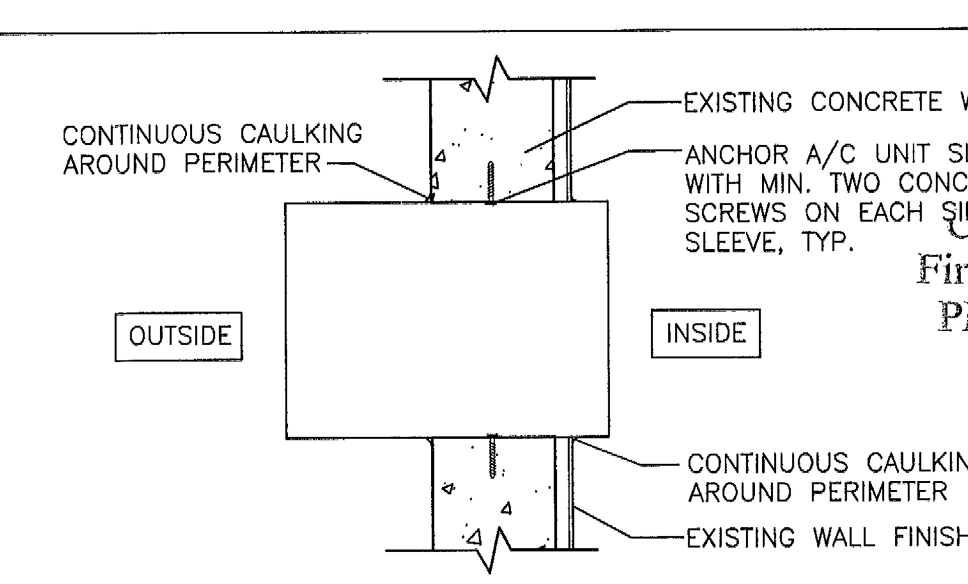
ELECTRICAL LEGEND

- WALL MOUNTED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE - 65 W MAX
- RECESSED LIGHT FIXTURE - LOW PROFILE/LED TYPE
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE (GFI)
- DUPLEX RECEPTACLE (AFCI)
- EF EXHAUST FAN 100 CFM
- TV CABLE TV OUTLET
- $ SINGLE POLE LIGHT SWITCH
- $3 THREE WAY LIGHT SWITCH
- C CABLE OUTLET
- S RECESSED SHOWER LIGHT - VAPOR PROOF
- SD SMOKE DETECTOR WITH BATTERY BACK UP
- CD CARBON MONOXIDE DETECTORS WITH BATTERY BACK UP
- EX INDICATES EXISTING DEVICE TO REMAIN
- CEILING MOUNTED LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.
All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.
Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)
Approved/Reviewed By: B. Duvall Date: 8/7/15

ELECTRICAL GENERAL NOTES:

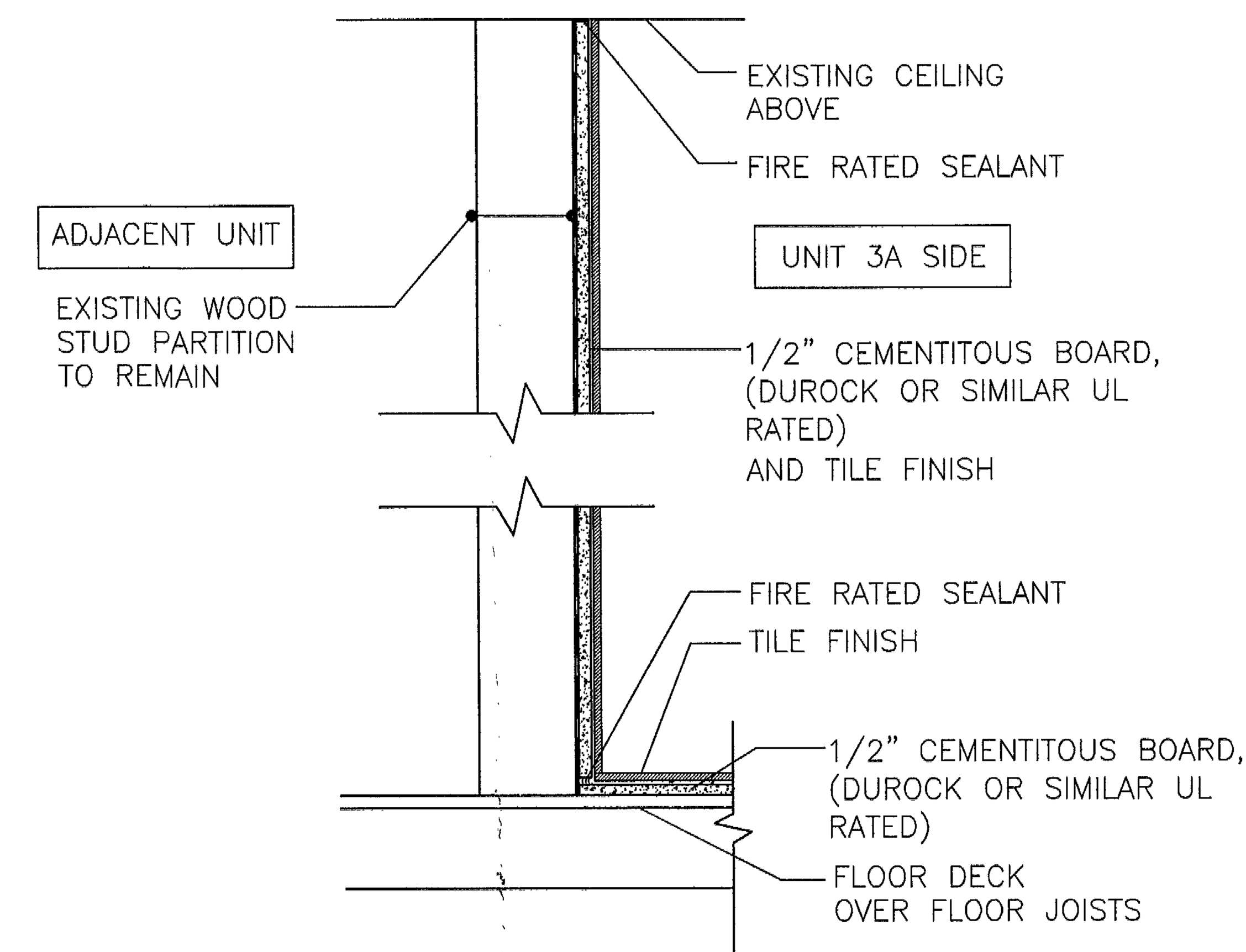
1. ALL WORK AND MATERIALS SHALL CONFORM TO THE 2014 FBC, NEC 2011, NFPA 72 2012, FFPC 2012.
2. PROVIDE TAMPER RESISTANT RECEPTACLES AS PER NEC 406.11
3. ALL EXISTING ELECTRICAL CIRCUITS TO REMAIN.
4. RELOCATE/REPLACE/ADD NEW RECEPTACLES TO EXISTING 20A SMALL-APPLIANCE BRANCH CIRCUIT WHERE SHOWN ON PLAN. ADD (1) NEW 20A SMALL-APPLIANCE BRANCH CIRCUIT (2 REQUIRED)
5. ALL EXISTING LIGHTING TO REMAIN.
6. SMOKE DETECTORS SHALL BE INTER CONNECTED AND HARDWIRED WITH BATTERY BACKUP (NFPA 72 11.6.1, 11.5.1.2B)
7. INSTALL HARD WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP WHERE SHOWN ON PLAN.
8. COMBINATION TYPE BREAKERS AS PER NEC 210.12B
9. ARC-FAULT PROTECTION REQUIRED ON ALL 15 AND 20 AMP CIRCUITS EXCEPT KITCHEN, BATH.
10. CONTRACTOR TO CONFIRM WORKING ABILITY OF ALL BREAKERS IN EXISTING ELECTRICAL PANEL. ALL CIRCUITS ARE TO BE CONFIRMED AND ANY CHANGES TO CIRCUITING OR BREAKERS SHALL BE DOCUMENTED AND SUBMITTED TO DESIGN PROFESSIONAL AS AN AS-BUILD FOR FINAL APPROVAL BY THE BUILDING INSPECTOR.
11. GFCI PROTECTION SHALL BE PROVIDED TO RECEPTACLES INSTALLED WITHIN 6 FT OF THE OUTSIDE EDGE OF ANY SINK IN A DWELLING UNIT AS PER 2011 NEC 210.8(A)(7)



NOTE: FOLLOW MFG INSTRUCTIONS.

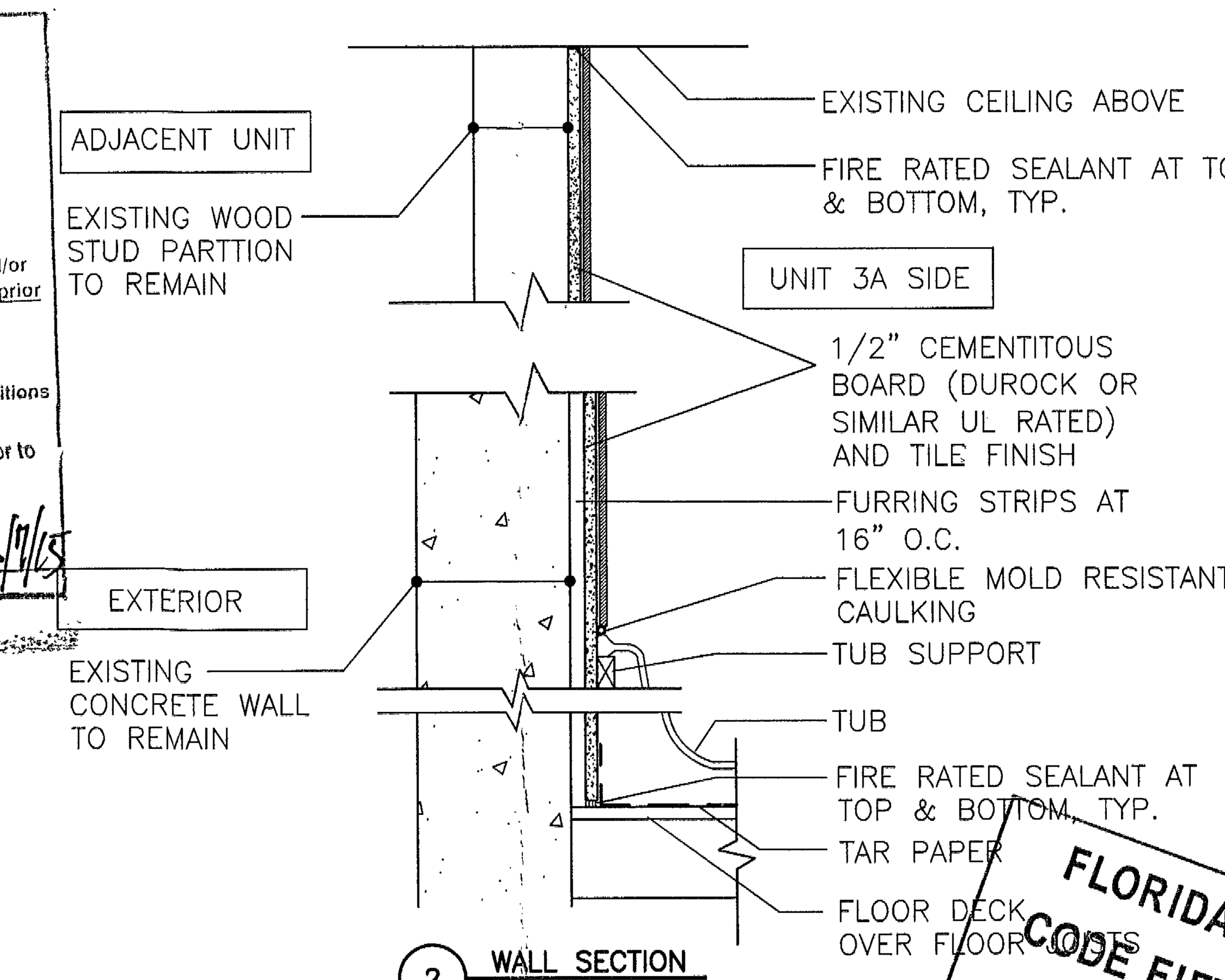
4 A/C UNIT MOUNTING DETAIL
SCALE 1 1/2"=1'-0"

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



3 WALL SECTION
SCALE 1 1/2"=1'-0"

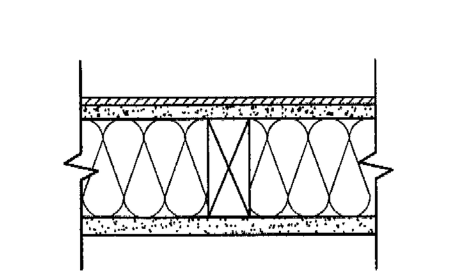
NOTE:
AT RATED DEMISING WALL AND RATED ADJACENT UNIT WALL MAINTAIN THE 1 HOUR FIRE RATING.
WALL TO BE COMPLETED AND SHALL COMPLY WITH UL #U329 (DETAIL 1) HAVING (1) LAYER OF 1/2" CEMENTITIOUS BOARD AND 1/4" CERAMIC TILE FINISH ON UNIT SIDE OF THE WALL. (SHOWER WET AREA)



2 WALL SECTION
SCALE 1 1/2"=1'-0"

FLORIDA BUILDING CODE FIFTH EDITION 2014
And applicable reference codes

NOTE:
AT RATED DEMISING WALL AND RATED ADJACENT UNIT WALL MAINTAIN THE 1 HOUR FIRE RATING.
WALL TO BE COMPLETED AND SHALL COMPLY WITH UL #U329 (DETAIL 1) HAVING (1) LAYER OF 1/2" CEMENTITIOUS BOARD AND 1/4" CERAMIC TILE FINISH ON UNIT SIDE OF THE WALL. (WET AREA)



System Performance
1 HR Fire
UL Design No. U329

System Description
Wood Stud Partition
- 1/4" ceramic tile
- 1/2" DUROCK Next Gen or DUROCK Brand or equal UL rated cement board.
- 2x4 wood stud 16" o.c.
- 3 1/2" mineral wool batt
- 5/8" SHEETROCK Brand FIRECODE Core Gypsum Panel or equal.
- joints taped

1 UL DESIGN No. U329
N.T.S.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	8/6/15
ZONING:	CA 8-7-15
PLUMBING:	8/6/15
ELECTRICAL:	8/6/15
MECHANICAL:	
FIRE PREVENTION:	8/6/15
FLOOD:	8/6/15
PUBLIC WORKS:	B. Duvall 8/7/15
STRUCTURAL:	8/20/15
ELEVATOR:	
ROOFING:	

B1505791

AB2 DESIGNERS
AB2 DESIGNERS LLC
4011 N Meridian Ave #28
Miami Beach, FL 33140
Phone: 305 600 8912
ab2designers@aim.com

ANDREW MORGAN SERVICES
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513 US Hwy 1, Suite 109
North Palm Beach
Florida 33408
Phone: 561 881 8999
amorganservices@gmail.com

ANDREW J. MORGAN PROFESSIONAL ENGINEER STATE OF FLORIDA
Andrew J. Morgan
PE # 57171

An Interior Remodel for:
1600 Drexel LLC

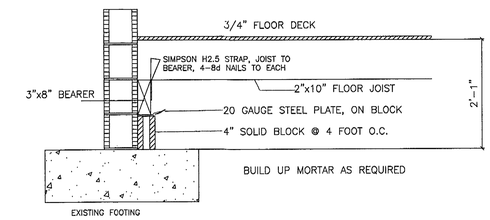
Project Address:
511 16th street, Unit 3A,
Miami Beach, FL 33139

Revisions:

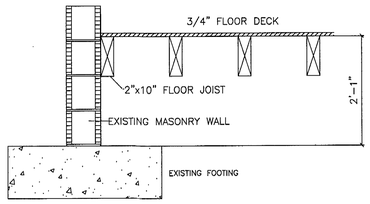
Purpose: PERMIT
Date: 07-27-2015
Scale: AS NOTED
Checked by: AJM
Drawn by: AB

FLOOR PLANS AND DETAILS

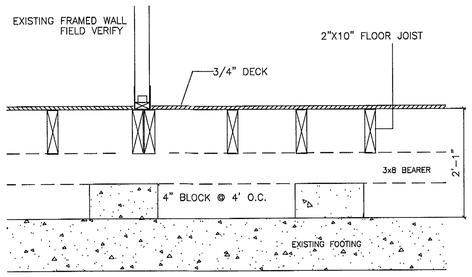
A-01



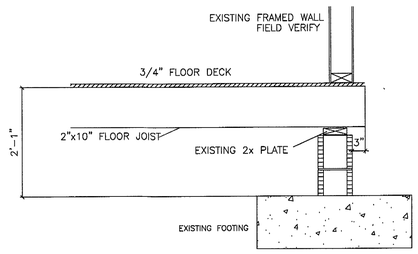
1 SECTION
3/4"=1'-0"



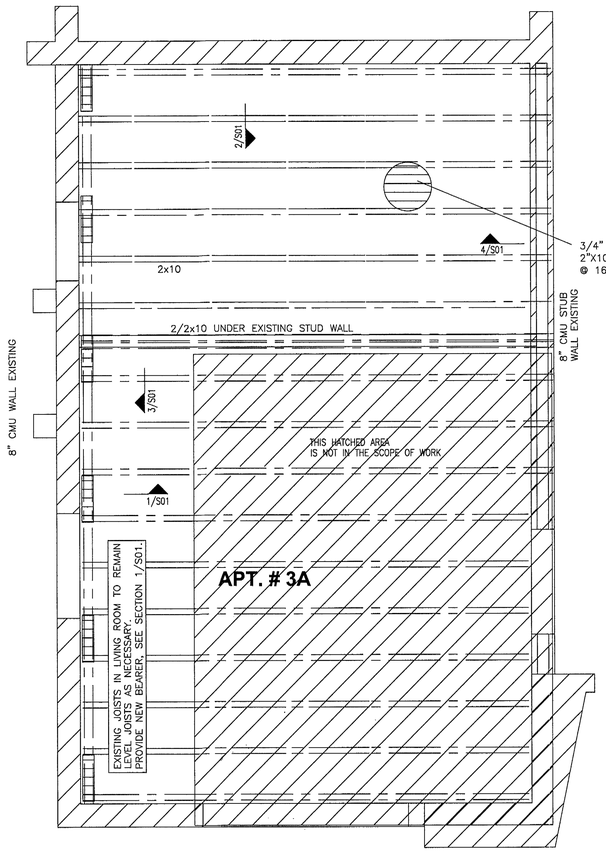
2 SECTION
3/4"=1'-0"



3 SECTION
3/4"=1'-0"



4 SECTION
3/4"=1'-0"



PROPOSED FLOOR JOIST LAYOUT
1/2" = 1'-0"

GENERAL

1. The Structural Drawings shall be read in conjunction with the other Contract Documents. Report any discrepancies between Contract Documents to the Designer before proceeding.
2. All work shall be in accordance with the 2014 Florida Building Code, FBC. All referenced standards and codes shall be as listed in the Florida Building Code 2014.
3. Cover no work until the appropriate inspection has been completed.
4. The structure has been designed for the in-service loads only. The methods, procedures, and sequences of construction are the responsibility of the Contractor. The Contractor shall provide and maintain all temporary systems to ensure the integrity of the structure at all stages of construction. All work shall be performed without damage to adjacent existing work.
5. Refer items on the structural drawings requiring clarifications to the Designer and Structural Engineer. Do NOT use scaled dimensions. In case of a discrepancy between dimensions and/or details on the contract documents, relating to new or existing construction, please notify the Designer and Engineer before proceeding.

MASONRY

1. Structural masonry has been designed in accordance with the ACI Building Code Requirements for Masonry Structures (ACI 530/ASCE 5.
2. Concrete masonry construction shall conform to the ACI Specification for Masonry Structures (ACI 530.1/ASCE 6).
3. Concrete masonry construction shall have a minimum compressive strength (f'm) of 1500 psi at 28 days. Mortar shall be type S for interior non-load bearing walls. For all load bearing walls, mortar shall be type M or S proportioned in accordance with ASTM C270, with a 28 day compressive strength of 2150 psi minimum. Portland cement-lime without air entrainment shall be used in the mortar mix.
4. Masonry grout shall be a high slump mix having a minimum 28 day compressive strength of 2500 psi. Grout to conform to ASTM C-476. Concrete shall not be used in lieu of masonry grout.

WOOD CONSTRUCTION

1. WOOD FRAMING MEMBERS: #2 SOUTHERN PINE.
2. ROOF PLYWOOD SHEATHING:
   3/4" APA RATED STRUCTURAL I PLYWOOD.
   FIX PLYWOOD TO JOISTS WITH 8d RING SHANK NAILS AT 6" O.C.
   LONG DIMENSION OF PANEL SHALL BE PERPENDICULAR TO THE JOISTS.
3. ALL SAWN LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS
4. ALL CONNECTORS SHALL BE GALVANIZED. CONNECTORS EQUIVALENT TO THE SIMPSON STRONGTIE CONNECTORS SPECIFIED MAY BE USED.

DESIGN LOADING TO FLORIDA BUILDING CODE 2014

FLOOR LIVE LOAD = 40 PSF
ROOF DEAD LOAD = 20 PSF

PROJECT SCOPE: FLOOR JOIST REPLACEMENT

NOTE:

FLOOR DECK:
3/4" APA CDX PLYWOOD.
#8 RING SHANK NAILS @ 6" O.C TO FLOOR JOIST. REPLACE ONLY AS REQUIRED TO REPLACE JOISTS.

FLOOR JOIST:
REPLACE ROTTEN JOISTS WITH NEW 2x10 No 2 SOUTHERN PINE JOISTS AT 16" CENTERS.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

AB2 DESIGNERS

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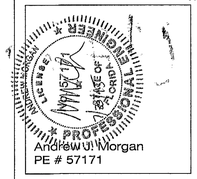

Andrew J. Morgan
PE # 57171

An Interior Remodel for:

1600 Drexel LLC

Project Address:
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Revisions:

Purpose: PERMIT
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Drawn by: AJM

STRUCTURAL PLAN & DETAILS

S-01

B1505791

511 16th ST.

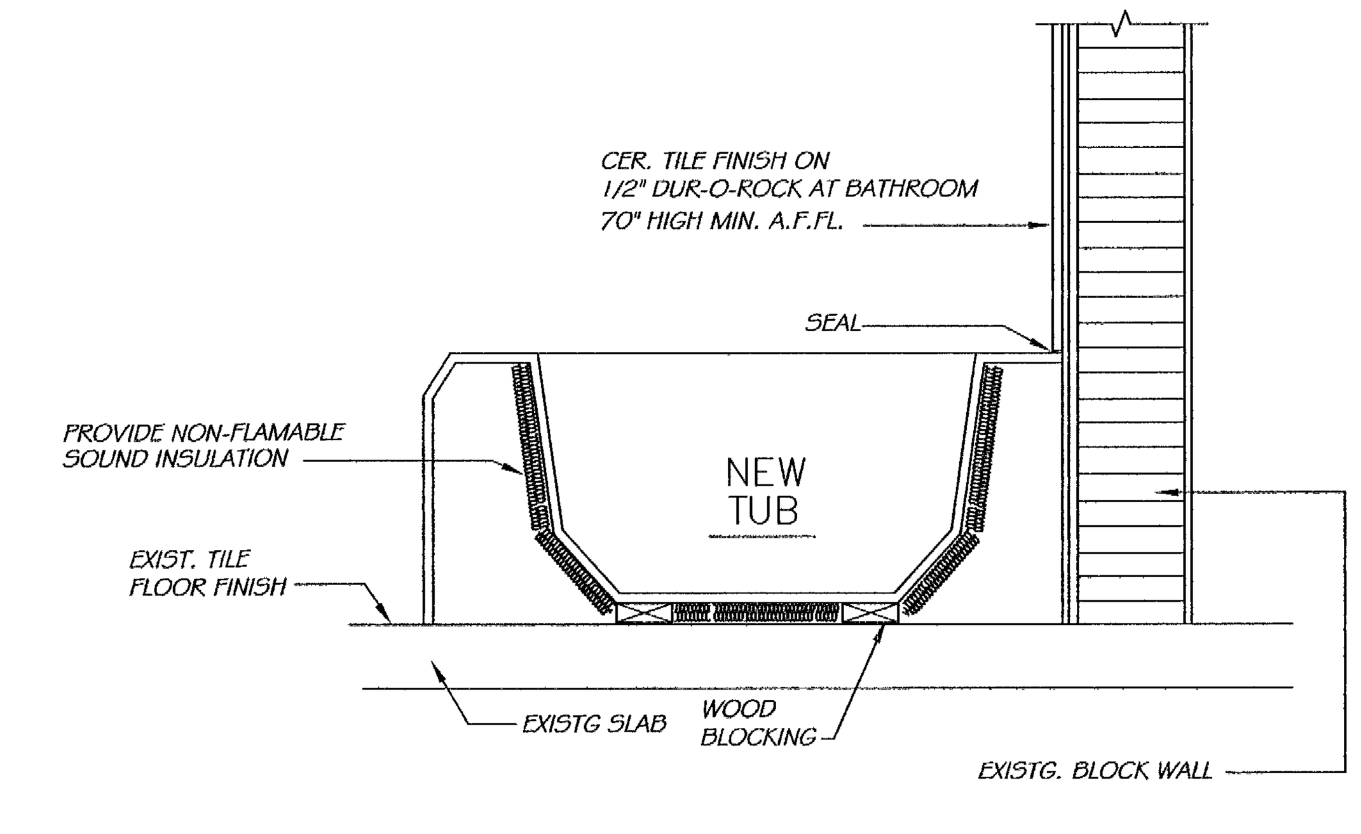
#3

OFFICE COPY

B1603310

ARCHITECTURAL NOTES

- THE CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS, VERIFY ALL ON SITE DIMENSIONS, EQUIPMENT AND BUILDING SERVICE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. ORIGINAL BUILDING PLANS SHOULD BE REVIEWED TO ASSESS THE ENTIRE SCOPE OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES INCLUIDING THE EXISTING STRUCTURAL ELEMENTS OF THE BUILDING
- THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF THE SYSTEMS AS INTENDED BY THE DESIGN TO RESULT IN COMPLETE AND WORKABLE SYSTEMS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, SAFETY STANDARDS AND GOVERNING ORDINANCES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ASSOCIATION'S OWNER IMPROVEMENT LETTER AND/OR BOOKLET WRITTEN BY OTHERS.
- ALL FINISH MATERIALS CHOSEN FOR THIS SPACE WILL BE DETERMINED BY CHOICE OF OTHERS
- ALL CONSTRUCTION SHALL CONFORM TO ALL CODE REGULATIONS AND RESTICTIONS HAVING JURISDICTION
- MAINTAIN ALL APPLICABLE FIRE RATINGS AT EXISTING DEMISING ALL CORRIDOR AND WALL PENETRATIONS, I.E. MECHANICAL AND ELECTRICAL SERVICE RUNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM PROJECT SITE
- DRAWINGS ARE DIAGRAMATIC. DO NOT SCALE FOR EXACT LOCATION OF OPENINGS, FIXTURES, EQUIPMENT, ETC.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF THE CONSTRUCTION.
- REQUIRED INSURANCE SHALL BE PROVIDED BY CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON JOB PRIOR TO BEGINNING CONSTRUCTION. DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
- ANY NEW OPENINGS,PENETRATIONS AND / OR MODIFICATIONS TO EXISTING STRUCTURAL COMPONENTS(INCLUDING AND NOT LIMITED TO WALLS,SLABS,COLUMNS,BEAMS,ETC) ARE NOT PERMITTED WITHOUT PRIOR APPROVAL BY THE BUILDING'S ASSOCIATION AND THE ENGINEER OF RECORD.
- ALL FINISHES SHALL COMPLY WITH NFPA 101SECTION SECTION 18.3.3 INTERIOR FINISHES AND ASTM E-84.
- ALL FINISHES SHALL COMPLY WITH NFPA 101SECTION SECTION 18.3.3 INTERIOR FINISHES AND ASTM E-84.
- Provide wall tiles in bathroom wet areas to 6 feet- 70 inches minimum above floor in compliance with FBC §R307 §1210
- PRESENCE OF ANY ASBESTOS IS UNKNOWN AT THIS TIME, G.C. SHALL BE RESPONSIBLE FOR VERIFICATION



1 TUB DETAIL NTS

NOTE: ALL NEW AND EXISTING WALL PENETRATIONS SHALL BE SEALED

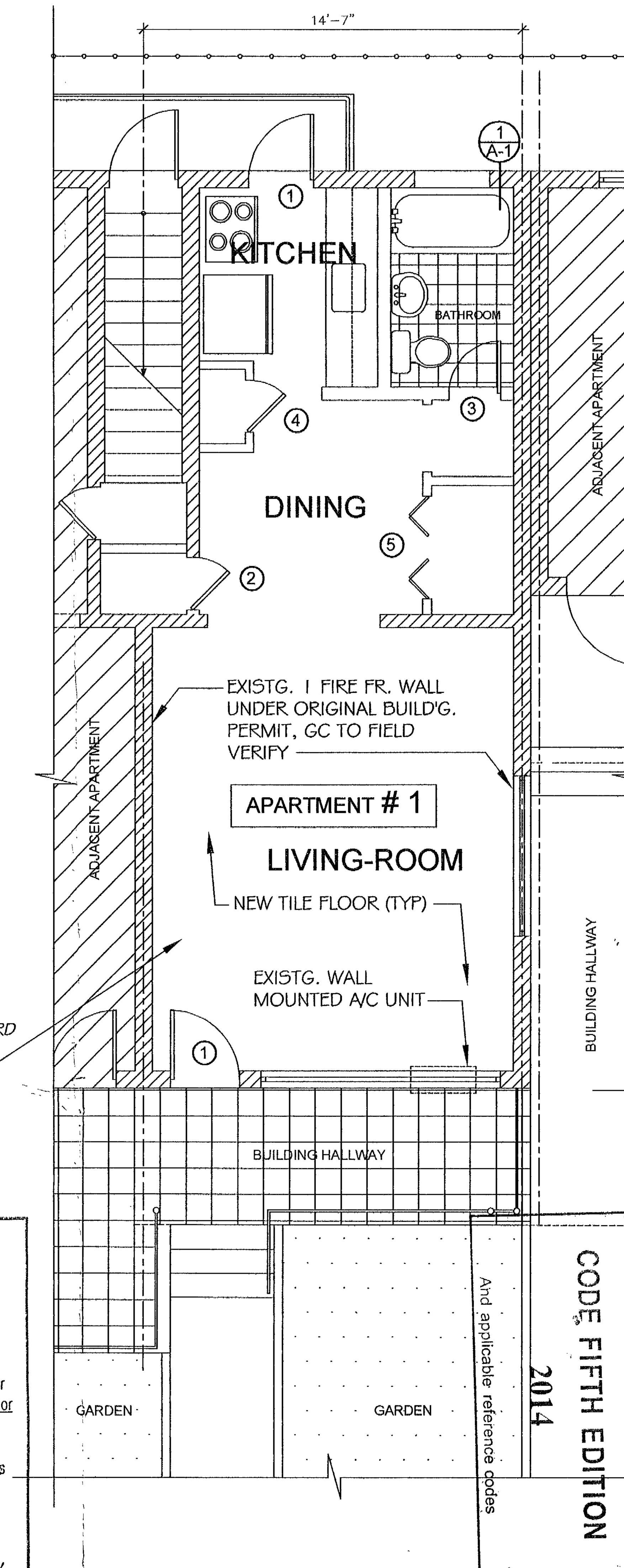
DOOR SCHEDULE

No.	SIZE	DOOR MATERIAL	FRAME MATERIAL	THRESHOLD	DESCRIPTION
1	EXISTING DOOR				
2	2'-0" x 6'-8"	WOOD	WOOD		
3	2'-8" x 6'-8"	WOOD	WOOD		
4	2'-0" x 6'-8"	WOOD	WOOD		
5	4'-0" x 6'-8"	WOOD	WOOD		LOUVERED DOOR

SCOPE OF WORK

WORK SHALL INCLUDE THE FOLLOWING:

1. REMODEL KITCHEN
2. REMODEL BATHROOMS
3. REPLACE TUB
4. PROVIDE NEW LIGHTING
5. PROVIDE NEW FLOORING
6. REPLACE DAMAGED FLOOR JOISTS
7. No new partitions



FLORIDA BUILDING CODE FIFTH EDITION 2014
And applicable reference codes

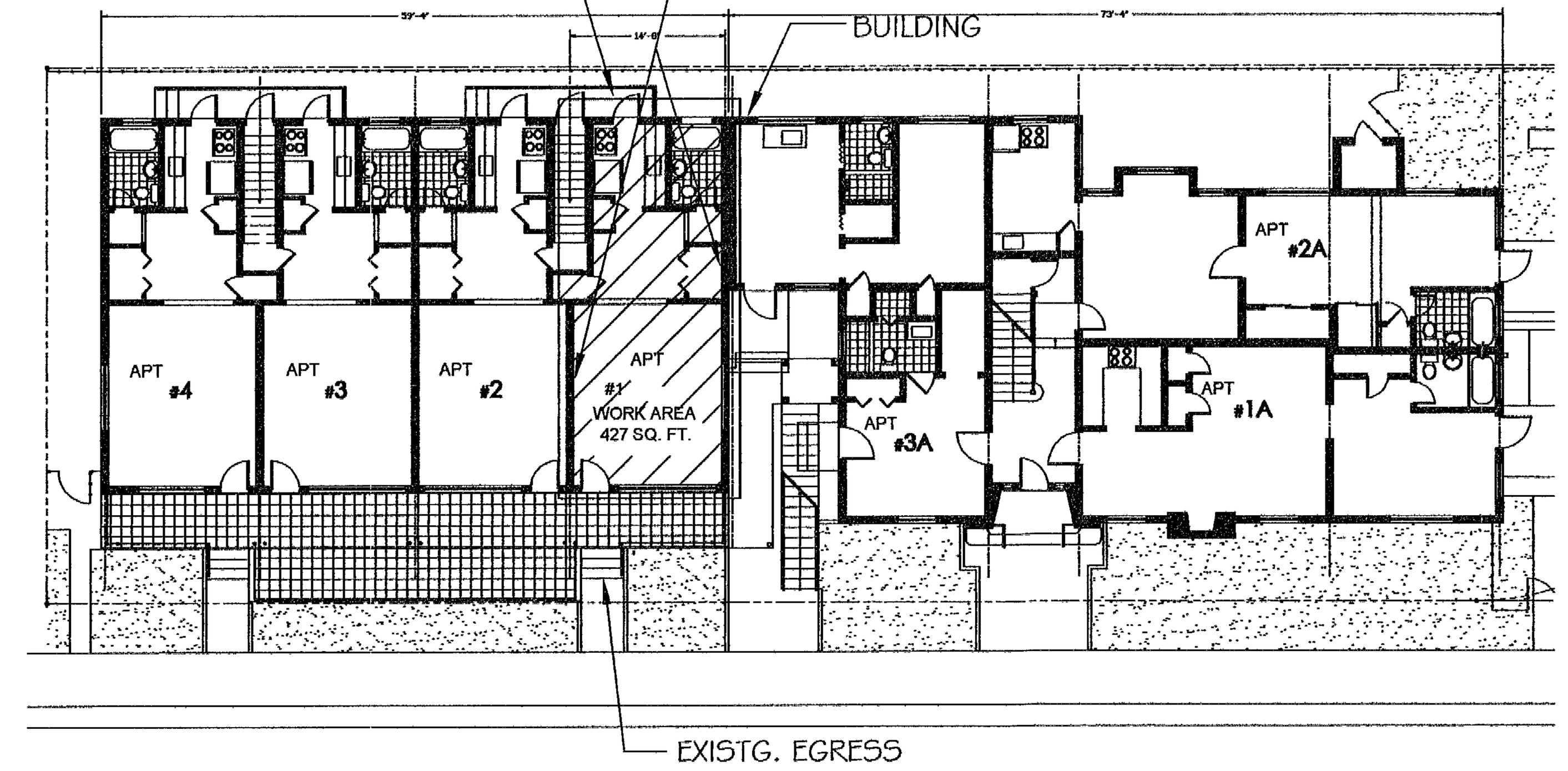
PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds
(Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C./C.O., or the release of bonds.)

Approved/Reviewed By: B. Duval Date: 4/18/16



16 th STREET

N

KEY PLAN

NTS

FLOOR PLAN APT #1

WORK AREA: 510 SF. SCALE 1/4"= 1'-0"

FIELD COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	4-18-16
ZONING:	4.18.16
PLUMBING:	4/18/16
ELECTRICAL:	5-9-16
MECHANICAL:	04/18/16
FIRE PREVENTION:	4/18/16 5/9/16
FLOOD:	04/18/16
PUBLIC WORKS:	B. Duval 4/18/16
STRUCTURAL:	4/18/16
ELEVATOR:	

NOTES

EXISTING WALL

GROUP OCCUPANCY R2
ALTERATION LEVEL II FBC (E) CHAPTER 4
RENOVATION 43.2.2.1.2
FLORIDA BUILDING CODE, 2014

Florida Fire Prevention Code 5th Edition.

NOTES:

- ALL INTERIOR FINISHES AT WALLS, CEILINGS AND FLOORS SHALL BE CLASS A OR CLASS B AND COMPLY WITH FBC 803,804 AND NFPA 101 SECTION 18.3.3 INTERIOR FINISHES AND ASTM E-84.
- SMOKE DETECTORS SHOULD NOT BE ON MORE THAN ONE BRANCH CIRCUIT INTERCONNECTED AND HAVE BATTERY BACK-UP
- 1/2 inch maximum threshold for new flooring in compliance with chapter 10 FBC2010
- PLANS COMPLY WITH MIAMI BEACH FIRE PREVENTION STANDARD NEWC-S08
- PROVIDE BLOCKING IN WALL FOR TV MOUNTING BRACKET IF REQUIRED
- HARDWARE MECHANISM AT BATHROOMS AND CLOSET DOORS SHALL BE OPENABLE FROM OUTSIDE IN CASE OF EMERGENCY
- Work area to comply with FBCE 3401.2.
- NO FIRE ALARM DEVICES WERE FOUND IN THIS APARTMENT
- NO EXISTING FIRE ALARM OR FIRE SPRINKLER SYSTEM

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

REVISIONS:
DATE:

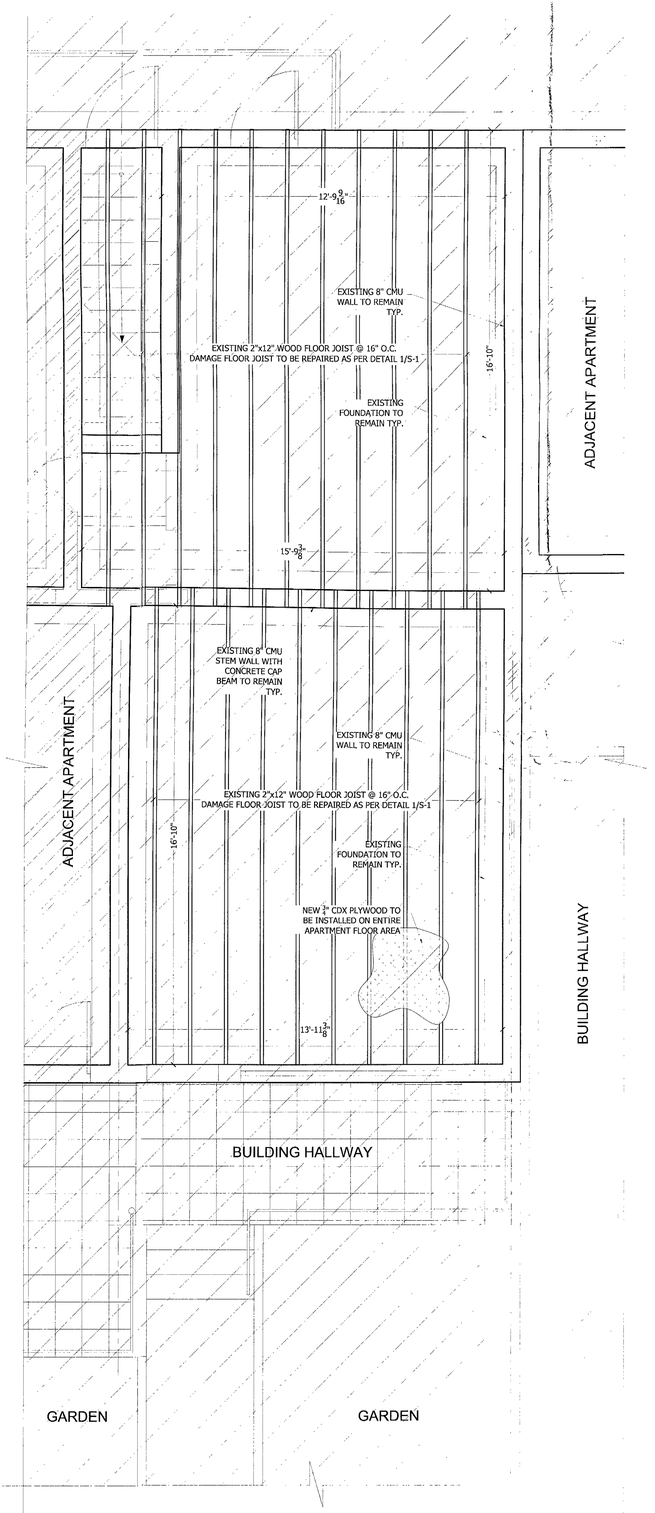
PROJECT NAME: APARTMENT REMODELING

ADDRESS: 511 16th STREET APT. #1 MIAMI, BEACH FL.

THE CONTRACTOR SHALL BEAR FULL RESPONSABILITY AND RELATED COSTS INCLUDING FEES FOR ANY FIELD CHANGES OR DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT OR ENGINEER OF RECORD

SEAL:

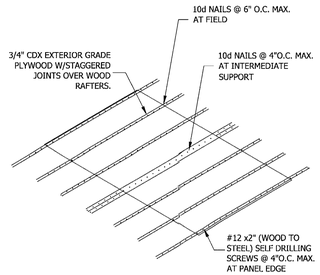
SHEET: A-1 OF: 1



FLOOR PLAN

SCALE: 1/4"=1'-0"

EXISTING TO REMAIN



PLYWOOD SHEATHING NAILING

N.T.S.

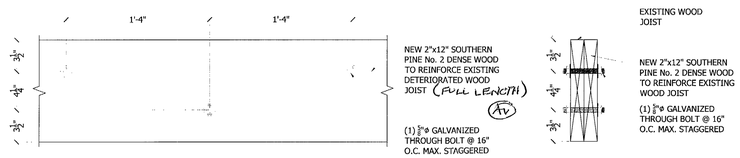
PLYWOOD FLOOR DIAPHRAGM

1. FLOOR DIAPHRAGM SHALL COMPLY WITH THE DESIGN RECOMMENDATIONS OF "A.P.A. DESIGN / CONSTRUCTION GUIDE - DIAPHRAGMS" AND THE LOCAL BUILDING CODE.

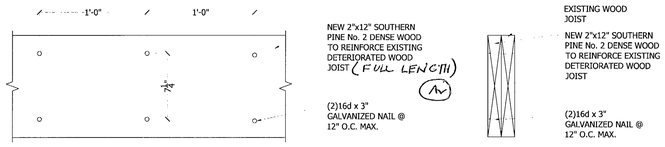
2. PLYWOOD FLOOR DECKING SHALL BE 3/4" MINIMUM THICKNESS, AND SHALL BE CONTINUOUS OVER TWO OR MORE SPANS, WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTS .

3. CONNECT PLYWOOD DIAPHRAGM TO STRUCTURE WITH #10 NAILS, SPACED AT 4"O.C. MAX. AT SUPPORTED EDGES AND AT 6"O.C. ALONG INTERMEDIATE SUPPORTS.

4. INSPECTIONS: SHALL COMPLY WITH THE LOCAL BUILDING CODE REQUIREMENTS FOR INSPECTIONS (BY THE MUNICIPALITY, ARCHITECT OR ENGINEER) OF SPECIFIED COMPONENTS OF THE ROOF STRUCTURE REQUIRING INSPECTIONS.



EXISTING WOOD JOIST SISTERING DETAIL FOR DEFLECTED JOIST



EXISTING WOOD JOIST SISTERING DETAIL FOR JOIST WITH SMALL CRACKS OR MILD MOISTURE DAMAGED

1/S-1 EXISTING WOOD FLOOR JOIST REPAIR DETAIL

SCALE: 1 1/2" = 1'-0"

SCOPE OF WORK:

- DEMOLISH EXISTING FLOOR PLYWOOD
- REPAIR WOOD JOIST AS PER DETAIL 1/S-1
- INSTALL NEW 3/4" CDX PLYWOOD NAILED TO EXISTING WOOD FLOOR JOIST AS PER PLYWOOD NAILING DETAIL

STRUCTURAL NOTES:

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS. AS A MINIMUM, CONSTRUCTION SHALL COMPLY WITH FLORIDA BUILDING CODE 2014, ACI 318-08, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 350, AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS 1989, AND AISC SPECIFICATIONS.
ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY . ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK, FOR REVIEW AND CLARIFICATION. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS WORK INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING AND TIEDOWNS. THE CONTRACTOR SHALL SUPPLEMENT THE MINIMUM REQUIRED FOUNDATION AND SITE PREPARATION REQUIREMENTS AND SLAB-ON-GRADE THICKNESS TO HANDLE CONSTRUCTION LOADS.

WOOD:

ALL WOOD MEMBERS SHALL COMPLY WITH F.B.C. 2014 AND NDS (NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION)
1. ALL WOOD FOR BEAMS, BEARING WALLS, SOLE PLATES, TOP PLATES, BLOCKING, BRACING, LEDGERS, CRIPPLES, SILLS, ETC., SHALL BE SOUTHERN PINE NO. 1 DENSE, KD-15, OR BETTER.
2. MICRO-LAM BEAMS SHALL BE MANUFACTURED BY TRUS-JOIST CORP., OR APPROVED EQUAL, AND SHALL PROVIDE A MODULES OF ELASTICITY OF 2,000,000 PSI, A MIN. FLEXURAL STRESS OF 2,925 PSI, AND A MIN. HORIZONTAL SHEAR STRESS OF 285 PSI.
3. ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE-TREATED. WOOD FOR NON-STRUCTURAL USES SHALL BE RATED TO RETENTION LEVELS OF 0.25 PCF OF CHROMATED COPPER ARSENATE (CCA). WOOD FOR STRUCTURAL USE THAT SHALL BE TREATED FOR ANY REASON SHALL BE RATED TO RETENTION LEVELS OF 0.4 PCF OF CCA OR MORE.
4. FOR STRUCTURAL USES, AVOID BUYING TREATED LUMBER THAT CONTAINS MORE THAN 1/2" OF HEARTWOOD.
5. AVOID INHALATION OF SAWDUST PRODUCED BY PRESSURE TREATED WOOD. WEAR A DUST MASK AND WORK OUTDOORS. DISPOSE OF DUST AND SCRAP BY ORDINARY TRASH COLLECTION. DO NOT BURN IT: PRESSURE TREATED WOOD MAY PRODUCE VERY TOXIC FUMES.
6. IN HIGHLY CORROSIVE ENVIRONMENTS, ALL WIND RESISTING HARDWARE INCLUDING THE HURRICANE STRAPS, SHALL BE MADE OF STAINLESS STEEL, OR SHALL BE DIPPED (AND SCRATCHES RE-PAINTED) IN COAL-TAR EPOXY PAINT.
7. WOOD PREVIOUSLY USED AS FORMWORK SHALL NOT BE USED AS ROOF FRAMING OR SHEATHING.
8. HURRICANE STRAPS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
9. HANGERS OR STRAPS THAT DO NOT MATCH EXACTLY THE ONES SPECIFIED ON THE DRAWINGS IN STEEL YIELD OR ULTIMATE STRENGTH, STEEL DIMENSIONS (LENGTH AND WIDTH), NUMBER AND DIAMETER OF HOLES FOR THE SAME SIZES OF NAILS OR BOLTS, AND/OR DO NOT HAVE THE SAME GENERAL SHAPE, WILL NOT BE ACCEPTABLE.
10. NO POCKETS WILL BE ALLOWED IN CONCRETE OR STEEL MEMBERS FOR CONNECTION OF WOOD MEMBERS UNLESS THE CONNECTION DETAIL IS IN WRITING PRIOR TO INSTALLATION.
11. ALL NAILS, SCREWS, AND BOLTS SHALL BE HOT-DIPPED GALVANIZED.

GENERLA NOTES:

1.- **ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE (FBC 2014) AND WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALL TO THE A/E'S ATTENTION BEFORE PROCEEDING WITH THE WORKS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS, HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO A/E TO CLARIFY ANY DISCREPANCIES; CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.**

2.- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF MIAMI COUNTY PUBLIC WORKS DEPARTMENT, WHOSE SERVICES SHALL BE USED. ALL MANUFACTURERS SHALL SUBMIT SHOP DRAWINGS TO THE A/E FOR APPROVAL PRIOR TO FABRICATION. THE A/E WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.

3.- ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING. CONTRACTOR SHALL SUBMIT DADE COUNTY PRODUCT CONTROL APPROVAL FOR WINDOWS, ROOFING & WATER PROOFING COMPONENTS AND ALL OTHER PRODUCTS REQUIRING SAID APPROVAL.

4.- WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR, AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.

5.- CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF OTHER MATERIALS AND LEFT IN PERFECT CONDITION.

AV

REVISIONS

NO.	DATE

ARCHITECTURAL + ENGINEERING
Consulting Engineering
10971 NW 79th STREET DORAL, FL 33178
PHONE:(305) 597-6022
e-mail: sunsetbuildingsolution@yahoo.com
; CA# 27935

Sign & Seal

JORGE GONZALEZ P.E. P.E. #39241

THESE DRAWING & SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF SUNSET BUILDING SOLUTIONS, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO SUNSET BUILDING SOLUTIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITION PRIOR TO PROCEEDING WITH WORK.

APARTMENT REMODELING

1600 DREXEL LLC
511 16STREET UNIT 1
MIAMI BEACH, FL 33139

DATE 3-30-2016

SCALE AS-SHOWN

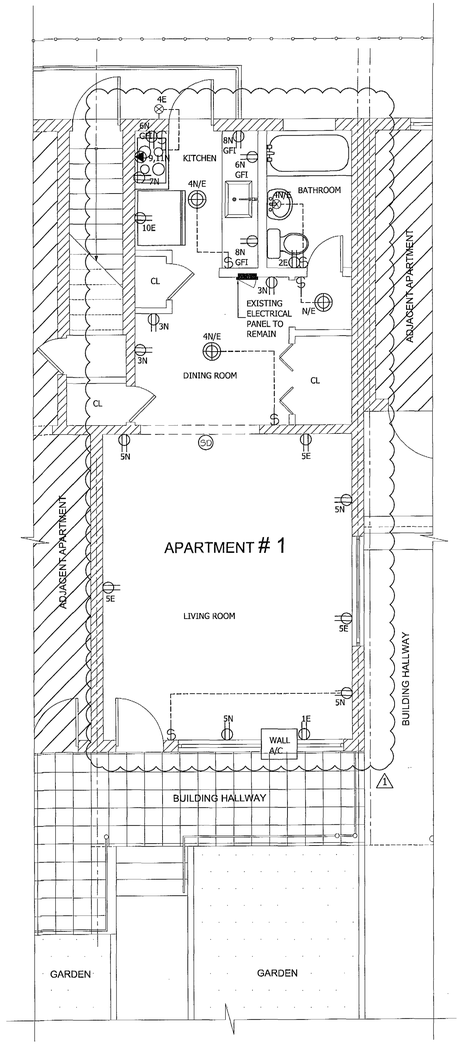
DESIGNED SBS

DRAWN SBS

CHECKED

DRAWING NO.
S-1

SHEET 1 OF 1



ELECTRICAL PLAN

SCALE: $\frac{1}{4}$"=1'-0"

EXISTING LEGAL AREA TO REMAIN (NOT PART OF THIS PERMIT)

SCOPE OF WORK:

- NEW OVER THE RANGE MICROWAVE.
- NEW REFRIGERATOR RE-USING EXISTING CIRCUIT.
- NEW COOKTOP RE-USING EXISTING CIRCUIT.
- PROVIDE NEW SMALL APPLIANCE CIRCUITS.
- NEW BATHROOM LIGHT FIXTURE RE-USING EXISTING CIRCUIT.
- NEW RECEPTACLES AT LIVING ROOM
- NEW DEDICATED CIRCUIT AT DINING ROOM.
- NEW KITCHEN AND DINING ROOM FLUSH MOUNT LIGHT FIXTURE RE-USING EXISTING CIRCUIT.

LIGHTING NOTE

ALL LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURE WILL BE HIGH EFFICACY LAMPS

LIGHTING/ RECEPTACLES NOTE:

ALL LIGHTS AND RECEPTACLES TO REMAIN AND SHALL KEPT ENERGIZED.

MICROWAVE

THESE MICROWAVE IS NOT VENTED TO THE OUTDOORS. INSTEAD THE COOKING ODORS AND GREASE AIRE CAPTURED, FILTERED AND RE-CIRCULATED BACK INTO THE KITCHEN.

ARC FAULT NOTE

ALL NEW 15A OR 20A, 120V BRANCH CIRCUITS IN DWELLING UNITS SUPPLYING OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS MUST BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE (NEC 210.12)

1

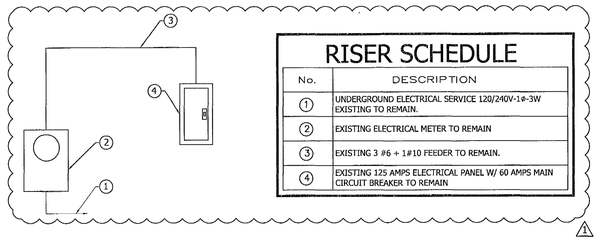
EXISTING 125 AMPS PANEL

SERVICE: 1Ø - 3W
VOLTAGE: 120/240v
MOUNTING: FLUSH

LOCATION: AS SHOWN

LOAD	POLES	C/B SIZE	WIRE SIZE	REMARKS	CKT No.	CKT No.	REMARKS	WIRE SIZE	C/B SIZE	POLES	LOAD
1440	1	20	12	WALL A/C UNIT	1	2	BATHROOM GFI	12	20	1	1200
1500	1	AFCI 20	12	DINING ROOM SMALL APPLIANCE	3	4	AFCI LIGHTING	12	20	1	
	1	AFCI 20	12	RECEPTACLE	5	6	SMALL APLIANCE	12	20	1	1500
1500	1	20	12	OVER THE RANGE MICROWAVE	7	8	SMALL APLIANCE	12	20	1	1500
2350	2	30	10	COOKTOP	9	10	REFRIGERATOR	12	20	1	1500
					11	12					

SEE ELECTRICAL LOAD CALCULATION



RISER SCHEDULE

No.	DESCRIPTION
1	UNDERGROUND ELECTRICAL SERVICE 120/240V-1ø-3W EXISTING TO REMAIN.
2	EXISTING ELECTRICAL METER TO REMAIN
3	EXISTING 3 #6 + 1#10 FEEDER TO REMAIN.
4	EXISTING 125 AMPS ELECTRICAL PANEL W/ 60 AMPS MAIN CIRCUIT BREAKER TO REMAIN

ELECTRICAL RISER

1

GEN. LIGHTING

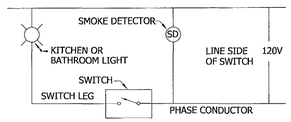
-TOTAL SQ/F OF LIGHT SPACE ..... 436 SQ/F
-AT 3 WATTS/SF ..... 1,308 SQ/F

ELECTRICAL LOAD PANEL CALCULATION

-SQ/F OF COND. SPACE
-AT 3 WATTS/SF ..... 1,308 VA
-3 SMALL APP. CKT.
-AT 1500 WATTS/CKT ..... 4500 VA
-COOKTOP ..... 2350 VA 1
-MICROWAVE ..... 1500 VA
-REFRIGERATOR ..... 1500 VA
-TOTAL LOAD W/OUT A/C ..... 11158 VA
-FIRST 10 KW @ 100% ..... 10000 VA
-REMAINDER @ 40% ..... 464 VA
-A/C LOAD @ 100% ..... 1440 VA
-TOTAL DEMAND LOAD ..... 11904 VA
-AT 240 V ..... 49.60 AMP

ELECTRICAL NOTE

THE EXISTING 125 AMPS BREAKER PANEL IS ENOUGH FOR NEW LOAD. 1



SMOKE DETECTORS NOTE:

PROVIDE SMOKE DETECTOR INSIDE & OUTSIDE OF ALL SLEEPING AREAS AS SHOWN IN THE ELECTRICAL PLAN. A CARBON MONOXIDE ALARM SHALL BE PROVIDED WITHIN 10' OF ALL SLEEPING AREAS . ALL DEVICES WILL BE INTER CONNECTED

SMOKE DETECTOR SHALL NOT BE PLACED WITHIN 3 FT. OF ANY A/C GRILL, BATHROOM, KITCHEN DOORS

SMOKE DETECTOR ALARMS SHALL BE INSTALLED WITHIN 10' OF ALL SLEEPING AREAS

SMOKE DETECTOR SHALL BE HARDWIRED (110 VOLT TYPE) TO A NON- SWITCHABLE BEDROOM CIRCUIT WITH BATTERY BACK-UP AND SHALL NOT BE CONNECTED ONTO THE LOAD SIZE OF GROUND FAULT CIRCUIT INTERRUPTER ALL SMOKE DETECTORS WITHIN EACH UNIT SHALL BE INTERCONNECTED.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	WALL LIGHTING FIXTURE
	EXHAUST FAN
	3" □RECESSED LIGHT FIXTURE (IC AND AIR TIGHT RATED)
	FLUSH MOUNT LIGHT
	TOGGLE SWITCH
3	3 WAY SWITCH
	ELECTRICAL PANEL
SD	SMOKE DETECTOR
	DUPLEX RECEPTACLE @ 18" A.F.F.
	220 VOLT RECEPTACLE
E	DENOTES EXISTING
R	DENOTE RELOCATED/REUSED CIRCUIT
N	DENOTES NEW
N/E	DENOTES NEW DEVICE REUSE EXISTING CIRCUIT
	CHANDELIER LAMP

ELECTRICAL NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THESE DRAWINGS.
2. COMPLY WITH F.B.C. 2014.
3. PROVIDE ALL REQUIRED CONNECTIONS FOR OTHER TRADES.
4. OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
5. PROVIDE TEMPORARY POWER AND LIGHT OUTLETS FOR USE BY OTHER TRADES.
6. COORDINATE ALL BOX LOCATION WITH BUILDING ARCHITECTURAL FEATURES.
7. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
8. UNLESS OTHERWISE NOTED, ALL CABLE SHALL BE COPPER.
9. INDOOR CONDUIT SHALL BE EMT. EXCEPT FOR BASEMENT.
10. ALL MOUNTING HARDWARE SHALL BE BY ELECTRICAL CONTRACTOR. ALL CB USE FOR HEATER, AIR CONDITIONER UNITS & REFRIGERATION
11. SYST. SHALL BE LISTED HACR.
12. ALL CB USE FOR HIGH INTENSIVE DISCHARGE SHALL BE LISTED HID.

TAMPER-RESISTANT RECEPTACLES

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS. ALL NONLOCKING TYPE 15A AND 20A, 125V RECEPTACLES IN THE FOLLOWING AREAS OF A DWELLING UNIT [210.52] MUST BE LISTED AS TAMPER-RESISTANT.

- WALL SPACE — 210.52(A)
- SMALL-APPLIANCE CIRCUIT — 210.52(B)
- COUNTERTOP SPACE — 210.52(C)
- BATHROOM AREA — 210.52(D)
- OUTDOORS — 210.52(E)
- LAUNDRY AREA — 210.52(F)
- GARAGE AND OUTBUILDINGS — 210.52(G)
- HALLWAYS — 210.52(H)

EX.: RECEPTACLES IN THE FOLLOWING LOCATIONS AREN'T REQUIRED TO BE TAMPER-RESISTANT:

(1) RECEPTACLES LOCATED MORE THAN 5½ FT ABOVE THE FLOOR.

(2) RECEPTACLES THAT ARE PART OF A LUMINAIRE OR APPLIANCE.

(3) A RECEPTACLE LOCATED WITHIN DEDICATED SPACE FOR AN APPLIANCE THAT IN NORMAL USE ISN'T EASILY MOVED FROM ONE PLACE TO ANOTHER.

(4) NONGROUNDING RECEPTACLES USED FOR REPLACEMENTS AS PERMITTED IN 406.4(D)(2)(A).

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

REVISIONS

NO.	DATE
1	APRIL 20-2016

SUNSET BUILDING SOLUTIONS
ARCHITECTURE + ENGINEERING
Consulting Engineering
10971 NW 79th STREET DORAL, FL. 33178
PHONE:(305) 597-6022
e-mail: sunsetbuildingsolution@yahoo.com;
CA# 27935

Sign & Seal
JORGE GONZALEZ P.E.
P.E. #34241

APARTMENT REMODELING

1600 DREXEL LLC
511 16STREET UNIT 1
MIAMI BEACH, FL 33139

DATE 3-30-2016
SCALE AS-SHOWN
DESIGNED SBS
DRAWN SBS
CHECKED

DRAWING NO.
E-1

SHEET 1 OF 1

5-9-16

PLUMBING NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
2. PLUMBING CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE
3. HIMSELF WITH ALL EXISTING CONDITIONS.
4. ALL MATERIALS SHALL BE NEW.
   ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ALL
5. REQUIRED INSURANCE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS, PLUMBING CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT. PLUMBING CONTRACTOR MUST BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
7. DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
8. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
9. VERIFY LOCATION, SIZE, DIRECTION OF FLOW AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
10. WATER PIPING SHALL BE TYPE "M" COPPER FOR 2" AND UNDER
    ALL UNDERGROUND WATER PIPING SHALL BE TYPE "L" COPPER ENCASED IN BLACK POLY PIPE.
11. SOIL, WASTE, VENT AND RAINWATER PIPING SHALL BE CAST IRON OR PVC.
    PVC MAY NOT BE USED THRU RATED ASSEMBLIES OR IN PLENUMS.
12. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
13. FURNISH AND INSTALL APPROVED AIR CHAMBERS AT EACH PLUMBING FIXTURE GROUP AS PER CODE AND WITH GOOD ENGINEERING PRACTICE
14. DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS; EXCEPT AT WATER HEATER AS PER CODE.
15. ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD.
16. [NOT USED]
17. PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE WITHIN 72 HRS. OF NOTIFICATION AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
18. PLUMBING FIXTURES SHALL COMPLY WITH TABLE 46-B-1 & 46-M-1
19. PROVIDE CHROME PLATED COMBINATION COVER PLATE AND CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS.
20. NOT USED
21. [NOT USED]
22. [NOT USED]
23. CONDENSATE DRAIN LINES TO BE RUN UNDER SLAB IN PVC SCH40 PIPE AND STUBBED OUT OF WALL TO UNIT. TIE IN OF A/C TO BE BY OTHERS. PVC PIPING WITH 1/2" THICK ARMAFLEX INSULATION MAY BE USED IN LOCATIONS WHERE ALLOWED BY LOCAL CODES. SEE PLUMBING DRAWINGS FOR SIZE AND LOCATION OF PIPING. PVC WILL BE MIN. SCHEDULE 40
24. PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUT-OFF.
25. WATER PIPING INSULATION SHALL BE 1" THICK ARMAFLEX INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS FOR ALL HOT WATER PIPING. WHERE DOMESTIC WATER TEMPERATURES CAN CAUSE SWEATING ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2" THICK ARMAFLEX INSULATION.
26. STUDOR MINI/MAXI AIR ADMITTANCE VALVES MAY BE USED AS AN ALTERNATE TO VENT PIPING THRU ROOF WHERE ACCEPTABLE BY THE PLUMBING OFFICIAL AND LOCAL CODES. INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
27. ALL PLUMBING LINES THAT ARE NOT IN USE OR REMOVED SHALL BE PROPERLY CAPPED AND SEALED CAPABLE OF WITHSTANDING THE CORRESPONDING BUILDING SYSTEM PRESSURE WITHIN THE LINE, FIRE RATED SEALANT SHALL BE PROVIDED AT ALL CONCEALED STACK PENETRATIONS

2" OR LESS DRAIN @ 1/4" DROP
3" @ 1/8"
4" @ 1/8"

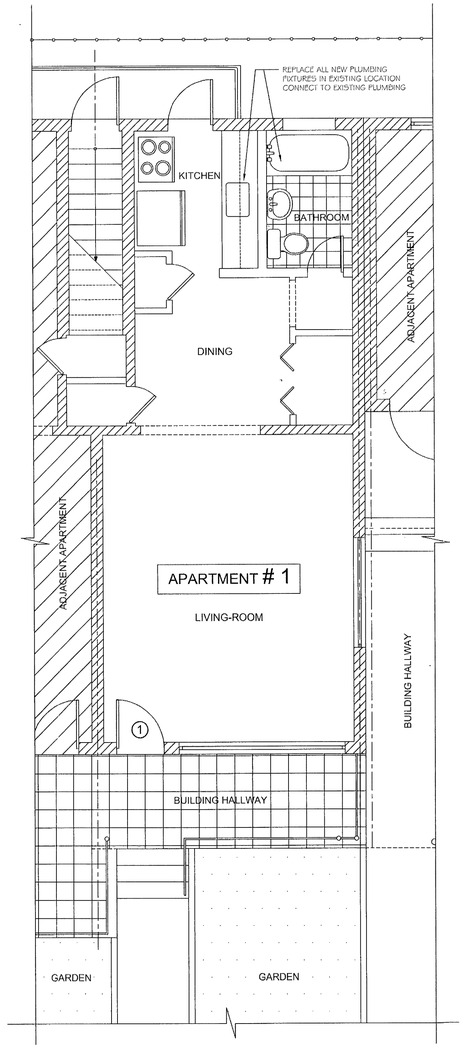
ALL WATER LINES OVERHEAD
NO JOINTS UNDERGROUND FOR COPPER.

PLUMBING FISTURES SHALL COMPLY WITH FBC. 604.

WATER PIPING SHALL BE INSTALLED AS PER FBC. P-603.1 & TABLE 604.5

- REPLACE FAUCETS AT ALL BATHROOMS
- PROVIDE ANTI-SCALD SHOWER VALVE FIXTURES SHALL COMPLY WITH FBCPlg 406 THUR 424 PROVIDE SHOWER LINER DETAIL AS PER FBCPlg417.5.2
- CONNECT NEW 1/2" HOT AND COLD TO EXISTG DOMESTIC WATER LINES
- *plumbing fixtures to comply with referenced standards as per FBC Plb 406 through 421.*

NEW PLUMBING FIXTURE MAX FLOW RATE (MIAMI DADE ORDINANCE 08-14)	
• SHOWER HEAD	1.5 GPM AT 80 PSI
• SINK FAUCET	1.0 GPM AT 60 PSI
• WATER CLOSET	1.28 GALLONS PER FLUSHING CYCLE



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PLUMBING PLAN

SCALE 1/4"= 1'-0"

SCOPE OF WORK

WORK SHALL INCLUDE THE FOLLOWING:

1. REMODEL KITCHEN AND BATHROOM

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

PL WBS 4/18/16

REVISIONS: DATE:

PROJECT NAME: APARTMENT REMODELING

ADDRESS: 511 16th STREET APT. #1 MIAMI, BEACH FL.

THE CONTRACTOR SHALL BEAR FULL RESPONSABILITY AND RELATED COSTS INCLUDING FEES FOR ANY FIELD CHANGES OR DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT OR ENGINEER OF RECORD

SEAL

SHEET: P-1

OF: 1

B1603310

511

#16th

#1

HISTORIC RESOURCES REPORTS

FOR

515 + 511 16TH STREET

AKA THE EGLO AKA 1602 DREXEL AVENUE AKA 1600 DREXEL AVENUE
MIAMI BEACH, FLORIDA 33139

FOR

THE CARLOTA AT SOUTH BEACH LLC
511 + 515 16TH STREET
MIAMI BEACH, FLORIDA 33139

BY

ARTHUR J. MARCUS ARCHITECT P.A.
1800 NORTH ANDREWS AVENUE #7F
FORT LAUDERDALE, FLORIDA 33311

FOR THE

CITY OF MIAMI BEACH HISTORIC PRESERVATION BOARD

AUGUST 26, 2017

TABLE OF CONTENTS

PHOTOGRAPH: WASHINGTON AVENUE LOOKING NORTH FROM 12TH STREET, CIRCA 1930'S PRIOR TO THE BUILDING OF THE U.S. POST OFFICE AT 13TH STREET AT CENTER LEFT ABOVE. NOTE THE RONEY PLAZA HOTEL AT RIGHT ON THE HORIZON

511 + 515 16th Street

By the time that 511 was first constructed in 1924, the surrounding neighborhood was developing quite nicely. Likely spurred by the opening of the new Miami Beach Community Church in 1921 at the corner of Lincoln and Drexel one block to the north, new homes sprouted throughout the 1920's.

A location only three blocks to the beaach was a big draw.

There also seemed to have a continual supple of tourists

Harry Hice is listed as the supervisor of the City Builders Company as well as the Architect. He either designed or supervised the design of 511 16th Street and also likely for 1604 Drexel Avenue as pictured on this page.

In those days one did not require a degree in order to practice as an Architect. Harry Hice and his company were noted in building several residences around MIami Beach. These buildings are located in the:

511 16TH STREET, MIAMI BEACH

The Lincoln Subdivision of Miami Beach, extending south from Lincoln Road to 15th Street between Drexel and Lenox Avenues, was platted in February 1924 as part of Carl Fisher's development of the area. Just a few months later, on June 30, 1924, the permit was issued for the subject property, one of the first buildings in the Lincoln Subdivision. It occupies Lot 1 of Block 52A, at the northwest corner of Drexel Avenue and 16th Street. The entrance to the house faces south onto 16th Street, so its original address of 1600 Drexel Avenue was not used in subsequent city directories; it was always listed as 511 16th Street.

This was built as a two-story CBS residence with separate garage, costing $14,000 according to the Permit Card. The original owner and contractor is shown as the City Builders Finance Corporation. No architect is named, and no plans (#889) were found on microfilm in the Miami Beach Building Department, but the 1925 Polk's City Directory lists architect Harry M. Hice as the supervisor of the City Builders company. At that time, Hice and his wife Florence resided at 1621 West Avenue, and the office of his City Builders company was across the street, at 1600. It is likely that Hice, who was born in Indiana circa 1900,[1] either designed or supervised the design of the subject building. Other buildings, all residences, designed by Hice in Miami Beach include: 420 West 31st Street (1930), 1320 Flamingo Way (1935), and a row of five bungalows at 1301, 1315, 1321, 1331, and 1339 Flamingo Way dating from 1938-1941. (Flamingo Way is one block long, running from West Avenue to Bay Road between 14th Terrace and 15th Street.) Harry Hice served on the Miami Beach City Council from 1923 to at least 1939,[2] and remained active as a realtor. Hice Hall at the Miami Beach Community Church, 1620 Drexel Avenue, was named for Harry and Florence Hice in the 1950s.

The subject house at Drexel Avenue and 16th Street is first listed in the 1926 city directory as the residence of H.L. and Margaret Swan, but in 1927 the house was "vacant." In 1942, the house is still listed as a single-family residence, occupied by Louis J. Morris. Major changes would occur under the subsequent owner, Ruby Golin, a man born in Russia circa 1900,[3] a "merchant" who

1 U. S. Census, 1940.
2 *Miami Herald,* May 21, 1939.
3 Florida State Census, 1945.

worked at the Penn Food Center on Alton Road.[4]

The Permit Card lists no structural changes to the property until 1943, when the garage interior was remodeled "with old lumber." At that time, during World War II, building materials were scarce and new construction was severely limited. For three years, Miami Beach became a training center for the Army Air Forces as thousands of new recruits replaced the tourists in hundreds of hotels and apartment buildings, and after the war, the city suffered a severe housing shortage as returning GIs boosted the population. It was in this context that the Golins first converted their garage into an apartment starting in 1943, and then remodeled their two-story residence as an apartment house in 1951.

The garage had been built in 1924 "at the rear of the lot," to the west of the residence. In addition to its remodeling, the Permit Card documents that four windows were installed in the garage door in June 1945, and bathroom and kitchen facilities in July. It was probably at that point that it became living quarters. The 1948 Sanborn Fire Insurance map shows the one-story rear structure as an apartment, with the address of 515 16th Street. The 1947 city directory lists it as the residence of Theo L. Press, a waiter, and his wife Fay. The Golins occupied the house at #511. A realty ad placed in the newspaper in 1949 offers the house for rent, by the season or year, and describes it as a "spacious, 9-room house, 4 bedrooms, 4 baths….511 16th St."[5]

The conversion of the house to apartments in 1951 can be pieced together from permit records and plat maps. First, in May a permit was issued for a one-story, flat-roofed addition measuring 31' by 8'6," to provide two new bathrooms. This was probably the one-story extension on the east side of the house which is now the entrance to apartments 1A and 2A. (It first shows up in the 1952 City Atlas, where the building footprint differs from the 1948 Sanborn map.) In June, a permit was issued for two additional bathroom facilities,and "4 sinks, 4 gas ranges, [and] 4 gas refrigerators," presumably for four apartment units. In July, there was a permit for "new concrete stairs on west of building," to give access to the upstairs units.

The architect for these 1951 additions was **Gerard Pitt** (1885-1971), who graduated from Columbia University in 1907 and came to Miami in 1930. He served as supervising architect for the

---

4 Polk's City Directory, 1944.
5 *Miami Herald,* Nov. 19 and 25, 1949.

southeast district of the Florida Hotel Commission from 1935 to 1957.6 In Miami Beach, he designed dozens of mostly small-scale apartment buildings from 1940 to the late 1960s, as well as many alterations and additions to earlier buildings.

The 1952 City Atlas shows both buildings at 511 16th Street as the "Eglo" --- obviously derived from the names of Ruby and Beatrice Golin's two daughters, Edith and Gloria.[7] In June 1953, the rear garage/apartment was demolished and in its place Golin again hired Gerard Pitt to design the eight-unit, two-story Postwar-style apartment building that stands there today, with the address of 515 16th Street. The 1955 city directory lists the (misspelled) "Elgo Apartments," encompassing both buildings, at 511-15 16th Street, with five units at #511 (possibly an error, left over from when the garage was the fifth apartment) and eight units at #515. The 1957 directory is probably more accurate, listing the "Eglo" with four units in the 511 building. The Golins occupied apartment #3.

Although no architectural plans or early photographs have been found to confirm the original design of this building, its Mediterranean style is typical of Miami Beach in the 1920s, but with some distinctive features. Most notable is a full-height, tapered projection that frames the front entrance. It narrows at the top, where the scrolled parapet interrupts the barrel-tile trim. The upstairs window here has a row of scupper holes above it, and a semicircular bracket with a pointed base beneath. The front door and its side lights are now jalousies, which were not seen in the 1920s. The front steps and side stairway (from 1951) are decorated with colorful ceramic tiles, which may not be original but are typical of their times. A chimney, unusual on a front facade, stands to the right of the entrance. The windows have sills, and were probably originally sash-type; now they are mostly multi-paned awning type, which gives the same appearance when closed. The exterior air conditioners were first installed in the 1950s.

Despite a few alterations, this house remains a wonderful example of 1920s residential architecture in Miami Beach. It is designated as a contributing structure in both the National Register and local Flamingo Park Historic Districts.

---Carolyn Klepser, researcher

June 14, 2017

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6 Membership application, American Institute of Architects, Coral Gables, Fla.
7 Florida State Census, 1945.

NEIGHBORHOOD HISTORY

Washington Avenue in Miami Beach has long developed from its its initial residential development into the main shopping street for local residents of South Beach. This was typically the street for stores and restaurants of all types and neighborhood needs. The Avenue continues today to reflect the changing needs of its local community.

"The layout of blocks and streets remaining in the expanded (Historic) district is consistent with the original developments, although some street names have changed (ie. Cardinal Avenue became Park Avenue, Sheridan became Liberty Avenue, Miami Avenue became Washington Avenue, etc". (5)

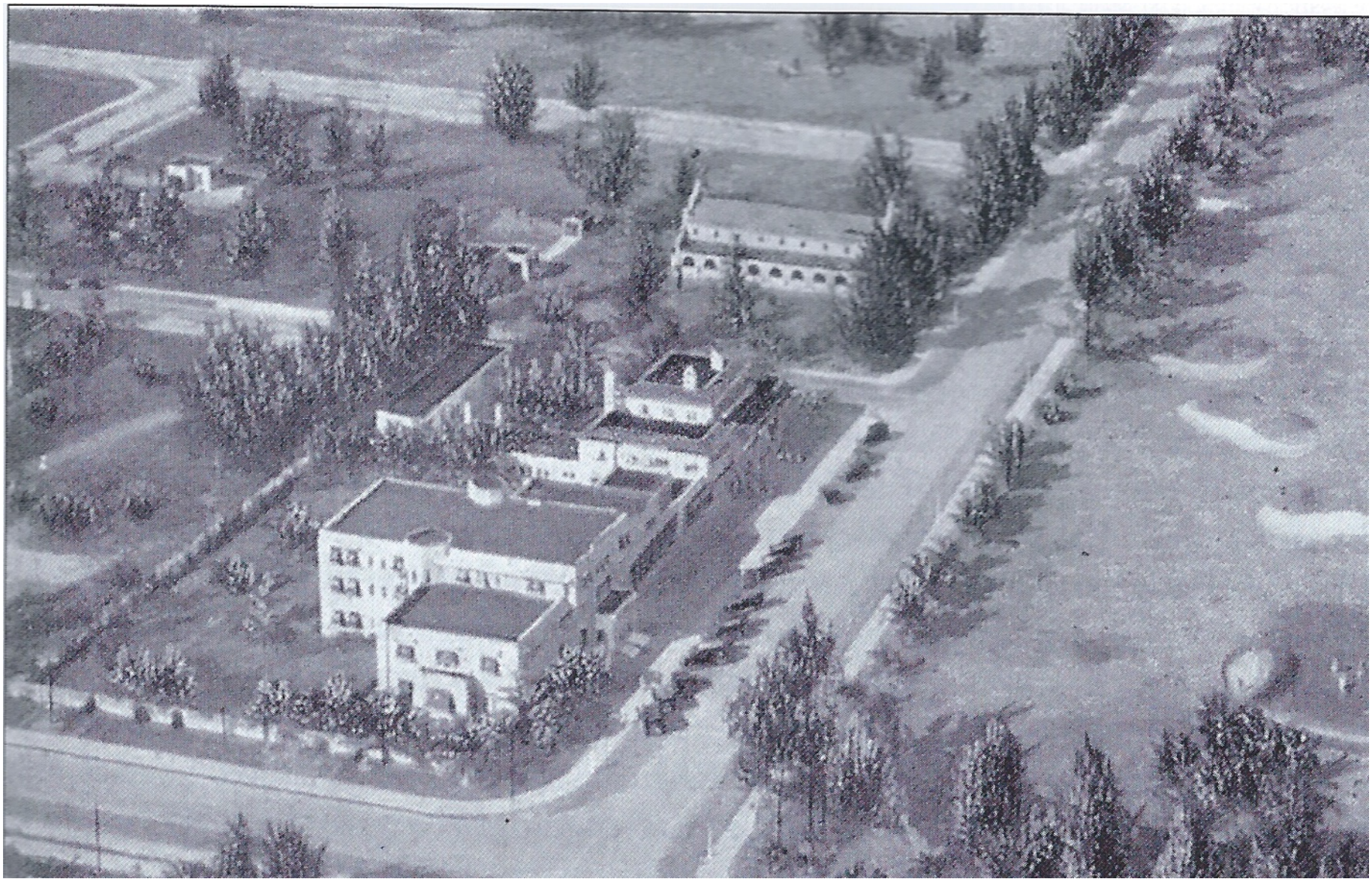
"Washington Avenue (is) South Beach's 12 block long commercial strip..while in the heart of the Deco district, itself boasts few architectural notables. It is lined with one story stucco shop buildings on the east side and taller hotel and bank structures on the west. The merchants of this varied and colorful neighborhood have long catered to an elderly Jewish. Population that. Is rapidly giving way to increasing numbers of Haitian and Cuban refugees." (6)
T" P. 92

"Miami Beach was the product of its many layers and the interaction of those layers. The layers motivated the development of distinct building types that defined public space in characteristic ways. These types evolved to address an increasingly urban condition, and reflected an architectural consciousness that was the final layer of pre-World War II Miami Beach." (7)

The urban environment of South Beach was a product of incremental infill, the result of natural accretions and the evolution of design idioms…This landscapes inherently decentralized and flexible, allowing for multiplicities. The Miami Beach block was a gridiron of passages permitting labyrinthine circulation… Within this pattern Hotels were both monuments and fabric..(7)

The evolution of MIami Beach modern pivoted on an increasingly bold and plastic use of form as an ornament after 1938, and a gradual abstraction of building components into volumes, surfaces, patterns and lines. Architects…became bolder in elaborating buildings as component masses, highlighting precise elemental volumes that appeared timeless, universal and pure. (7)

TOP PHOTO: Washington Avenue early residences circa 1920's
MIDDLE PHOTO: Washington Avenue looking north from 12th Street circa 1940
LOWER PHOTO: Lincoln Hotel at Lincoln and Drexel built circa 1914 and photo circa 1940 - one block north of 511 16th Street.



THIS 1921 AERIAL PHOTOGRAPH SHOWS THE MIAMI BEACH COMMUNITY CHURCH (BUILT IN 1921) AND ALMOST THE ENTIRE 1600 BLOCK OF DREXEL AVENUE.

THE SITE OF THE FUTURE CORNER PROPERTY - 511 16TH STREET - IS EMPTY.WITH TREES AND WHAT LOOKS LIKE A NEARBY GARAGE BUILDING IN THE MIDDLE OF THE BLOCK ACCESSED FROM 16TH STREET

BOTH BUILDINGS ARE LOCATED IN THE :

PHOTO ABOVE:
1604 DREXEL AVENUE.
ALTHOUGH THERE WERE NO RECORDS OF THE EXACT CONSTRUCTION DATE, THIS RESIDENCE WAS ALSO LIKELY DESIGNED AND BUILT BY THE SAME ARCHITECT/BUILDER AS 511 16TH STREET - HARRY HICE. (3)

AERIAL PHOTOGRAPHS

1941 AERIAL PHOTOGRAPH COURTESY CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT

511 16TH STREET CAN BE SEEN WITH THE ORIGINAL GARAGE BUILDING TO THE WEST WITH THE DRIVEWAY VISIBLE AT THE SITE OF THE FUTURE 515 16TH STREET.

1954 AERIAL PHOTOGRAPH COURTESY CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT.

UNFORTUNATELY THE TWO MAPS MEET AT THIS PROPERTY - HOWEVER 511 CAN BE DISCERNED AND IT ALSO LOOKS LIKE 515 16TH STREET HAS BEEN CONSTRUCTED.

HISTORIC RESOURCES

Please note that there were neither historic plans nor Building Card available from the City of Miami Beach Building Department Records Desk.Ω

However additional historic resources were available as follows: