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CONTEXT PHOTOS KEY

SURROUNDING CONTEXT

Images taken November 07, 2017 by MSA

[STRANG]

3326 MARY STREET, SUITE 301  
COCONUT GROVE, FLORIDA 33133  
PH: 305-373-4990 | FX: 305-373-4991  
FIRM LICENSE # AA26001123  
WWW.STRANGARCHITECTURE.COM

PROJECT LOCATION:  
244 WEST RIVO ALTO  
MIAMI BEACH, FL 33139

PROJECT CLIENT(S) / OWNER(S):  
REED ZAROFF

ARCHITECT:  
MAX WILSON STRANG, RA / AIA  
LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
ZAROFF RESIDENCE

PROFESSIONAL SEAL(S):


	12-08-17	FINAL SUBMITTAL SET
No.	DATE	DESCRIPTION

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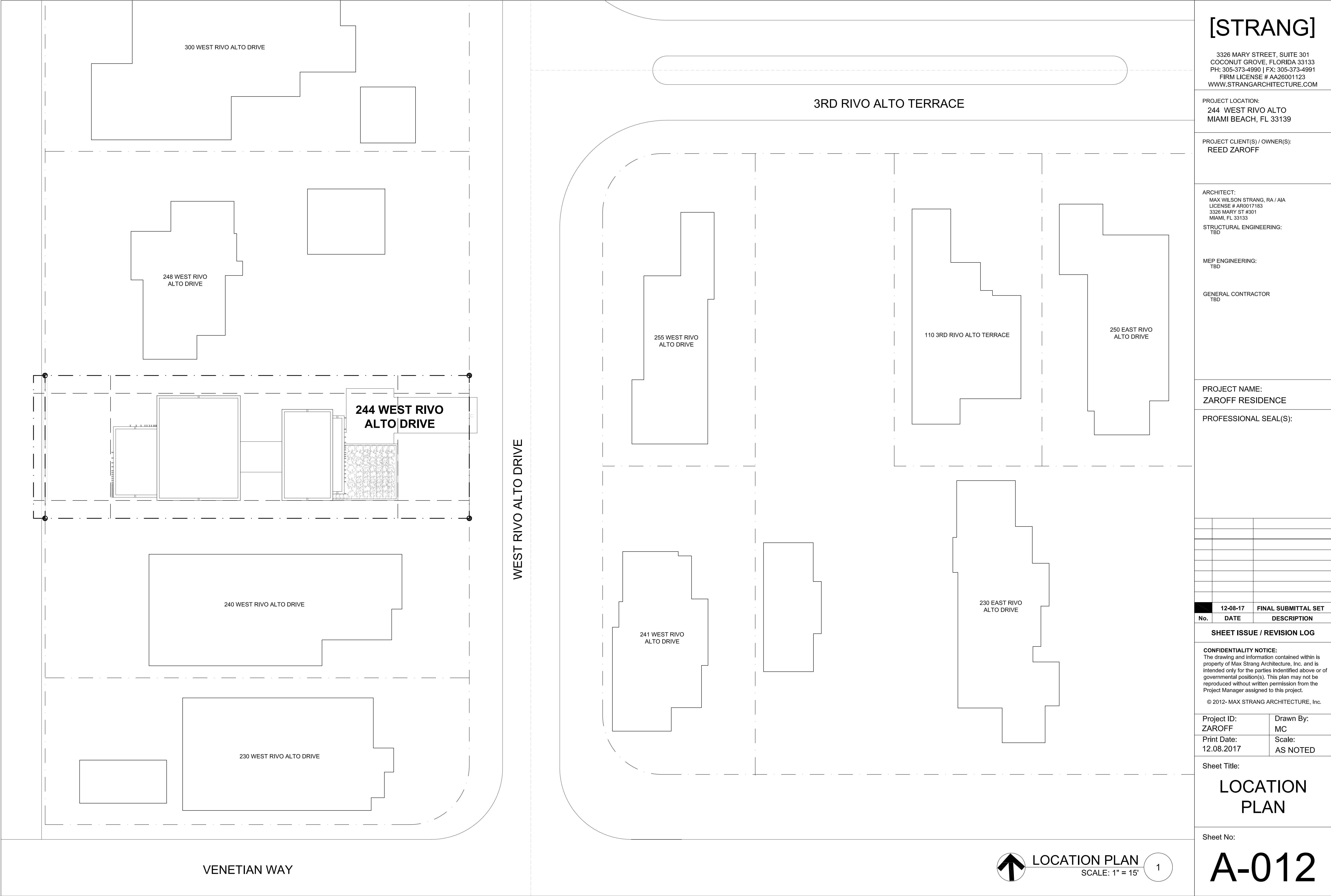
Sheet Title:

CONTEXT  
PHOTOGRAPHS

Sheet No:

A-011





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LICENSE # AR0017183  
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TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

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Sheet Title:

LOCATION  
PLAN

Sheet No:

A-012



LOCATION PLAN

SCALE: 1" = 15'

1



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STRUCTURAL ENGINEERING:  
TBD

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GENERAL CONTRACTOR  
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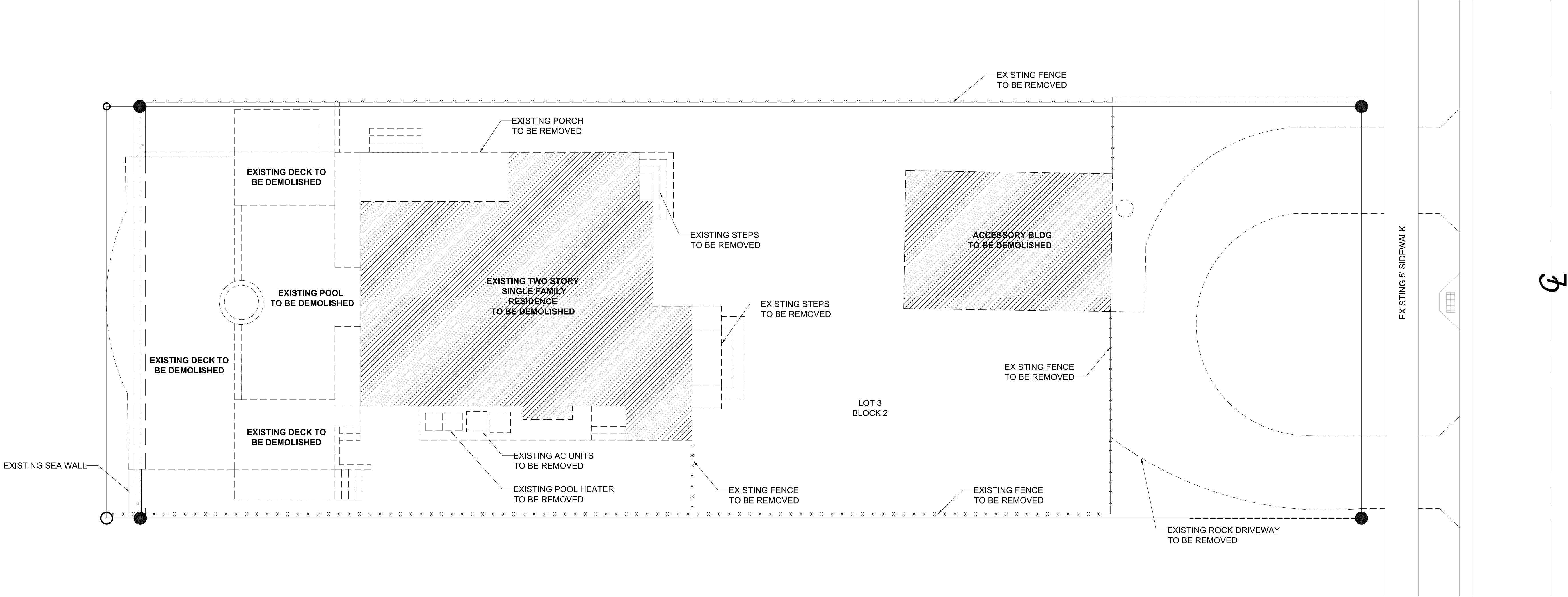
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DEMOLITION  
PLAN

Sheet No:

A-013





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3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
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PROFESSIONAL SEAL(S):

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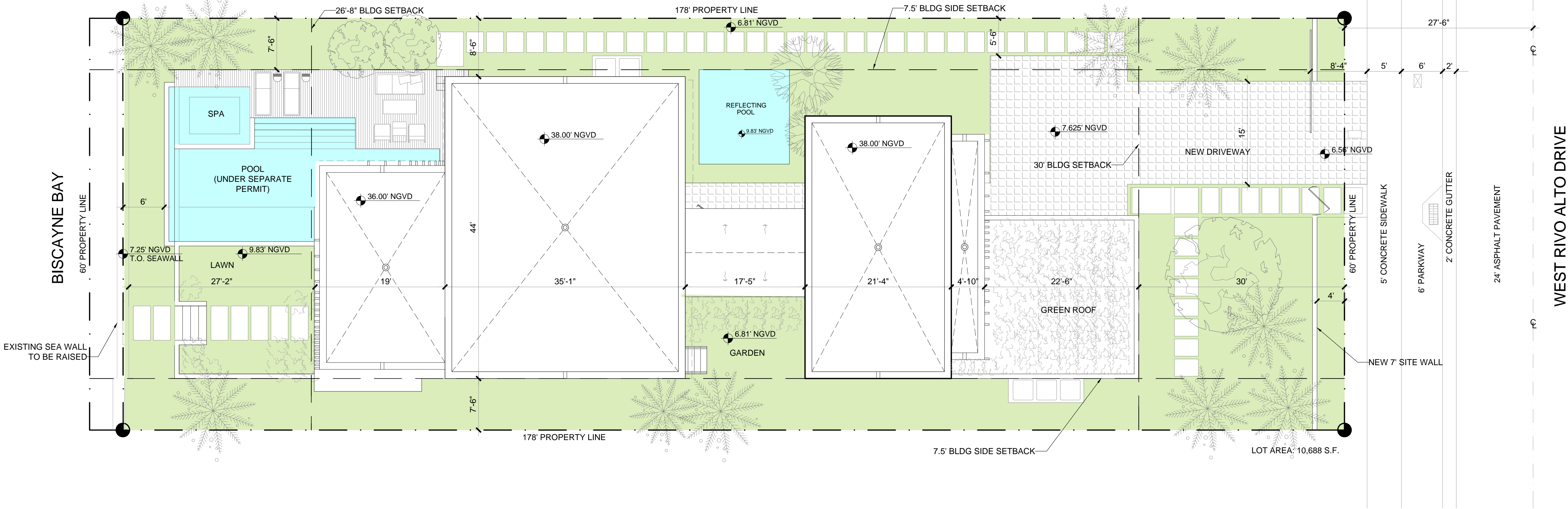
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Sheet Title:

SITE PLAN

Sheet No:  
**A-100**





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TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

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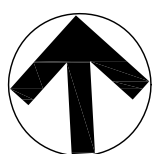
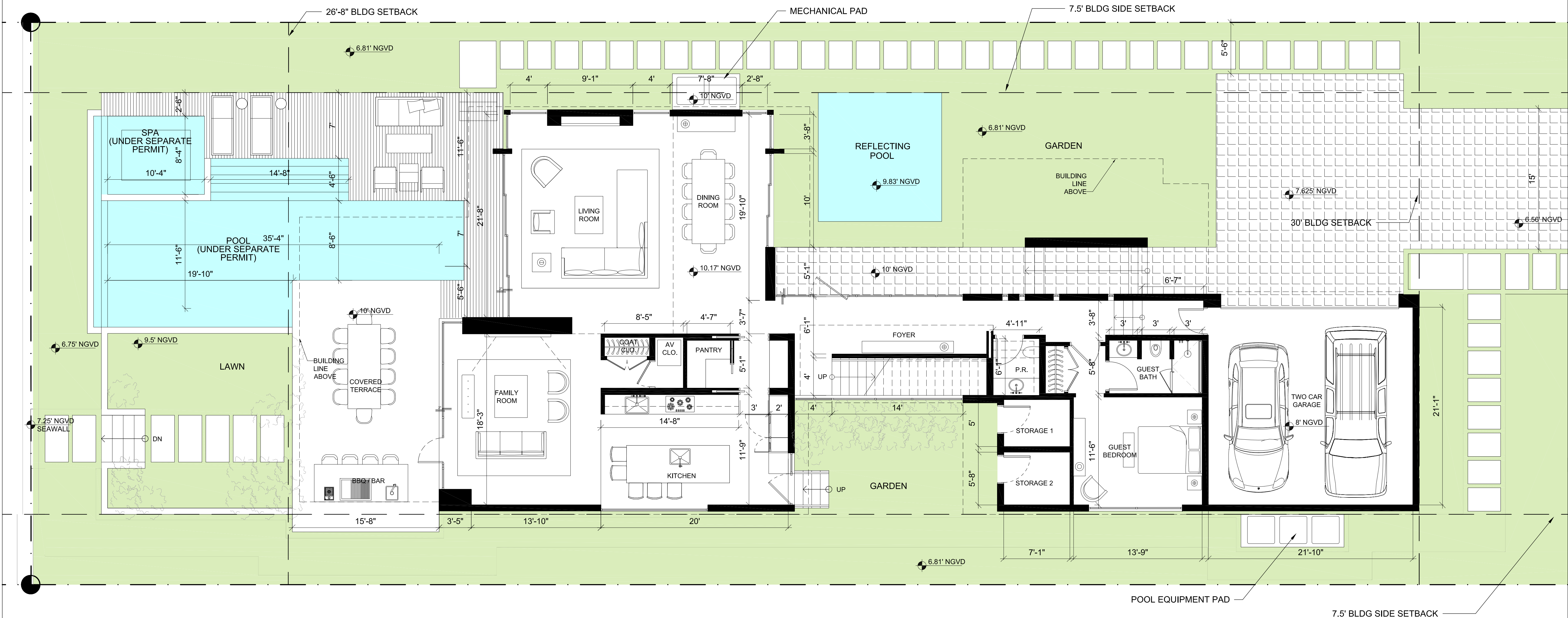
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Sheet Title:

# FIRST FLOOR PLAN

Sheet No: \_\_\_\_\_

# A-101



# FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

1



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STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
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Sheet Title:

SECOND  
FLOOR PLAN

Sheet No:

A-102



SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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ARCHITECT:  
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LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

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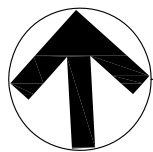
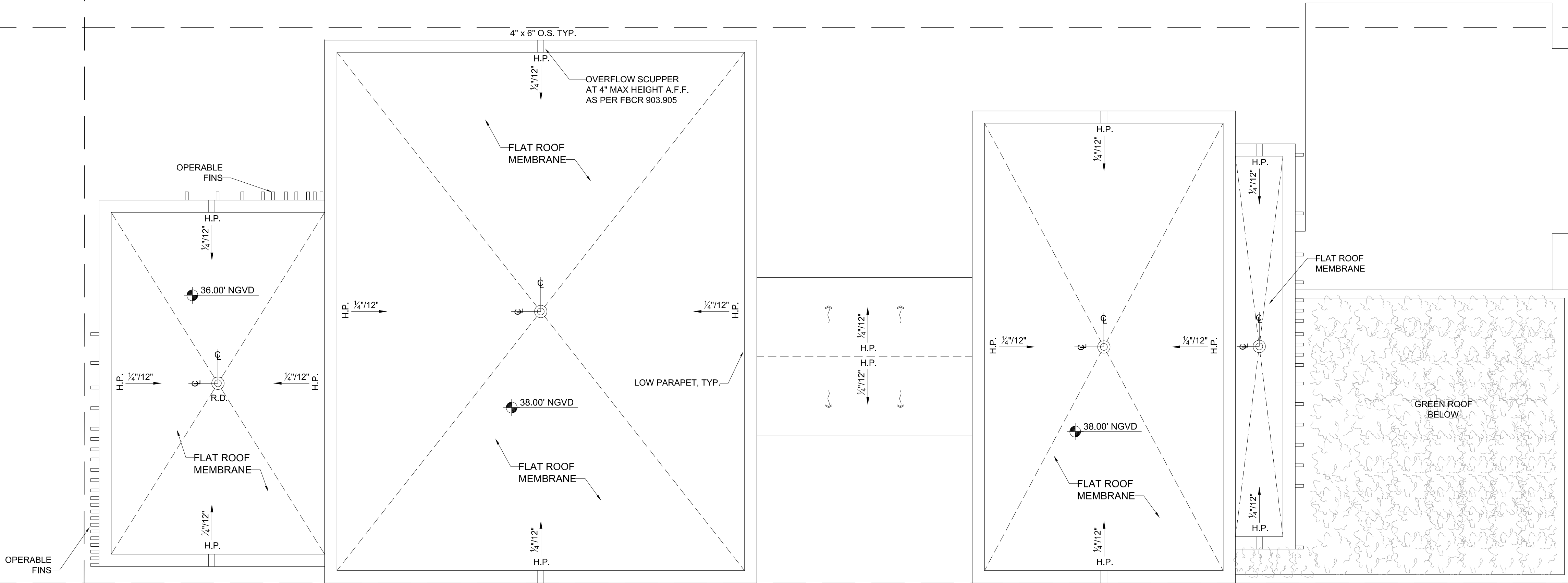
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Sheet Title:

ROOF PLAN

Sheet No:

A-103



ROOF PLAN  
SCALE: 3/16" = 1'-0"

1



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TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
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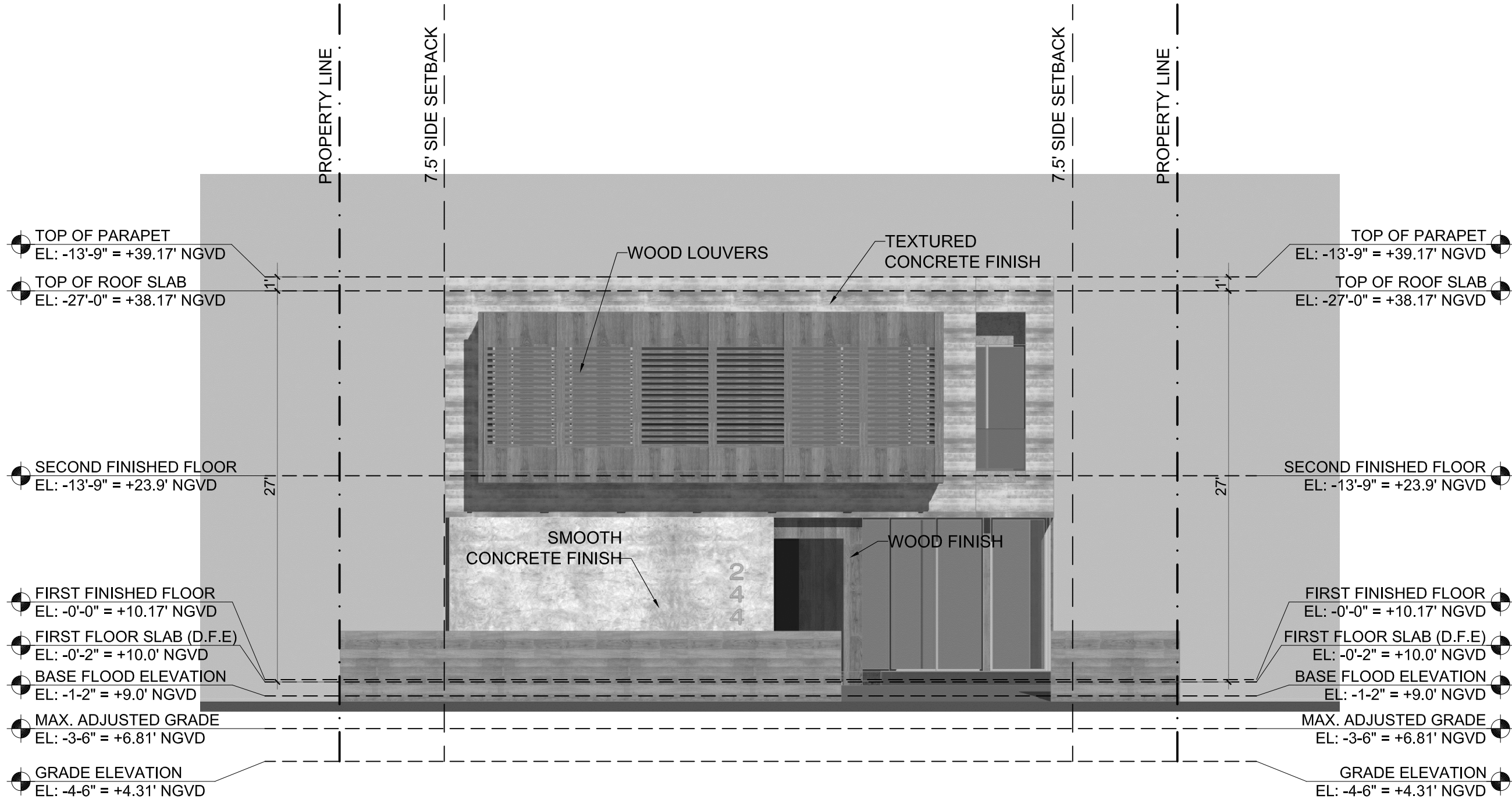
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Sheet Title:

ELEVATIONS

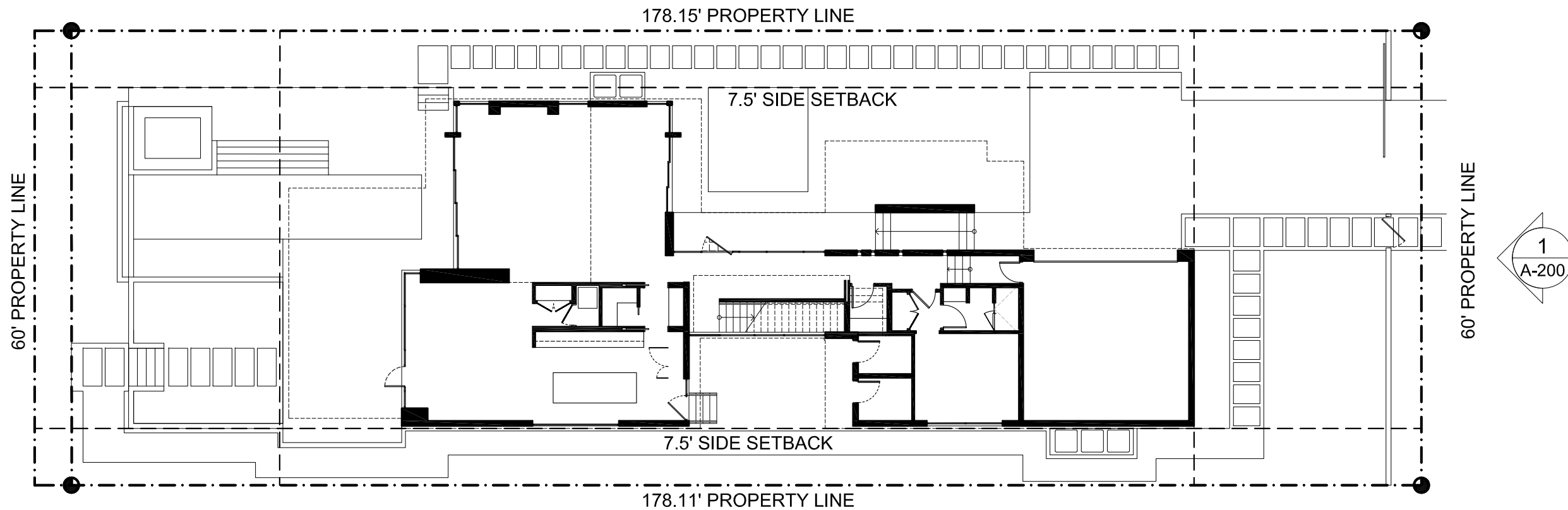
Sheet No:

A-200



EAST ELEVATION  
SCALE: 1/8"=1'-0"

1



KEY PLAN  
SCALE: 1/16"=1'-0"

2



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ARCHITECT:  
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LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
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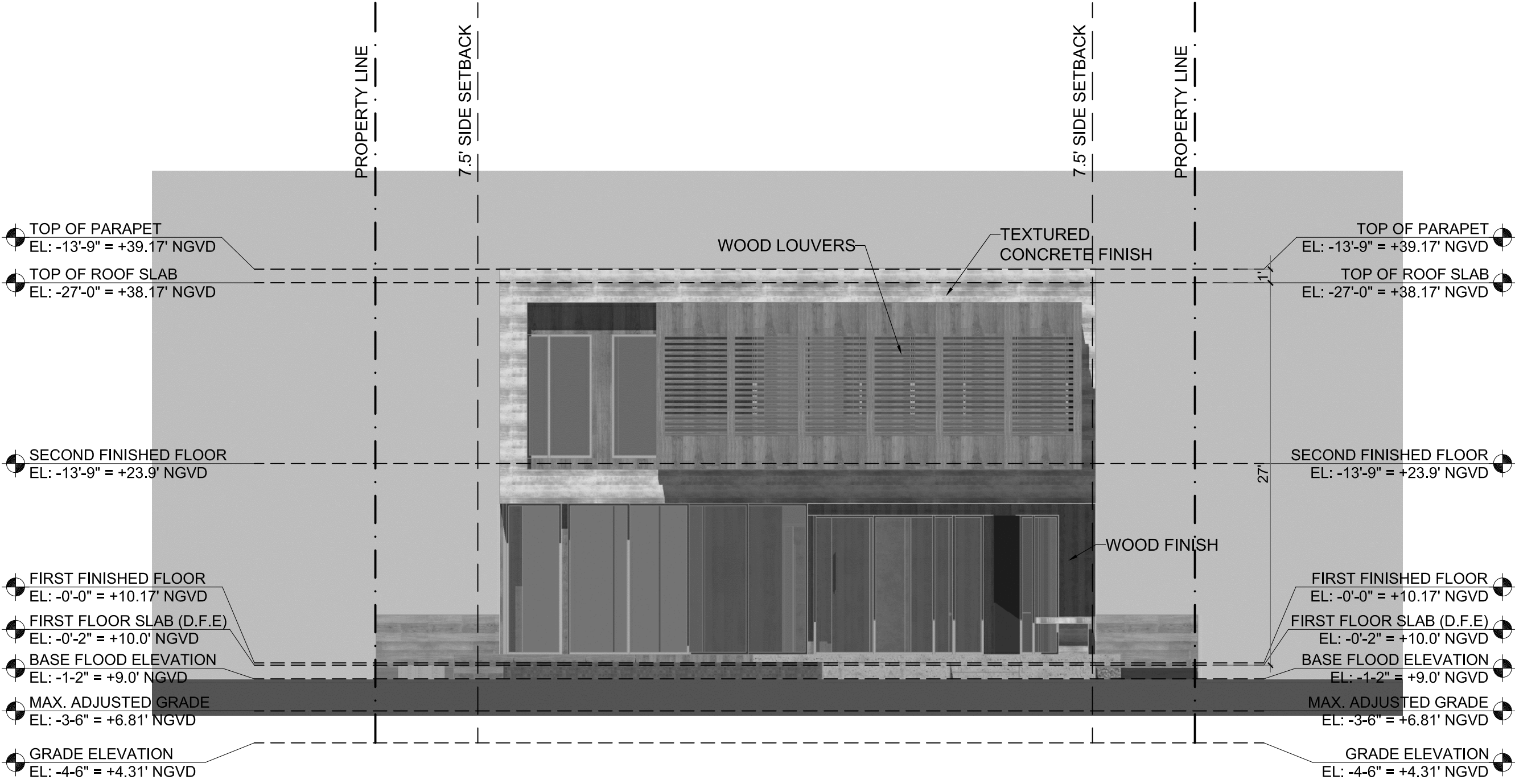
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Sheet Title:

ELEVATIONS

Sheet No:

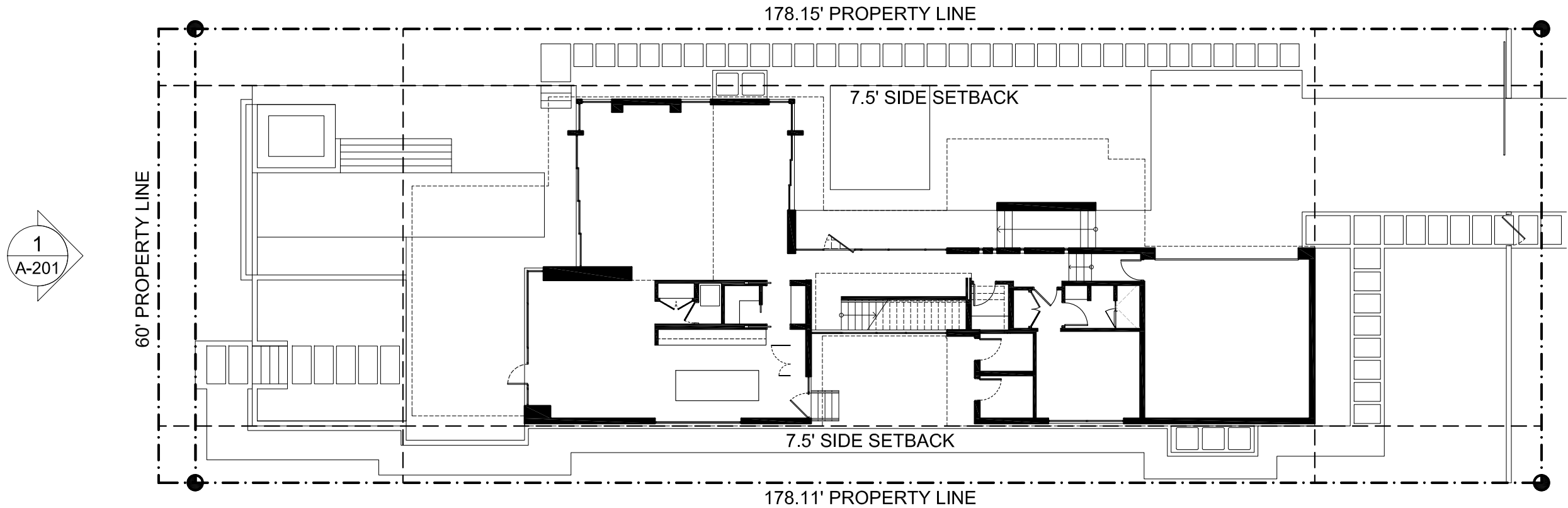
A-201



WEST ELEVATION

SCALE: 1/8"=1'-0"

1



KEY PLAN

SCALE: 1/16"=1'-0"

2



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3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
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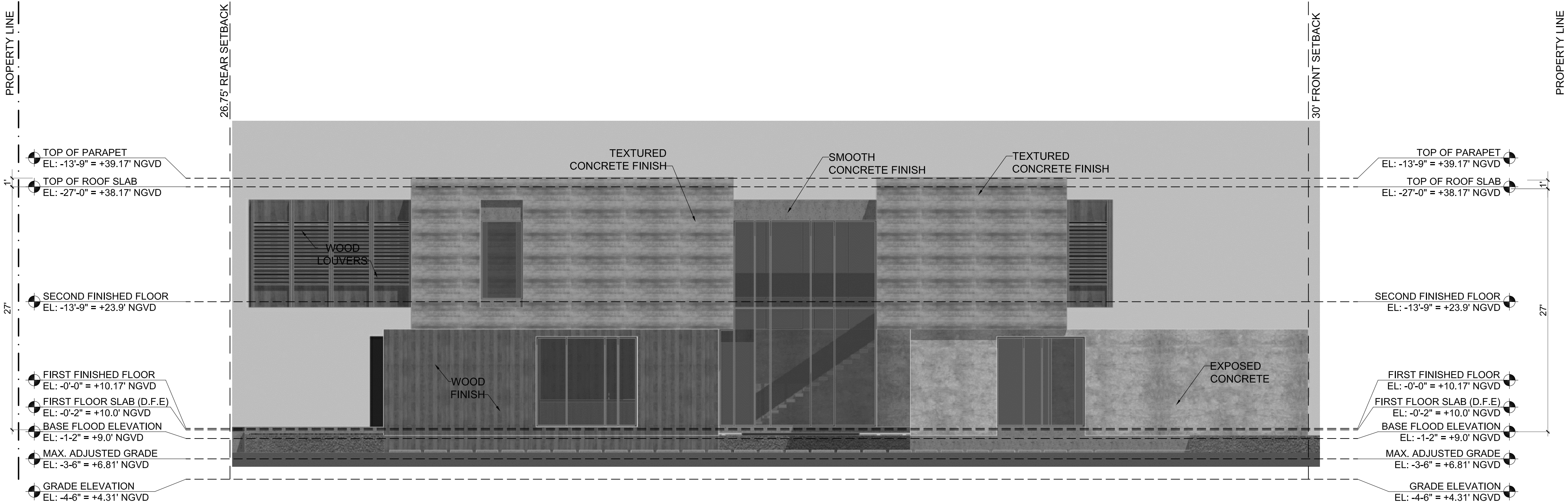
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Sheet Title:

ELEVATIONS

Sheet No:

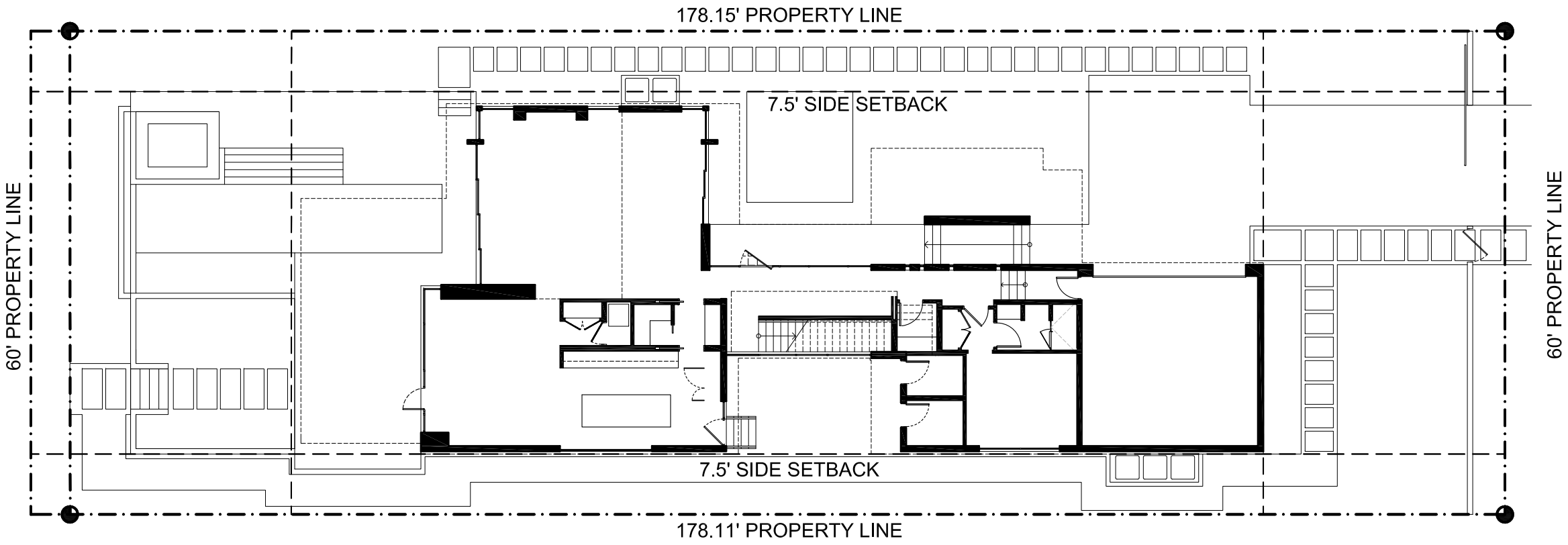
A-202



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

1



KEY PLAN

SCALE: 1/16"=1'-0"

2



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ARCHITECT:  
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LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

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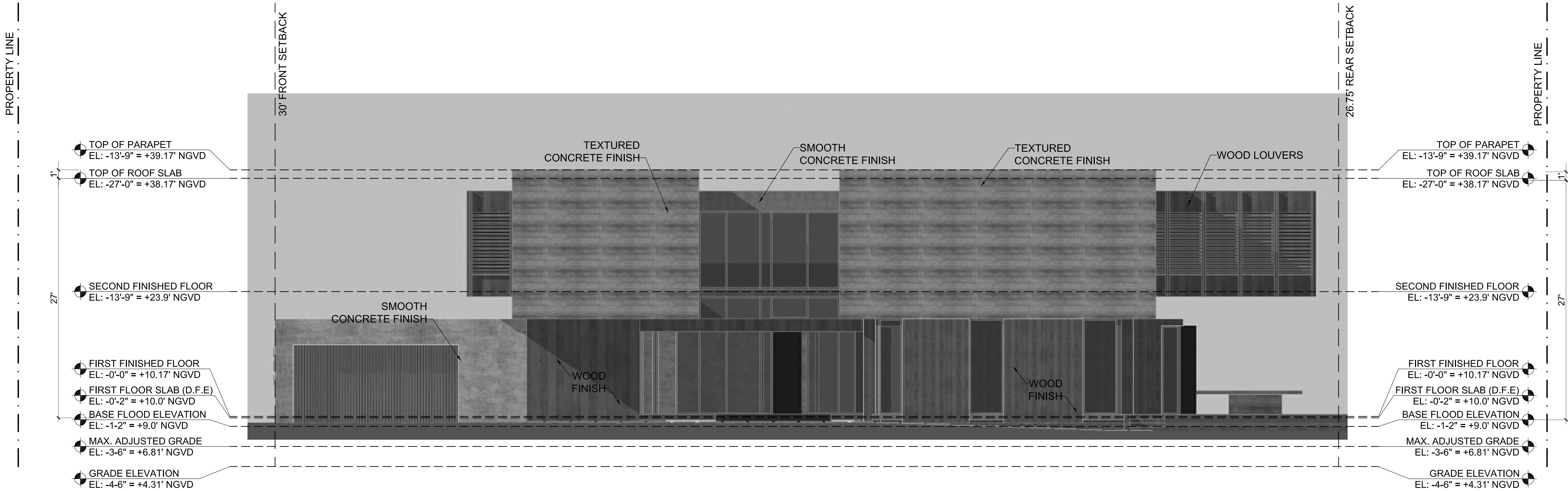
Project ID: ZAROFF	Drawn By: MC
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Sheet Title:

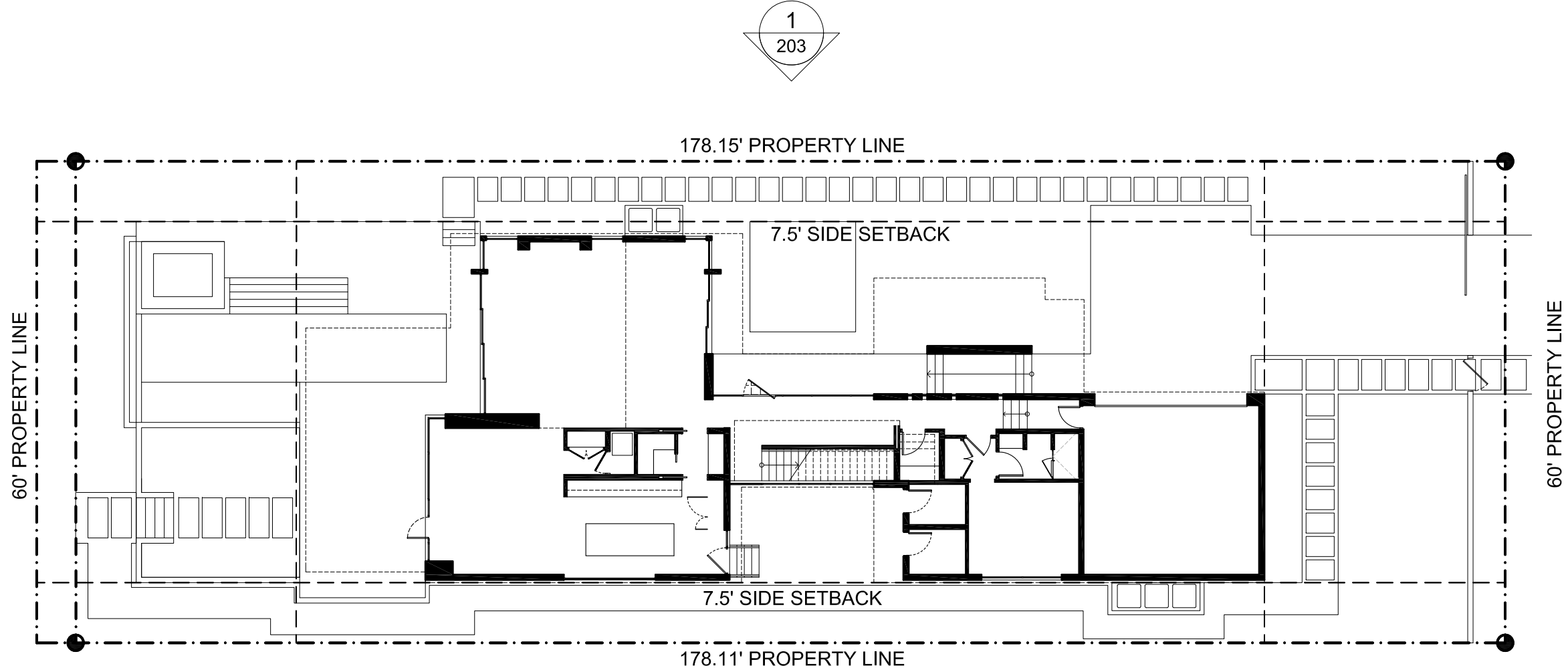
ELEVATIONS

Sheet No:

A-203



NORTH ELEVATION  
SCALE: 1/8"=1'-0" 1



KEY PLAN  
SCALE: 1/16"=1'-0" 2



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MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

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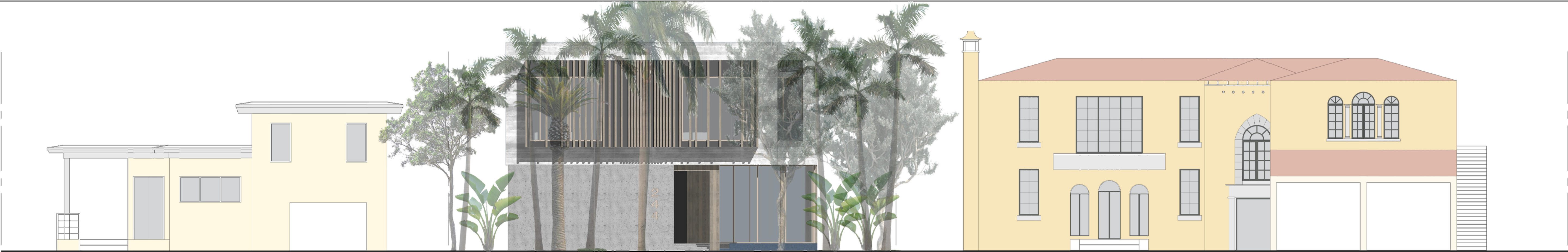
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Sheet Title:  
CONTEXT  
ELEVATIONS

Sheet No:  
A-204



EXISTING RESIDENCE  
240 WEST RIVO ALTO DRIVE

PROPOSED RESIDENCE  
244 WEST RIVO ALTO DRIVE

EXISTING RESIDENCE  
248 WEST RIVO ALTO DRIVE





PROJECT LOCATION:  
244 WEST RIVO ALTO  
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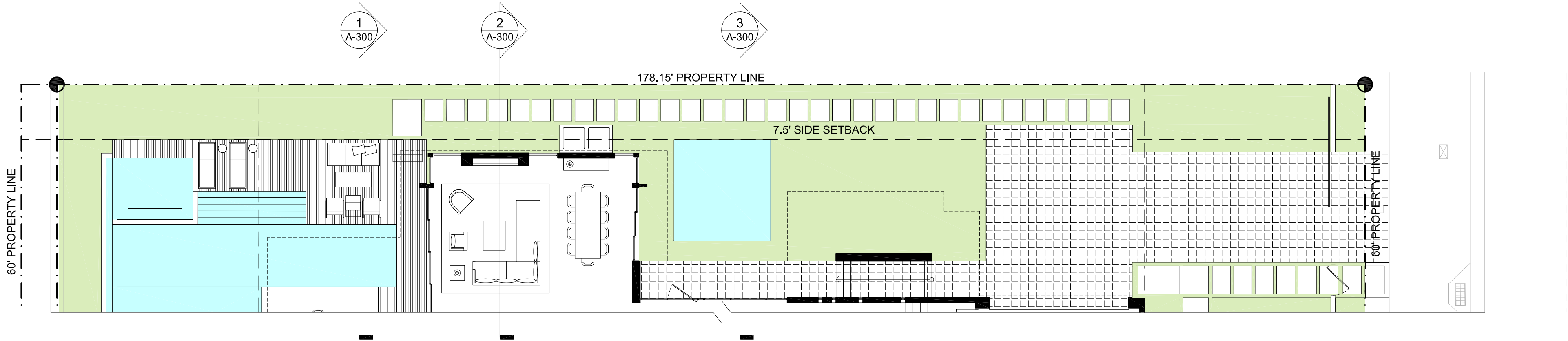
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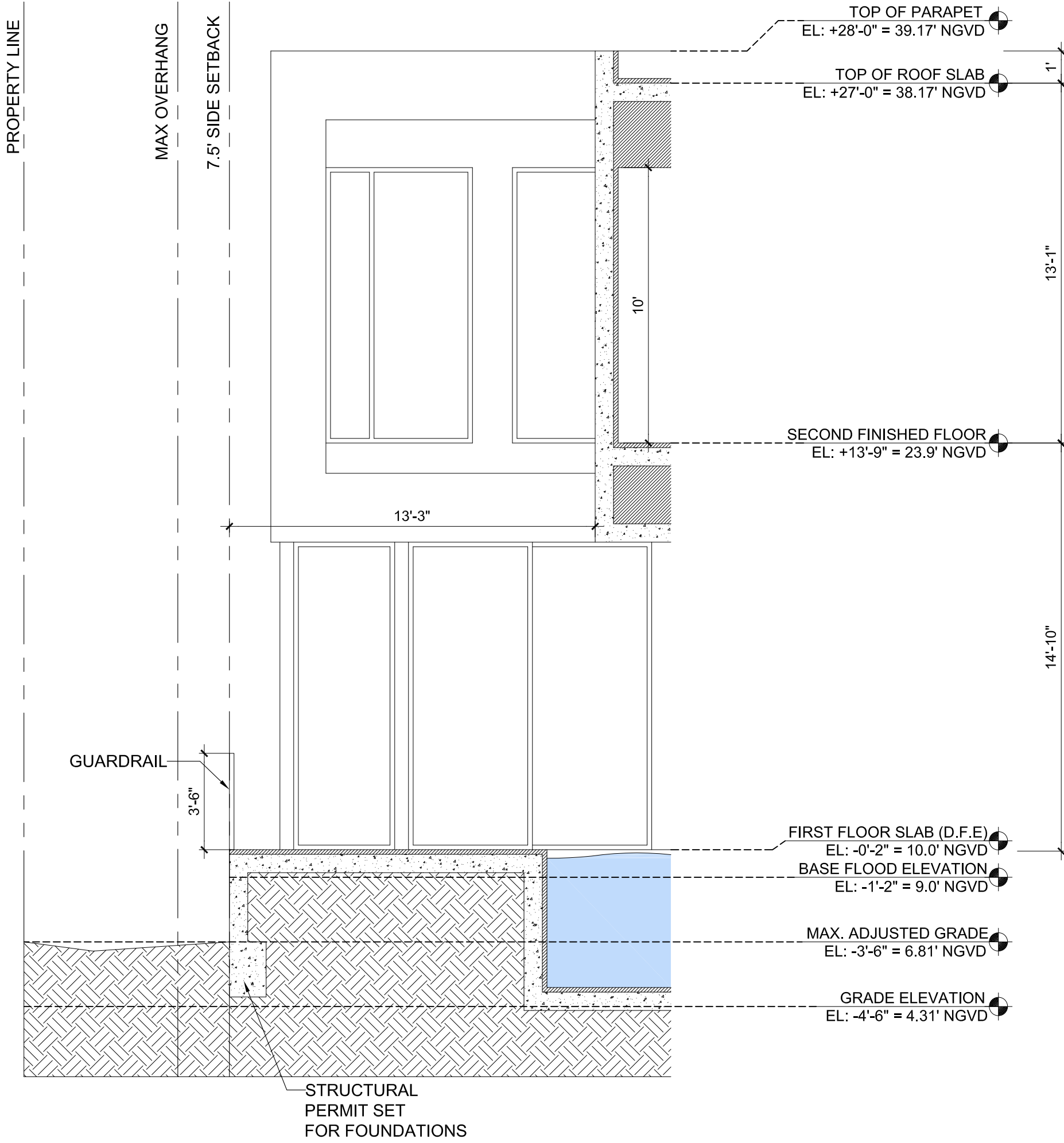
NORTH YARD  
SECTIONS

Sheet No:

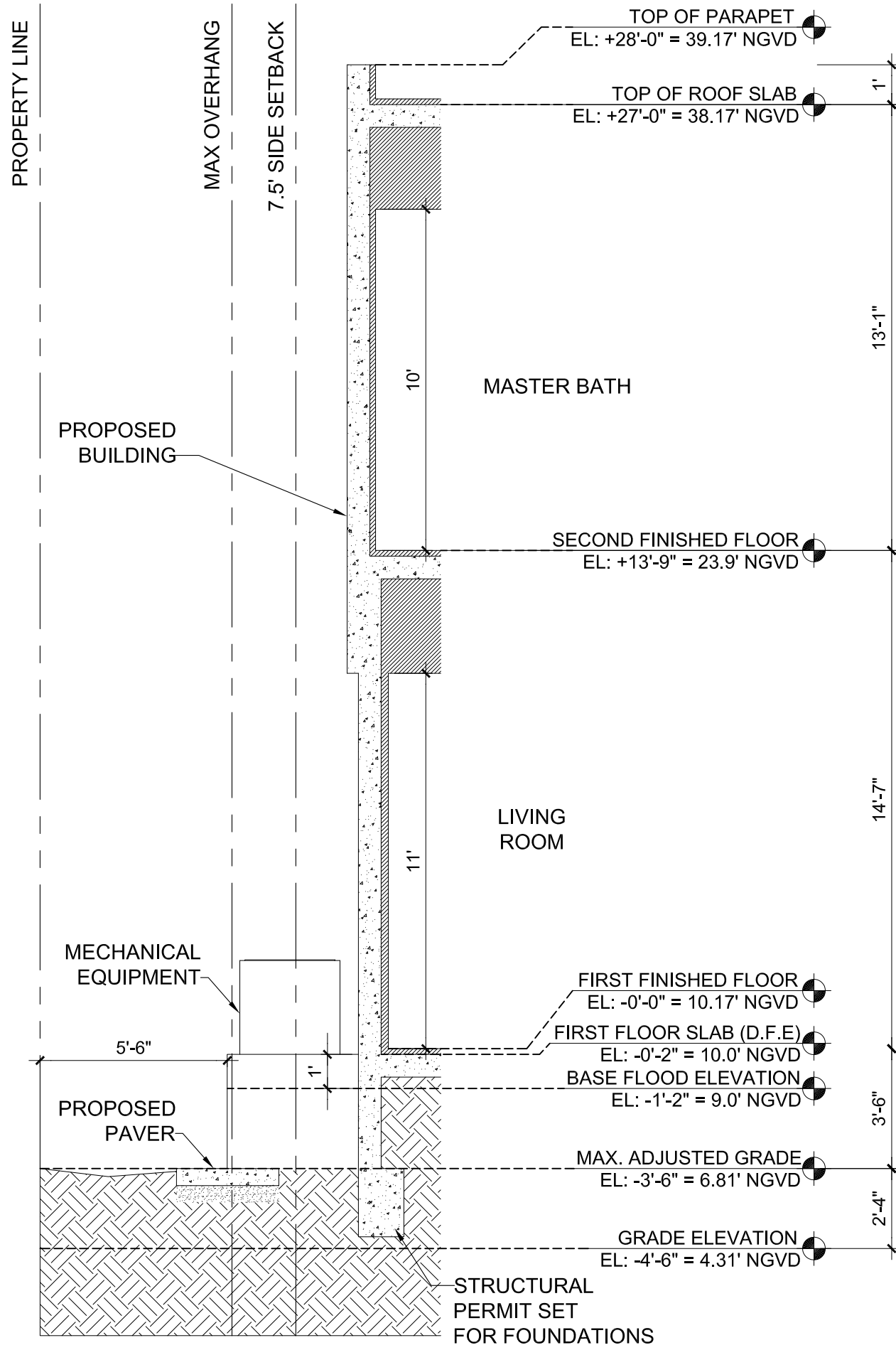
A-300



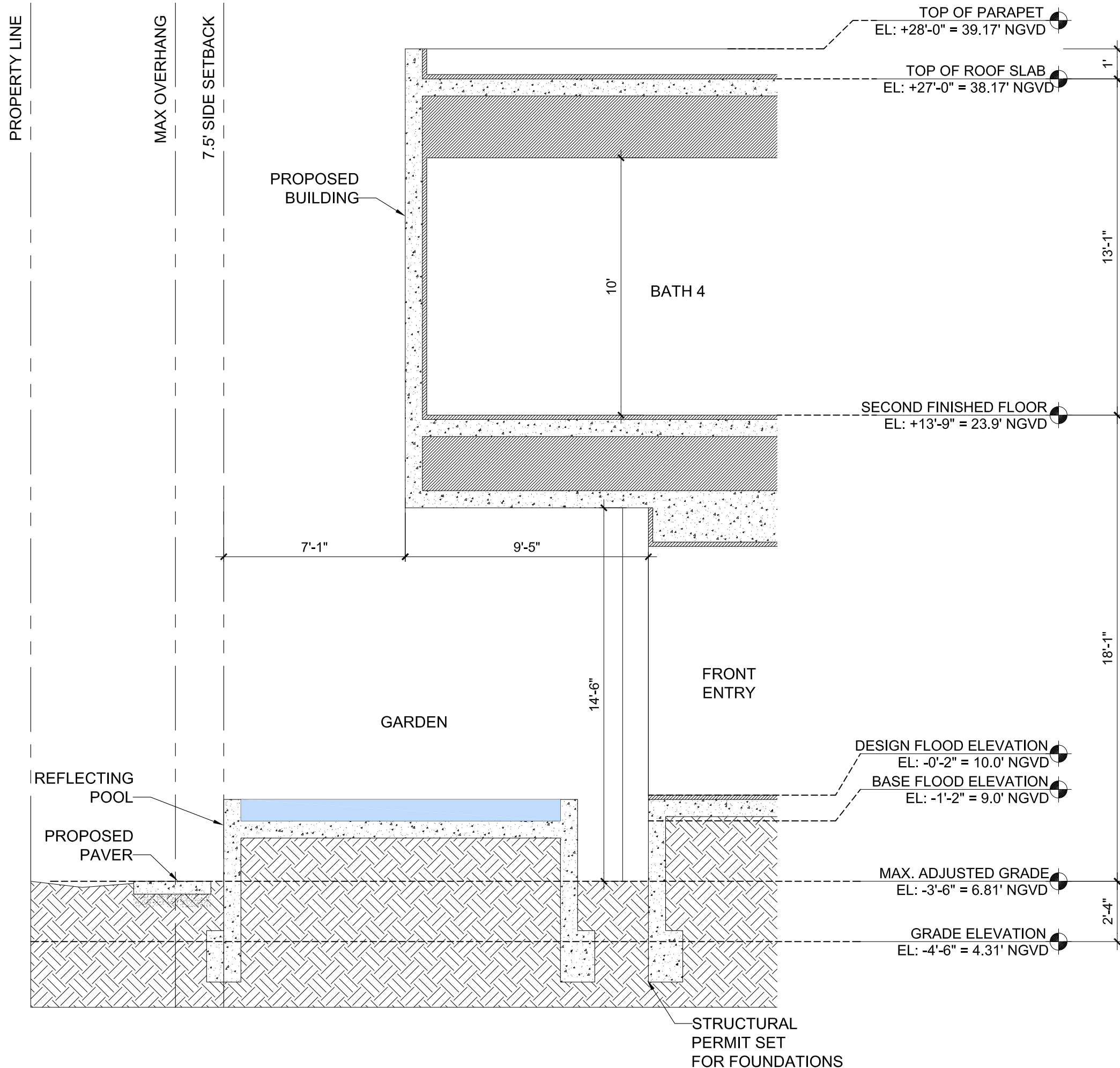
KEY PLAN  
SCALE: 3/32"=1'-0" A



NORTH YARD SECTION 1  
SCALE: 1/4"=1'-0" 1



NORTH YARD SECTION 2  
SCALE: 1/4"=1'-0" 2



NORTH YARD SECTION 3  
SCALE: 1/4"=1'-0" 3



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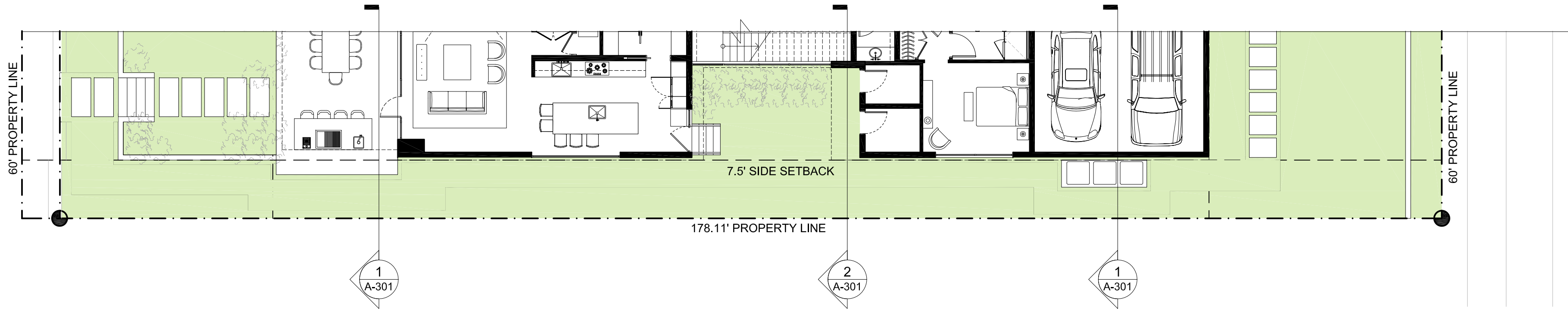
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Sheet Title:

SOUTH YARD  
SECTIONS

Sheet No:

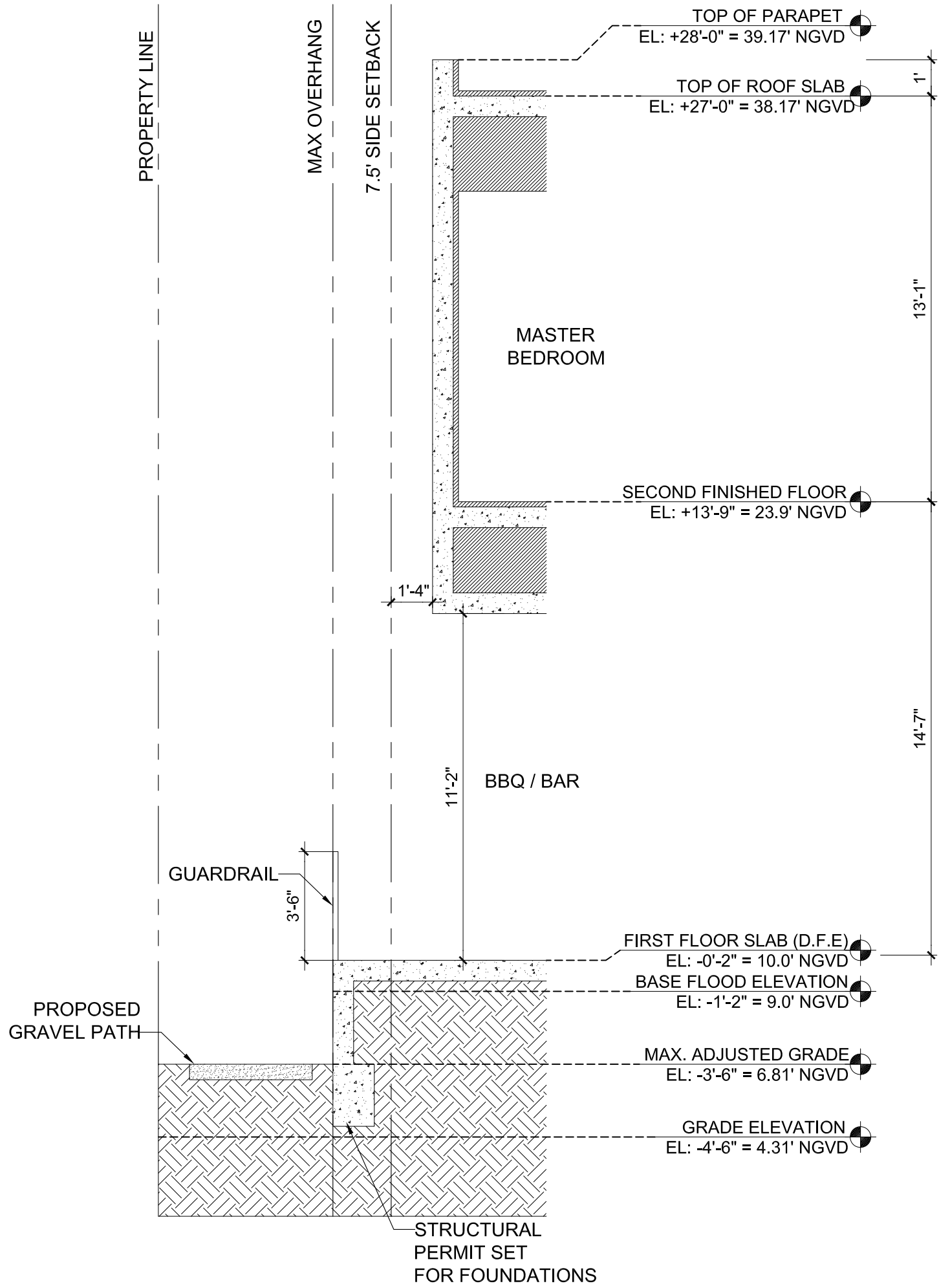
A-301



KEY PLAN

SCALE: 3/32"=1'-0"

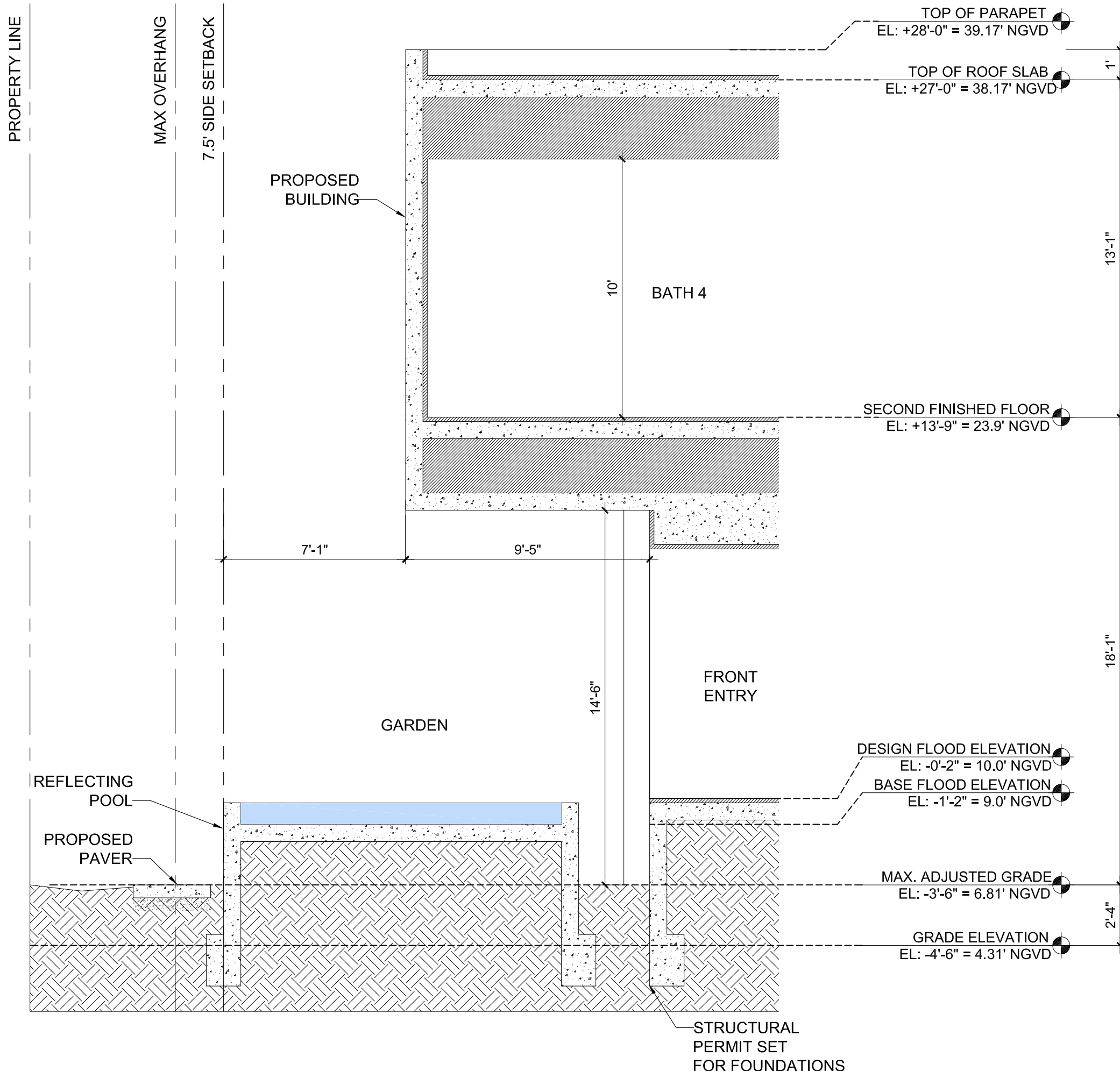
A



SOUTH YARD SECTION 1

SCALE: 1/4"=1'-0"

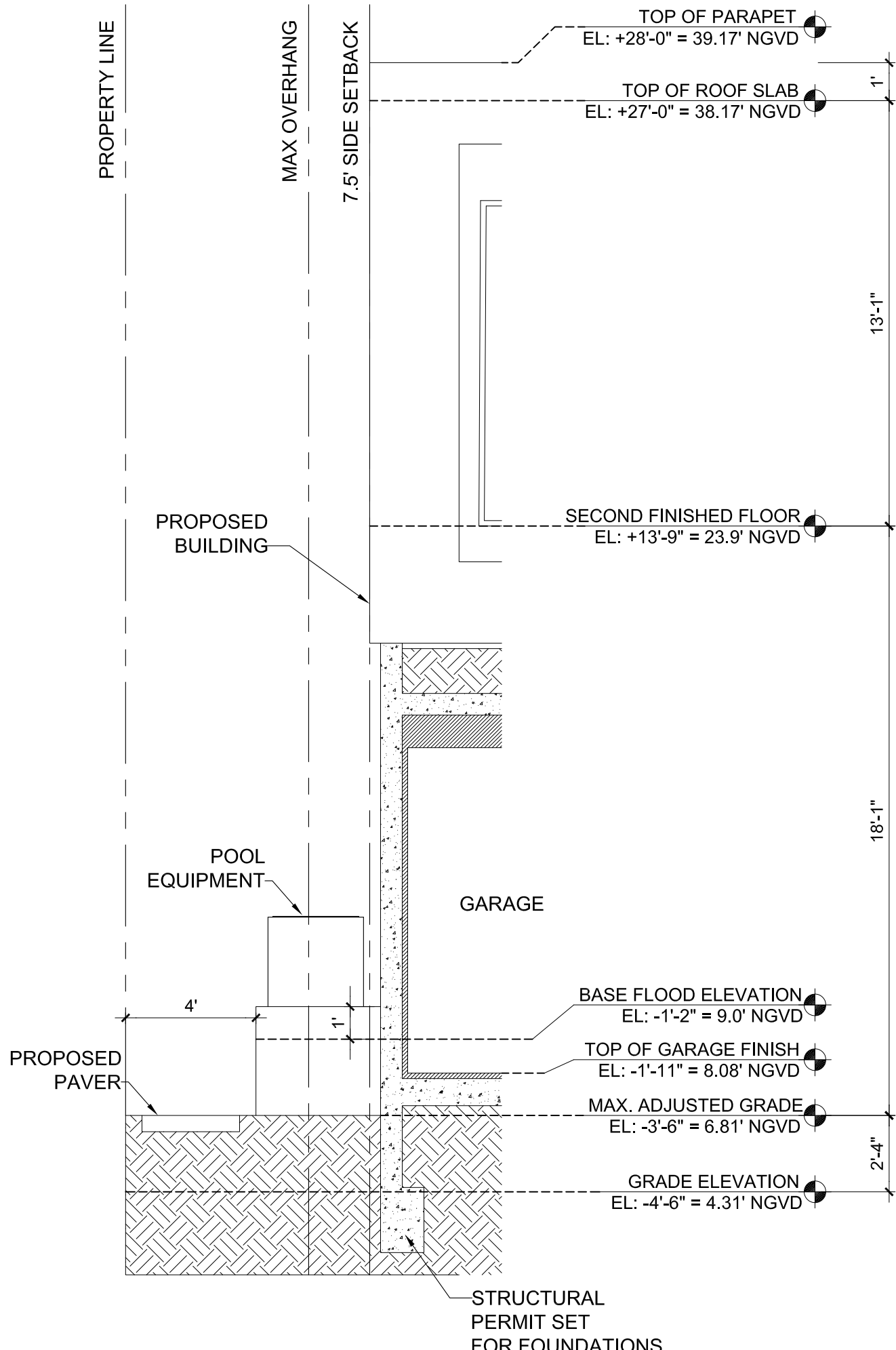
1



SOUTH YARD SECTION 2

SCALE: 1/4"=1'-0"

2



SOUTH YARD SECTION 3

SCALE: 1/4"=1'-0"

3



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PROJECT LOCATION:  
244 WEST RIVO ALTO  
MIAMI BEACH, FL 33139

PROJECT CLIENT(S) / OWNER(S):  
REED ZAROFF

ARCHITECT:  
MAX WILSON STRANG, RA / AIA  
LICENSE # AR0017163  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
ZAROFF RESIDENCE

PROFESSIONAL SEAL(S):


	12-08-17	FINAL SUBMITTAL SET
No.	DATE	DESCRIPTION

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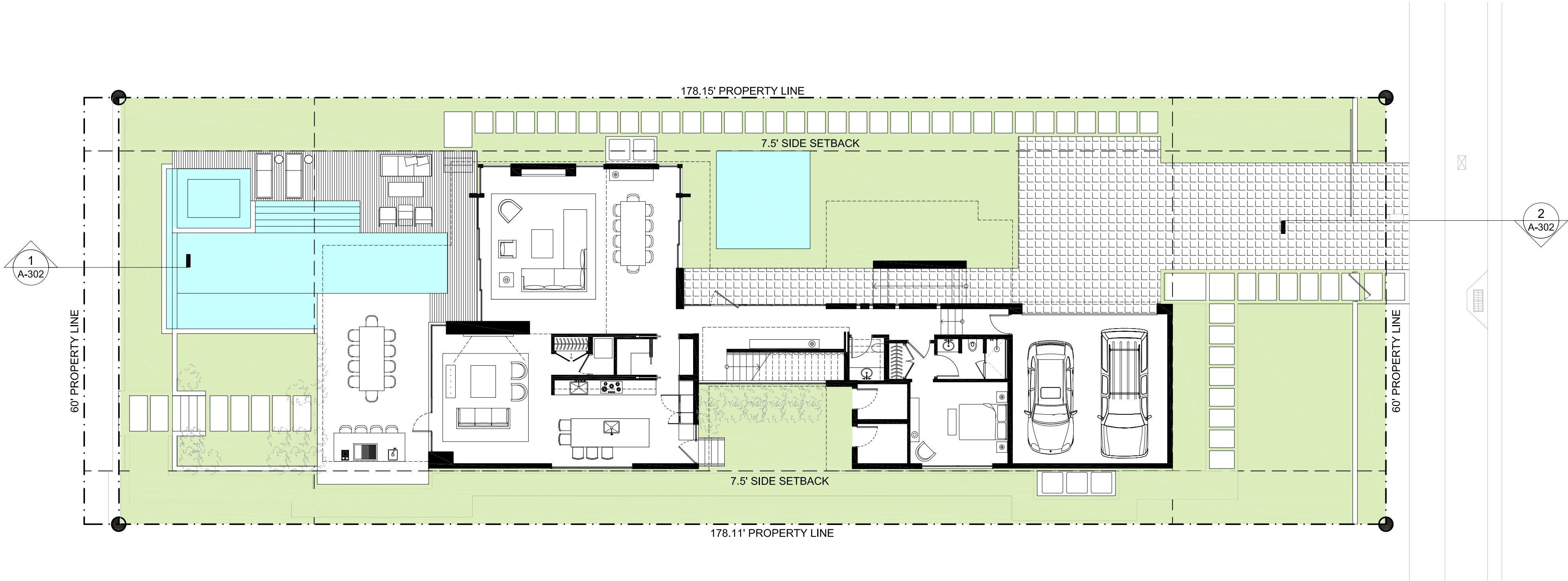
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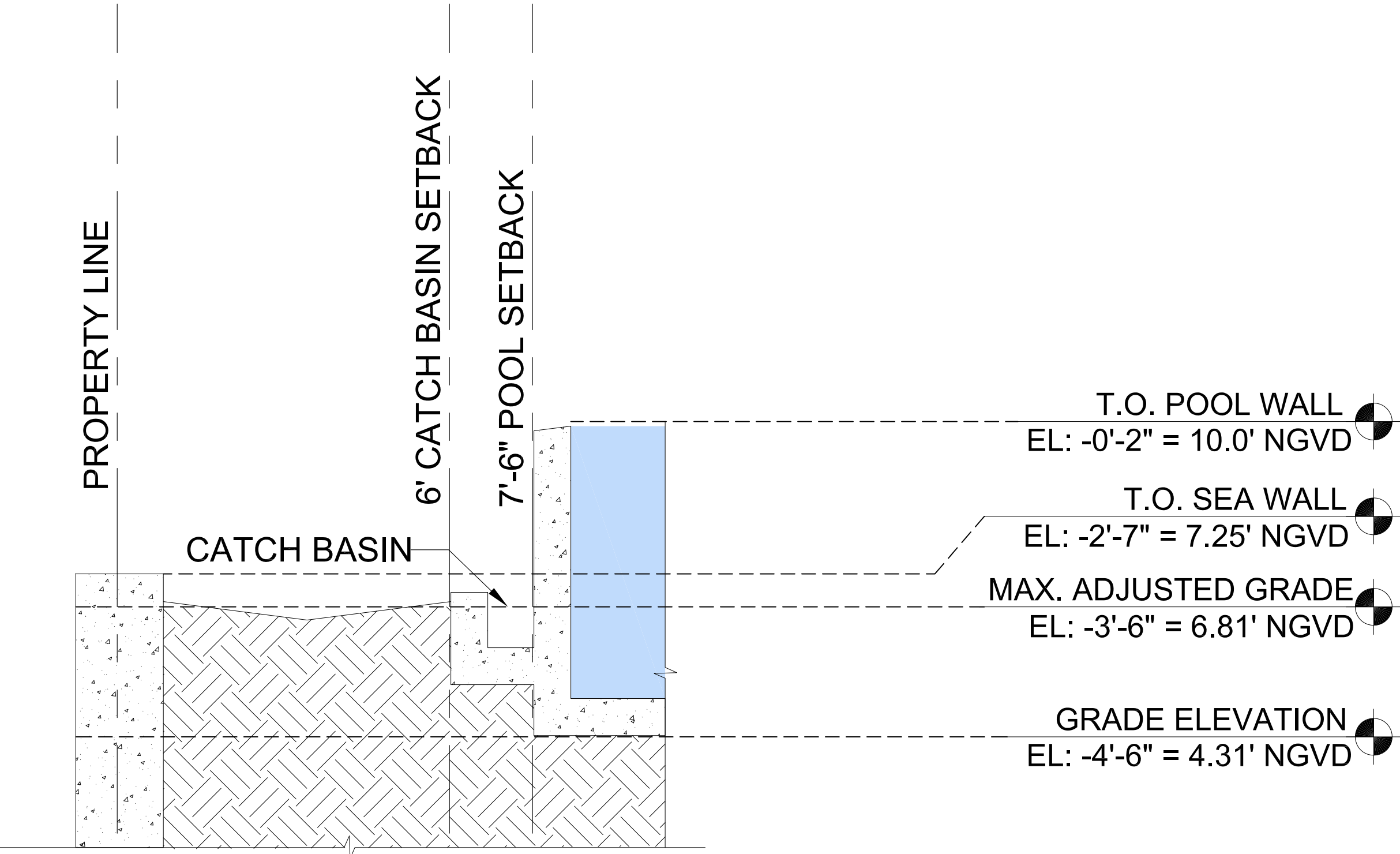
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Sheet No:

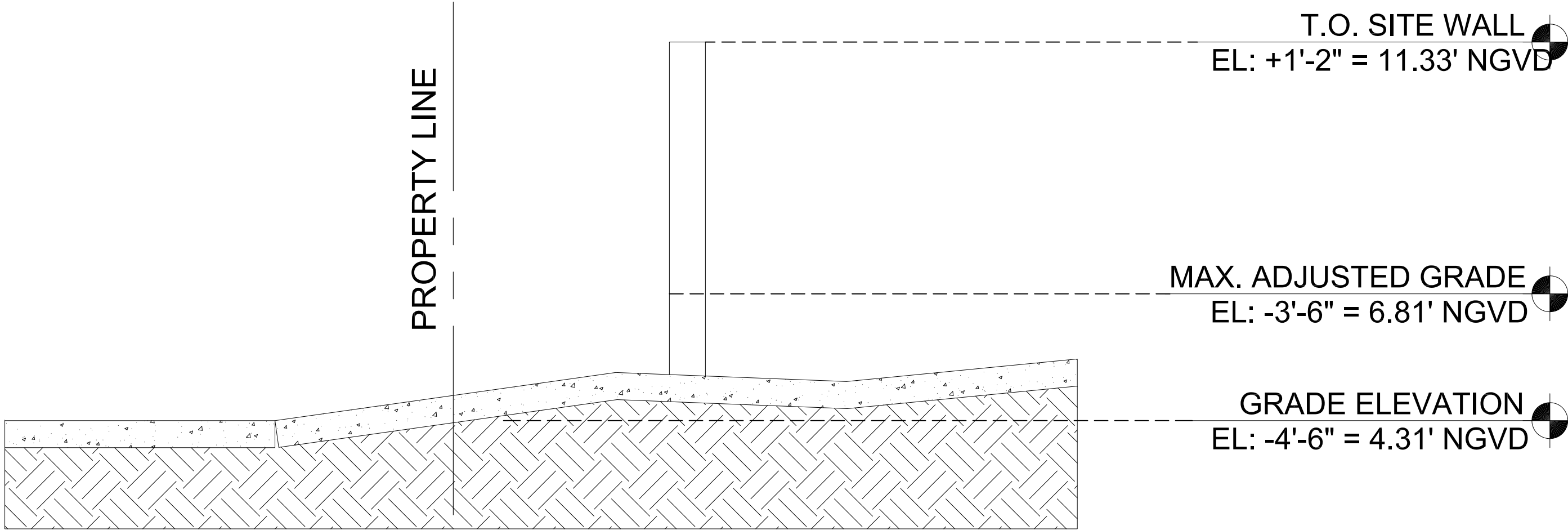
A-302



KEY PLAN  
SCALE: 1/2"=1'-0"



WEST SIDE YARD SECTION  
SCALE: 1/2"=1'-0"



DRIVEWAY SIDE YARD SECTION  
SCALE: 1/2"=1'-0"





ENTRY DRIVE PERSPECTIVE  
SCALE: N.T.S.

1



STREET PERSPECTIVE  
SCALE: N.T.S.

2

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## PERSPECTIVES

Sheet No:

# A-900





DOCK PERSPECTIVE  
SCALE: N.T.S.

1



WATERFRONT PERSPECTIVE  
SCALE: N.T.S.

2

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TBD

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GENERAL CONTRACTOR  
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Sheet Title:

PERSPECTIVES

Sheet No:

A-901





REAR YARD VIEW  
SCALE: N.T.S.

1



DOCK VIEW  
SCALE: N.T.S.

2

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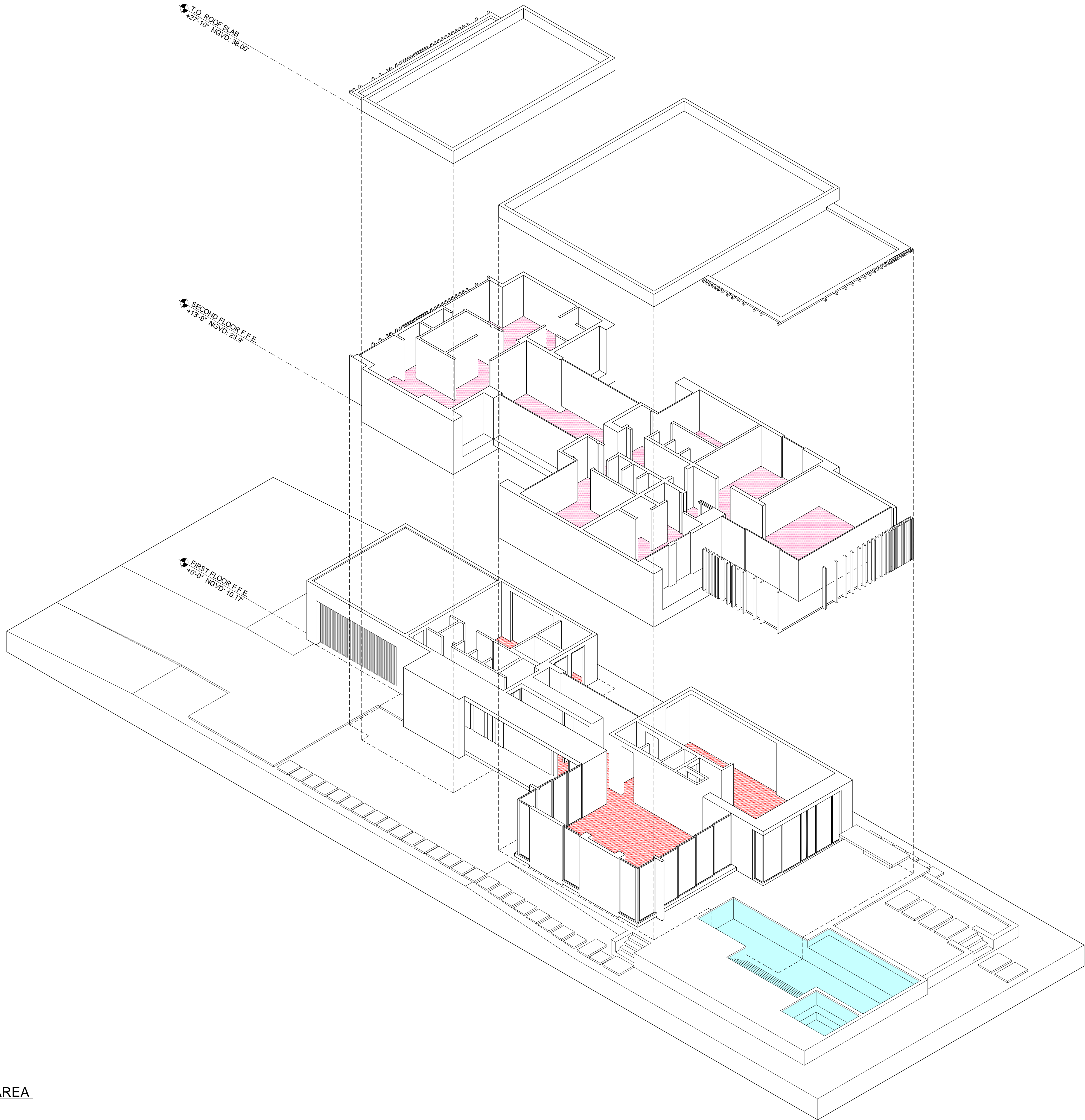
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PERSPECTIVES

Sheet No:

A-902





1 AXONOMETRIC  
SCALE: 3/32" = 1'-0"

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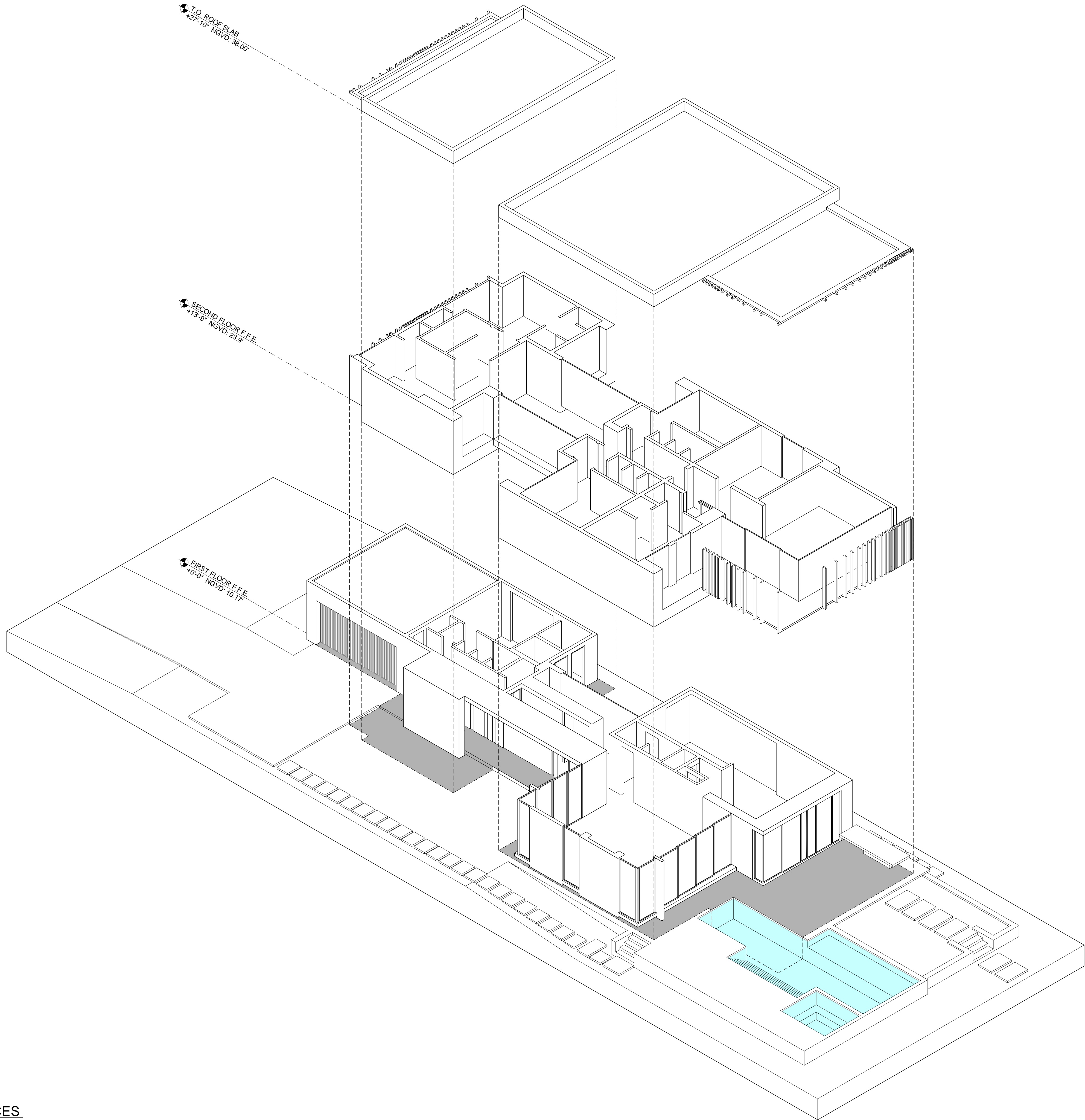
Sheet Title:

ENCLOSED  
SPACE  
DIAGRAM

Sheet No:

A-1000





● EXTERIOR COVERED SPACES  
1,236 SF

1 AXONOMETRIC  
SCALE: 3/32" = 1'-0"

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TBD

MEP ENGINEERING:  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
ZAROFF RESIDENCE

PROFESSIONAL SEAL(S):


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Sheet Title:

SECOND FLOOR  
RATIO WAIVER

Sheet No:

A-1001



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Sheet Title:

## Sheet No:

# A-1100





GENERAL NOTES:

- 1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.
- 2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING BUT, NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- 4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.
- 5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.
- 8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR.
- 9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.
- 10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- 11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- 13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
- 14.) ALL PLANT MATERIAL TO BE FLORIDA #1 QUALITY PER FENGLA GRADES AND STANDARDS.
- 15.) THE CONTRACTOR SHALL SUBMIT IMAGES OF ALL LANDSCAPE MATERIAL FOR APPROVAL OF LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- 16.) CONTRACTOR SHALL SUBMIT IMAGES OF ALL SPECIMEN MATERIALS FOR CLIENT APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- 17.) LANDSCAPE ARCHITECT SHALL APPROVE LAYOUT OF ALL MATERIALS PRIOR TO INSTALLATION UNLESS WRITTEN APPROVAL BY LANDSCAPE ARCHITECT OR OWNER IS PROVIDED. NOTIFY LANDSCAPE ARCHITECT MINIMUM 18 HOURS PRIOR TO ALL PLANTING.
- 18.) ALL EXISTING TREES AND PALMS TO REMAIN AS NOTED MUST BE PROTECTED FROM DAMAGE. ANY DAMAGED MATERIALS RESULTING IN DEATH OF MATERIAL WILL BE CONTRACTORS RESPONSIBILITY TO REPLACE WITH EQUAL OR GREATER SPECIES.
- 19.) ALL LANDSCAPE WILL BE COVERED WITH 100% AUTOMATIC IRRIGATION. SYSTEM TO INCLUDE RAIN SENSOR AND EFFICIENT IRRIGATION PRACTICE TO MINIMIZE OVER SPRAY.
- 20.) CONTRACTOR RESPONSIBLE FOR ALL SOIL AMENDMENTS INCLUDING PRE-EMERGENT AND TIME RELEASE FERTILIZER TO BE INSTALLED AT TIME OF INSTALLATION.
- 21.) CONTRACTOR SHALL COORDINATE WITH CIVIL DRAINAGE AND ENGINEER TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- 22.) CONTRACTOR TO ENSURE PROPER BRACING AND SUPPORT FOR ALL MATERIALS AS DICTATED BY LOCAL CODE. ALL BRACING TO REMAIN ON THROUGH ONE FULL HURRICANE SEASON. ALL BRACING SHALL BE PAINTED AT A COLOR TO BE SPECIFIED BY THE OWNER.
- 23.) CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 24.) CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 25.) EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

LAYOUT NOTES:

- 1.) LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL LAYOUTS CONTAINED IN THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
- 2.) WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DIMENSIONS FROM REDUCED DRAWINGS.
- 3.) DIMENSIONS REFERRED TO AS "EQUAL" INDICATE SPACING WHICH IS EQUIDISTANT MEASURED TO THE CENTERLINES.
- 4.) MEASUREMENTS ARE TO THE FINISHED FACE OF BUILDINGS, WALLS, OR OTHER FIXED SITE IMPROVEMENTS, DIMENSIONS TO CENTERLINES ARE IDENTIFIED AS SUCH.
- 5.) INSTALL INTERSECTING ELEMENTS AT 90-DEGREE ANGLES, UNLESS OTHERWISE INDICATED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS INDICATED IN CONTRACT DOCUMENTS.
- 6.) SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS, AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.

GRADING NOTES:

- 1.) VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.
- 2.) CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.
- 3.) THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE NAY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 4.) THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS TO VERIFY DRAIN LOCATIONS OVER STRUCTURE. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 5.) THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- 6.) PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- 7.) ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROEJCT LIMIT.
- 8.) ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.
- 9.) ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.
- 10.) THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS "LAWN", UNLESS OTHERWISE NOTED.
- 11.) ALL MANHOLES, VALVES BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITIES RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.
- 12.) SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MAXIMUM, UNLESS OTHERWISE SPECIFIED.
- 13.) GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY AND NON-FREEZING WEATHER CONDITIONS.
- 14.) THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.
- 15.) IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.
- 16.) THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.
- 17.) THE CONTRACTOR SHALL VERIFY ALL CONTROL JOINTS, FINISH FLOOR ELEVATIONS AND PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.
- 18.) THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- 19.) THE GENERAL CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.
- 20.) SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DESCREPANCIES.
- 21.) ALL ELEVATIONS ARE NGVD.

IRRIGATION NOTES:

- 1.) THE IRRIGATION CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE MANDATED IRRIGATION ORDINANCES AND CODES, AND WILL SECURE ALL REQUIRED PERMITS.
- 2.) ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.
- 3.) ALL IRRIGATED AREAS SHALL BE INSTALLED TO RECEIVE HEAD-TO-HEAD COVERAGE, ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.
- 4.) ALL SHRUB, TURF AND TREE BUBBLER AREAS SHALL BE ZONED SEPARATELY.
- 5.) ALL TREES SHALL RECEIVE (2) BUBBLERS AT TRUNK LOCATION.
- 6.) SYSTEM SHALL INCLUDE A RAIN SENSOR.
- 7.) THE PROPOSED LOCATION OF ALL ABOVE-GROUND EQUIPMENT INCLUDING BACKFLOW PREVENTORS, CONTROLLERS, AND WEATHER SENSORS SHALL BE STAKED BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

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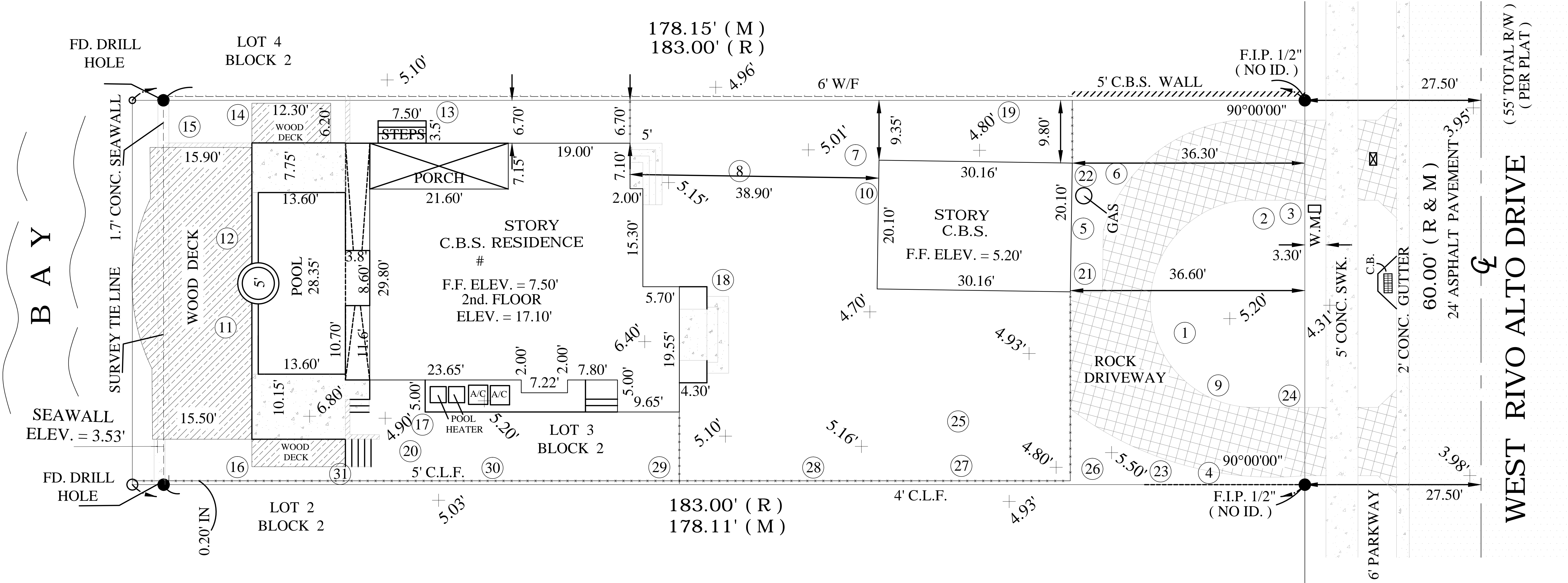
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GENERAL  
NOTES

Sheet No:

L-100





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EXISTING  
SURVEY

Sheet No:

L-101

SURVEY BY BLANCO  
SURVEYOR: 11/16/2017

