

SCOPE OF WORK

1. DESCRIPTION OF WORK: NEW CONSTRUCTION 2 STORY SINGLE FAMILY RESIDENCE
2. SCOPE OF WORK INCLUDES:
2.1 DEMOLITION OF EXISTING STRUCTURE
2.2 NEW CONSTRUCTION 2 STORY SINGLE FAMILY RESIDENCE
DRB SUBMITTAL DEADLINE DATE: 12/8/17

COVER

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR :

64 PALM AVENUE

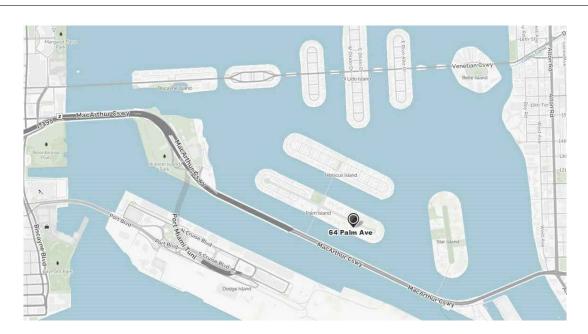
MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 /</u> 17

 $D\emptyset.\emptyset$

sheet no.











NEIGHBORHOOD MAP

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SITE LOCATION AND INDEX

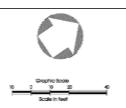
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

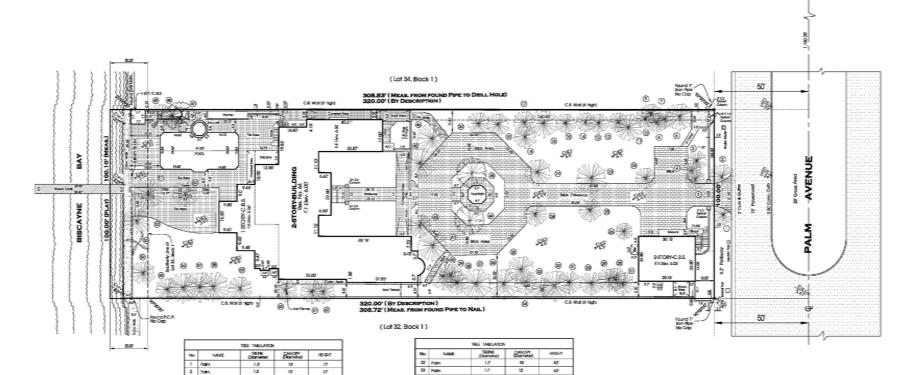
MR. & MRS. SARRIA 64 PALM AVENUE

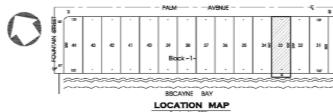
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date <u>12 / 8 / 17</u> sheet no.

DØ.1







LEGAL DESCRIPTION

Let 33 and 20,00 foot adjacent ship in the boy, Book 1, PALM SLAND, according to the plat thereof, as recorded in Plat Book 6, at Page 54, of the Public Recards, of Miami-Dade County Rolda.

Property Address: 64 Palm Avenue, Mami Beach, Forlda, 33139.

SURVEYOR'S NOTES

- The above captioned Property was surveyed and described based on the above Legal Description furnished by Client.
- tumshed by Ollent.

 2 This Certification is only for the Lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances, <u>ASSTRACT NOT REVIEWED</u>.

 3) There may be additional flestrictors not shown on this survey that may be found in the Public Records of this County, Examination of <u>ASSTRACT OF TITLE</u> will have to be made to determine recorded instruments, if any affecting this property.
- Ownership subject to OPINION OF TITLE.

- Reasonable efforts were made to the existence and location of the above ground Utilities. This firm does not accept responsibility for any Underground Information. Sefore excavation or construction contact the appropriate Utility companies for verification.

 The subject property is bootled within a Rooal Hazard Area as defined by the Federal Insurance Administration, Community Panel No. 120651-0318 Surflx 1" Rood Zone "AE". Base Bevation: 9.00" feet. Map Date: March 2, 1994, (Revised).
- This PLAN OF SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certifical does not extend to any unnamed partly.
- Zoning, Zoned Street lines, Set-books, Undergrounds, Easements (not in Plat) and Right-of-Ways, etc... to be verified and/or obtained by owner. Architect or Bullater before design or construction.
- 10) Precision of closure 1:7,500 Suburban Class Survey.

FOR THE BENEFIT OF:

1) RICARDO SARRIA

REVISIONS			ABBREVIATIONS	S
Date	Description	J.N.		
05/24/93	Ray, to show New improvements	6450	P.O.S Point of Beginning 9,/W 5 C.R.S Official Record Book Becs 8 P.O.S Point of Commerce Nav 0	gth-of-1 ecsured
01/12/05	Ray, to show Up-Date Survey	18586	P.R.W Permonent Reference Manument Sav St	ection orth
101617	Update Survey (Time Survey)	29682	CA Certains \$ S Air America	m ²
			St Street Sex S	est exertion
		_	Eyer, Erersechment Ste S	vert lofice mon Verb
		_	R Radius Sak S	encrivan devek st sveles
		_	MH — Montries F.F. —— F	oc overco od Pump

Plan of Survey

— € - FOUNTAIN STREET - -

THIS IS NOT A VALID CERTIFICATION OR REPRODUCTION OF THIS DRAWING WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED BMBOSSED SEAL PRESENT



NOTE: THIS SURVEY IS FOR REFERENCE ONLY. REFER TO SIGNED AND SEALED SURVEY PROVIDED SEPARATELY.

SURVEY

REGISTRATION NO.: AA 0002588

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

64 PALM AVENUE

MR.

MRS. SARRIA

date <u>12 / 8</u> / 17

MIAMI BEACH, FLORIDA

DØ.2



FRONT VIEW - STREET



2 GARAGE VIEW



3 FRONT VIEW



4 RIGHT FRONT VIEW



EXISTING SITE CONTEXT

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RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

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sheet no.

DØ.3



5 RIGHT FRONT VIEW



6 RIGHT SIDE VIEW





EXISTING SITE CONTEXT

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

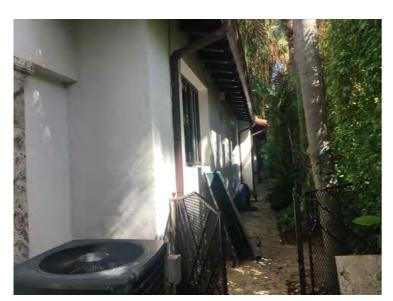


8 REAR VIEW









LEFT SIDE VIEW





EXISTING SITE CONTEXT



RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA



FRONT AERIAL VIEW SCALE: N.T.S.

REAR AERIAL VIEW

EXISTING AERIAL CONTEXT



RESIDENCE FOR :

MR. & MRS. SARRIA date 12/8/17 sheet no. 64 PALM AVENUE

MIAMI BEACH, FLORIDA

DØ.4











70 PALM AVENUE

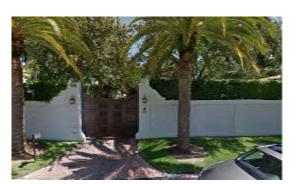
80 PALM AVENUE

PALM AVENUE



0 49 PALM AVENUE

5 48 PALM AVENUE



9 55 PALM AVENUE



8 65 PALM AVENUE



73 PALM AVENUE



6 81 PALM AVENUE



NEIGHBORHOOD CONTEXT SCALE : N.T.S.



NEIGHBORHOOD CONTEXT

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

date <u>12 / 8 / 1</u>7 sheet no.

MIAMI BEACH, FLORIDA

DØ.5











64 PALM AVENUE

70 PALM AVENUE

80 PALM AVENUE

PALM AVENUE











49 PALM AVENUE

55 PALM AVENUE

65 PALM AVENUE

13 PALM AVENUE

81 PALM AVENUE

EXISTING STREETSCAPE

SCALE : N.T.S.

STREETSCAPE

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 1</u>7 sheet no.

DØ.6











48 PALM AVENUE

56 PALM AVENUE

64 PALM AVENUE

70 PALM AVENUE

80 PALM AVENUE

PALM AVENUE











49 PALM AVENUE

55 PALM AVENUE

65 PALM AVENUE

13 PALM AVENUE

81 PALM AVENUE

PROPOSED STREETSCAPE

SCALE : N.T.S.

STREETSCAPE

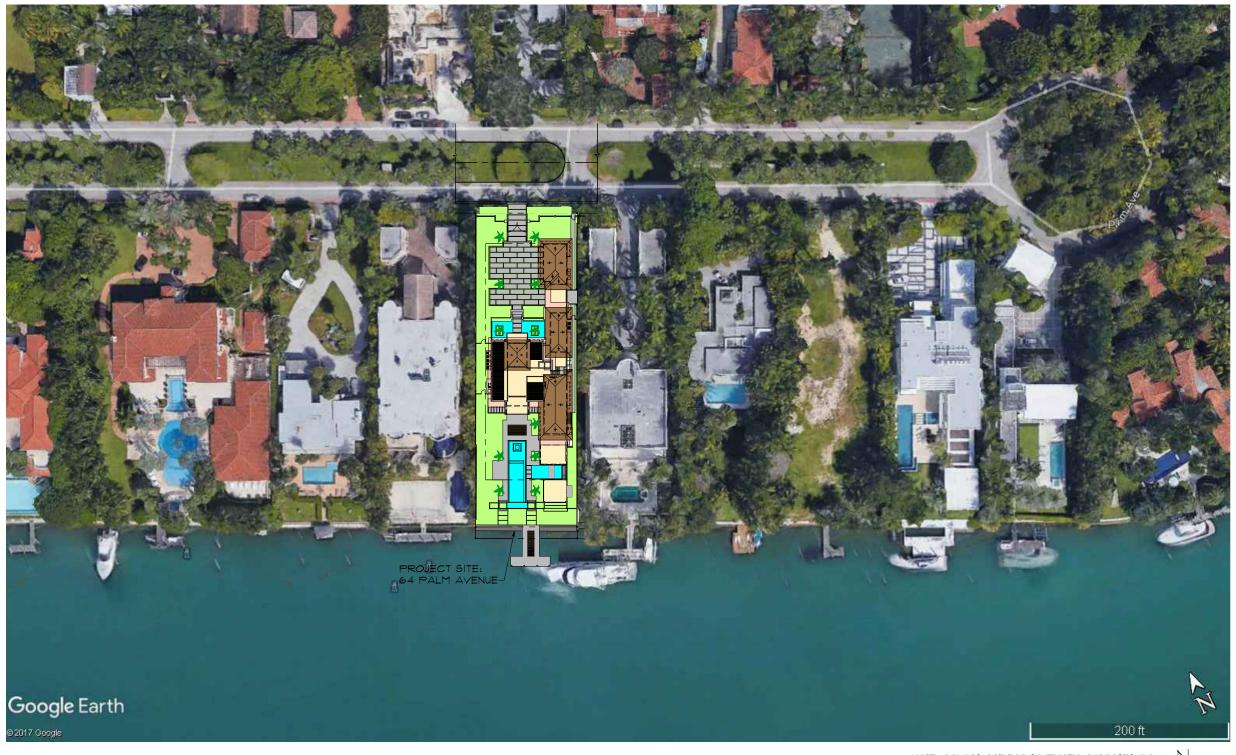
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR :

MR. & MRS. SARRIA 64 PALM AVENUE

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 1</u>7 sheet no.

DØ.6.1



NOTE: COLORS ARE FOR SCHEMATIC PURPOSES ONLY.

AERIAL SITE CONTEXT

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

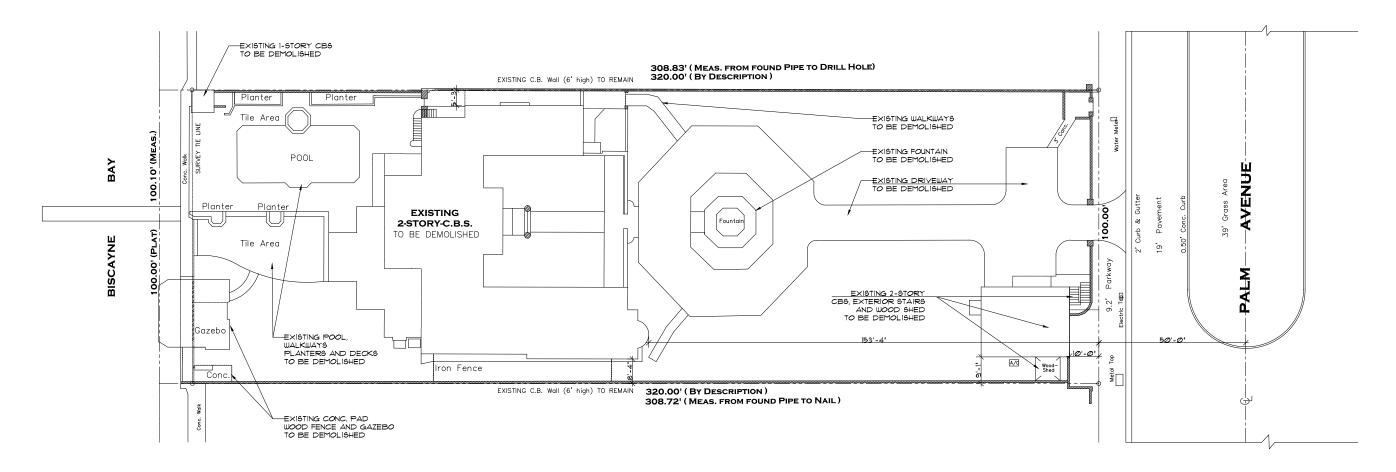
RESIDENCE FOR :

MR. & MRS. SARRIA 64 PALM AVENUE

date <u>12 / 8 /</u>17

MIAMI BEACH, FLORIDA

sheet no. DQ.7



GENERAL NOTES :

PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SITE TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE NEIGHBORS.

DISCONNECT & CAP OFF THE EXISTING SEWER, AND WATER LINES.

DISCONNECT THE EXISTING ELECTRICAL SYSTEM.

CONTRACTOR SHALL CONTROL DUST & DEBRIS THROUGHOUT THE DEMOLITION PROCESS.

CONTRACTOR IS TO BE CAREFUL NOT TO DAMAGE ANY EXISTING STRUCTURE TO REMAIN.

DEMOLITION SITE PLAN

REGISTRATION NO. : AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 DEMOLITION SITE PLAN



date <u>12 / 8</u> / 17

RESIDENCE FOR:

MRS. SARRIA

sheet no.

64 PALM AVENUE

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MIAMI BEACH, FLORIDA



FRONT RENDERING

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA



REAR RENDERING A

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MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u>



REAR RENDERING B

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u>

ZONING DATA:

PROJECT DESCRIPTION:

NEW CONSTRUCTION - SINGLE FAMILY

MUNICIPALITY: MIAMI BEACH

STREET ADDRESS: 64 PALM AVENUE,

MIAMI BEACH, FL 33139-5138

FOLIO NUMBER: 02-4205-001-0300

ZONING DISTRICT: RS-1 FEMA ZONE: AE-9 BFE: 9 N.G.V.D.

CODE OF ORDINANCES' REFERENCES:

LOT AREA: 142-105

MINIMUM LOT WIDTH: 142-105 GROSS BUILDING AREA: 142-105

LOT COVERAGE: 142-105 BUILDING HEIGHT: 142-105 BUILDING SETBACKS: 142-106 FENCE HEIGHT: 142-1132

DRIVEWAYS: 142-1132 POOL SETBACK: 142-1132

PROJECTIONS: 142-105, 142-1132

OTHER DIMENSIONAL REQUIREMENTS: 142-105

ZONING AREA CALCULATIONS:

	ALLOWED	PROVIDED
LOT SIZE	30,000 S.F. MIN.	30,872 S.F.
LOT COVERAGE	9,261 S.F MAX.(30%)	7,653 S.F (24.79%)
UNIT SIZE	15,436 S.F. (50%)	14,233 S.F (46.10%)
GROUND LEVEL	_	7,706 S.F.
SECOND LEVEL	5,394 S.F. MAX. (70% GROUND)	6,452 S.F. (83.72%)
ROOF	_	75 S.F.
ROOF TERRACE	1,019 S.F. MAX. (25% OF ROOF AREA (4,833 S.F.) OF FLOOR AREA DIRECTLY BELOW)	704 S.F. (14.5%)

MIAMIBEACH

Planning Department, 1700 Convention Center Drive Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM#	ZONING INFORMATION			
1	ADDRESS:	64 PALM AVENUE		
2	FOLIO NUMBER(S):	02-4205-001-0300		
3	BOARD AND FILE NUMBERS:			
4	YEAR BUILT:	1932	ZONING DISTRICT:	RS-1
5	BASE FLOOD ELEVATION:	9'-0" N.G.V.D.	GRADE VALUE IN N.G.V.D.:	5.47' N.G.V.D.
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7.35' N.G.V.D.	FREE BOARD:	1'-0"
7	LOT AREA:	30,872 S.F.		
8	LOT WIDTH:	100.00	LOT DEPTH:	E=308.72/W=308.83
9	MAX. LOT COVERAGE S.F. AND %:	9,261 S.F. (30%)	PROPOSED LOT COVERAGE S.F. AND %:	7,653 S.F. (24.79%)
10	EXIST. LOT COVERAGE AND %:	5,868 S.F. (19%)	LOT COVERAGE DEDUCTED (GARAGE/STORAGE) S.F.:	500 S.F. (GARAGE)
11	FRONT YARD OPEN SPACE S.F. AND %:	1,437 S.F. (71.8%)	REAR YARD OPEN SPACE S.F. AND %:	3,263 S.F. (70.3%)
12	MAX. UNIT SIZE S.F. AND %:	15,436 S.F. (50%)	PROPOSED UNIT SIZE S.F. AND %:	14,233 S.F. (46.10%)
13	EXISTING FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE:	7,706 S.F.
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE S.F. AND	
			% (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE	
			MAIN HOME REQUIRES DRB APPROVAL)	6,665 S.F. (86.49%)
15			PROPOSED SECOND FLOOR UNIT SIZE S.F. AND %:	6,472 S.F. (83.72%)
16			PROPOSED ROOF DECK AREA S.F. AND % (NOTE:	
			MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA	
			DIRECTLY BELOW):	704 S.F. (14.5%)

		REQUIRED:	EXISTING:	PROPOSED:	DEFICIENCIES:
17	HEIGHT:	31'		32' (WAIVER)	N/A
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20'	153'-4"'	30'	N/A
20	FRONT SECOND LEVEL:	30'	153'-4"'	30'	N/A
21	RIGHT SIDE:	10'	5'-3"	15'-1"	N/A
22	LEFT SIDE:	10'	8'-4"	10'-0"	N/A
23	REAR (15% OF LOT DEPTH):	46'-4"	57'-8"	64'-11"	N/A
	ACCESSORY STRUCTURE REAR:	23'-2"	N/A	23'-11"	N/A
24	ACCESSORY STRUCTURE LEFT SIDE:	7'-6"	N/A	10'-0"	N/A
25	ACCESSORY STRUCTURE RIGHT SIDE:	7'-6"	N/A	66'-8"	N/A
26	SUM OF SIDE YARD:	20'	N/A	25'-1"	N/A
27	LOCATED WITHIN A LOCAL HISTORIC D	ISTRICT?		YES OR NO	
28	DESIGNATED AS AN INDIVIDUAL HISTOR	RIC SINGLE FAMILY RES	IDENCE SITE?	YES OR NO	
29	DETERMINED TO BE ARCHITECTURALLY	SIGNIFICANT?		YES OR NO	

ZONING DATA AND CALCS/ CODE REFERENCES

REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

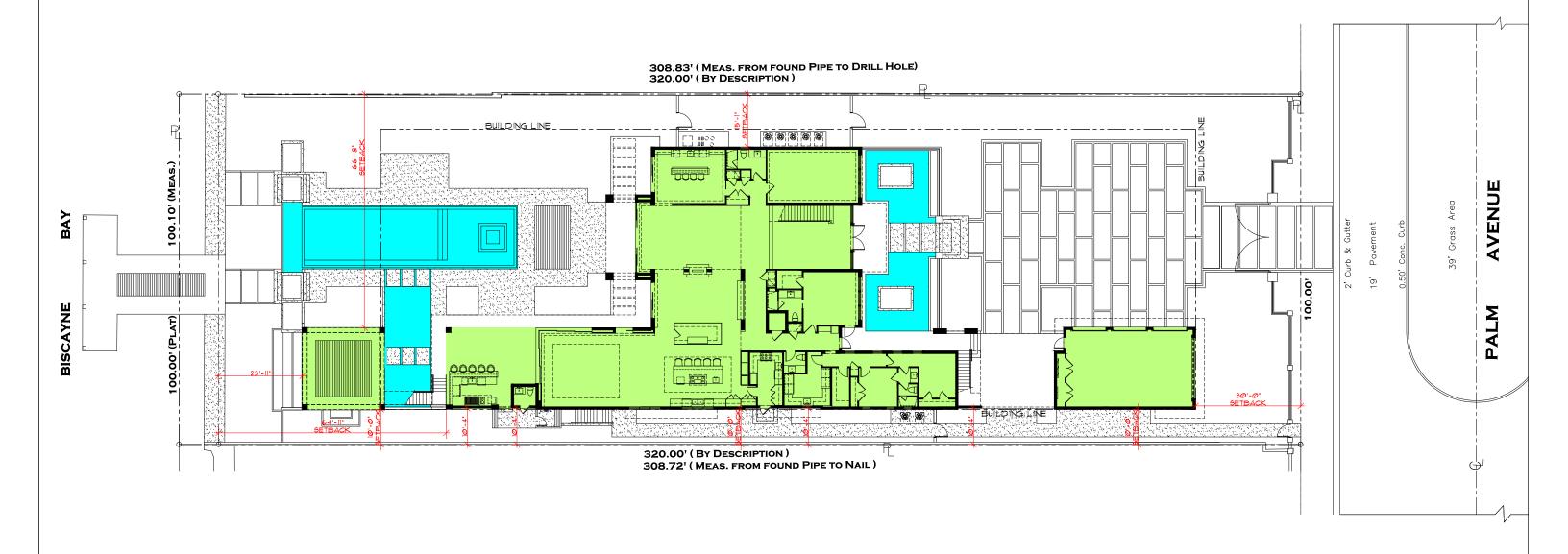
64 PALM AVENUE

MR. & MRS. SARRIA

date <u>12 / 5</u> / 17 sheet no.

MIAMI BEACH, FLORIDA

D2.0.A



BUILDING FOOTPRINT WATER FEATURES

SETBACKS DIAGRAM SCALE : 1" = 25'-0"



SETBACKS DIAGRAM

REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155

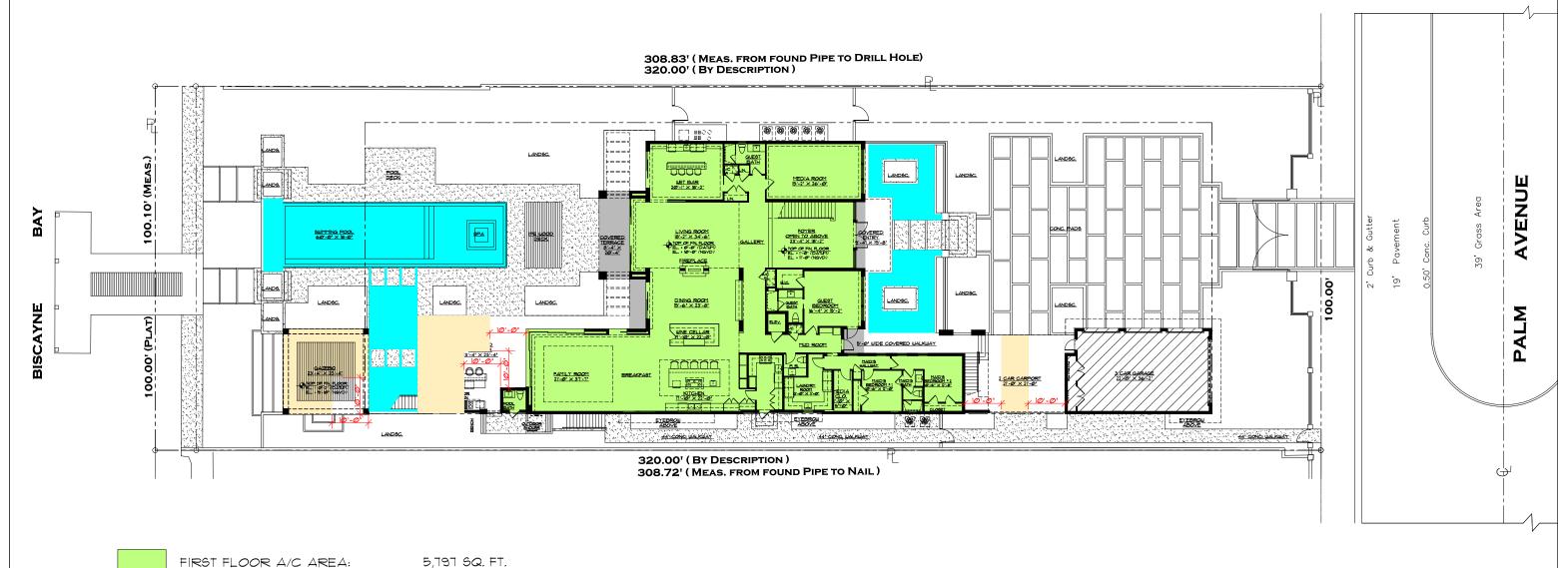
RESIDENCE FOR:

64 PALM AVENUE

MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5 / 17</u> sheet no.



FIRST FLOOR A/C AREA:

COVERED AREAS : (ENCLOSED BY STRUCTURE

346 SQ. FT.

COVERED AREAS :

(AREAS PROJECTING MORE 1,010 SQ. FT.

THAN 10 FEET)

GARAGE:

ON THREE OR MORE SIDES)

930 SQ. FT.

TOTAL LOT COVERAGE:

7,653 SQ. FT.

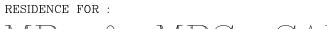
LOT COVERAGE

REGISTRATION NO. : AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 OT COVERAGE

SCALE : 1" = 25'-0"



WATER FEATURES



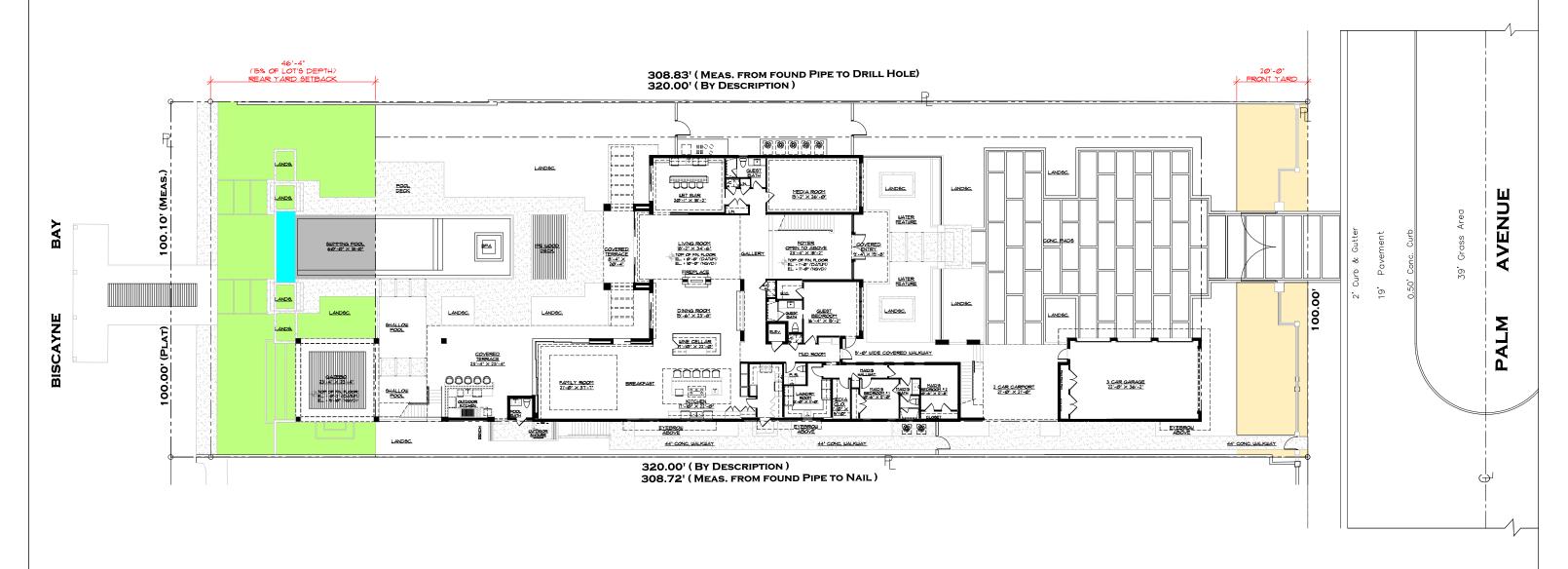
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MRS. SARRIA

MIAMI BEACH, FLORIDA

sheet no.

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REAR YARD AREA: 4,638 SQ. FT.
MIN. OPEN AREA REQUIRED: 3,244 SQ. FT.
(10% OF REAR YARD AREA)

GREEN AREA PROVIDED: 2,953 SQ. FT.

POOL SHALLOW AREA: 106 SQ. FT. (ELEV. BELOW ADJUSTED GRADE)

POOL AREA (405 SQ. FT. / 2): 202 SQ. FT.

TOTAL PROVIDED (70.3%): 3,263 SQ. FT.

FRONT YARD AREA: 2,000 SQ. FT.
MIN. PERVIOUS AREA REQUIRED: 600 SQ. FT.
(30% OF FRONT YARD AREA)

GREEN AREA PROVIDED (71.8%): 1,437 SQ. FT.

OPEN AREAS DIAGRAM



OPEN AREAS DIAGRAM

ARCHITECTURE INC
REGISTRATION NO.: AA 0002588
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

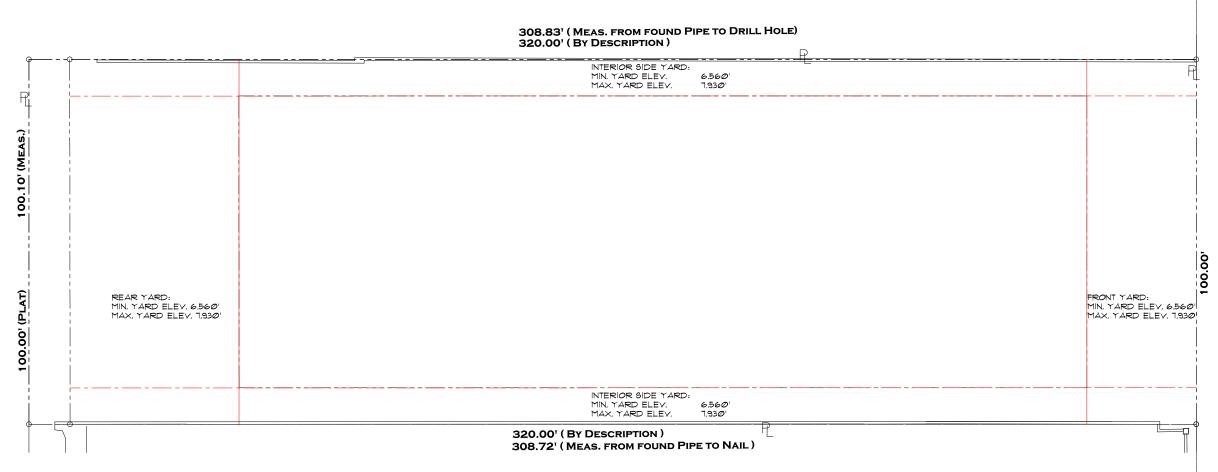
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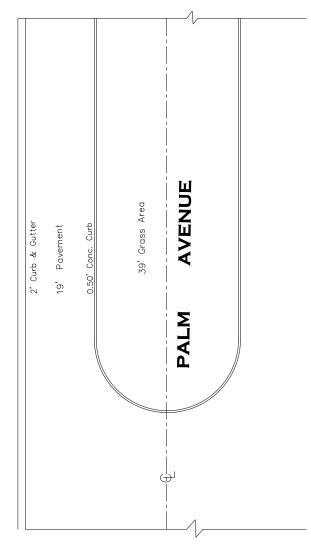
MR. & MRS. SARRIA

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MIAMI BEACH, FLORIDA

D2.2





YARD AREA ELEVATIONS DIAGRAM SCALE : 1" = 25'-0"



YARD AREA ELEVATIONS DIAGRAM

REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

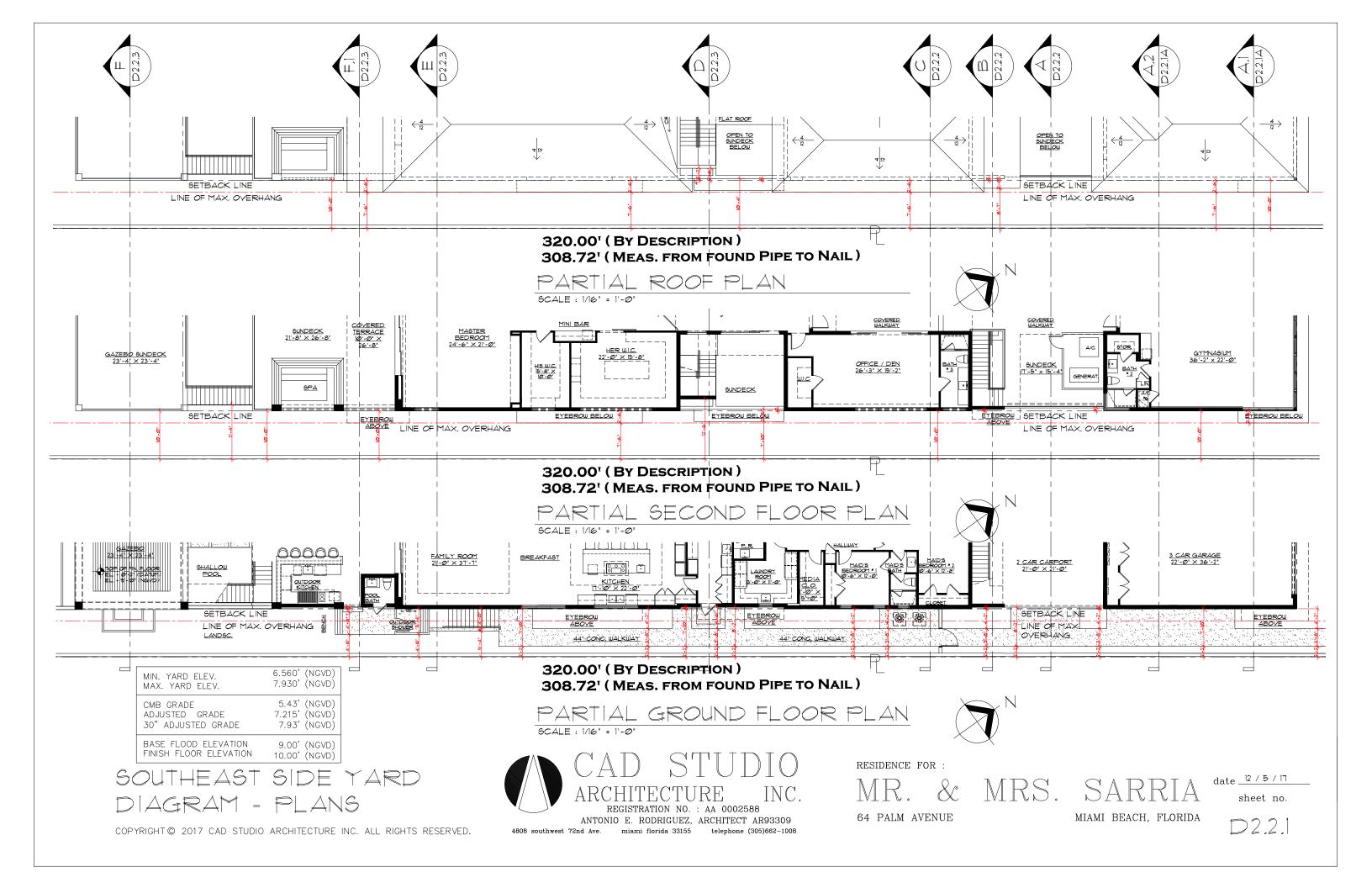
64 PALM AVENUE

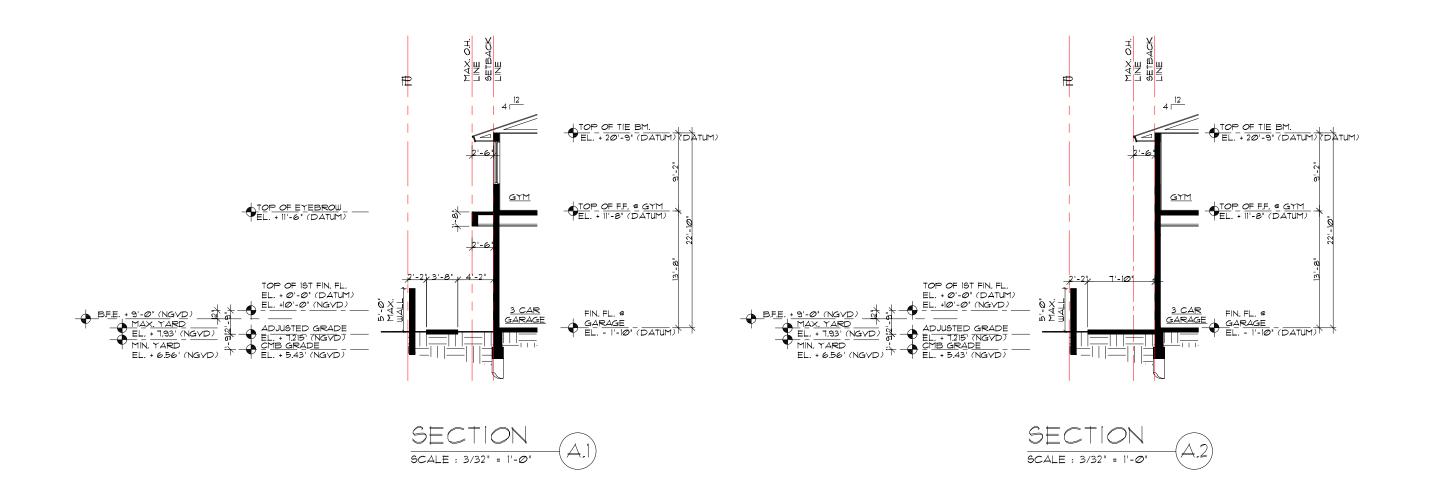
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MIN. YARD ELEV. MAX. YARD ELEV.	6.560' (NGVD) 7.930' (NGVD)	
CMB GRADE ADJUSTED GRADE 30" ADJUSTED GRADE	5.43' (NGVD) 7.215' (NGVD) 7.93' (NGVD)	7.215
BASE FLOOD ELEVATION FINISH FLOOR ELEVATION	9.00' (NGVD) 10.00' (NGVD)	

SOUTHEAST SIDE YARD DIAGRAM - SECTIONS ARCHITECTURE INC
REGISTRATION NO.: AA 0002588
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

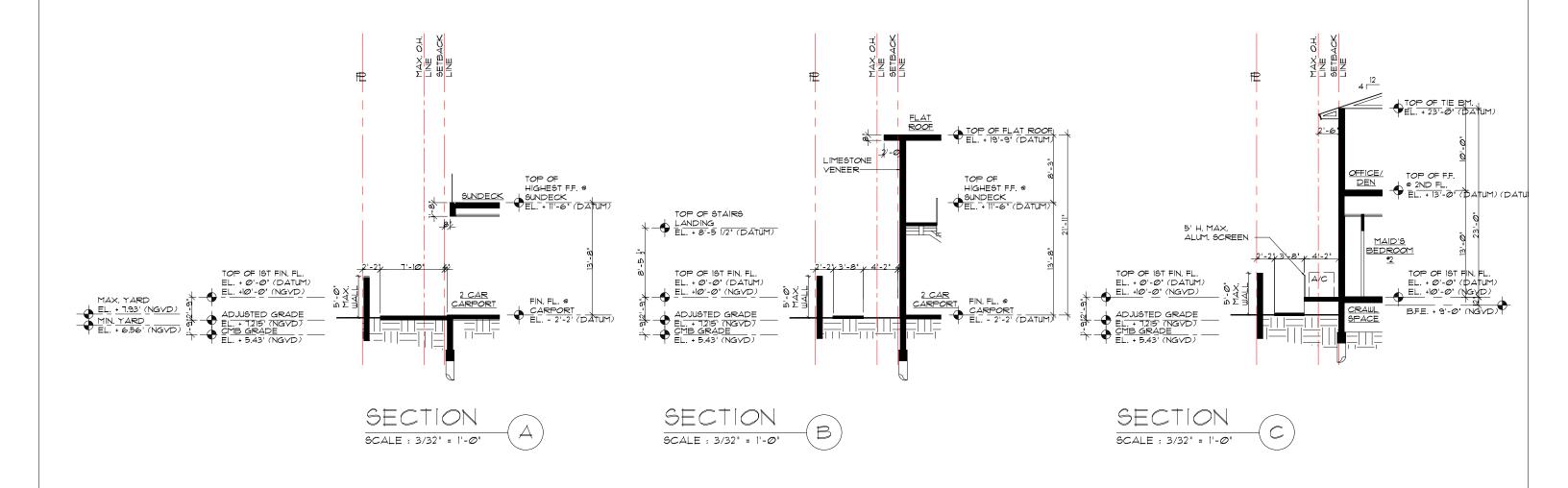
MR. & MRS.

SARRIA

MIAMI BEACH, FLORIDA

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D2.2



MIN. YARD ELEV. MAX. YARD ELEV.		(NGVD) (NGVD)
CMB GRADE ADJUSTED GRADE 30" ADJUSTED GRADE	7.215	(NGVD) (NGVD) (NGVD)
BASE FLOOD ELEVATION FINISH FLOOR ELEVATION		(NGVD) (NGVD)

SOUTHEAST SIDE YARD DIAGRAM - SECTIONS

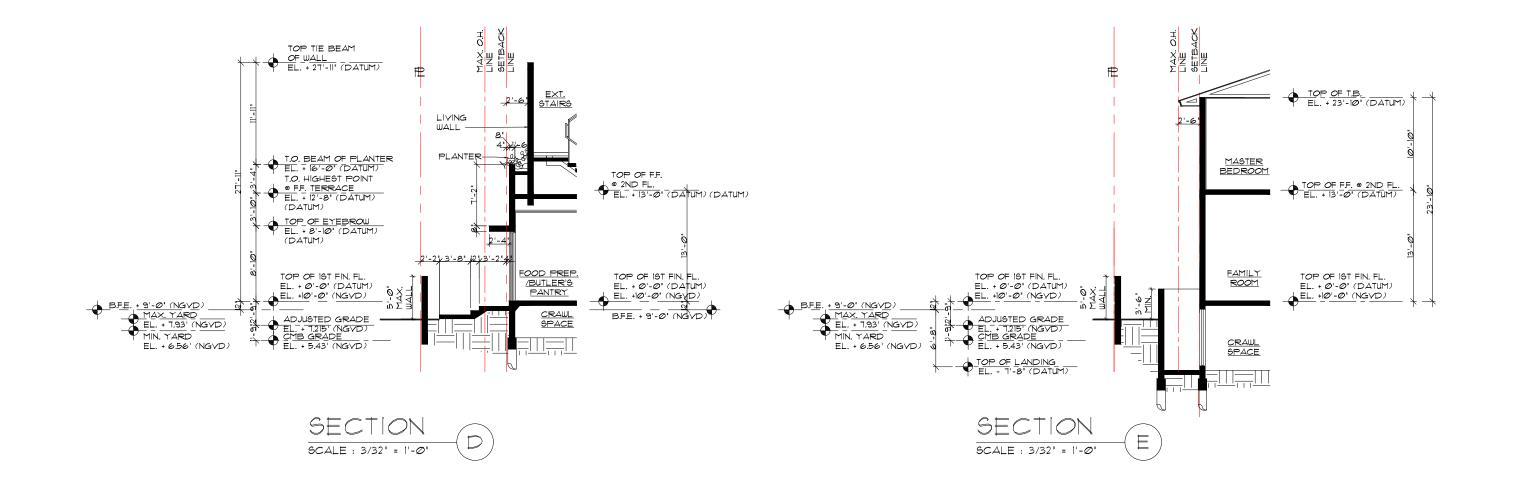
REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

64 PALM AVENUE

date <u>12 / 5</u> / 17

sheet no.

MIAMI BEACH, FLORIDA D2.2.2



MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

SOUTHEAST SIDE YARD DIAGRAM - SECTIONS

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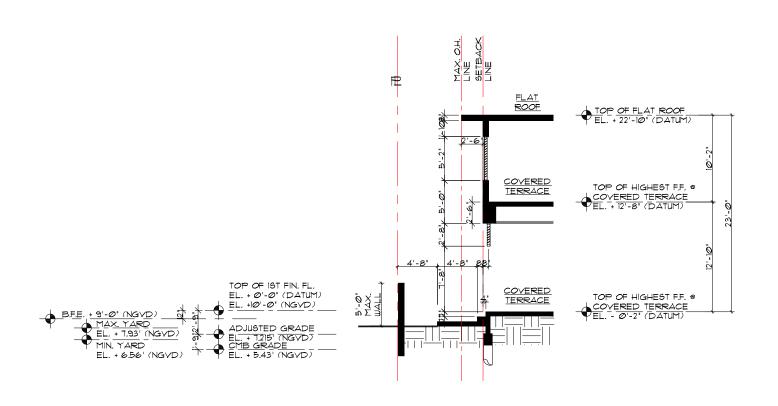
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

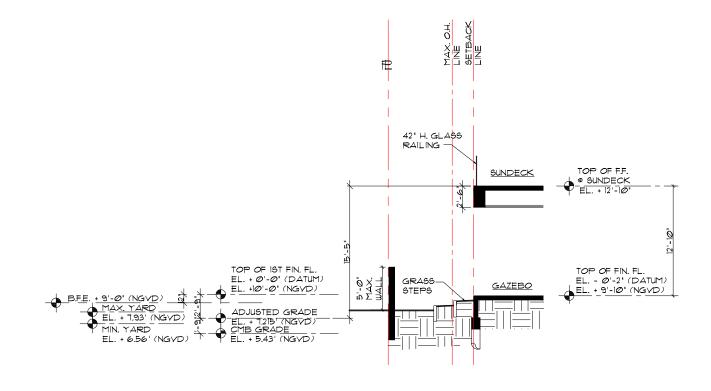
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D2.2.2A





SECTION 9CALE: 3/32" = 1'-0"

SECTION	F1
SCALE : 3/32" = 1'-Ø"	

MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

SOUTHEAST SIDE YARD DIAGRAM - SECTIONS ARCHIT

REGISTH

ANTONIO E. I.

4808 coulthwest 72nd Ave. mism.

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REGISTRATION NO.: AA 0002588

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS.

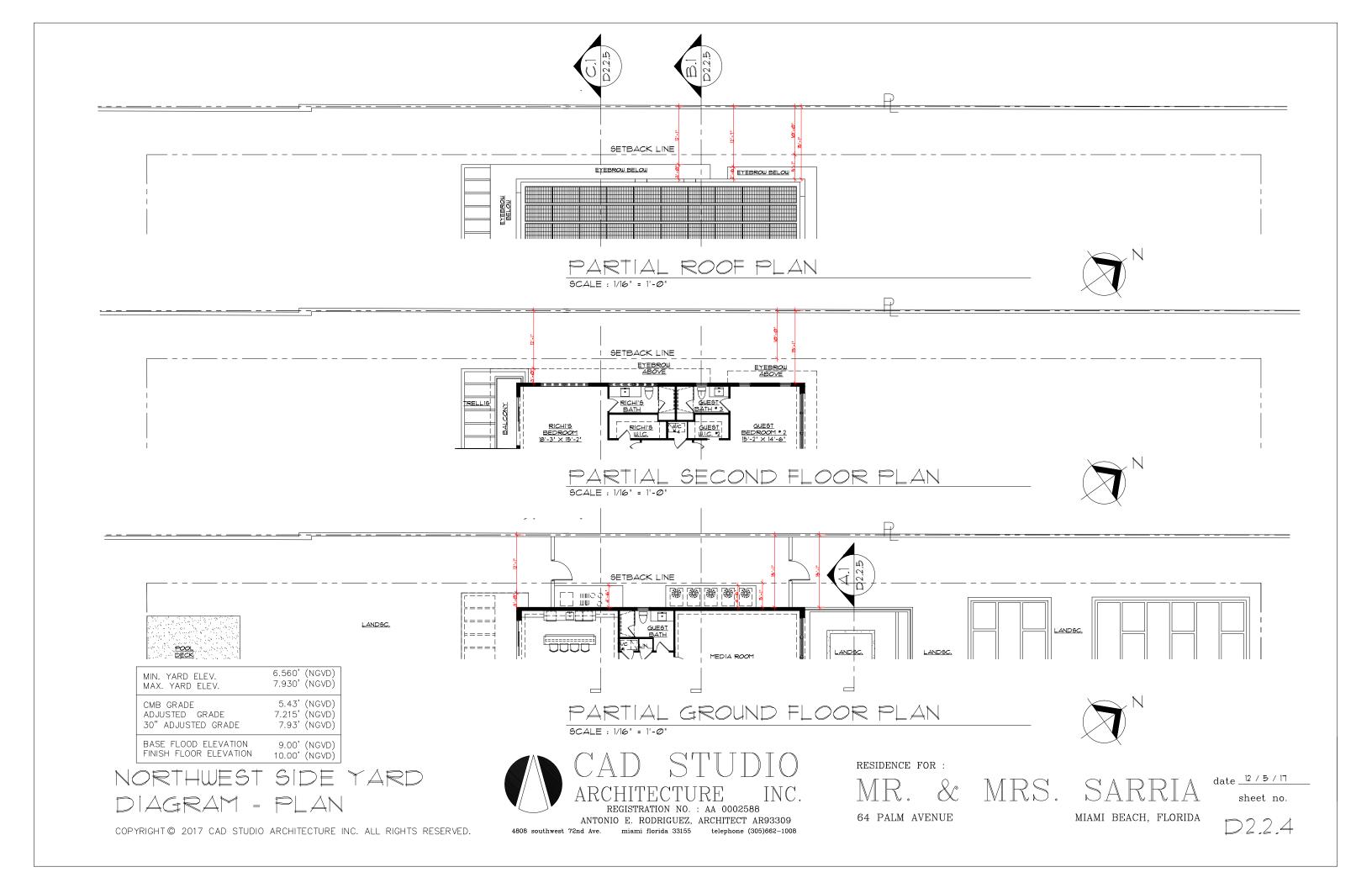
RS. SARRIA

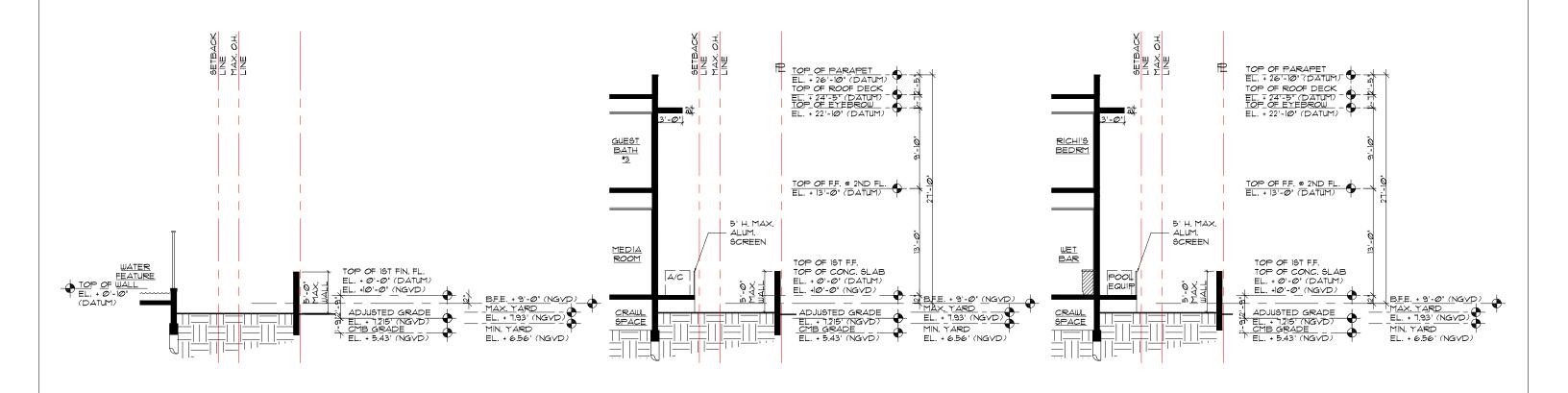
date <u>12 / 5 / 17</u> sheet no.

MIAMI BEACH, FLORIDA

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D2.2.3





MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

NORTHWEST SIDE YARD DIAGRAM - SECTIONS

SECTION

SCALE : 3/32" = 1'-0"

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SECTION

SCALE : 3/32" = 1'-0"

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RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS

SECTION

SCALE : 3/32" = 1'-Ø"

SARRIA

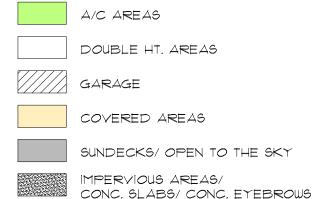
MIAMI BEACH, FLORIDA

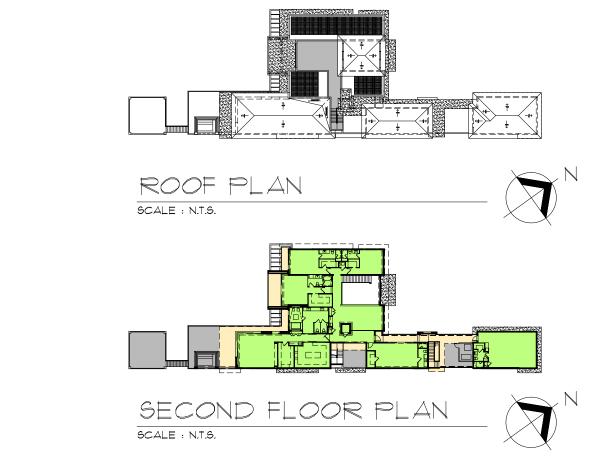
date <u>12 / 5 / 17</u> sheet no.

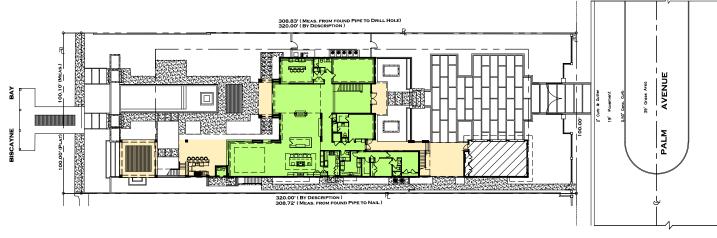
D2.2.5

AREA CALCULATION:

GROUND FL. A/C AREA :	5,797 SQ. FT.
SECOND FL. A/C AREA :	4,988 SQ. FT.
DOUBLE HEIGHT AREA :	44Ø SQ. FT.
SECOND FL. GYM A/C AREA :	930 SQ. FT.
ROOF DECK ELEVATOR & LOBBY A/C AREA :	75 SQ, FT.
TOTAL A/C AREA :	12,220 SQ. FT.
COVERED ENTRY	18Ø 5Q. FT.
COVERED TERRACES :	746 SQ. FT.
CARPORT AND WALKWAY :	799 SQ. FT.
3 CAR GARAGE:	930 SQ. FT.
TOTAL:	2,655 SQ. FT.
SECOND FL. FRONT SUNDECKS & COV. WALKWAY:	1,029 SQ. FT.
SECOND FLOOR MASTER SUNDECK:	533 SQ. FT.
SECOND FL. MASTER COV. TERRACE & BALCONY	: 435 SQ. FT.
SECOND FL. LUCIANA'S BALCONY:	202 SQ. FT.
SECOND FL. RICHI'S BALCONY:	70 SQ. FT.
ROOF SUNDECK :	704 SQ. FT.
TOTAL:	2,973 SQ. FT.
GAZEBO:	544 SQ. FT.
GAZEBO SUNDECK :	544 SQ. FT.
TOTAL AREA:	18,936 SQ. FT.







GROUND FLOOR PLAN 9CALE : N.T.S.



AREA CALCULATION



ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
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RESIDENCE FOR:

64 PALM AVENUE

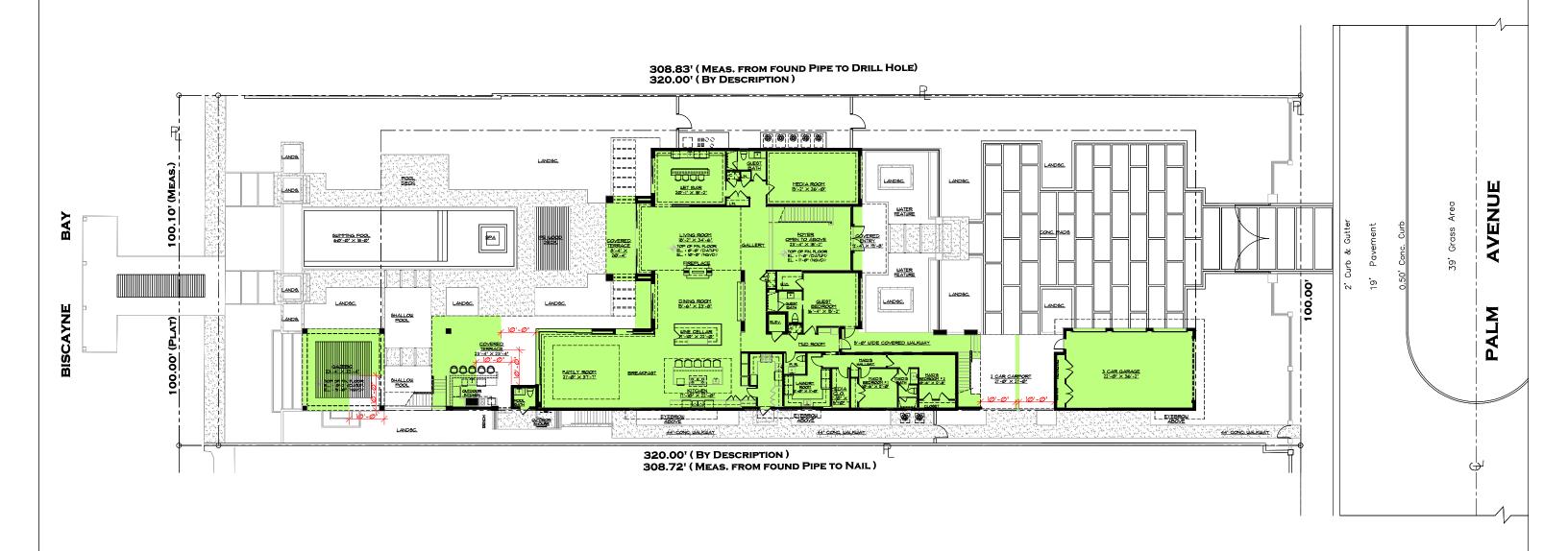
MR. & MRS.

SARRIA

MIAMI BEACH, FLORIDA

date 12 / 5 / 17 sheet no.

D2.3



UNIT SIZE : 1,706 SQ. FT.

INCLUDING GARAGE: 430 SQ. FT. (500 S.F. OF GARAGE AREA NOT INCLUDED)

AS PER MIAMI BEACH, FL. CODE OF ORDINANCES SEC. 142-105 (b) (4) 3.: UNIT SIZE OF A SINGLE FAMILY HOME SHALL NOT INCLUDE THOSE PORTIONS OF COVERED TERRACES, BREEZEWAYS, OR OPEN PORCHES, THAT DO NOT PROJECT MORE THAN TEN FEET FROM THE MAIN HOME BUILDING (S)

UNIT SIZE - GROUND FLOOR



ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 UNIT SIZE GROUND FLOOR PLAN



RESIDENCE FOR:

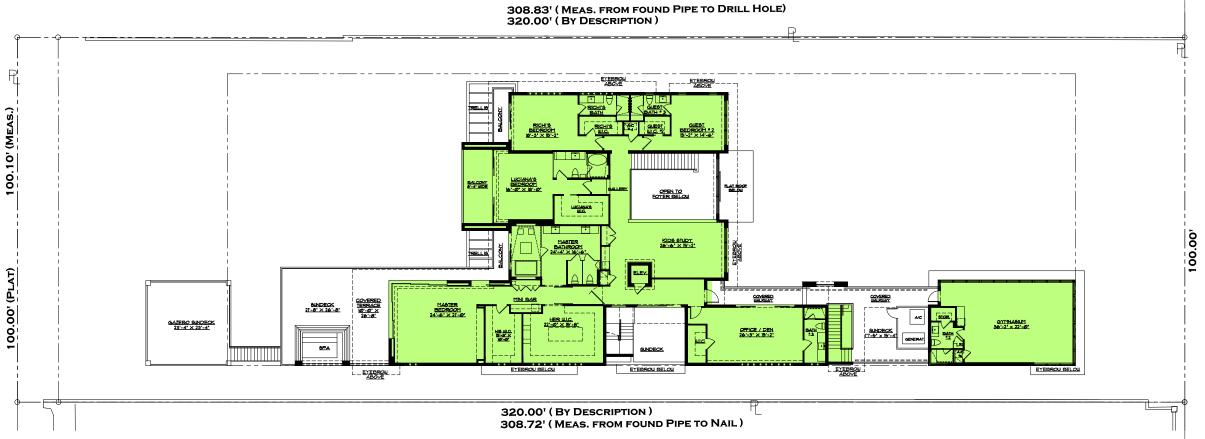
64 PALM AVENUE

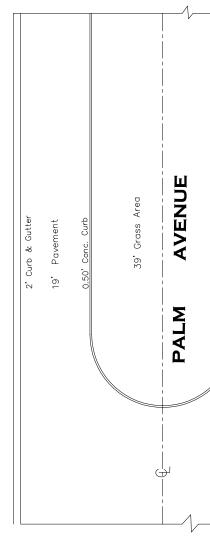
MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D2.4





UNIT SIZE : 6,452 SQ. FT.

(83.72% OF 7,706 SQ. FT. GROUND FLOOR)

UNIT SIZE SECOND FLOOR PLAN SCALE : 1" = 25'-0"



UNIT SIZE - SECOND FLOOR



RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS. SARRIA

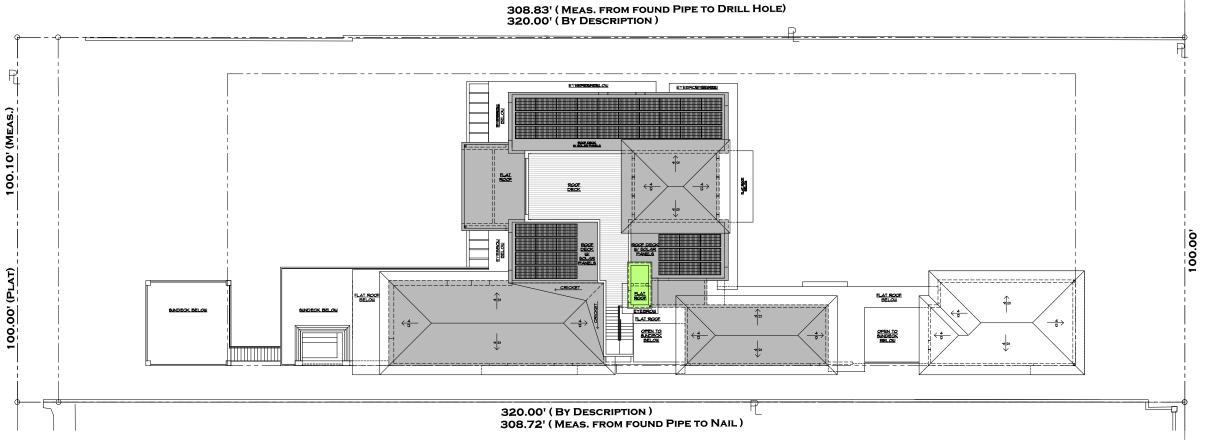
MIAMI BEACH, FLORIDA

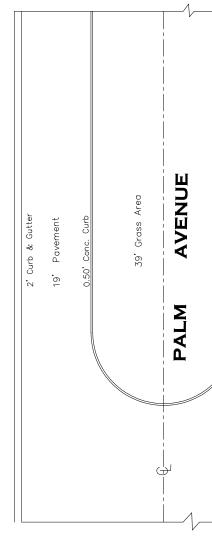
date <u>12 / 5</u> / 17 sheet no.

D2.5

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ELEVATOR \$ ELEY. YESTIBULE :

ROOF AREA. FLOOR AREA DIRECTLY BELOW:

ROOF DECK PROVIDED:

75 SQ. FT.

4,833 SQ. FT.

7Ø4 SQ. FT. (14.5 %)

ROOF DECK AREA ALLOWED: 25% (1,613 SQ. F.T.) OF THE ENCLOSED FLOOR AREA DIRECTLY BELOW

UNIT SIZE/ ROOF DECK AREA



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4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 UNIT SIZE AND ROOF DECK AREA

SCALE : 1" = 25'-Ø"



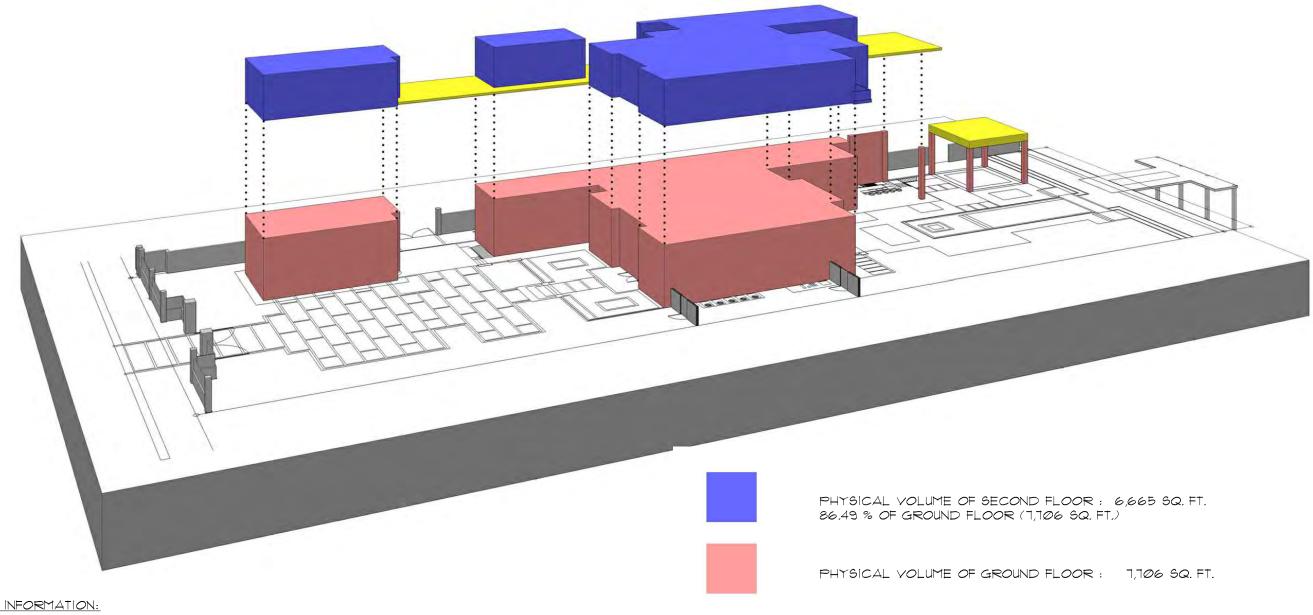
RESIDENCE FOR:

MR. & MRS. SARRIA

64 PALM AVENUE MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D2.6



RELEVANT CODE INFORMATION:

"FOR TWO STORY HOMES WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, PHYSICAL VOLUME OF THE SECOND FLOOR SHALL NOT EXCEED 10% OF THE FIRST FLOOR OF THE MAIN HOME, INCLUSIVE OF ANY ENCLOSED PARKING STRUCTURE." (142-105 (b) (4) C.

AXONOMETRIC DIAGRAM

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RESIDENCE FOR:

64 PALM AVENUE

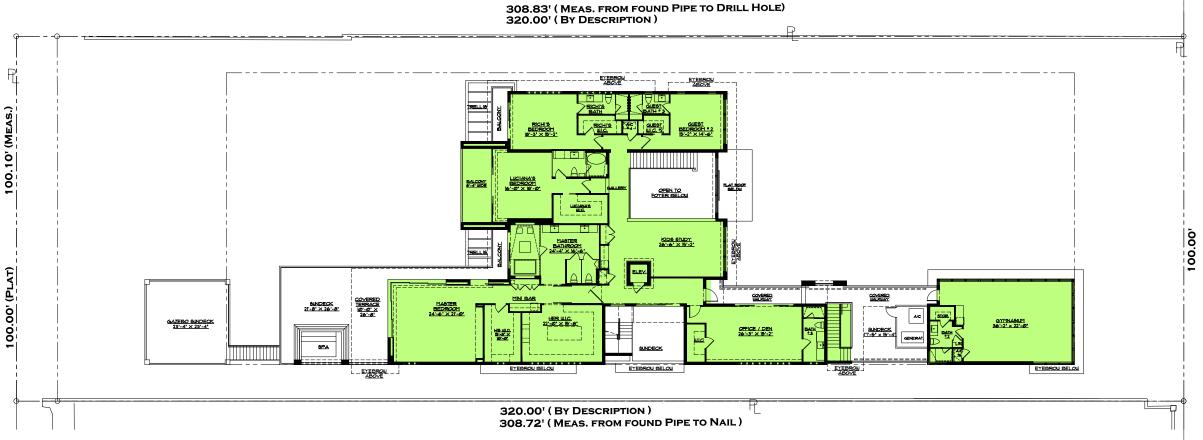
MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5 / 17</u>

sheet no.

D2.7



5,394 S.F. MAX. (70% GROUND) ALLOWED

UNIT SIZE : 6,452 SQ. FT.

83.72% OF 7,706 SQ. FT. GROUND FLOOR

UNIT SIZE SECOND FLOOR PLAN

SCALE : 1" = 25'-0"

WAIVER SOUGHT TO ALLOW SECOND FLOOR EXCEED 70% MAXIMUM ALLOWED. 83.72% PROVIDED



64 PALM AVENUE

MR. & MRS

SARRIA

date 12 / 5 / 17 sheet no.

MIAMI BEACH, FLORIDA

D2.8

WAIVER DIAGRAM - MAXIMUM SECOND FLOOR UNIT SIZE

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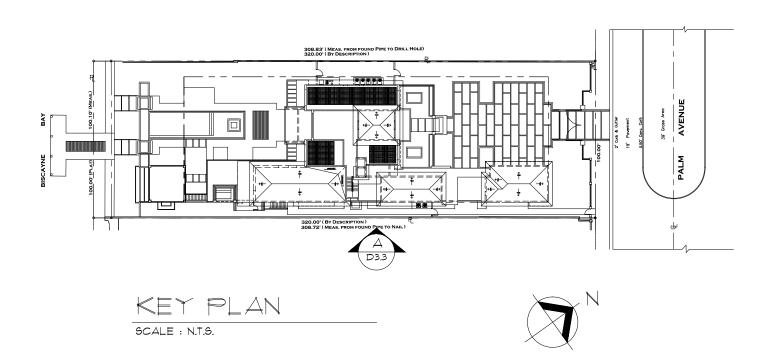


* SEE SHEET D4.2.1 & D4.2.2 FOR DETAILS

SCALE : 1/16" = 1'-0"

WAIVER SOUGHT TO ALLOW TWO-STORY ELEVATION GREATER THAN 60' IN LENGTH.

60'-0" ALLOWED 85'-3" PROVIDED (SEE ELEVATION ABOVE)



WAIVER DIAGRAM - MAXIMUM TWO-STORY ELEVATION

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64 PALM AVENUE 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

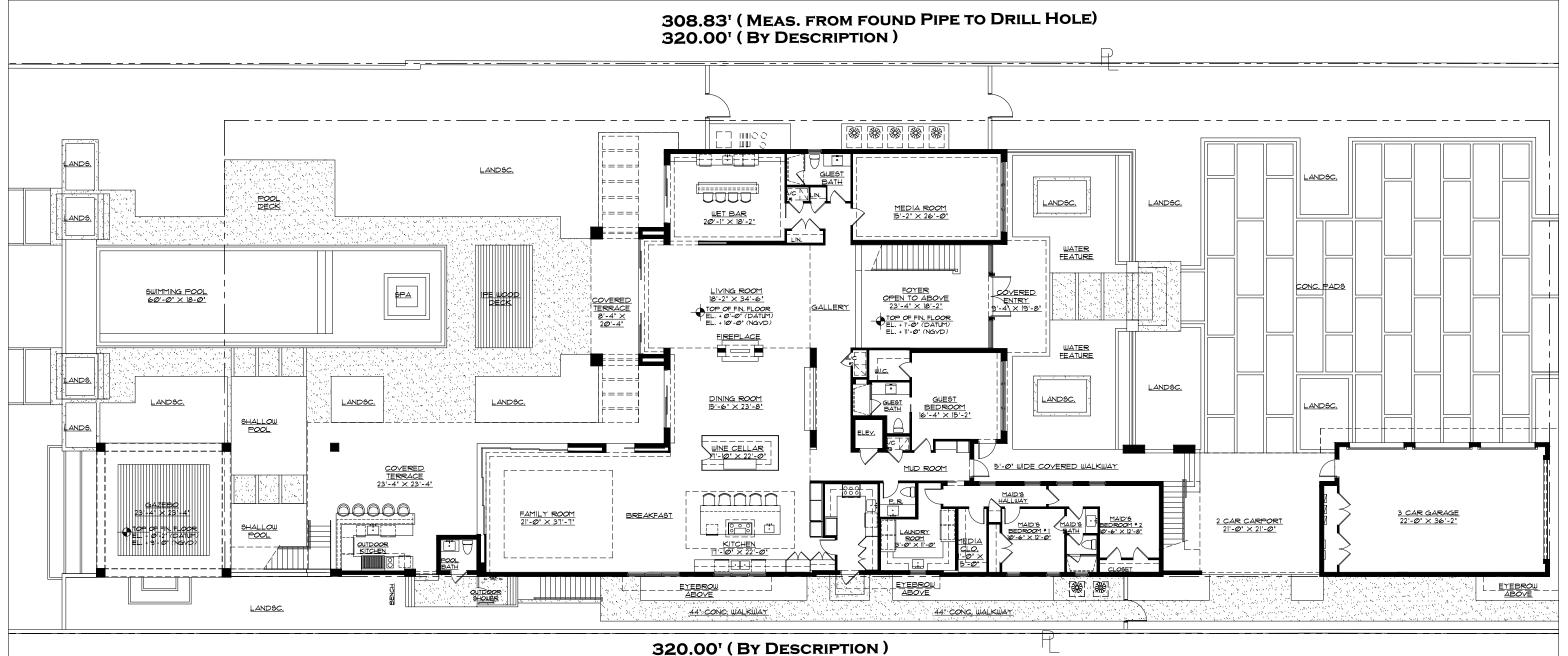
RESIDENCE FOR:

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D2.9



308.72' (MEAS. FROM FOUND PIPE TO NAIL)

GROUND FLOOR PLAN



GROUND FLOOR PLAN

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RESIDENCE FOR:

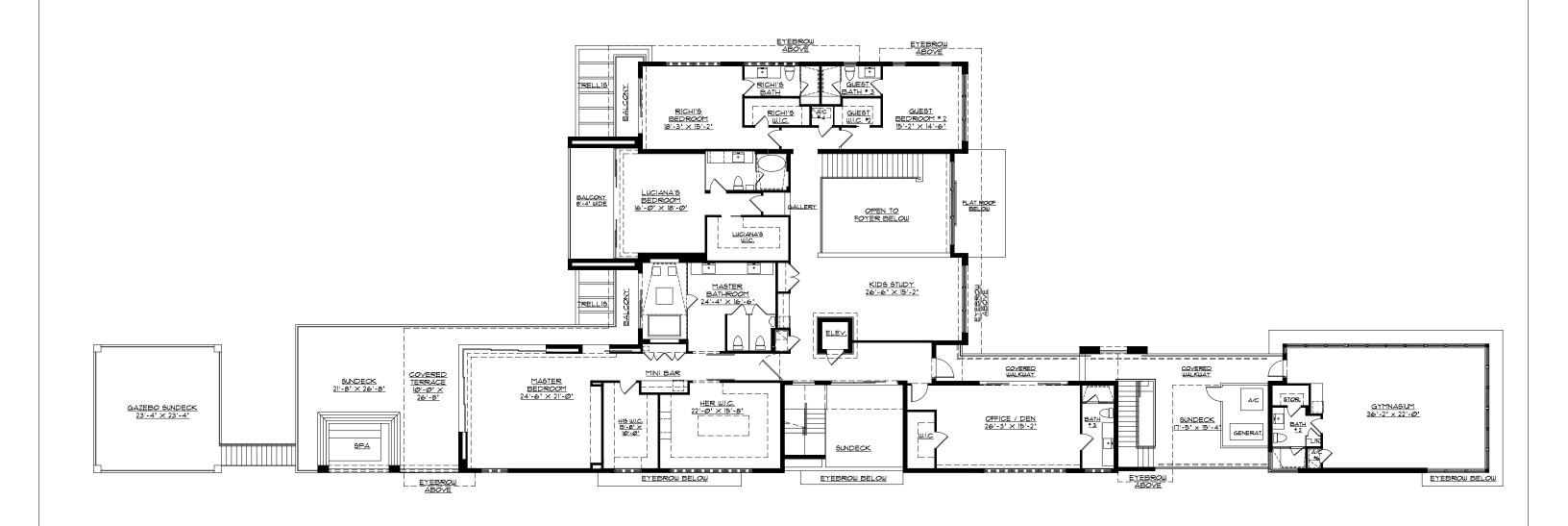
64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D3.0



SECOND FLOOR PLAN SCALE : 1/16" = 1'-0"



SECOND FLOOR PLAN

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RESIDENCE FOR:

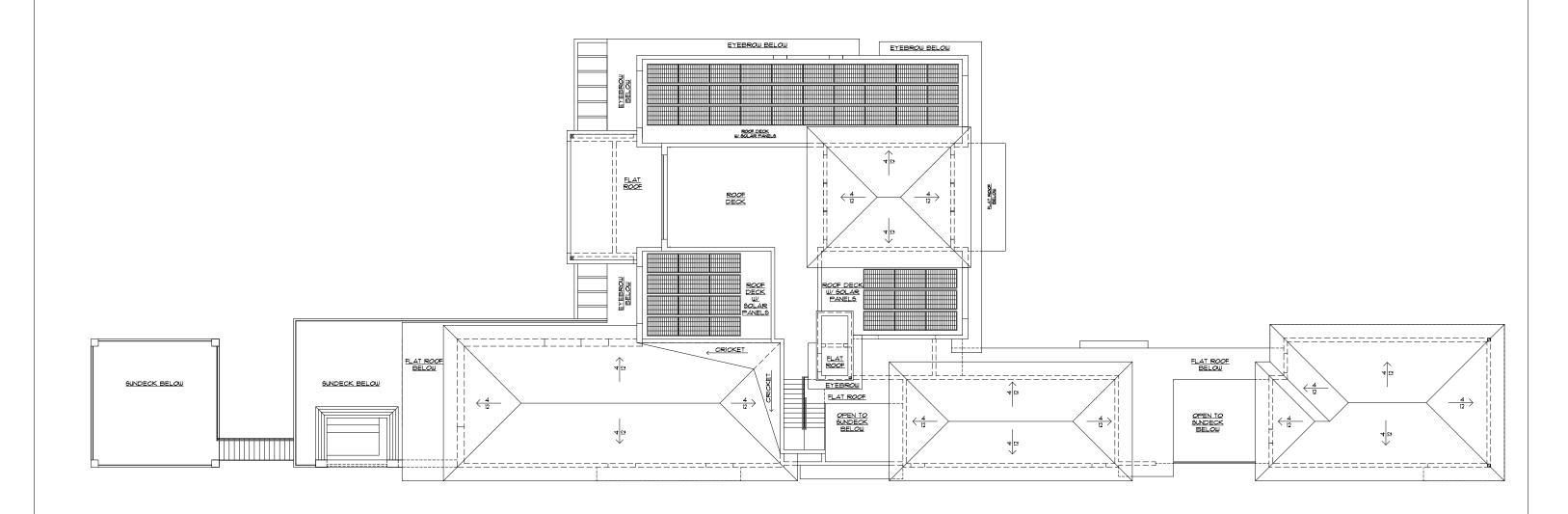
64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5 / 1</u>7 sheet no.

D3.1



ROOF PLAN SCALE : 1/16" = 1'-0"



ROOF PLAN



RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS. SARRIA

sheet no.

MIAMI BEACH, FLORIDA D3.2

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FRONT ELEVATION (NORTHEAST)

SCALE : 3/32" = 1'-@"

MATERIAL LEGEND :

SMOOTH STUCCO FINISH 1.0 OVER CONCRETE

1.1 2" STUCCO BAND

LIMESTONE VENEER

CONCRETE STEPS WITH STONE FINISH

2.2 I" REVEAL

2.0

2.1

3.0 IPE WOOD

3.1 LIVING WALL 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN)

4" ALUMINUM LOUVERS IN ALUMINUM 5.0 FRAME (BY OTHERS)

2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 ON CONCRETE WALL WITH SMOOTH STUCCO FINISH

ALUMINUM TRELLIS (BY OTHERS)

42" H. GLASS RAILING CAT. II SAF. GL. (BY OTHERS)

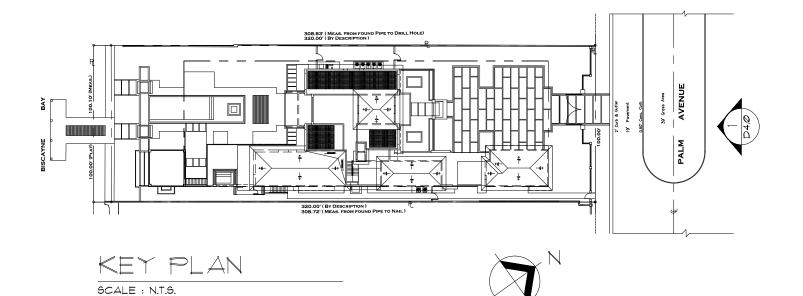
42" H. GLASS RAILING CAT. II SAF. GL. 6.1 WITH 38" H. HANDRAIL (BY OTHERS)

GRASS STEPS

5.2

6.0

7.0



FRONT ELEVATION (SOUTHEAST)



REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 RESIDENCE FOR:

64 PALM AVENUE

MRS. SARRIA

MIAMI BEACH, FLORIDA

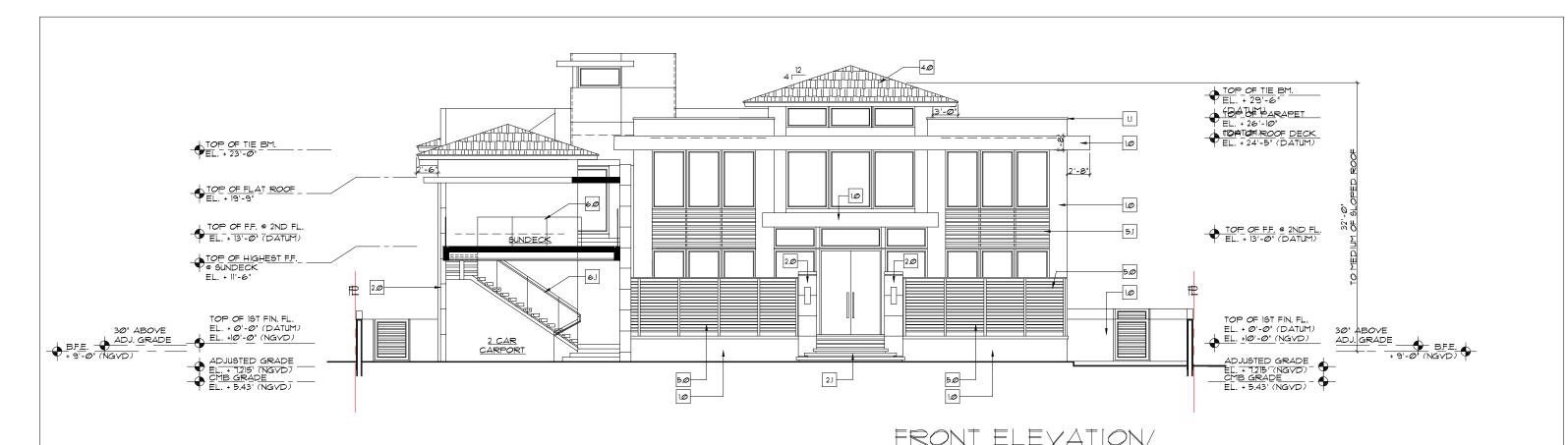
sheet no.

date <u>12 / 5</u> / 17

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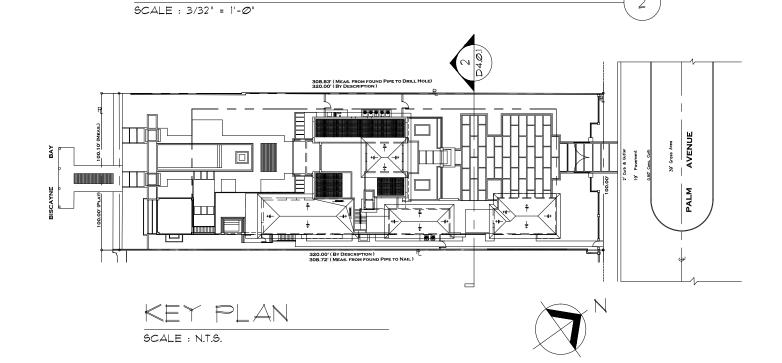
D4.0



MATERIAL LEGEND :

- 1.0 SMOOTH STUCCO FINISH OVER CONCRETE
- 1.1 2" STUCCO BAND
- 2.0 LIMESTONE VENEER
- 2.1 CONCRETE STEPS WITH STONE FINISH
- 2.2 I" REVEAL
- 3.0 IPE WOOD
- 3.1 LIVING WALL

- 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN)
- 5.0 4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)
- 5.1 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS ON CONCRETE WALL WITH SMOOTH STUCCO FINISH
- 5.2 ALUMINUM TRELLIS (BY OTHERS)
- 6.0 42" H. GLASS RAILING CAT. II SAF. GL.
- 6.1 42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)
- 7.0 GRASS STEPS



FRONT ELEVATION/ SECTION THRU CARPORT (2)

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RESIDENCE FOR:

64 PALM AVENUE

SECTION THRU CARPORT

MR. & MRS

MRS. SARRIA

MIAMI BEACH, FLORIDA

date $\frac{12/5/17}{\text{sheet no.}}$

D4.0.1



MATERIAL LEGEND :

1.0 SMOOTH STUCCO FINISH OVER CONCRETE

1.1 2" STUCCO BAND

2.0 LIMESTONE VENEER

CONCRETE STEPS WITH STONE FINISH

2.2 I" REVEAL

2.1

3.0 IPE WOOD

3.1 LIVING WALL

.0 FLAT CEMENT TILE (TYP. WHERE SHOWN)

5.0 4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)

2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS ON CONCRETE WALL WITH SMOOTH STUCCO FINISH

ALUMINUM TRELLIS (BY OTHERS)

42" H. GLASS RAILING CAT. II SAF. GL. (BY OTHERS)

6.1 42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)

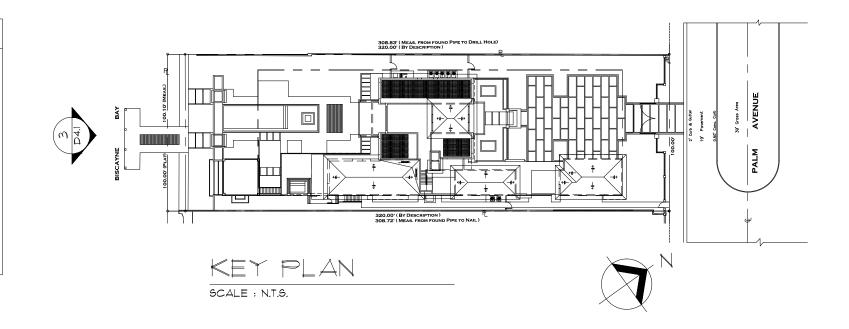
GRASS STEPS

5.1

5.2

6.0

7.0



REAR ELEVATION (SOUTHWEST) (3)



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RESIDENCE FOR:

64 PALM AVENUE

INCLUDING GAZEBO

SCALE : 3/32" = 1'-0"

MR. & MRS

MRS. SARRIA

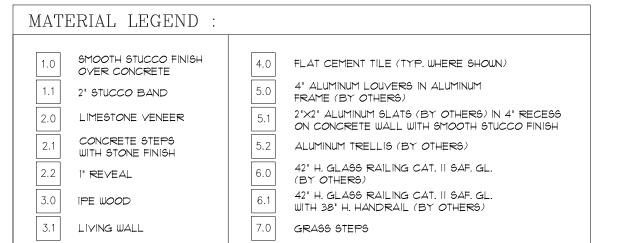
MIAMI BEACH, FLORIDA

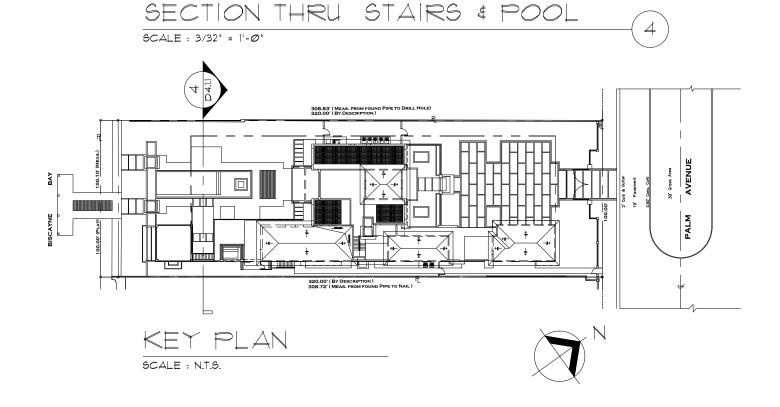
date <u>12 / 5 / 17</u> sheet no.

3

D4,1







REAR ELEVATION/ SECTION THRU STAIRS & POOL (4)



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RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS.

. SARRIA

MIAMI BEACH, FLORIDA

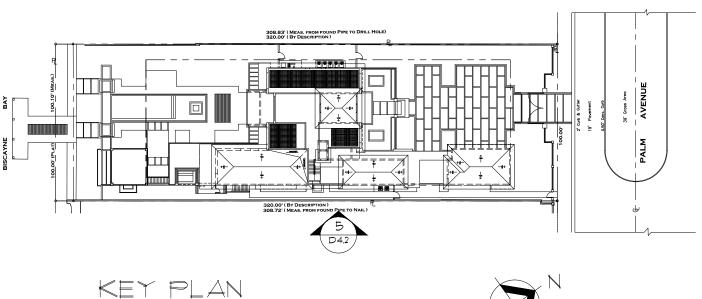
date 12 / 5 / 17 sheet no.

D411



(SOUTHEAST) SCALE : 1/16" = 1'-0"

* SEE SHEET D4.2.1 & D4.2.2 FOR DETAILS



SCALE : N.T.S.



5

LEFT SIDE ELEVATION (SOUTHEAST)

REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

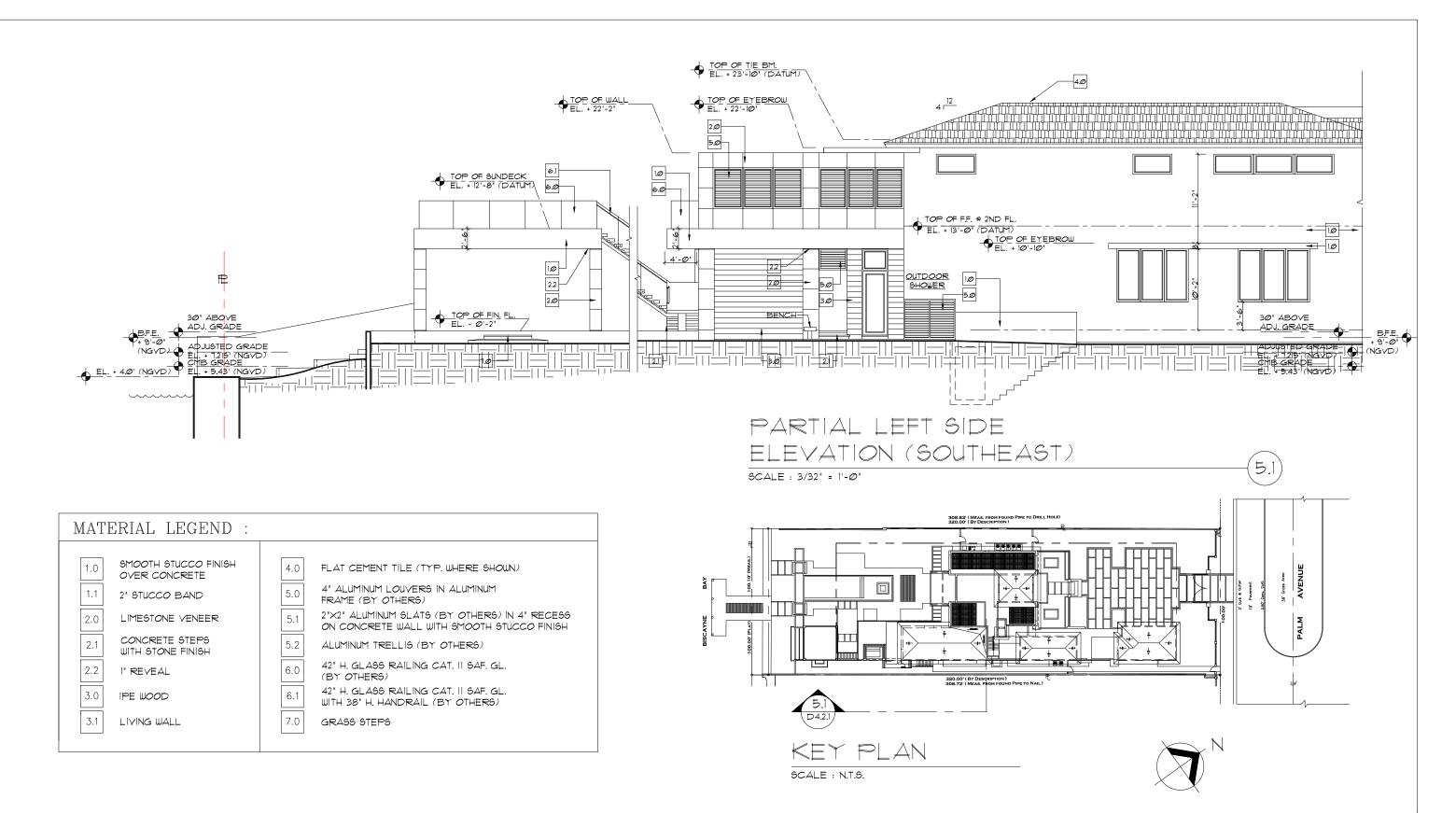
64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D4.2



PARTIAL LEFT SIDE ELEVATION (SOUTHEAST)



CAD S'I'UDIO ARCHITECTURE INC.

REGISTRATION NO. : AA 0002588
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RESIDENCE FOR:

64 PALM AVENUE

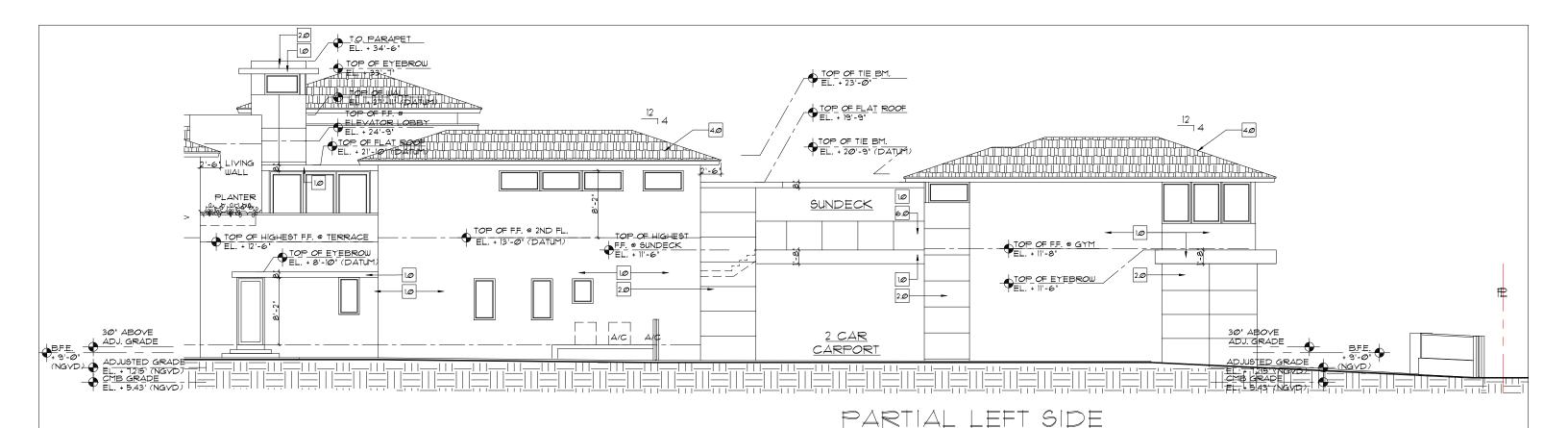
MR. & MRS.

SARRIA

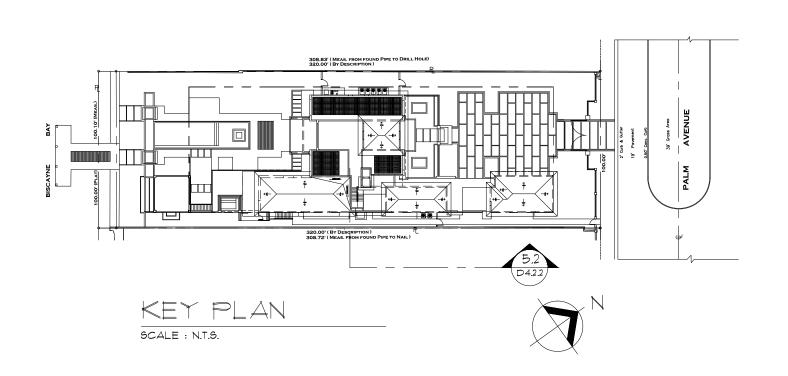
date $\frac{12/5/17}{\text{sheet no.}}$

MIAMI BEACH, FLORIDA

LORIDA D4.2.1



MATERIAL LEGEND : SMOOTH STUCCO FINISH 1.0 FLAT CEMENT TILE (TYP. WHERE SHOWN) OVER CONCRETE 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 1.1 2" STUCCO BAND FRAME (BY OTHERS) 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 2.0 LIMESTONE VENEER ON CONCRETE WALL WITH SMOOTH STUCCO FINISH CONCRETE STEPS 5.2 2.1 ALUMINUM TRELLIS (BY OTHERS) WITH STONE FINISH 42" H. GLASS RAILING CAT. II SAF. GL. 6.0 2.2 I" REVEAL (BY OTHERS) 42" H. GLASS RAILING CAT. II SAF. GL. 6.1 3.0 IPE WOOD WITH 38" H. HANDRAIL (BY OTHERS) 7.0 3.1 LIVING WALL GRASS STEPS



PARTIAL LEFT SIDE ELEVATION (SOUTHEAST)



CAD S'I'UDIO ARCHITECTURE INC

REGISTRATION NO. : AA 0002588
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

ELEVATION (SOUTHEAST)

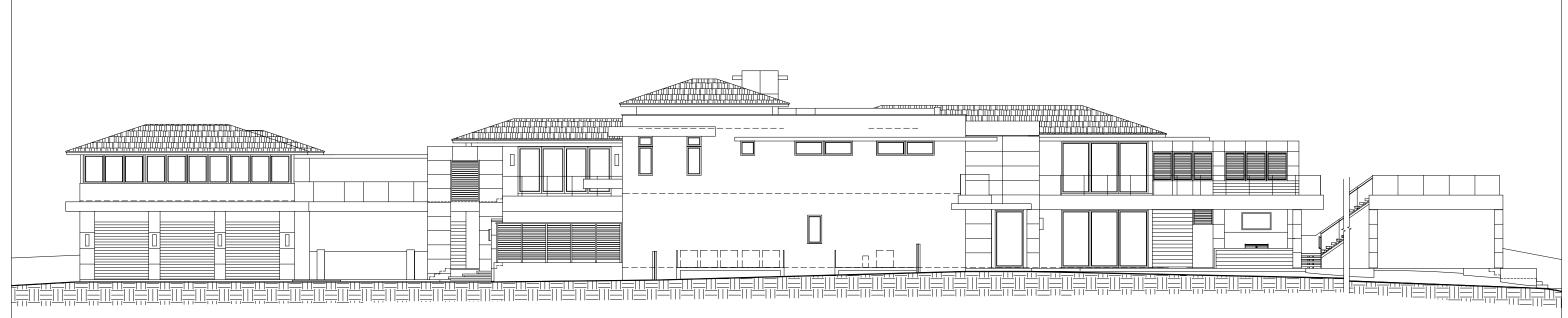
SCALE : 3/32" = 1'-0"

MR. & MRS.

SARRIA

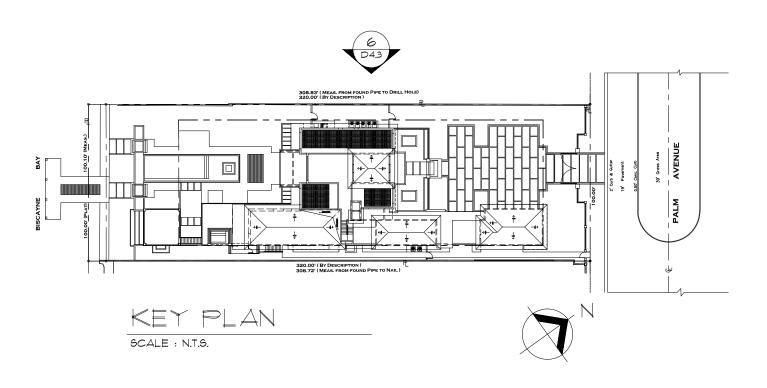
MIAMI BEACH, FLORIDA

D4.2.2



RIGHT SIDE ELEVATION (NORTHWEST) SCALE : 1/16" = 1'-0"

* SEE SHEET D4.3.1 & D4.3.2 FOR DETAILS



RIGHT SIDE ELEVATION (6)



ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

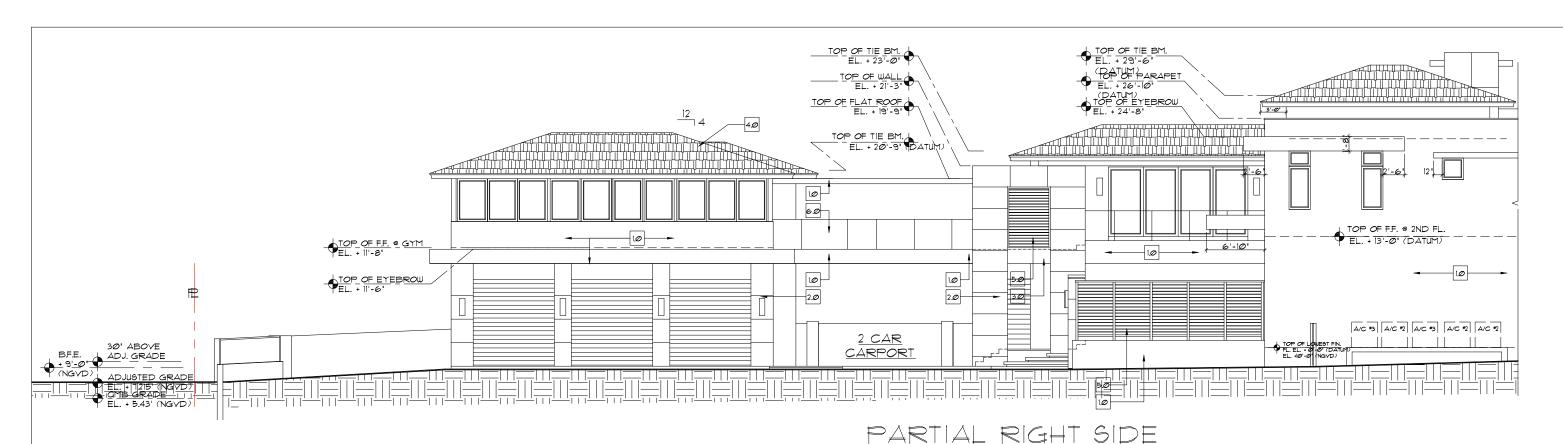
64 PALM AVENUE

MR. & MRS. SARRIA

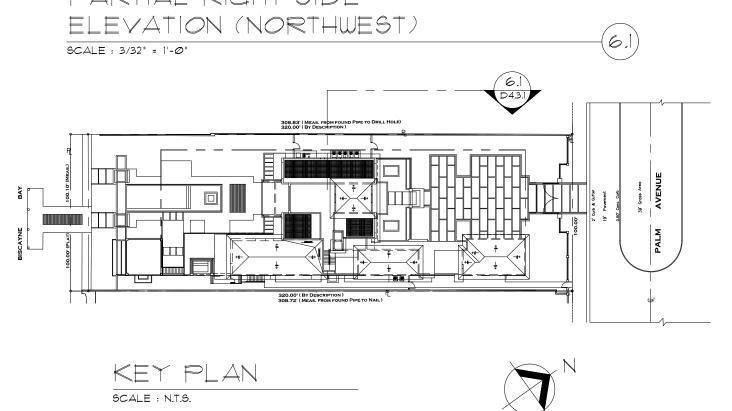
MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D4.3



MATERIAL LEGEND : SMOOTH STUCCO FINISH 1.0 FLAT CEMENT TILE (TYP. WHERE SHOWN) OVER CONCRETE 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 1.1 2" STUCCO BAND FRAME (BY OTHERS) 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 2.0 LIMESTONE VENEER ON CONCRETE WALL WITH SMOOTH STUCCO FINISH CONCRETE STEPS 5.2 2.1 ALUMINUM TRELLIS (BY OTHERS) WITH STONE FINISH 42" H. GLASS RAILING CAT. II SAF. GL. 6.0 2.2 I" REVEAL (BY OTHERS) 42" H. GLASS RAILING CAT. II SAF. GL. 6.1 3.0 IPE WOOD WITH 38" H. HANDRAIL (BY OTHERS) 7.0 3.1 LIVING WALL GRASS STEPS



RIGHT SIDE ELEVATION (NORTHWEST) 6.1

CAD S'I'UDIO ARCHITECTURE INC.

REGISTRATION NO. : AA 0002588
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS.

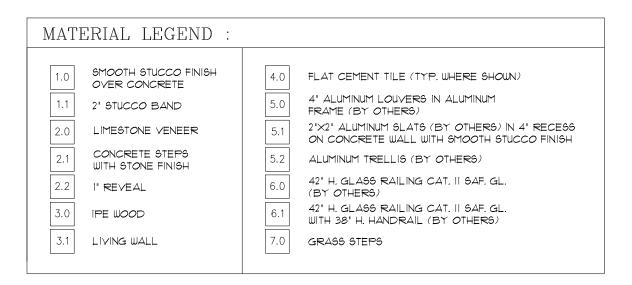
SARRIA

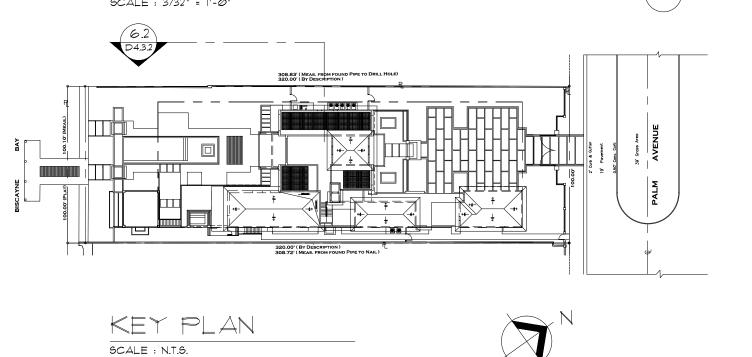
MIAMI BEACH, FLORIDA

date 12 / 5 / 17 sheet no.

D4.3.1







PARTIAL RIGHT SIDE ELEVATION (NORTHWEST

REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 telephone (305)662-1008 4808 southwest 72nd Ave. miami florida 33155

RESIDENCE FOR:

64 PALM AVENUE

date <u>12</u> / 5 / 17 sheet no.

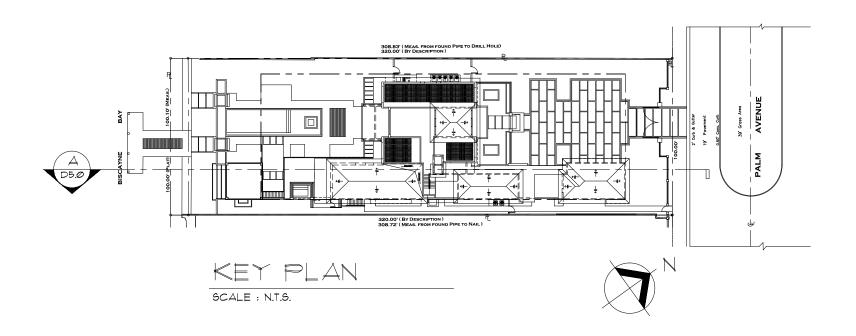
MIAMI BEACH, FLORIDA

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D4.3.2



* SEE SHEET D5.0.1 & D5.0.2 FOR DETAILS



SECTION



REGISTRATION NO.: AA 0002588

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

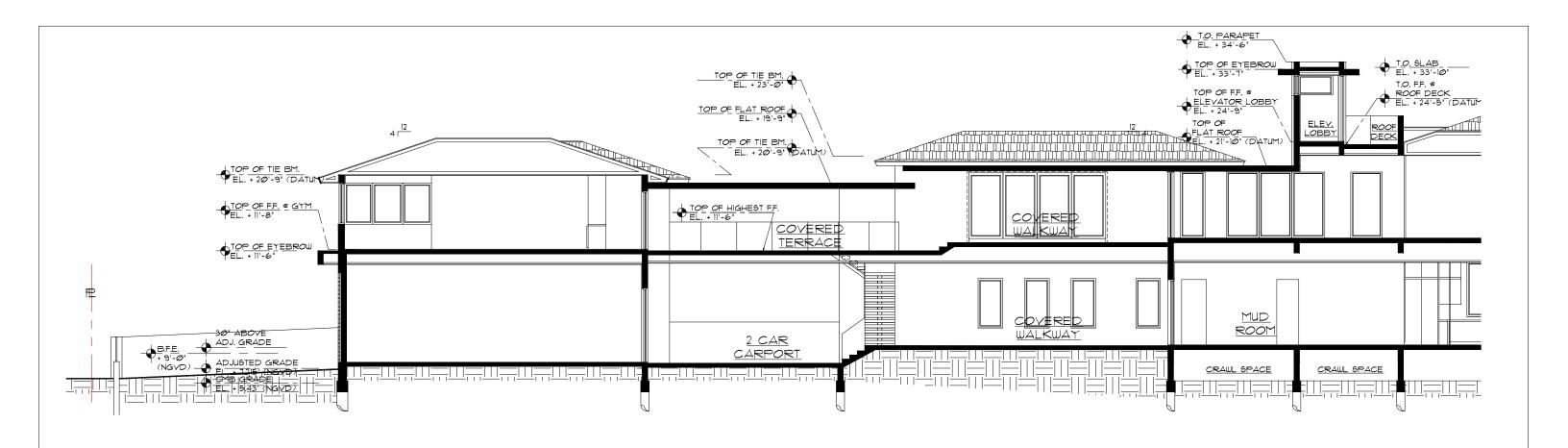
64 PALM AVENUE

MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

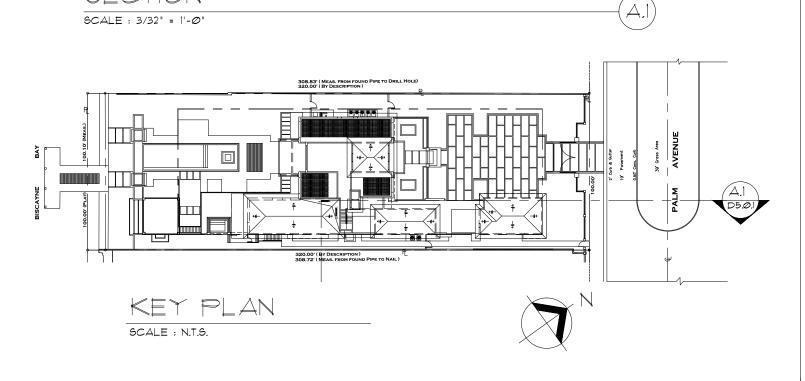
date <u>12 / 5 / 17</u> sheet no.

D5.0



SECTION

MATERIAL LEGEND : SMOOTH STUCCO FINISH 1.0 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN) OVER CONCRETE 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 1.1 2" STUCCO BAND FRAME (BY OTHERS) 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 2.0 LIMESTONE VENEER ON CONCRETE WALL WITH SMOOTH STUCCO FINISH CONCRETE STEPS 5.2 2.1 ALUMINUM TRELLIS (BY OTHERS) WITH STONE FINISH 42" H. GLASS RAILING CAT. II SAF. GL. 2.2 6.0 1" REVEAL (BY OTHERS) 42" H. GLASS RAILING CAT. II SAF. GL. 3.0 6.1 IPE WOOD WITH 38" H. HANDRAIL (BY OTHERS) 7.0 3.1 LIVING WALL GRASS STEPS



SECTION



REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

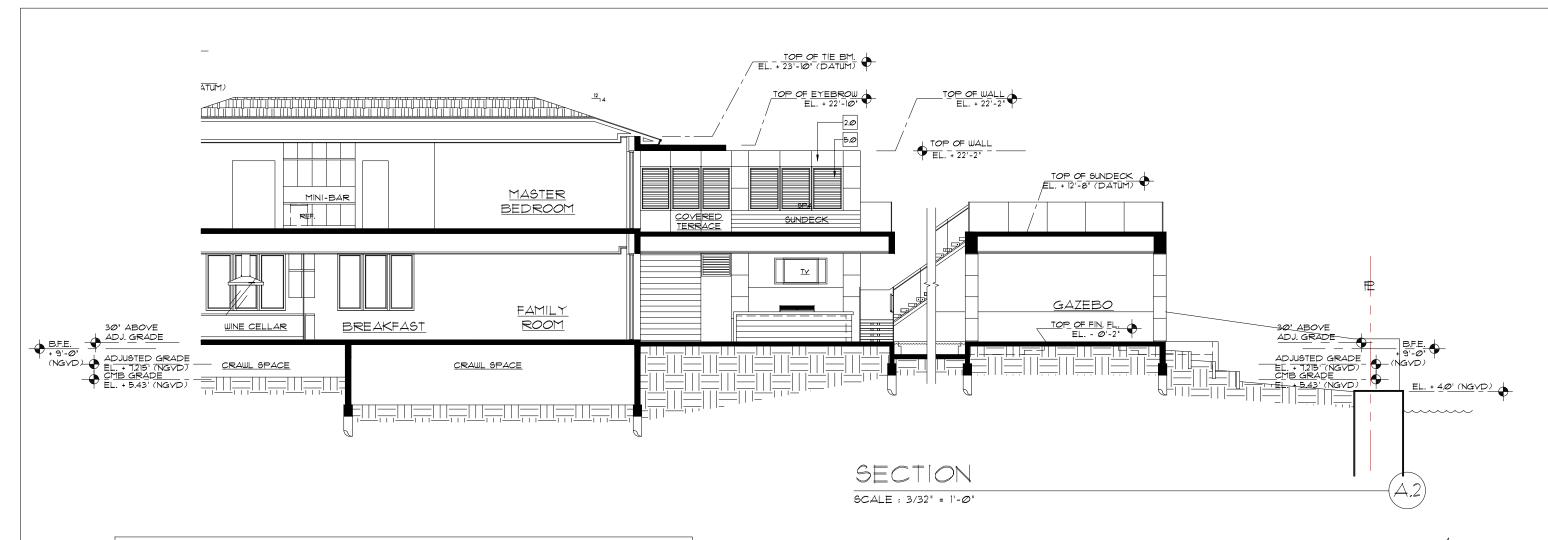
64 PALM AVENUE

RESIDENCE FOR:

& MRS. SARRIA

date <u>12 / 5</u> / 17 sheet no.

MIAMI BEACH, FLORIDA D5.Ø.1

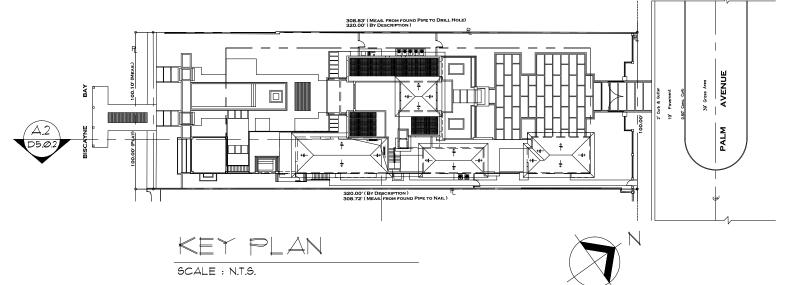


MATERIAL LEGEND :

- SMOOTH STUCCO FINISH 1.0 OVER CONCRETE
- 1.1 2" STUCCO BAND
- 2.0 LIMESTONE VENEER
- CONCRETE STEPS 2.1 WITH STONE FINISH
- 2.2 I" REVEAL
- 3.0 IPE WOOD
- 3.1 LIVING WALL

- 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN)
- 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 FRAME (BY OTHERS)
- 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 ON CONCRETE WALL WITH SMOOTH STUCCO FINISH
- 5.2 ALUMINUM TRELLIS (BY OTHERS)
- 42" H. GLASS RAILING CAT. II SAF. GL. 6.0 (BY OTHERS)
- 42" H. GLASS RAILING CAT. II SAF. GL. 6.1 WITH 38" H. HANDRAIL (BY OTHERS)
 - GRASS STEPS

7.0



SECTION





REGISTRATION NO.: AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309 4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008 RESIDENCE FOR:

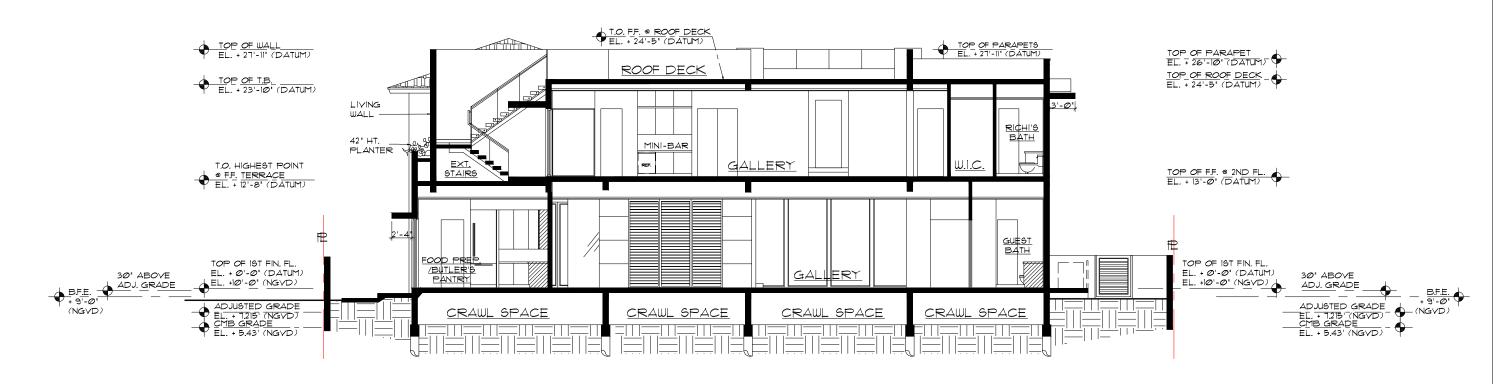
64 PALM AVENUE

MR. & MRS. SARRIA

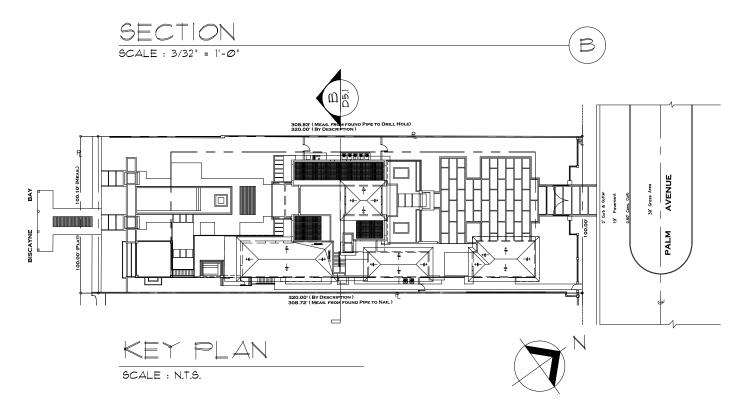
MIAMI BEACH, FLORIDA

date <u>12 / 5</u> / 17 sheet no.

D5.Ø.2



MATERIAL LEGEND : SMOOTH STUCCO FINISH 1.0 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN) OVER CONCRETE 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 1.1 2" STUCCO BAND FRAME (BY OTHERS) 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 5.1 2.0 LIMESTONE VENEER ON CONCRETE WALL WITH SMOOTH STUCCO FINISH CONCRETE STEPS 5.2 2.1 ALUMINUM TRELLIS (BY OTHERS) WITH STONE FINISH 42" H. GLASS RAILING CAT. II SAF. GL. 2.2 6.0 I" REVEAL (BY OTHERS) 42" H. GLASS RAILING CAT. II SAF. GL. 3.0 6.1 IPE WOOD WITH 38" H. HANDRAIL (BY OTHERS) 7.0 3.1 LIVING WALL GRASS STEPS



SECTION





CAD STUDIO ARCHITECTURE INC

REGISTRATION NO. : AA 0002588

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

MR. & MRS

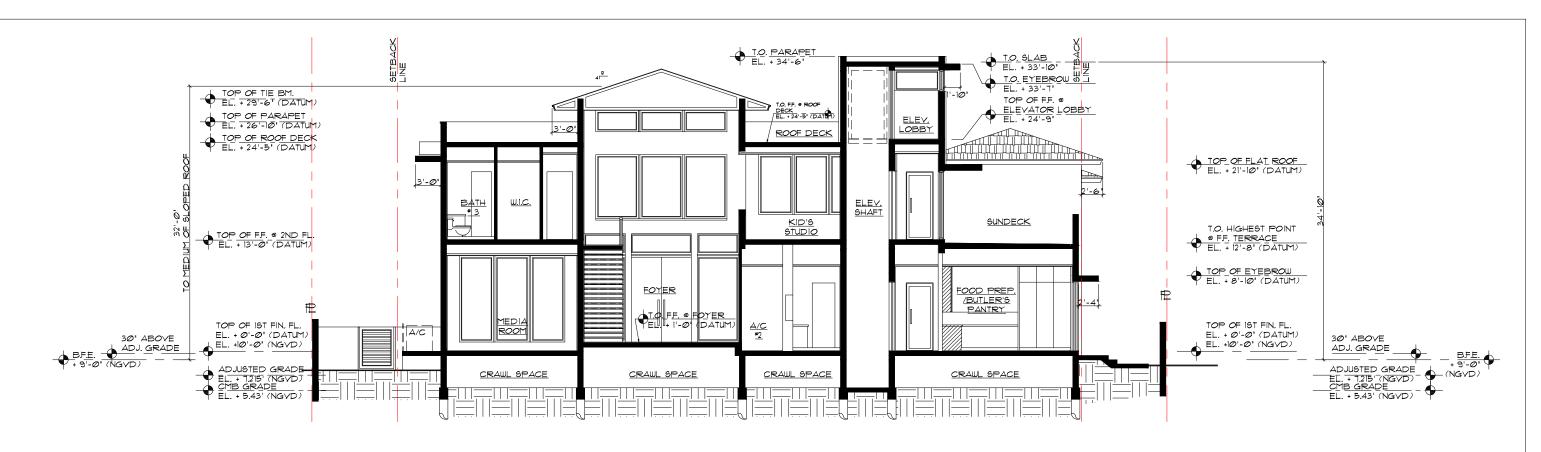
. SARRIA

MIAMI BEACH, FLORIDA

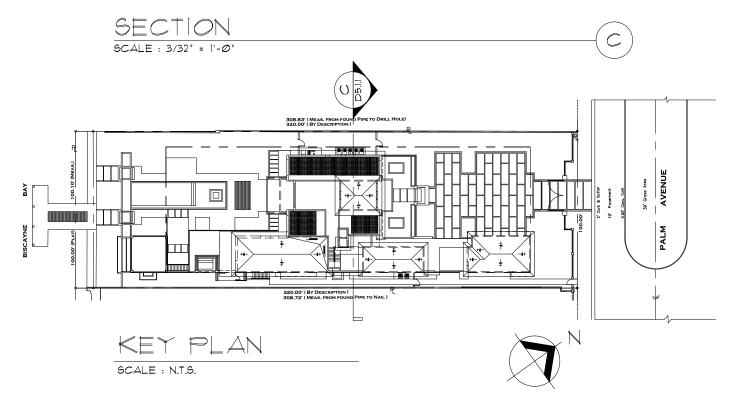
date <u>12 / 5 / 17</u>

sheet no.

D5.1



MATERIAL LEGEND : SMOOTH STUCCO FINISH 1.0 4.0 FLAT CEMENT TILE (TYP. WHERE SHOWN) OVER CONCRETE 4" ALUMINUM LOUVERS IN ALUMINUM 5.0 1.1 2" STUCCO BAND FRAME (BY OTHERS) 5.1 2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS 2.0 LIMESTONE VENEER ON CONCRETE WALL WITH SMOOTH STUCCO FINISH CONCRETE STEPS 2.1 5.2 ALUMINUM TRELLIS (BY OTHERS) WITH STONE FINISH 42" H. GLASS RAILING CAT. II SAF. GL. 2.2 6.0 1" REVEAL (BY OTHERS) 42" H. GLASS RAILING CAT. II SAF. GL. 3.0 6.1 IPE WOOD WITH 38" H. HANDRAIL (BY OTHERS) 7.0 3.1 LIVING WALL GRASS STEPS



SECTION





CAD STUDIO ARCHITECTURE INC.

REGISTRATION NO. : AA 0002588
ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR:

64 PALM AVENUE

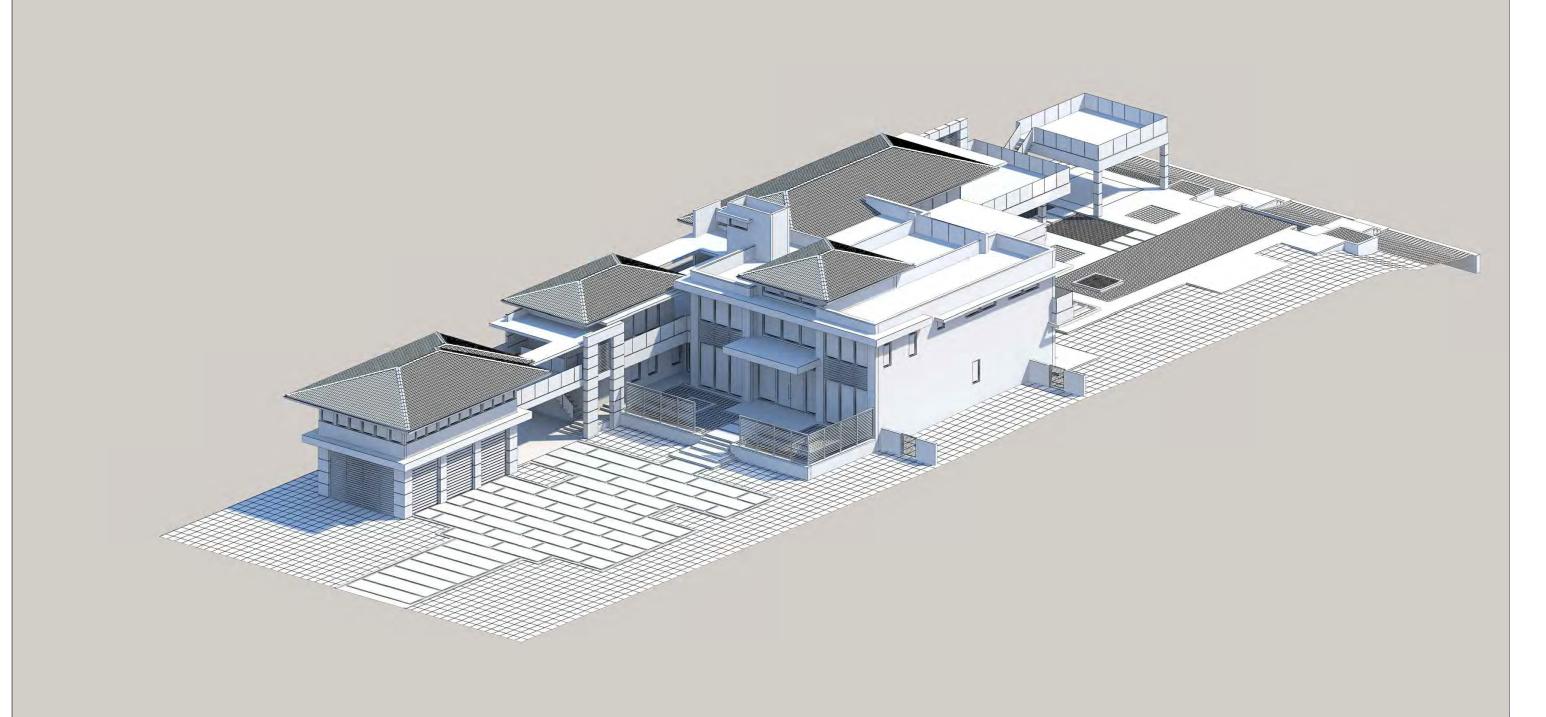
MR. & MRS

SARRIA

MIAMI BEACH, FLORIDA

date 12 / 5 / 17 sheet no.

D5.1.1



NORTH AXONOMETRIC VIEW

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

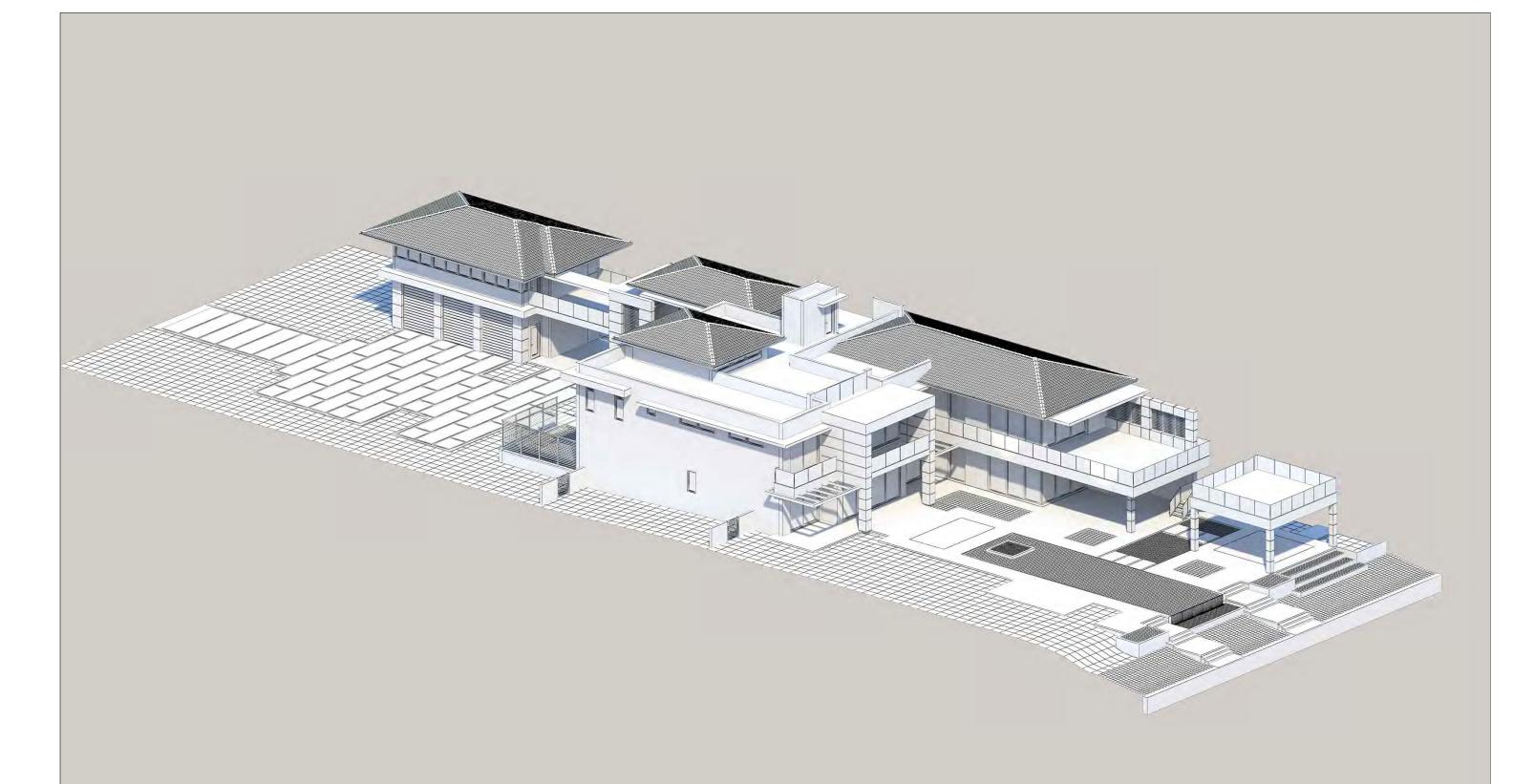
MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u>

sheet no.

D6.0



WEST AXONOMETRIC VIEW

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

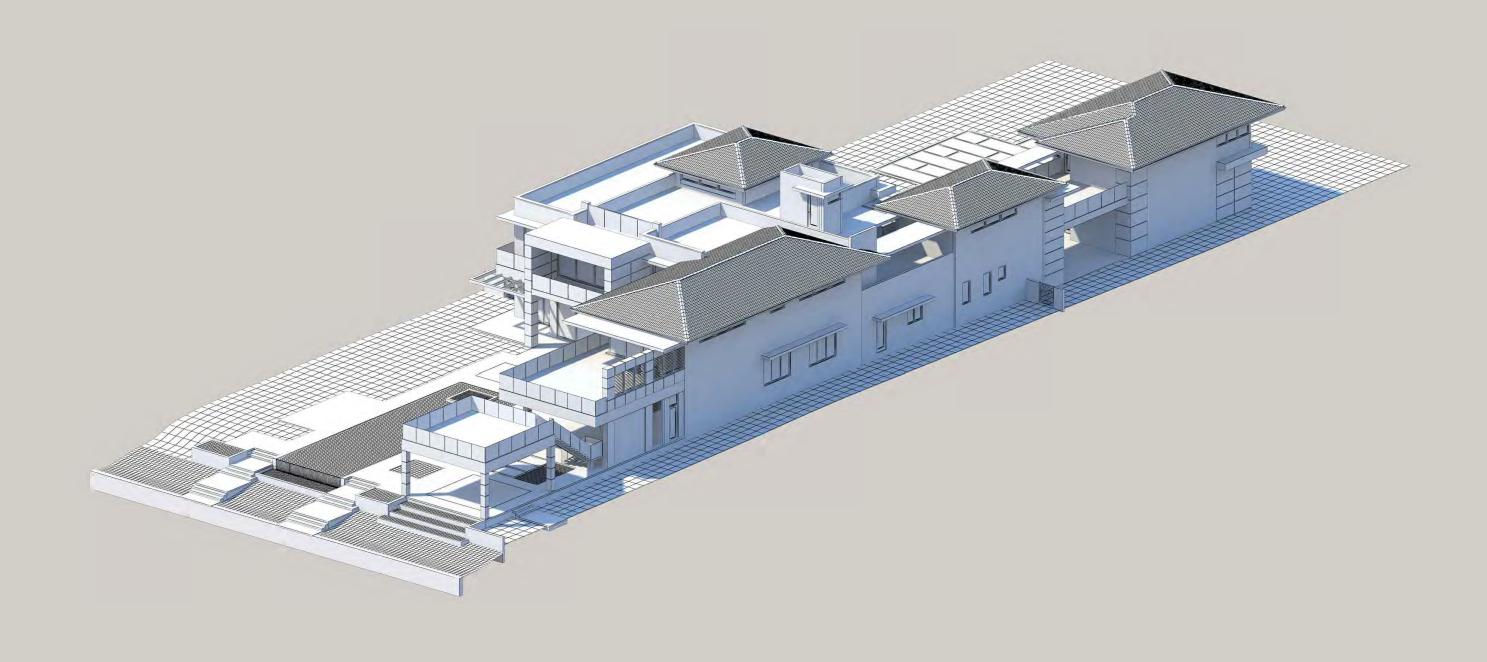
MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u>

sheet no.

D6.1



SOUTH AXONOMETRIC VIEW

REGISTRATION NO. : AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

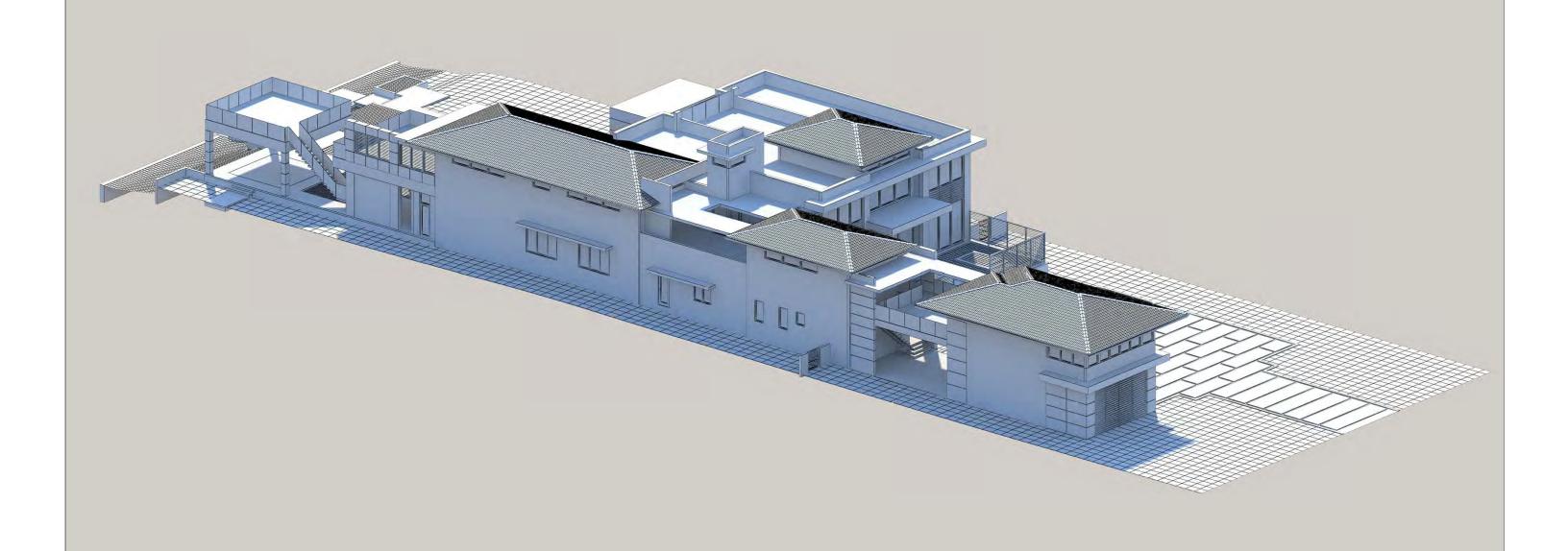
RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u> sheet no.

D6.2



EAST AXONOMETRIC VIEW

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

RESIDENCE FOR :

64 PALM AVENUE

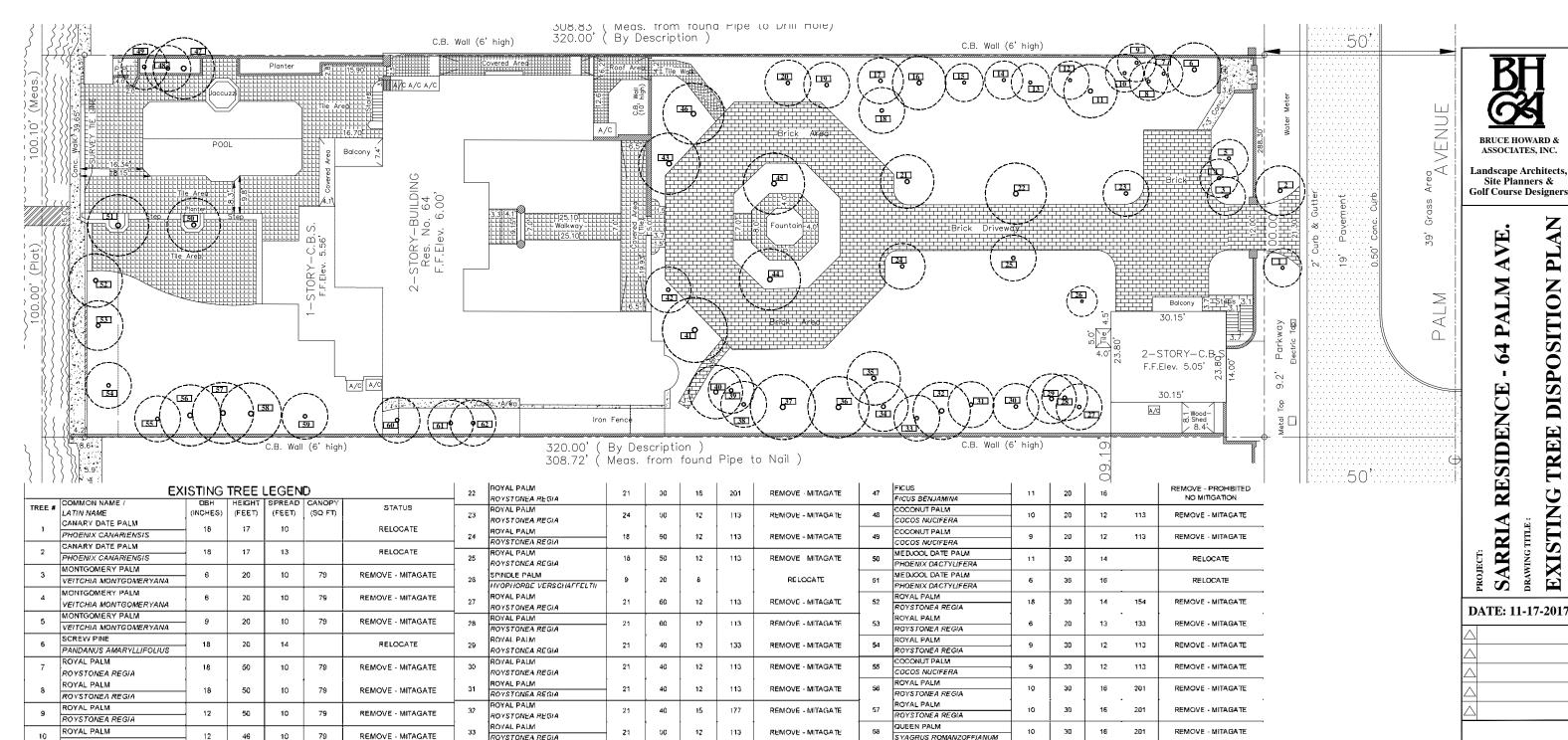
MR. & MRS. SARRIA

MIAMI BEACH, FLORIDA

date <u>12 / 8 / 17</u>

sheet no.

D6.3



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REMOVE - MITAGATE

ROYAL PALM

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Design by:

8045 SW 63 Court

Miami, FL 33143

Phone Number: 305-984-0457

E-mail: aj@plantoneseed.com

REMOVING 6,796 sq.ft. of canopy.

TREE MITIGATION:

SVAGRUS ROMANZOFFIANUM

SYAGRUS ROMANZOFFIANUM

SYAGRUS ROMANZOFFIANUM

SYAGRUS ROMANZOFFIANUM

QUEEN PALM

QUEEN PALM

QUEEN PALM

QUEEN PALM

62

Replacing 6,796 sq.ft. of canopy with 7,200 sq.ft. as shown:

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REMOVE - MITAGATE

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= 1,800 sq.ft.6 Silver Buttonwood (300 ea)= 1,500 sq.ft.(300 ea)5 Crabwood (300 ea)= 3,900 sq.ft.13 Green Buttonwood TOTAL: 7,200 sq.ft.

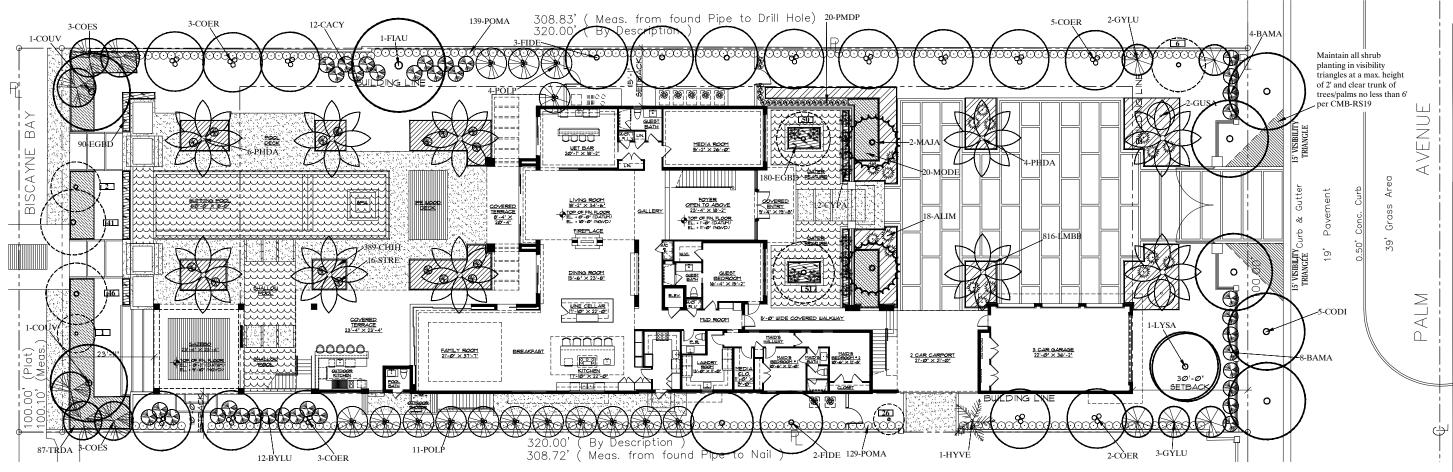


Bruce J. Howard License #: LA0000371

SCALE: 1"=25'-0"

SHEET #

4872 S.W. 72nd Avenue Miami, Florida 33155 (305)668-3196 Fax(305)668-2871



LANDSCAPE CALCULATIONS

Zoning District: **RS-1**

Net Lot Area: 0.689 acres **30,000** square feet

A. The total number of trees required x 12 =

A. The total number of shrubs required x = 10%

B. The number of large shrubs required x 50% =

B. The number of shrubs required x 50% =

LARGE SHRUBS OR SMALL TREES

OPEN SPACE A. Square feet of open space as indicated on site plan:	REQUIRED 11,734 s.f.	PROVIDED 12,062 s.f.
LAWN AREA CALCULATION		
A. Maximum lawn area permitted = $\underline{50}$ % x $\underline{12,062}$ square feet	<u>6,031</u> s.f.	5,480 s.f.
TREES		
A. # trees required per lot (5 for 1st 6,000 s.f. + 1 for each add. 1,000 s.f.)	29 trees per lot	
less the existing number of trees that meet minimum requirements	1 existing trees	
Total lot trees required/provided <u>29</u> - existing trees <u>1</u> :	28 trees	49 trees
B. Percentage of native trees required (trees per lot 28) x 30% =	9 trees	27 trees
C. Drought and salt tolerant required (trees per lot 28) x 50% =	14 trees	42 trees
D. Street trees (max. avg. spacing of 20' o.c.): 100 feet along street ÷ 20 =	5 trees	5 trees
E. Street trees under power lines: 0 linear feet along street $\div 20 =$	0 trees	0 trees
F. Total number of trees Required =	33 trees	54 trees
G. Trees Required for Tree Mitigation (See Sheet LE-1) =	22 trees	22 trees
SHRUBS		

396 shrubs

198 shrubs

40 shrubs

20 shrubs

783 shrubs

475 shrubs

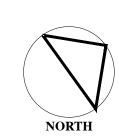
40 shrubs

26 shrubs

			LANDSCAPE LEGEND								
TAG	G NATIVE		"ICCOMMON NAME / LATIN NAME	QTY	SIZE	INSTALL	SPACING				
	1 1 2 3	ONO	STREET TREES		T' DBH HEIGHT						
	r		PIGEON PLUM	1	1	ſ					
CODI	YES		COCCOLOBA DIVERSIFOLIA	- 5	3"	14° OA	N/A				
			SITE PALMS	1							
			CANARY ISLAND DATE PALM	Т	EXISTING TREES						
		ИО	PHOENIX CANARIENSIS	- 4		41 & 46	N/A				
			MEDJOOL DATE PALM	- 2	EXISTING TREES #50 & 51						
		NO	PHOENIX DACTYLIFERA				N/A				
			MEDJOOL DATE PALM	+							
PHDA		NO	PHOENIX DACTYLIFERA	10	N/A	25' CT	N/A				
			SPINDLE PALM	+-	EXISTING TREE #26						
		NÓ	HYOPHORBE VERSCHAFFELTII	1			N/A				
		NO	SPINDLE PALM	+-		Τ					
HYVE	E 1		HYOPHORBE VERSCHAFFELTII	1 1	N/A	6'-8' OA	N/A				
			SITE TREES								
aoce	[]	VEGI I	SILVER BUTTONWOOD	1 .	2"	12" OA					
COES Y	1 63		CONOCARPUS ERECTUS SERICEUS	6			N/A				
COER	VEC		GREEN BUTTONWOOD	13	e"	6" 25' OA	N/A				
COER	TES		CONOCARPUS ERECTUS 'CARDSOUND'	13	9						
GYLU	VEC	CRABWOOD	CRABWOOD	5	2"	12" OA	N/A				
GILO	ILES		GYMNANTHES LUCIDA] ′			N/A				
FIAU	YES		SRANGLING FIG	1	24"	30° OA	N/A				
FIAQ	163		FICUS AUREA	1 '	24						
COUNT	OUV YES	vee	VES	Š	۸		SEAGRAPE	2	8"	20" OA	N/A
0000			COCCOLOBO UVIFERA	-		20 OA					
LYSA		NO	SABICU	1	3"	18' OA	N/A				
LIOM	INC	LYSILOMA SABICU	'			. 1967					
		NO	SCREW PINE	1	EXISTING TREE #6		N/A				
			PANDANUS SPIRALIS] '							
POLP		NO	INDIAN MAST TREE	15	3"	14" OA	N/A				
			POLYALTHIA LONGIFOLIA VAR. PENDULA								
FIDE		NO	JAPANESE FERN TREE	- 5	3"	14" OA	N/A				
FIDE		110	FILICIUM DECIPIENS		"						

LANDSCAPE LEGEND

CACY		JAMAICA CAPER	12	25 gal	6 OA	48" OC	
		CAPPARIS CYNOPHALLOPHORA		25 yai	J U OA	40 00	
BYLU	VES		LOCUSTBERRY	12	25 gal	6 OA	48" 🛇
B110 1123	1.00		BYRSONIMA LUCIDA				
ALAM	MAJA YES		WILD DILLY	2	2-	8'-8' OA	N/A
1417 (2) (123	MANILKARA JAIMIQUI				
GUSA		NO	LIGNUM VITAE	2	2-	8 OA	N/A
			GUAJACUM SANCTUM	-			
ВАМА	NO BAMBOO SEABREEZE		12	25 gal	8 OA	48" 00	
الاال		NO	BAMBUSA MALINGENSIS	12	20 yai	0 04	40 00
			SHRUBS				
TRDA	YES	s	FAKAHATCHEE GRASS	86	3 gal	18"	36" OC
141201			TRIPSACUM DACTYLOIDES	00	J gui		
СНІЯ	YES	YES	HORIZONTAL COCOPLUM	389	3 gal	12"-18"	18" CX
011111			CHRYSOBALANUS ICACO 'HORIZONTAL'				
STRE		NO	BIRD OF PARADISE	16	25 gal	36"-48"	N/A
D			STRELITZIA REGINAE		25 gai		
ALIM	ıka İ	NO	IMPERIAL BROMELIAD	18	7 gal	18"	N/A
			ALCANTAREA IMPERIALIS				
POMA		NO	PODOCARPUS	268	25 gal	36"-48"	24" 👓
. 01411-1			PODOCARPUS MACROPHYLLUS				
РОМА		NO	PODOCARPUS 'DWARF PRINGLES'	20	7 gal	24"-36"	18" CC
· OMA		110	PODOCARPUS MACROPHYLLUS DWARF PRINGLES	20	. 901	27 -30	10 00
MODE	l NO	MONSTER PLANT	20	3 gal	18"	42" 00	
			MONSTERA DELICIOSA		J. ga.		
СҮРА		NO	UMBRELLA PAPYRUS	12	7 gal	18"	N/A
			CYPERUS PAPYRUS				
LMBB		NO	LIRIOPE	816	1 gal	12"	15" 00
			LIRIOPE MUSCARI 'BIG BLUE'	010			
EGBO		NO	BLUE DAZE	270	1.001	4"	12" 00
EGBD		NO	EVOLVULUS GLOMERATUS 'BLUE DAZE'	270	1 gal	4"	12



Design by: 8045 SW 63 Court Miami, FL 33143 Phone Number: 305-984-0457 E-mail: aj@plantoneseed.com

BH
BRUCE HOWARD &

ASSOCIATES, INC.

Landscape Architects, Site Planners & **Golf Course Designers**

SITE LANDSCAPE PLAN AVE. 64 PALM PROJECT:
SARRIA RESIDENCE PROPOSED

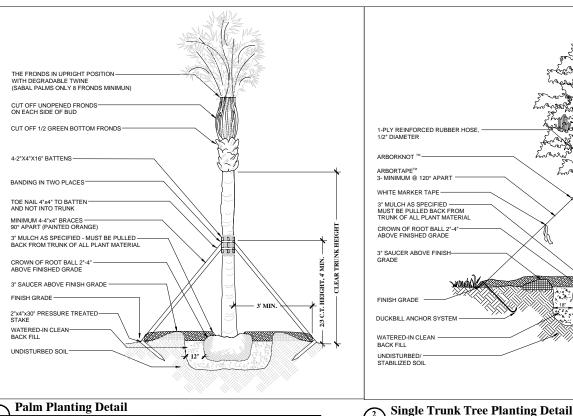
DATE: 11-17-2017

Bruce J. Howard License #: LA0000371

SCALE: 1"=25'-0"

SHEET #

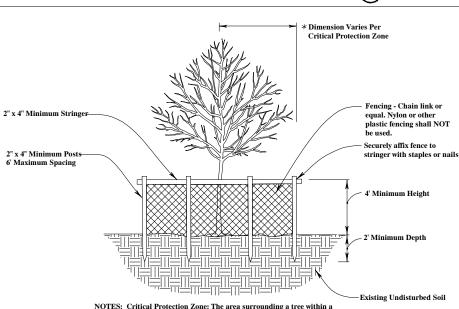
4872 S.W. 72nd Avenue Miami, Florida 33155 (305)668-3196 Fax(305)668-2871



- PLY REINFORCED RUBBER OR PLASTIC HOSE, MIN. 3/4" DIA. WRAPPED ABOVE FIRST BRANCH. #12 GALV. GUY WIRE. GUY TO CENTER STRONGEST TRUNK (3/TREE) REMOVE BURLAP AT TOP 1/3 OF PLAN BALL (IF CONTAINERIZED REMOVE ENTIRE CONTAINER) - CROWN OF ROOT BALL ABOVE FINISHED GRADE MIN. 3" LAYER OF MULCH IN ENTIRE BED - PULL BACK FROM STEM OF PLANT MATERIAL. 6" TEMPORARY WATERING BASIN INISHED GRADE FERTILIZER TABLETS BACKFILL MIXTURE -2" X 4" X 8" PRESSURE ATED STAKES, (3 / TREE) COMPACTED SUBGRADE

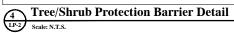
Multi-Trunk Tree Planting Detail
Scale: n.t.s.

+ 1 TE - 18 6 1 TE - 78 161 79 15



circle described by a radius of one (1) foot for each inch of the tree trunk diameter at 54" above finished grade. For groups of trees, place barricades between trees and construction activity

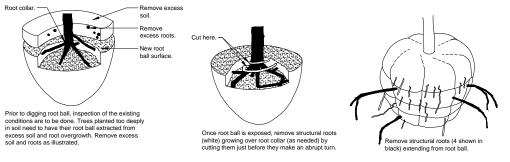
*Tree Protection Barricades shall be located to protect a minimum of 75% of the Critical Protection Zone.



TREE PROTECTION DURING CONSTRUCTION NOTES

Trees shall be protected during construction activity as determined by the building department through the use of protective barriers in accordance with the Landscape Manual. Trees that are to remain shall be clearly identified with tags. A protected area with a radius of ten feet shall be maintained around trees to remain in accordance with the Landscape Manual, unless a certified arborist otherwise determines in writing that a smaller or larger protected area is acceptable for each tree, or unless existing conditions such as (but not limited to) sidewalks, roads, curbs, fences, railing, etc. that limit the distance a protection barrier can be installed away from the trunk of the tree. If the location of the barrier is less than the desired distance due to existing conditions, then all efforts to strengthen the barrier and highlight its location are to be made so that no harm to the existing tree occurs during construction.

During demolition and/or development or construction, including installation of irrigation systems or any other underground installations, protective barriers shall be placed around each tree and shall remain in order to prevent the destruction or damaging of roots, stems or crowns of such trees. The barriers shall remain in place and intact until approved landscape operations begin; however, barriers may be removed temporarily to accommodate construction needs, provided that the manner and purpose for such temporary removal will not harm the trees. The trees shall be properly irrigated throughout the building process. Trees damaged during construction shall be subject to the provisions of local code



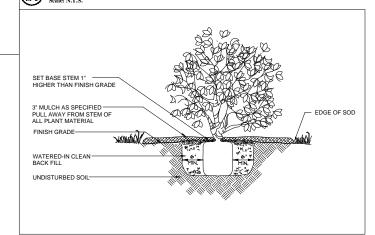
ROOT PRUNING PRIOR TO TRANSPLANTING:

ench (deeper as needed to accommodate actual root ball size) around the tree at least one foot larger than the size of the root ball (or as much intact viable root material as practical). Carefully prune the roots extending from the ball as you dig down. Dig down a maximum of 50% of the root ball to keep the tree balanced and upright. Water tree as needed to promote healthy grown and keep tree from going into shock. In approx. 1-3 months, new leaf growth should be apparent and feeder roots should

TRANSPLANTING:

Prior to moving the plant, prepare and dig the hole for the plant in the new location. Also soak the root ball of the plant before moving so that the soil will remain together during the digging process. Carefully dig the soil away from the root ball, and then wrap the whole ball in untreated natural burlap. Be very careful not to use synthetic burlap because it will not rot away and will eventually restrict the growth of the roots. Lash the burlap together securely to hold the roots firmly in place. Carefully move the plant while keeping the root ball intact. Make sure the plant is set at the same depth in the new hole and fill in around the root ball with topsoil. Mulch lightly with three to four inches of mulch, keeping the mulch off of the trunk or stems of the plant, and be sure to provide adequate water

Tree Root Prune and Transplant Detail



6 Shrub Planting Detail LP-2 Scale: n.t.s.

- 1. All plant material to be Florida No.1 or better. Florida Department of Agriculture Grade and Standards, Parts I and II 1973, 1975 Respectively
- 2. All planting beds to be topped with 2" min. mulch "Grade A", unless otherwise noted. A two-inch layer, after watering in, of mulch must be placed and maintained around all newly installed trees, shrubs, and ground cover plantings. Each tree must have a ring of mulch no less than 24 inches beyond its' trunk in all directions. Red mulch is not acceptable. CYPRESS MULCH WILL NOT BE USED.
- 3. All trees to be staked in good workmanlike manner. No nail staking permitted. (Refer to planting details) Landscape contractor is responsible for removing trees stakes once trees are established.
- 4. Landscape plan shall be installed in compliance with all local codes. Local codes take precedence over Landscape plan.
- 5. All tree holes to be back filled around and under root ball with planting soil. All shrub beds to be installed with planing soil (see planting details). 6. Sod shall be as specified in the landscape plan. Solid sod shall be laid with alternative
- and abutting joints, with 2" top soil minimum if required. 7. All trees and palms are to be guaranteed for one year. All shrubs and ground covers
- shall be guaranteed for six months from date of final acceptance. 8. All planting beds shall be free of weeds, grass, litter, and construction debris prior to
- 9. All trees, palms, shrubs, and groundcover plants shall be fertilized at installation with slow release fertilizer, according to manufacturer's recommendations (submit sample for approval).
- 10. Landscape contractor shall review all drawings and prepare his own take off and plant list prior to bid cost, and compare to Landscape Architect's plant list. Sizes specified on Landscape plan are deemed to be minimums. Landscape Contractor is responsible for attaining accurate counts of plant materials specified. In the event of discrepancies, Landscape Contractor shall bring to the attention of the Landscape Architect. Plan shall take precedence over plant list. No Exceptions!
- 11. Landscape Contractor shall locate and verify all underground utility prior to digging. Plantings in Easements: Utility, power, or drainage easements may overlap required buffers; however no required trees or shrubs may be located in any utility, power, or street easement or right-of-way.
- 12. All trees, except street trees, shall be a minimum of ten (10) feet high and have a minimum dbh of two (2) inches at time of planting except that thirty (30) percent of the tree requirement may be met by native species with a minimum height of eight (8) feet and a minimum dbh of one and one-half (1½) inches at time of planting
- 13. All shrubs must be a minimum of 18" in height at time of planting. When used as a visual screen, buffer, or hedge, shrubs shall be planted at a maximum average spacing of thirty (30) inches on center or if planted at a minimum height of thirty-six (36) inches, shall have a maximum average spacing of forty-eight (48) inches on center and shall be maintained so as to form a continuous, unbroken and solid visual screen within one (1) year after time of planting.
- 14. All material is subject to availability at time of installation. Substitutions MUST be cleared with Landscape Architect prior to install.
- 15. All newly planted areas to receive 100% coverage (with 50% overlap) by automatic irrigation system (refer to irrigation plan).
- 16. All existing plant material to remain shall be protected (see planting details).
- 17. All trees to be relocated will get root pruned a minimum of 30 days prior to relocation (more if req. by species). Upon relocation, thin out (under LA direction) 25% of tree canopy.
- 18. After removal/relocation of existing trees and palms, backfill tree pit with planting soil and sod disturbed area (if needed) to bring them to the same level of the surrounding
- 19. No changes shall be made without the prior consent of the Landscape Architect and Owner.

TREE MAINTENANCE NOTES

- 1. Begin maintenance immediately after planting. Maintain all plant material until final acceptance and for a maintenance and warra period of twelve (12) months after final acceptance
- 2. Maintenance shall include but is not limited to pruning, cultivating, mowing, weeding, fertilizing, watering, and application of appropriate pesticides necessary to maintain plants in healthy condition
 - 1) Reset settled plants to proper grade and position.
 - Restore soil berm and mulch layer.
 - 3) Tighten and repair elastic guys or other supports 4) Correct defective work.
 - 5) Remove and replace rejected material within one (1)
- working day from notification.
- Maintain mulch surface weed-free
- 3. The contractor is entirely responsible for the irrigation through final acceptance and twelve- (12) month warranty period. Plant material shall receive water in accordance with the water schedule established per Irrigation Notes.





BRUCE HOWARD & ASSOCIATES, INC.

Landscape Architects, Site Planners & Golf Course Designers

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PALM 64 Õ RESIDENCE DETAIL LANDSCAPE SARRIA

DATE: 11-17-2017

Bruce J. Howard License #: LA0000371

SCALE: 1"=25'-0"

SHEET #

4872 S.W. 72nd Avenue Miami, Florida 33155 (305)668-3196 Fax(305)668-2871

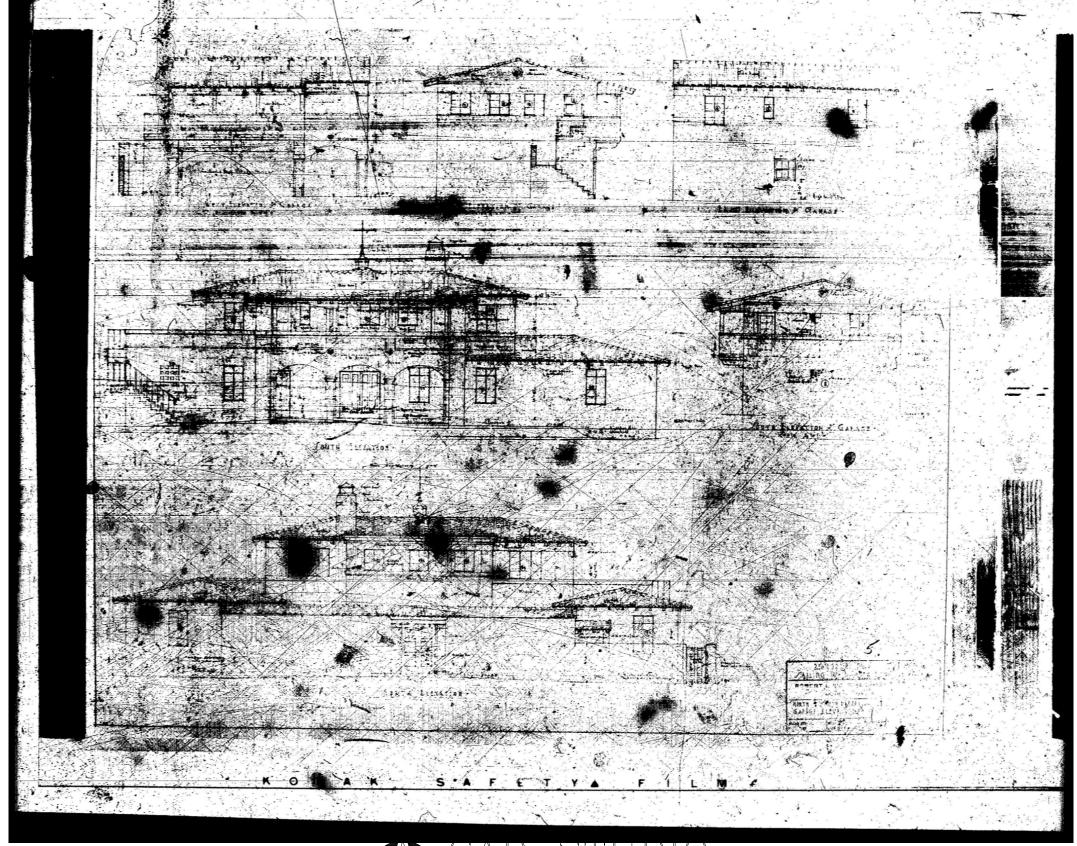
Flaherty Tom R. Lewis Owner Sailing Baruch Mailing Address Permit No. 5067 R. G. Hascell - owner
Subdivision Palm Island Lot 33 Street palm ave No. 64 Date 10/22/32 General Contractor Wm. F. Bonsack, Inc. Address 4205-01-0300 Architect Robert L. Weed Address Front 46'-8"Depth 40'-2" Height 25-Use Residence & Stories Foundation Reinf-conc-Piling RoofTile & Comp Type of construction C B Stucco Cost \$25,000.00 Plumbing Contractor Address Date No. fixtures Rough approved by Date ELECTRICAL Plumbing Contractor Stolphman #6334 Address Datel1-3-32 No. fixtures set 22 Final approved by Date O'Neill-Septic tank TWO-6316 -Sewer connection Date 0-26-32 ADDITIONAL Electrical Contractor Hardie Electric Co. #3161 Address Date10-27-32 No. outlets 70 Heaters 2 Stoves 1 Motors Fans Temporary service 20 receptacles_ Rough approved by Date FOR Electrical Contractor Hardie Electric Date Dec . 12-32 Address SIDE No. fixtures set 50 Final approved by Larkin - Elec.Permit #3297 ---- 58 Fixtures -- Date of service OTHER Alterations or repairs permit # 6173: Swimming Pool: Cost, \$9,700.00 ---- Date July 24-1934 Robt. L Weed, architect: Fred Howland, Contractor: Concrete pile foundations: Reinforced concrete construction: Electrical Permit # 43871 Wagner: 5 outlets: 1 motor: Building Permit # 9917 -- Addition (Fred Howland, contractor) Robt L. Weed, arch: c-b-s- Concrete Pile foundationcost- \$6,500,00 -June 2-1937 BUILDING PERMIT # 12240- Installation of filter plant: Bainbridge-Dodge Co. - \$1,000. - Feb. 10-1939 BUILDING PERMIT .. # 18021... Fence - 2 ft high on bulkhead ... owner, builds.. \$ 100: Feb.1,1944

MICROFILM OF EXISTING PLANS



64 PALM AVENUE

MIAMI BEACH, FLORIDA



ARCHITECTURE INC

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309
4808 southwest 72nd Ave. miami florida 33155 telephone (305)662–1008

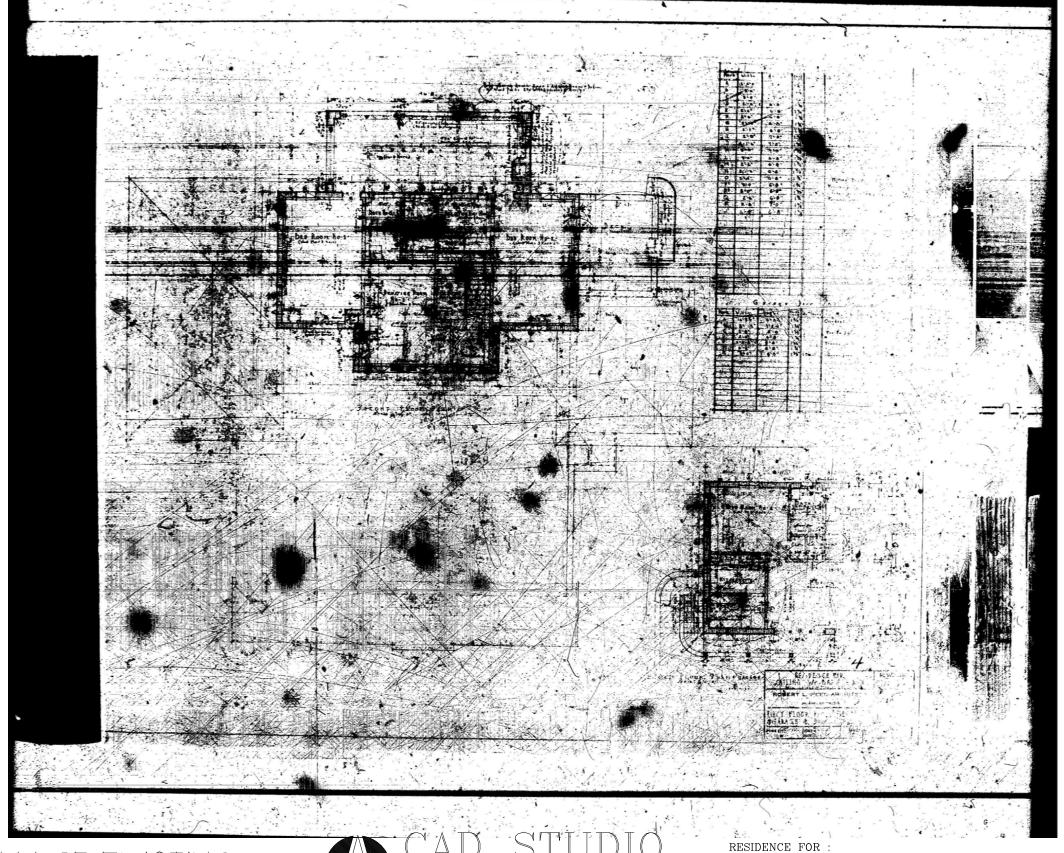
RESIDENCE FOR :

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SARRIA MIAMI BEACH, FLORIDA

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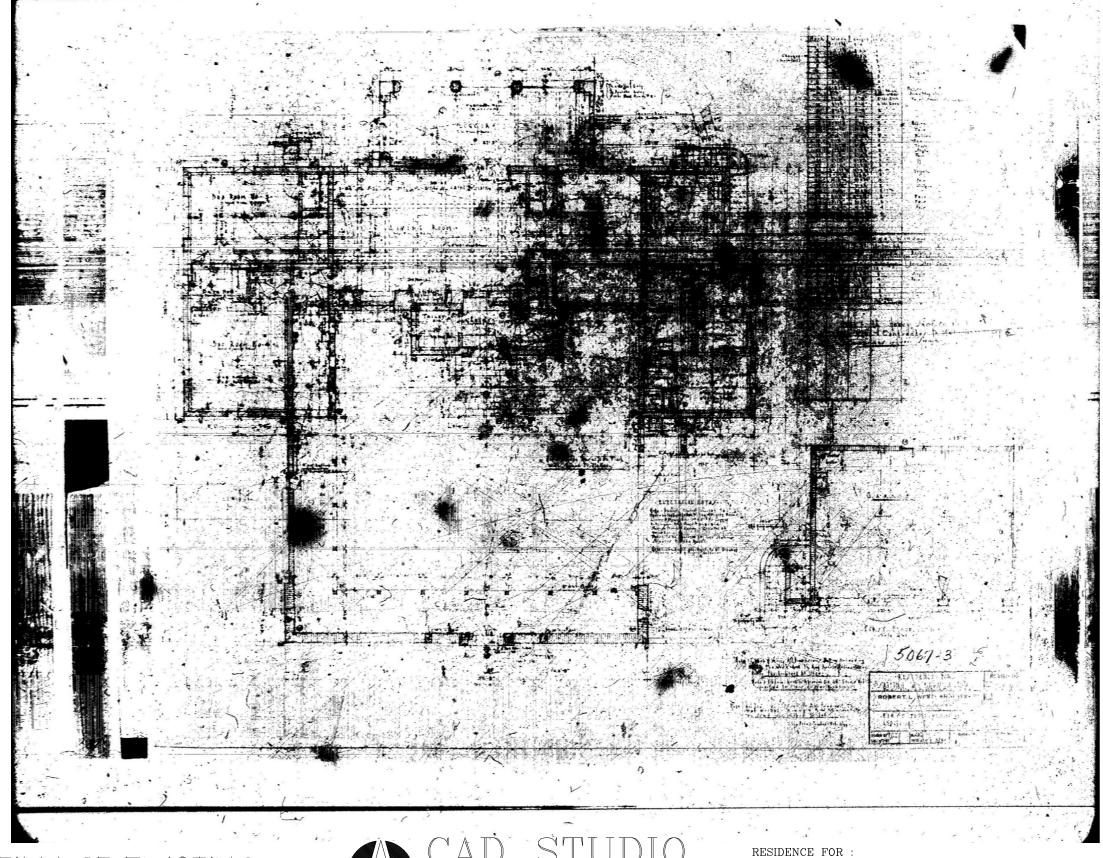
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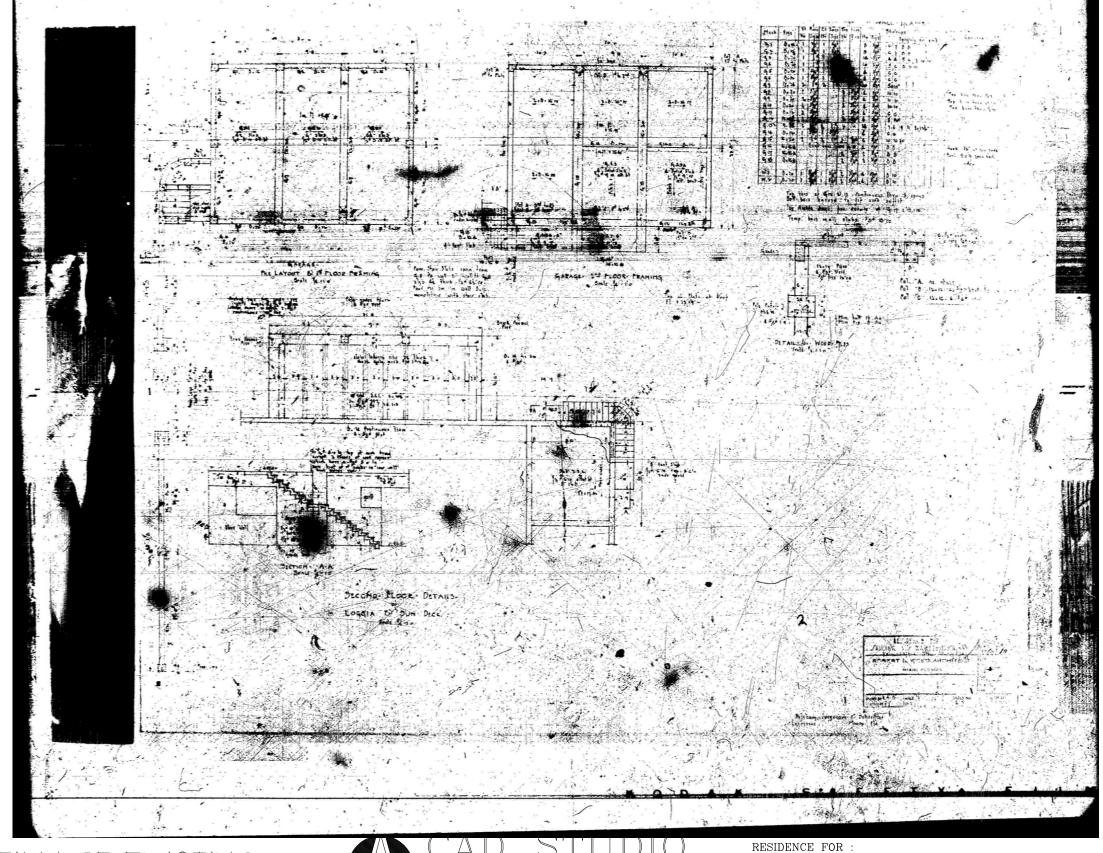
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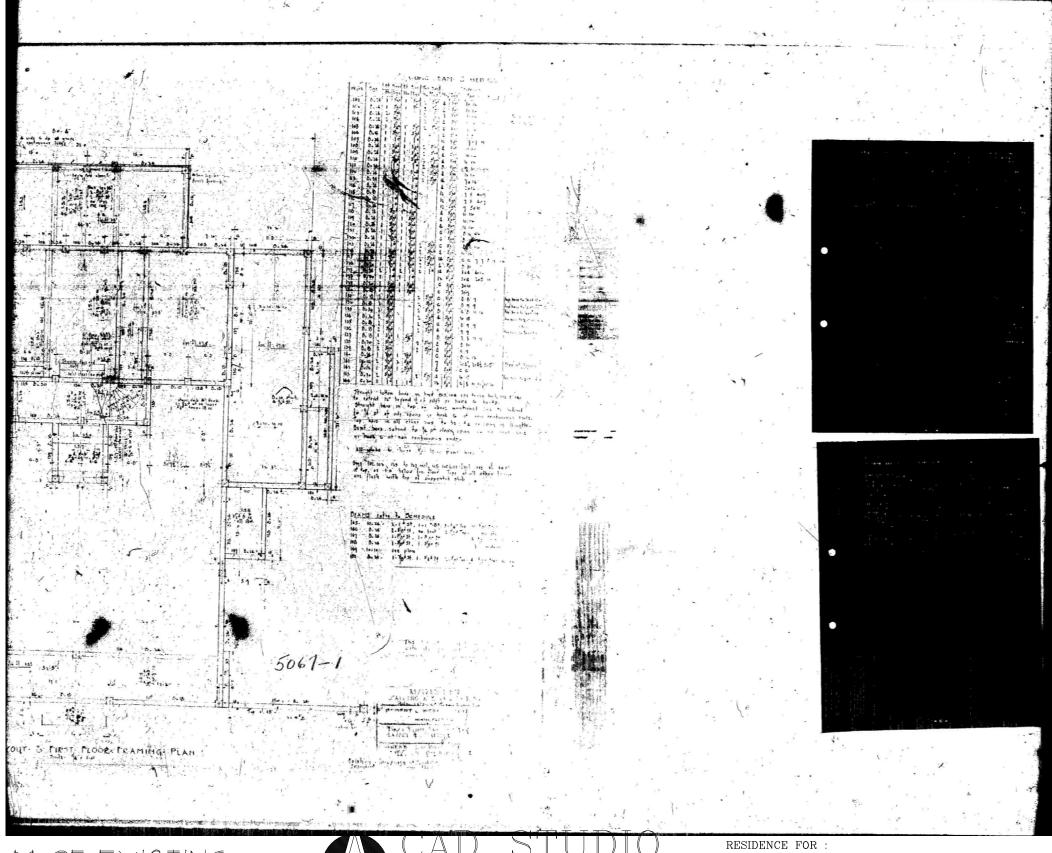
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MIAMI BEACH, FLORIDA M1.5

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REGISTRATION NO. : AA 0002588 ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

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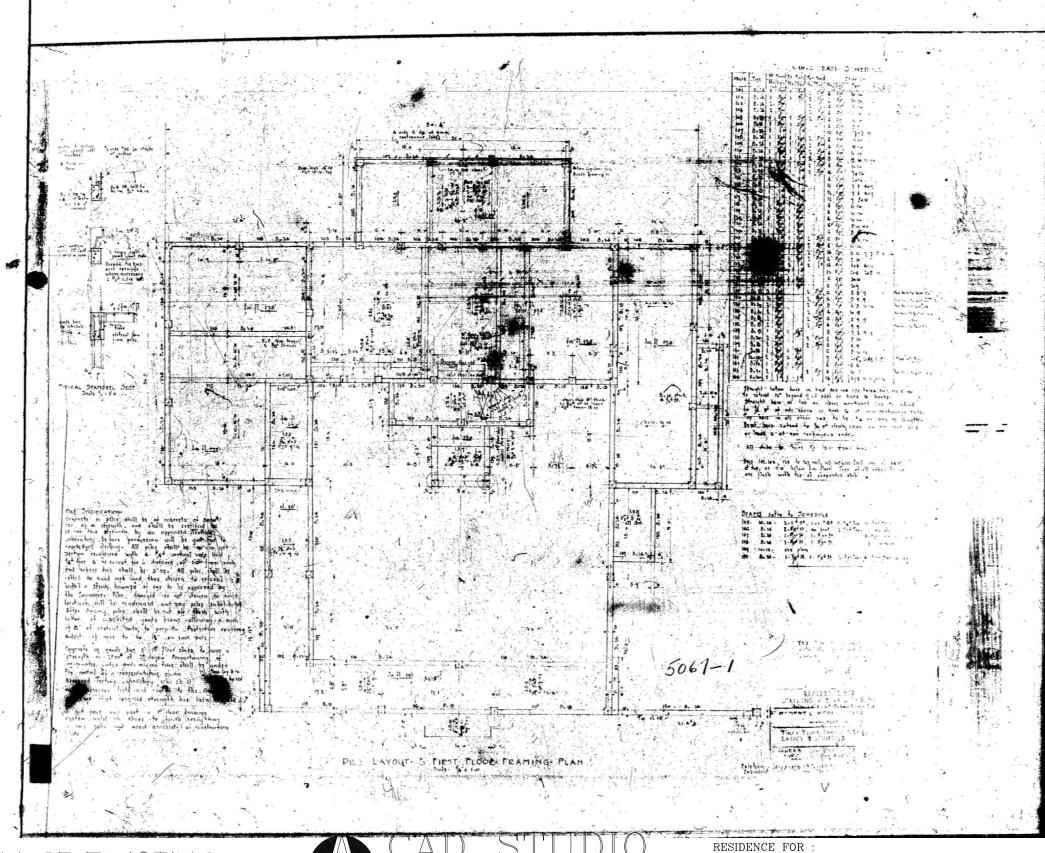
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