



SCOPE OF WORK  
1. DESCRIPTION OF WORK: NEW CONSTRUCTION 2 STORY SINGLE FAMILY RESIDENCE  
2. SCOPE OF WORK INCLUDES:  
2.1 DEMOLITION OF EXISTING STRUCTURE  
2.2 NEW CONSTRUCTION 2 STORY SINGLE FAMILY RESIDENCE  
DRB SUBMITTAL DEADLINE DATE: 12/8/17

COVER

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CAD STUDIO  
ARCHITECTURE INC.

REGISTRATION NO. : AA 0002588

ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

4808 southwest 72nd Ave. miami florida 33155 telephone (305)862-1008

64 PALM AVENUE RESIDENCE - MIAMI BEACH, FLORIDA  
DRB (DRB17-0201) FINAL SUBMITTAL - DESIGN REVIEW BOARD

RESIDENCE FOR :

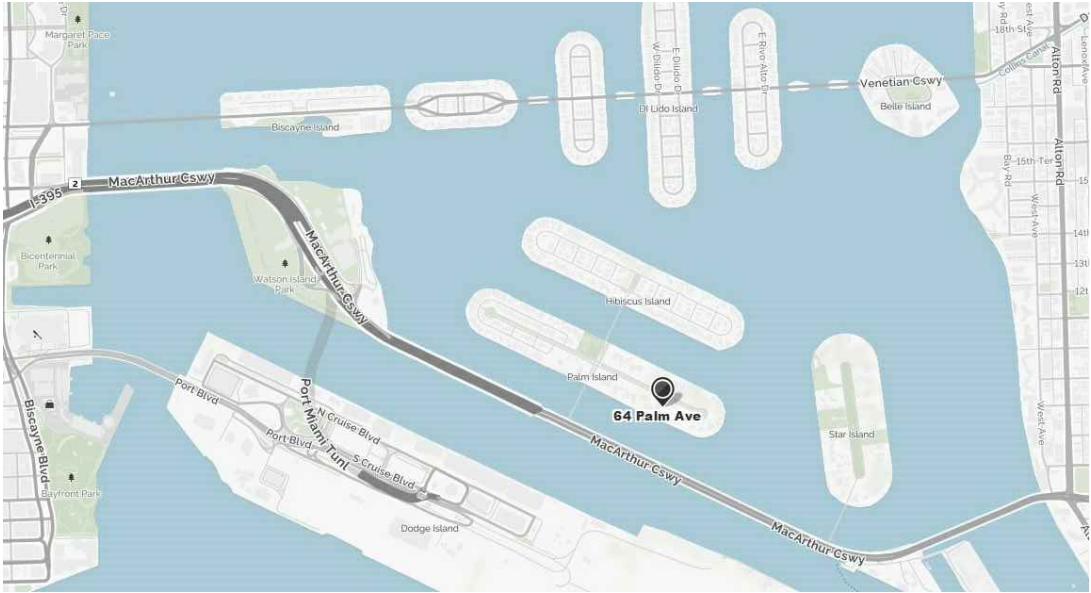
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 8 / 17  
sheet no.

D00



CITY MAP

SCALE : N.T.S.



NEIGHBORHOOD MAP

SCALE : N.T.S.



DRAWING INDEX							
SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
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D2.0	SETBACKS DIAGRAM						
D2.1	LOT COVERAGE						

SITE LOCATION AND INDEX

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RESIDENCE FOR :

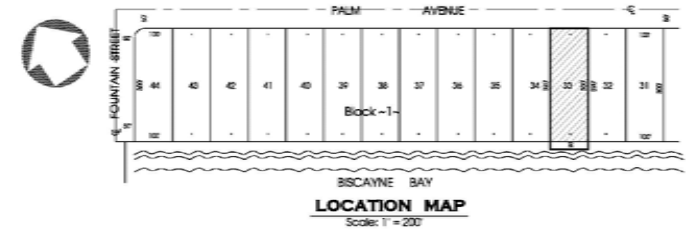
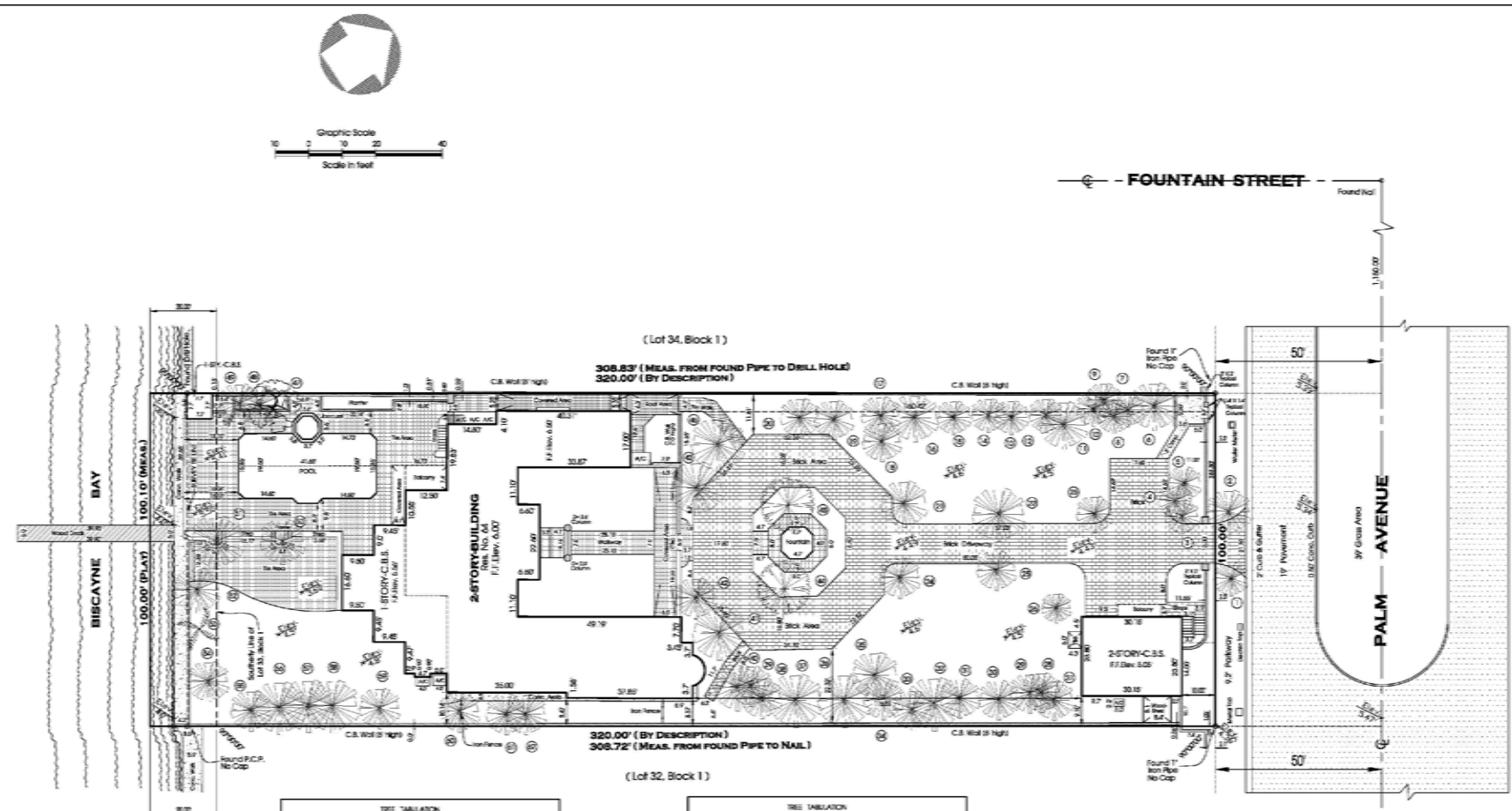
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 8 / 17  
sheet no.

D0.1



LEGAL DESCRIPTION

Lot 33 and 20.00 foot adjacent strip in the bay, Block 1, PALM ISLAND, according to the plat thereof, as recorded in Plat Book 6, at Page 54, of the Public Records, of Miami-Dade County, Florida.

Property Address: 64 Palm Avenue, Miami Beach, Florida, 33139.

SURVEYOR'S NOTES

- The above captioned Property was surveyed and described based on the above Legal Description furnished by Client.
- The Certification is only for the Lands as described. It is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- Ownership subject to OPINION OF TITLE.
- Type of Survey: BOUNDARY SURVEY.
- Reasonable efforts were made to the existence and location of the above ground utilities. This firm does not accept responsibility for any Underground information. Before excavation or construction contact the appropriate Utility companies for verification.
- The subject property is located within a Flood Hazard Area as defined by the Federal Insurance Administration, Community Panel No. 123651-0318 Suffix "1" Road Zone "AE". Base Elevation: 9.00 feet. Map Date: March 2, 1994, (Revised).
- This PLAN OF SURVEY, has been prepared for the exclusive use of the entities named herein. The Certificate does not extend to any unnamed party.
- Zoning, Zoned Street lines, Set-backs, Undergrounds, Easements (not in Plat) and Right-of-Ways, etc., to be verified and/or obtained by owner, Architect or Builder before design or construction.
- Precision of closure 1:7,500 Suburban Class Survey.

FOR THE BENEFIT OF:

- RICARDO SARRIA

TREE TABULATION				
No.	NAME	DBH (Inches)	CANOPY (Square Feet)	HEIGHT
1	Palm	1.5	10	17
2	Palm	1.5	12	17
3	Palm	0.5	10	42
4	Palm	0.5	10	42
5	Palm	0.7	10	40
6	Palm	1.5	14	52
7	Palm	1.5	12	50
8	Palm	1.5	10	52
9	Palm	1.9	10	50
10	Palm	1.9	12	49
11	Palm	1.2	14	37
12	Palm	1.2	12	37
13	Palm	1.9	12	37
14	Palm	1.9	10	37
15	Palm	1.9	10	40
16	Palm	1.5	14	40
17	Palm	1.5	12	42
18	Palm	1.5	12	52
19	Palm	1.5	12	52
20	Palm	1.9	12	30
21	Palm	2.9	14	52
22	Palm	1.2	10	32
23	Palm	2.2	12	60
24	Palm	1.9	12	50
25	Palm	1.5	12	52
26	Palm	2.7	8	32
27	Palm	1.7	12	40
28	Palm	1.7	12	42
29	Palm	1.7	12	42
30	Palm	1.7	12	42
31	Palm	1.7	12	42

TREE TABULATION				
No.	NAME	DBH (Inches)	CANOPY (Square Feet)	HEIGHT
32	Palm	1.7	10	42
33	Palm	1.7	12	52
34	Palm	1.5	12	42
35	Palm	1.5	14	42
36	Palm	1.7	10	40
37	Palm	1.7	12	40
38	Palm	1.7	12	40
39	Palm	1.7	12	40
40	Palm	1.5	14	40
41	Palm	2.9	12	32
42	Palm	1.5	12	42
43	Palm	1.7	10	42
44	Pine	2.2	10	40
45	Pine	2.2	10	40
46	Palm	2.2	10	30
47	Guava Limbo	0.9	10	20
48	Palm	0.8	12	22
49	Palm	0.7	12	22
50	Palm	0.9	14	30
51	Palm	0.5	10	20
52	Palm	1.5	14	30
53	Coconut	0.5	10	20
54	Palm	0.7	12	32
55	Palm	0.7	12	30
56	Palm	0.8	10	30
57	Palm	0.8	10	30
58	Palm	0.9	12	22
59	Palm	0.7	12	22
60	Palm	0.7	12	22
61	Palm	0.7	12	22
62	Palm	0.7	12	22

REVISIONS			ABBREVIATIONS		
Date	Description	JNL	P.O.B.	Part of Building	W/W
05/24/03	Rev. to show New Improvements	9400	P.O.B.	Public Record Book	W/W
01/12/05	Rev. to show Up-to-Date Survey	10386	P.O.B.	Public Record Book	W/W
10/15/17	Update Survey (Tree Survey)	23662	P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W
			P.O.B.	Public Record Book	W/W

Plan of Survey



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RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 8 / 17

sheet no. D0.2

NOTE: THIS SURVEY IS FOR REFERENCE ONLY. REFER TO SIGNED AND SEALED SURVEY PROVIDED SEPARATELY.

**SURVEY**

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1 FRONT VIEW - STREET



2 GARAGE VIEW

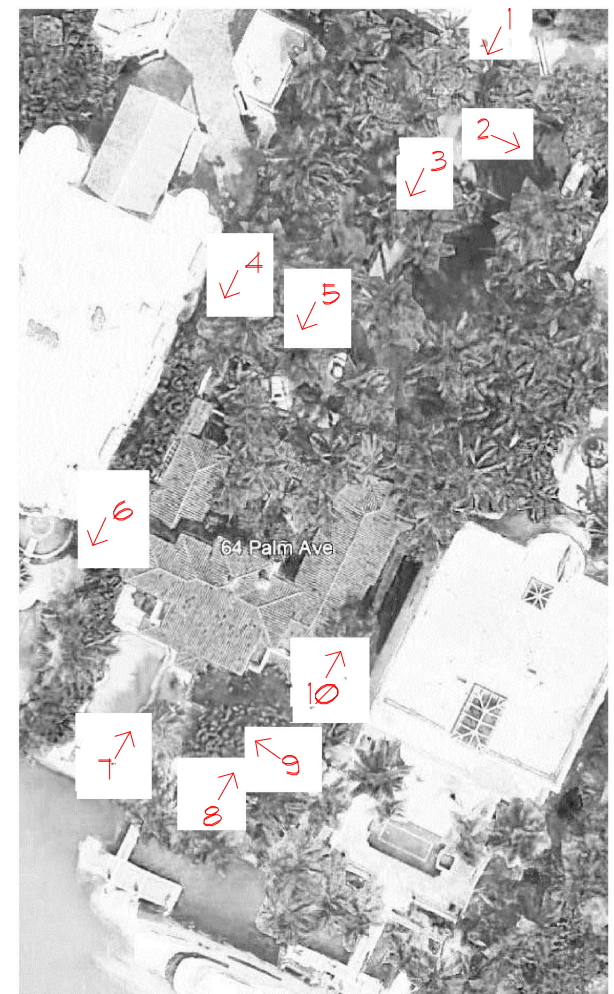
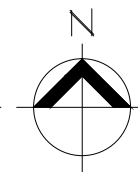


3 FRONT VIEW



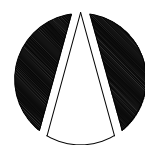
4 RIGHT FRONT VIEW

KEY PLAN  
SCALE : N.T.S.



EXISTING SITE CONTEXT

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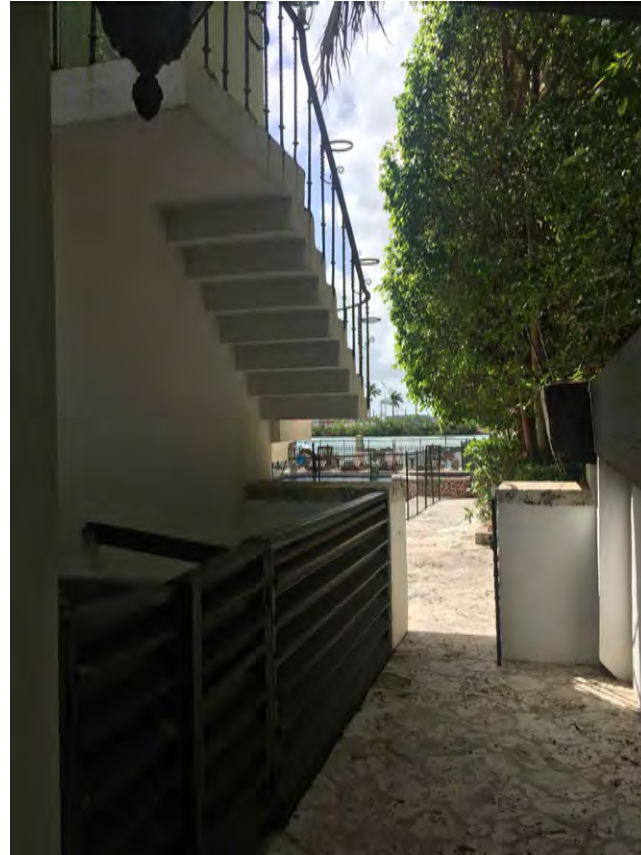
MIAMI BEACH, FLORIDA

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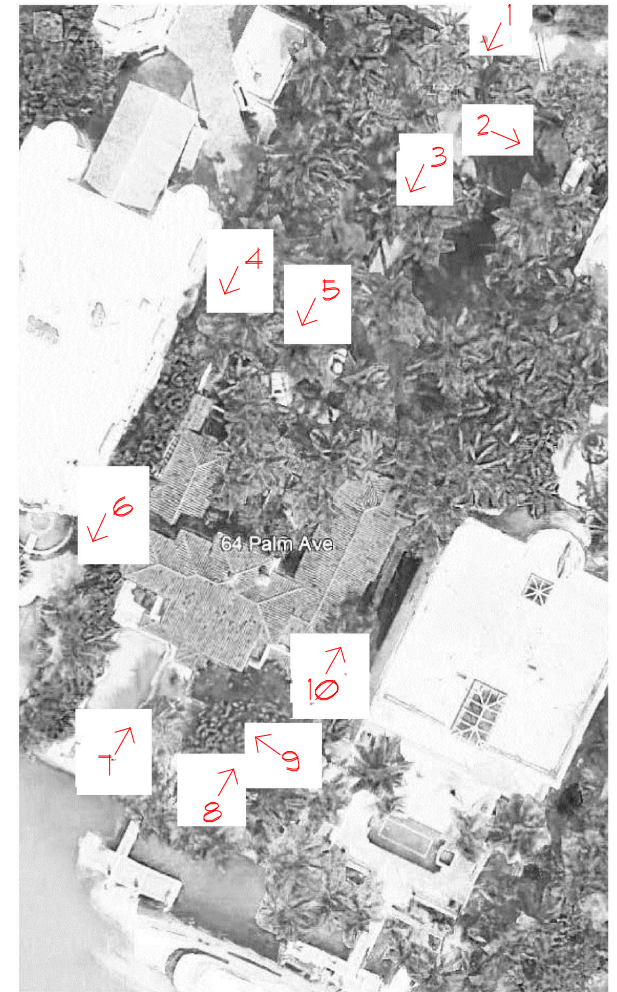
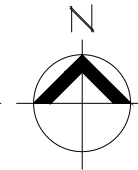


5 RIGHT FRONT VIEW



6 RIGHT SIDE VIEW

KEY PLAN  
SCALE : N.T.S.



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64 PALM AVENUE

MRS. SARRIA

MIAMI BEACH, FLORIDA

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D0.3.1



7 REAR VIEW



8 REAR VIEW

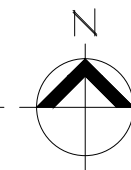


9 REAR VIEW



10 LEFT SIDE VIEW

KEY PLAN  
SCALE : N.T.S.



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D0.3.2



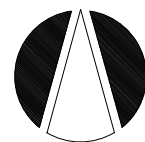
FRONT AERIAL VIEW  
SCALE : N.T.S.



REAR AERIAL VIEW  
SCALE : N.T.S.

EXISTING AERIAL CONTEXT

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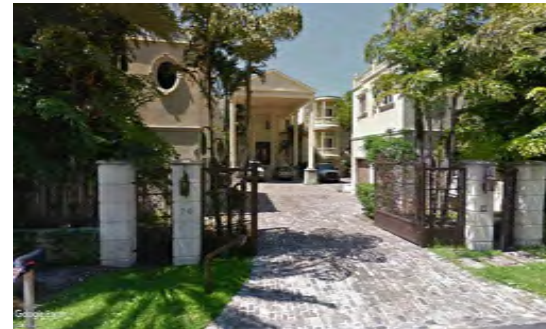
5 48 PALM AVENUE



4 56 PALM AVENUE



3 64 PALM AVENUE

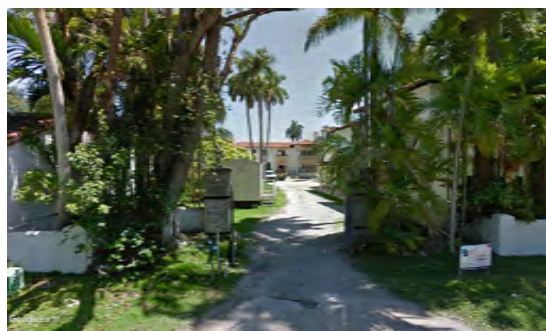


2 70 PALM AVENUE

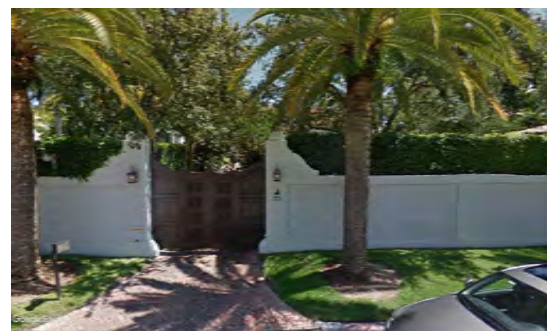


1 80 PALM AVENUE

# PALM AVENUE



10 49 PALM AVENUE



9 55 PALM AVENUE



8 65 PALM AVENUE



7 73 PALM AVENUE



6 81 PALM AVENUE

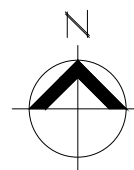
## NEIGHBORHOOD CONTEXT

SCALE : N.T.S.



## KEY PLAN

SCALE : N.T.S.



## NEIGHBORHOOD CONTEXT

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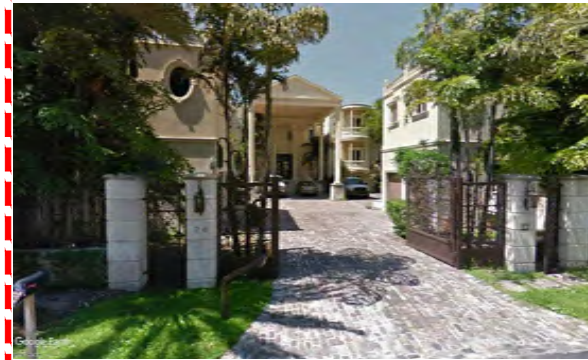
48 PALM AVENUE



56 PALM AVENUE



64 PALM AVENUE



70 PALM AVENUE



80 PALM AVENUE

# PALM AVENUE



49 PALM AVENUE



55 PALM AVENUE



65 PALM AVENUE



73 PALM AVENUE



81 PALM AVENUE

## EXISTING STREETSCAPE

SCALE : N.T.S.

STREETSCAPE

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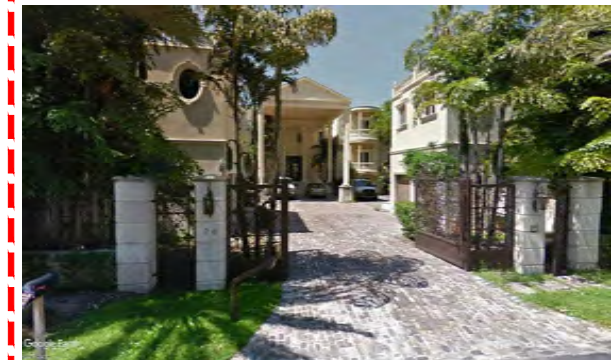
48 PALM AVENUE



56 PALM AVENUE



64 PALM AVENUE



70 PALM AVENUE



80 PALM AVENUE

**PALM AVENUE**



49 PALM AVENUE



55 PALM AVENUE



65 PALM AVENUE



73 PALM AVENUE



81 PALM AVENUE

PROPOSED STREETSCAPE

SCALE : N.T.S.

STREETSCAPE

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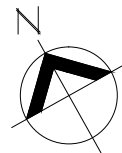
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NOTE: COLORS ARE FOR SCHEMATIC PURPOSES ONLY.



## AERIAL SITE CONTEXT

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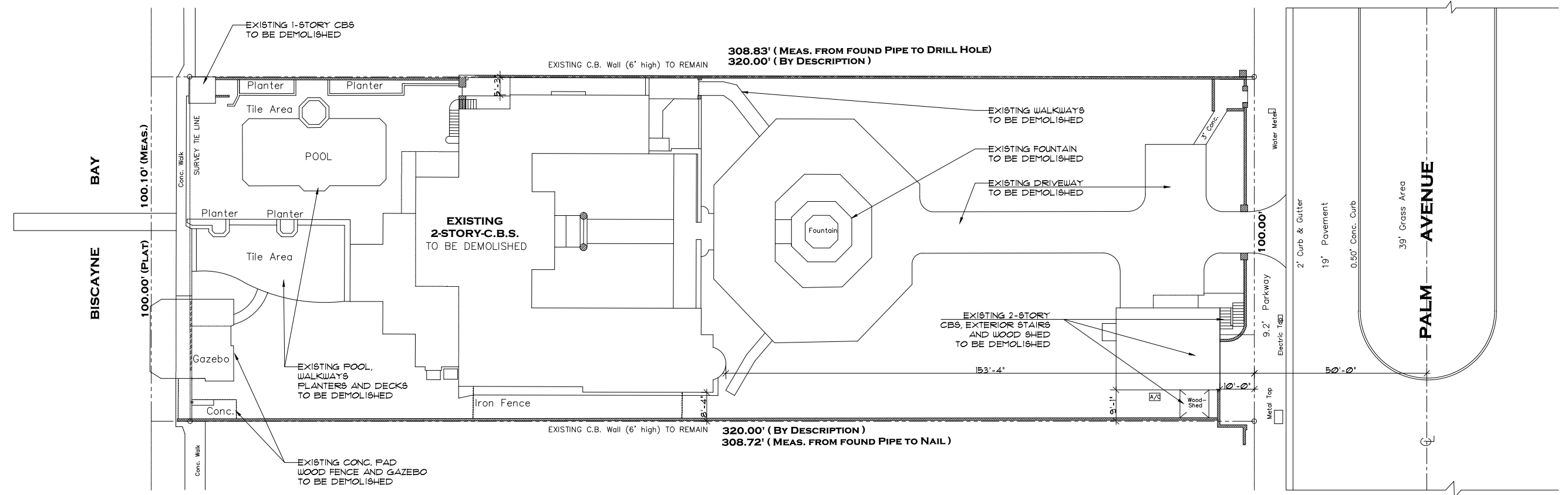
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#### GENERAL NOTES :

PRIOR TO ANY DEMOLITION WORK THE CONTRACTOR SHALL THOROUGHLY SURVEY THE SITE TO ASSURE THAT THIS WORK WILL BE ACCOMPLISHED WITH MINIMAL DISTURBANCE TO THE NEIGHBORS.

DISCONNECT & CAP OFF THE EXISTING SEWER, AND WATER LINES.

DISCONNECT THE EXISTING ELECTRICAL SYSTEM.

CONTRACTOR SHALL CONTROL DUST & DEBRIS THROUGHOUT THE DEMOLITION PROCESS.

CONTRACTOR IS TO BE CAREFUL NOT TO DAMAGE ANY EXISTING STRUCTURE TO REMAIN.

## DEMOLITION SITE PLAN

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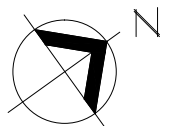
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## DEMOLITION SITE PLAN

SCALE : 1" = 30'-0"



RESIDENCE FOR :

MR. & MRS. SARRIA

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FRONT RENDERING

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D1.0



REAR RENDERING A

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D1.2



## REAR RENDERING B

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MIAMI BEACH, FLORIDA

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sheet no.

D1.3

ZONING DATA:

PROJECT DESCRIPTION:  
NEW CONSTRUCTION – SINGLE FAMILY  
MUNICIPALITY: MIAMI BEACH  
STREET ADDRESS: 64 PALM AVENUE,  
MIAMI BEACH, FL 33139–5138  
FOLIO NUMBER: 02–4205–001–0300  
ZONING DISTRICT: RS–1  
FEMA ZONE: AE–9  
BFE: 9 N.G.V.D.

CODE OF ORDINANCES’ REFERENCES:

LOT AREA: 142–105  
MINIMUM LOT WIDTH: 142–105  
GROSS BUILDING AREA: 142–105  
LOT COVERAGE: 142–105  
BUILDING HEIGHT: 142–105  
BUILDING SETBACKS: 142–106  
FENCE HEIGHT: 142–1132  
DRIVEWAYS: 142–1132  
POOL SETBACK: 142–1132  
PROJECTIONS: 142–105, 142–1132  
OTHER DIMENSIONAL REQUIREMENTS: 142–105

ZONING AREA CALCULATIONS:

	ALLOWED	PROVIDED
LOT SIZE	30,000 S.F. MIN.	30,872 S.F.
LOT COVERAGE	9,261 S.F MAX.(30%)	7,653 S.F (24.79%)
UNIT SIZE	15,436 S.F. (50%)	14,233 S.F (46.10%)
GROUND LEVEL	–	7,706 S.F.
SECOND LEVEL	5,394 S.F. MAX. (70% GROUND)	6,452 S.F. (83.72%)
ROOF	–	75 S.F.
ROOF TERRACE	1,019 S.F. MAX. (25% OF ROOF AREA (4,833 S.F.) OF FLOOR AREA DIRECTLY BELOW)	704 S.F. (14.5%)

MIAMI BEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

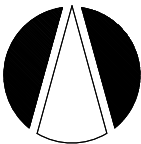
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM#	ZONING INFORMATION			
1	ADDRESS:	64 PALM AVENUE		
2	FOLIO NUMBER(S):	02–4205–001–0300		
3	BOARD AND FILE NUMBERS:			
4	YEAR BUILT:	1932	ZONING DISTRICT:	RS–1
5	BASE FLOOD ELEVATION:	9’–0” N.G.V.D.	GRADE VALUE IN N.G.V.D.:	5.47’ N.G.V.D.
6	ADJUSTED GRADE (FLOOD+GRADE/2):	7.35’ N.G.V.D.	FREE BOARD:	1’–0”
7	LOT AREA:	30,872 S.F.		
8	LOT WIDTH:	100.00	LOT DEPTH:	E=308.72/W=308.83
9	MAX. LOT COVERAGE S.F. AND %:	9,261 S.F. (30%)	PROPOSED LOT COVERAGE S.F. AND %:	7,653 S.F. (24.79%)
10	EXIST. LOT COVERAGE AND %:	5,868 S.F. (19%)	LOT COVERAGE DEDUCTED (GARAGE/STORAGE) S.F.:	500 S.F. (GARAGE)
11	FRONT YARD OPEN SPACE S.F. AND %:	1,437 S.F. (71.8%)	REAR YARD OPEN SPACE S.F. AND %:	3,263 S.F. (70.3%)
12	MAX. UNIT SIZE S.F. AND %:	15,436 S.F. (50%)	PROPOSED UNIT SIZE S.F. AND %:	14,233 S.F. (46.10%)
13	EXISTING FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE:	7,706 S.F.
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE S.F. AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRES DRB APPROVAL)	6,665 S.F. (86.49%)
15			PROPOSED SECOND FLOOR UNIT SIZE S.F. AND %:	6,472 S.F. (83.72%)
16			PROPOSED ROOF DECK AREA S.F. AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA DIRECTLY BELOW):	704 S.F. (14.5%)

		REQUIRED:	EXISTING:	PROPOSED:	DEFICIENCIES:
17	HEIGHT:	31’		32’ (WAIVER)	N/A
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20’	153’–4”	30’	N/A
20	FRONT SECOND LEVEL:	30’	153’–4”	30’	N/A
21	RIGHT SIDE:	10’	5’–3”	15’–1”	N/A
22	LEFT SIDE:	10’	8’–4”	10’–0”	N/A
23	REAR (15% OF LOT DEPTH):	46’–4”	57’–8”	64’–11”	N/A
	ACCESSORY STRUCTURE REAR:	23’–2”	N/A	23’–11”	N/A
24	ACCESSORY STRUCTURE LEFT SIDE:	7’–6”	N/A	10’–0”	N/A
25	ACCESSORY STRUCTURE RIGHT SIDE:	7’–6”	N/A	66’–8”	N/A
26	SUM OF SIDE YARD:	20’	N/A	25’–1”	N/A
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			YES OR <input type="checkbox"/> NO	
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			YES OR <input type="checkbox"/> NO	
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?			YES OR <input type="checkbox"/> NO	

ZONING DATA AND CALCS/  
CODE REFERENCES

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RESIDENCE FOR :

MR. & MRS. SARRIA

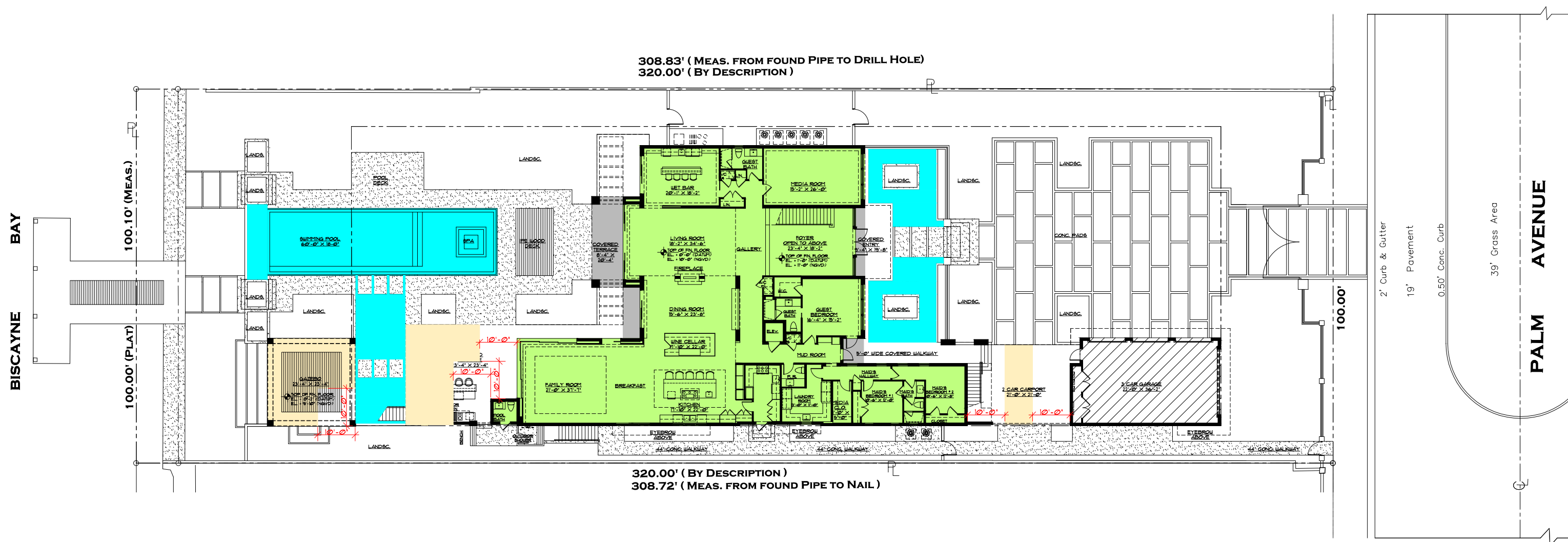
64 PALM AVENUE

MIAMI BEACH, FLORIDA

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sheet no.

D2.0.A





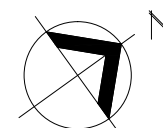
<span style="display:inline-block; width:20px; height:10px; background-color:yellow;"></span>	FIRST FLOOR A/C AREA:	5,791 SQ. FT.
<span style="display:inline-block; width:20px; height:10px; background-color:gray;"></span>	COVERED AREAS : (ENCLOSED BY STRUCTURE ON THREE OR MORE SIDES)	346 SQ. FT.
<span style="display:inline-block; width:20px; height:10px; background-color:orange;"></span>	COVERED AREAS : (AREAS PROJECTING MORE THAN 10 FEET)	1,010 SQ. FT.
<span style="display:inline-block; width:20px; height:10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span>	GARAGE :	930 SQ. FT.

TOTAL LOT COVERAGE : 7,653 SQ. FT.

## LOT COVERAGE

SCALE : 1" = 25'-0"

WATER FEATURES



## LOT COVERAGE

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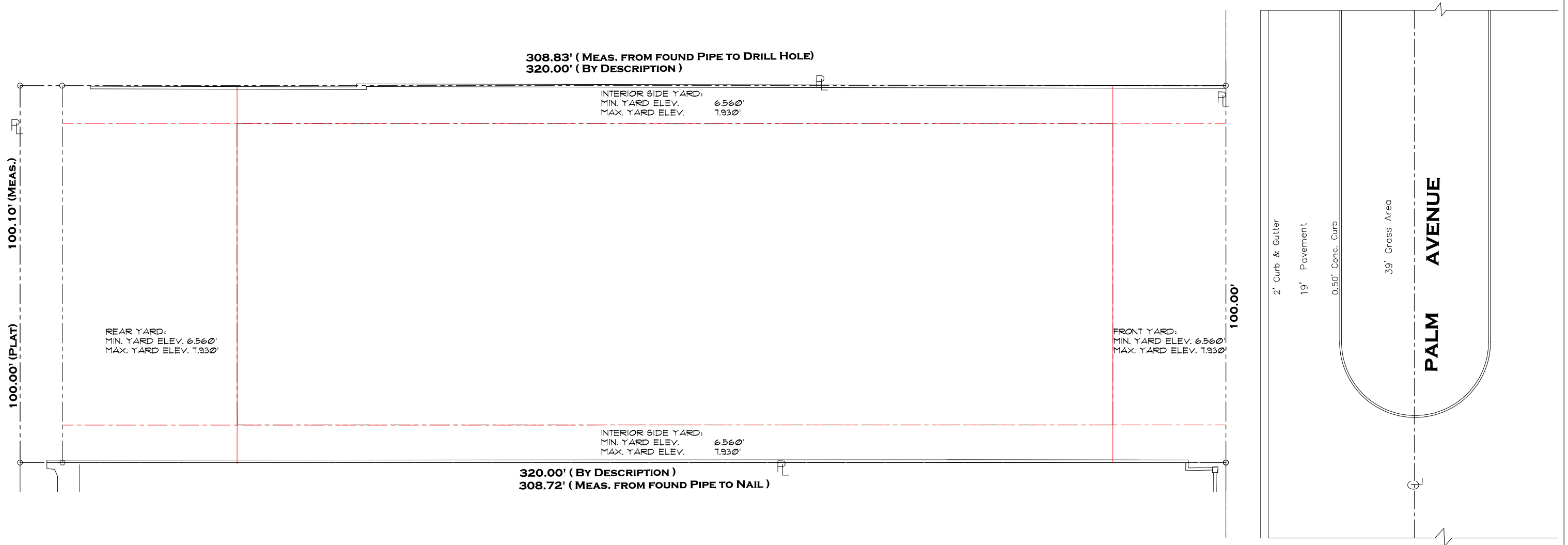
MIAMI BEACH, FLORIDA

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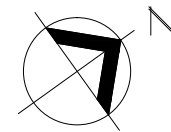
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D2.1





YARD AREA  
ELEVATIONS DIAGRAM  
SCALE : 1" = 25'-0"



YARD AREA  
ELEVATIONS DIAGRAM

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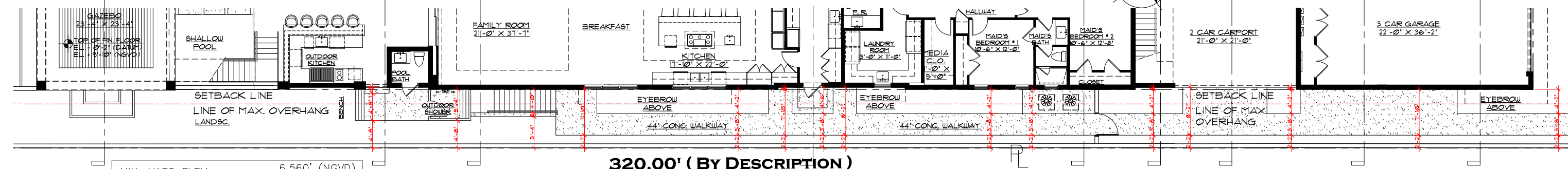
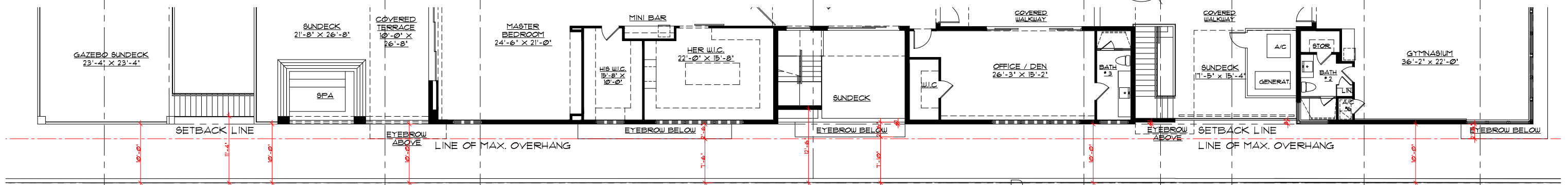
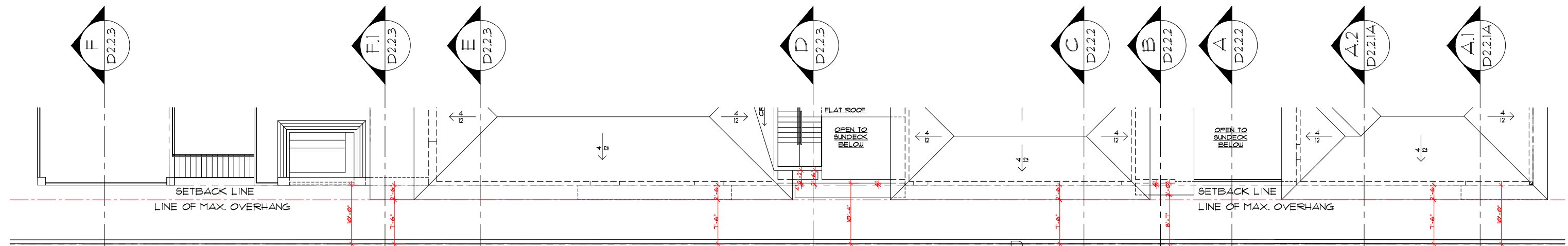
MR. &  
64 PALM AVENUE

MRS. SARRIA

MIAMI BEACH, FLORIDA

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sheet no.

D22.0



MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

# SOUTHEAST SIDE YARD DIAGRAM - PLANS

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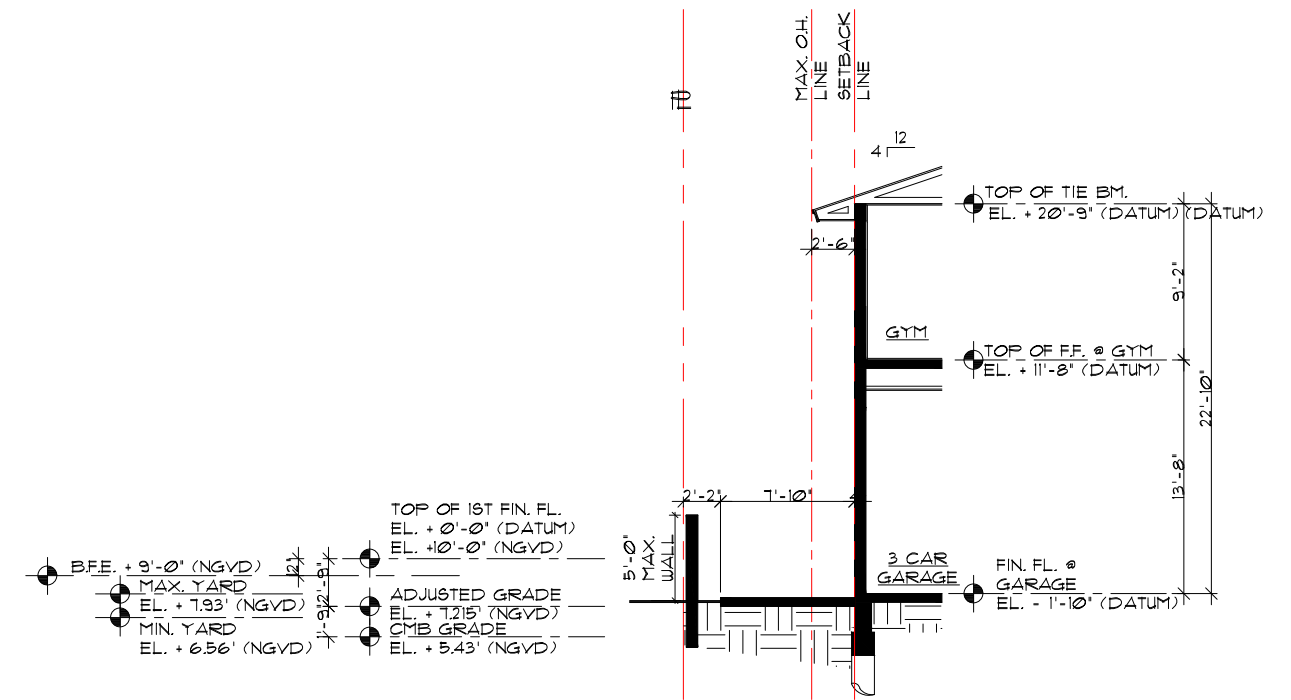
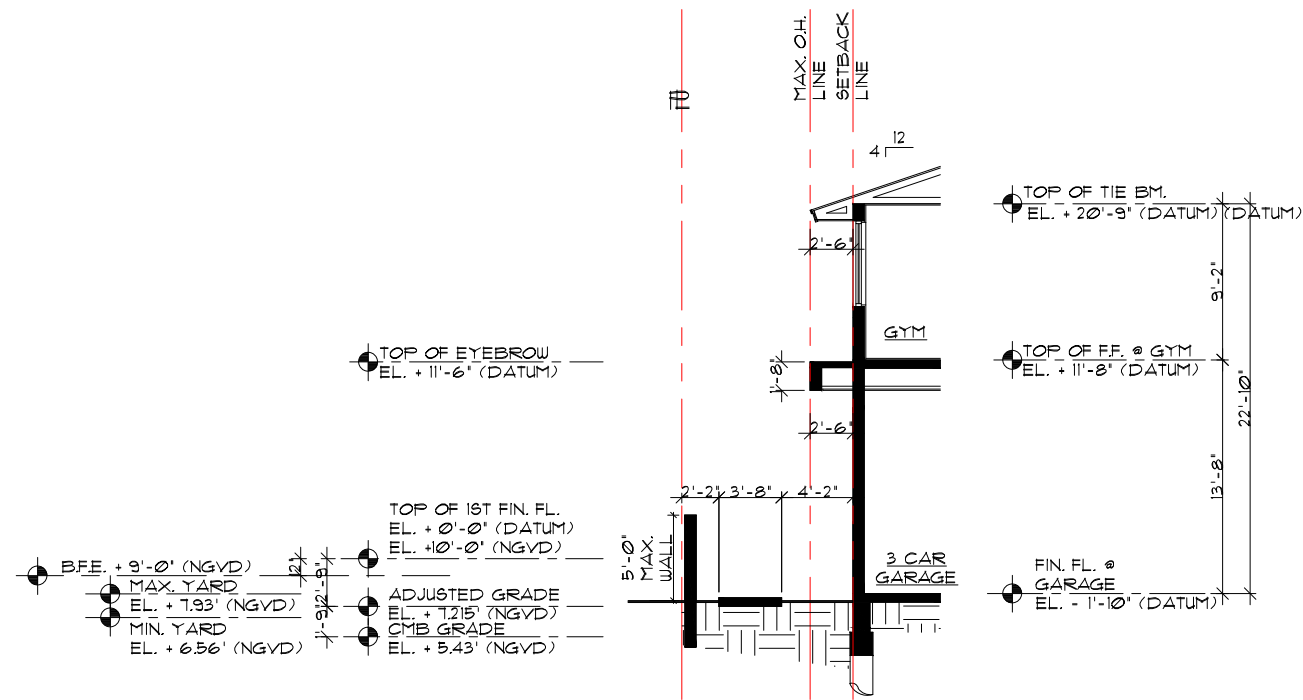
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RESIDENCE FOR :

**MR. & MRS. SARRIA**  
 64 PALM AVENUE  
 MIAMI BEACH, FLORIDA

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D2.2.1



MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

## SOUTHEAST SIDE YARD DIAGRAM - SECTIONS

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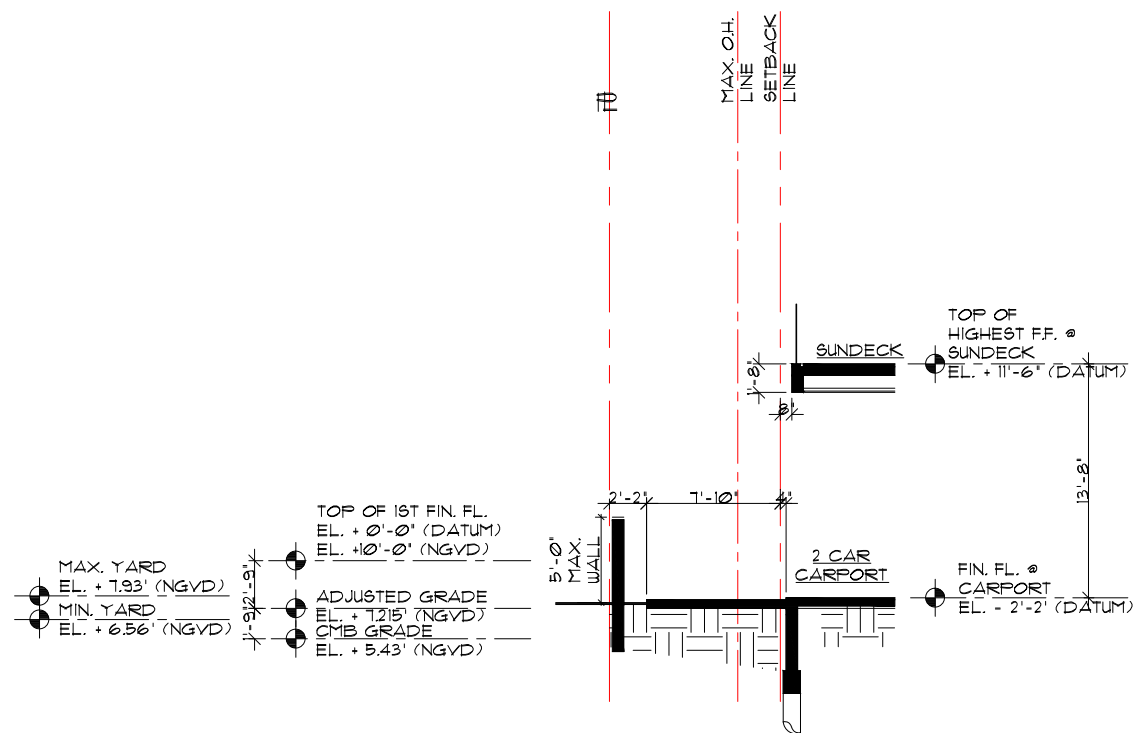
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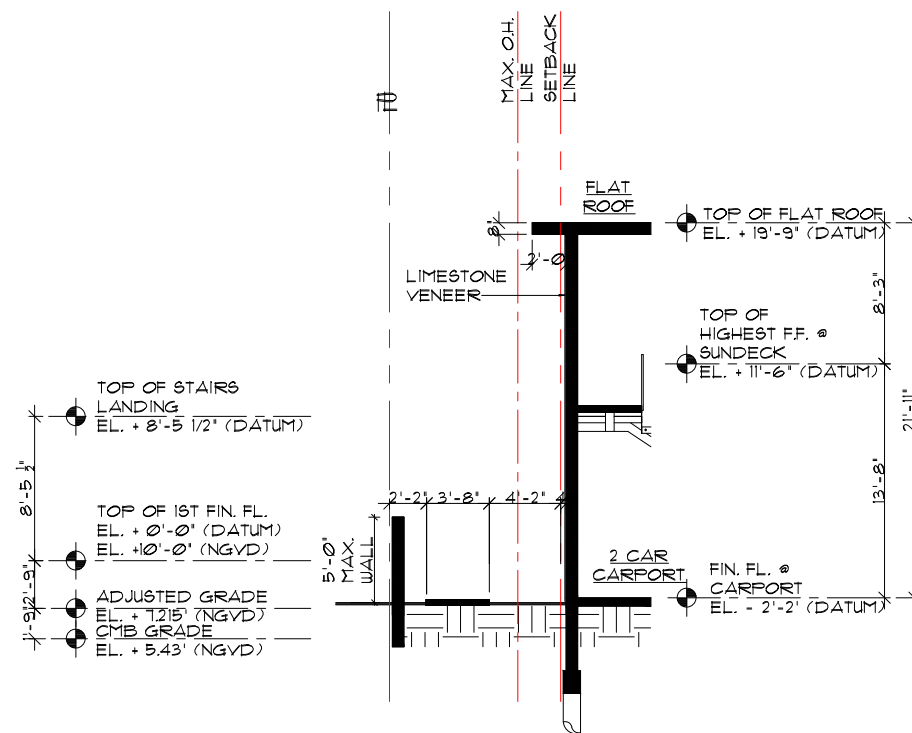
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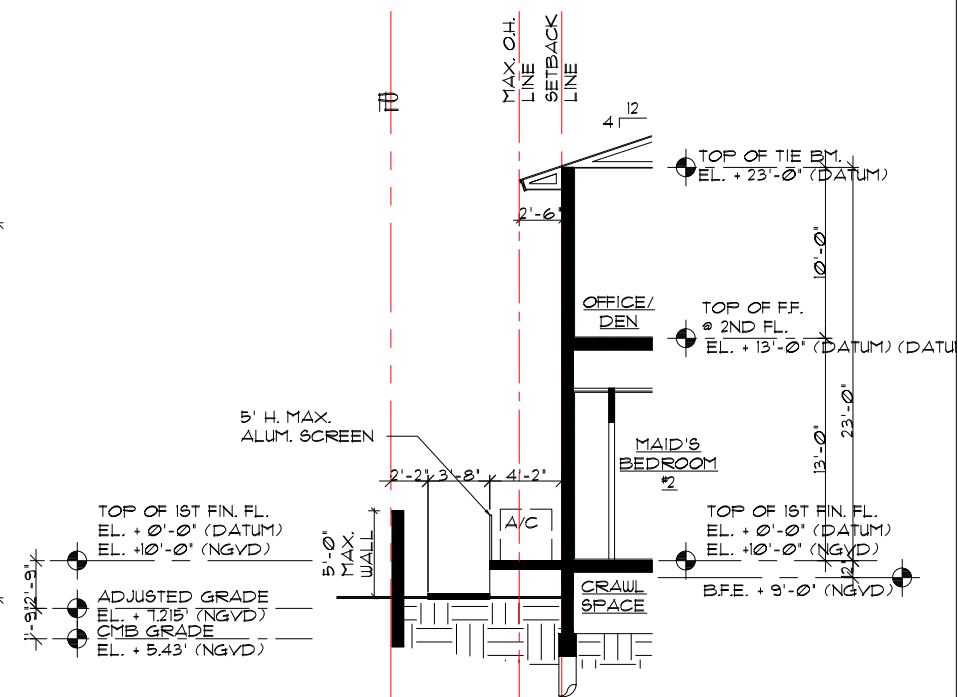
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SECTION A  
SCALE : 3/32" = 1'-0"



SECTION B  
SCALE : 3/32" = 1'-0"



SECTION C  
SCALE : 3/32" = 1'-0"

MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

## SOUTHEAST SIDE YARD DIAGRAM - SECTIONS

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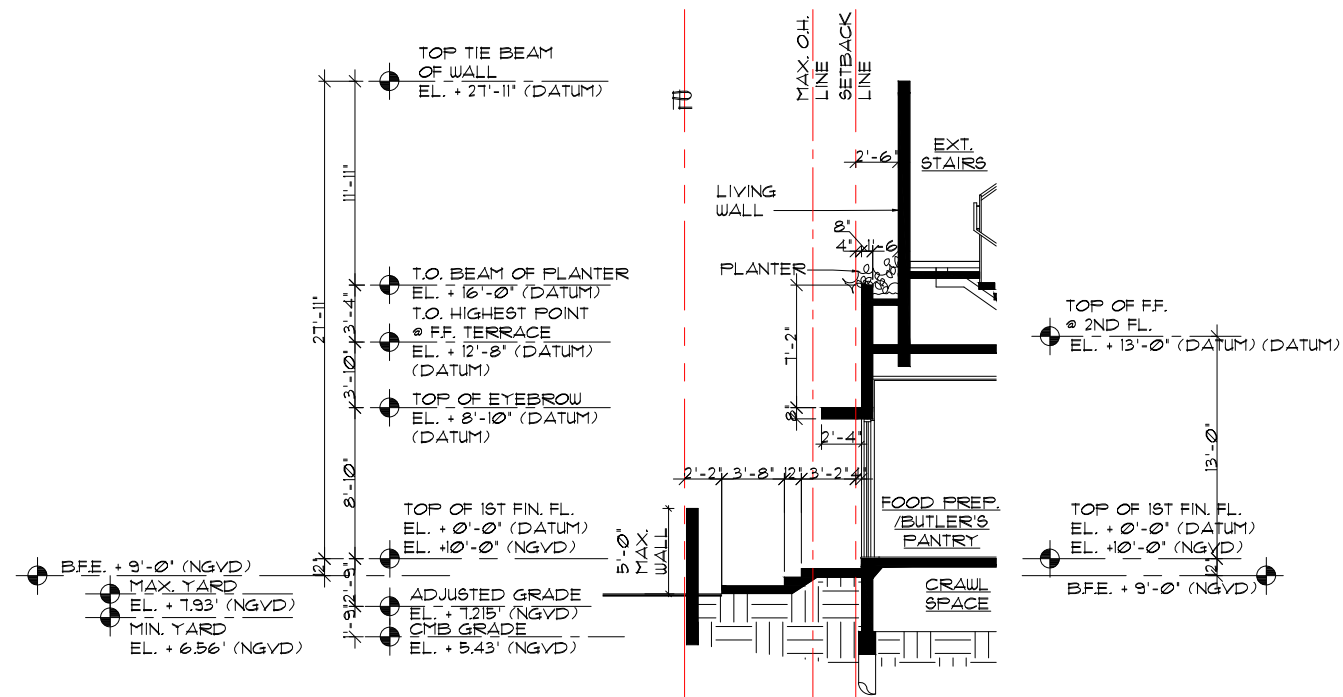
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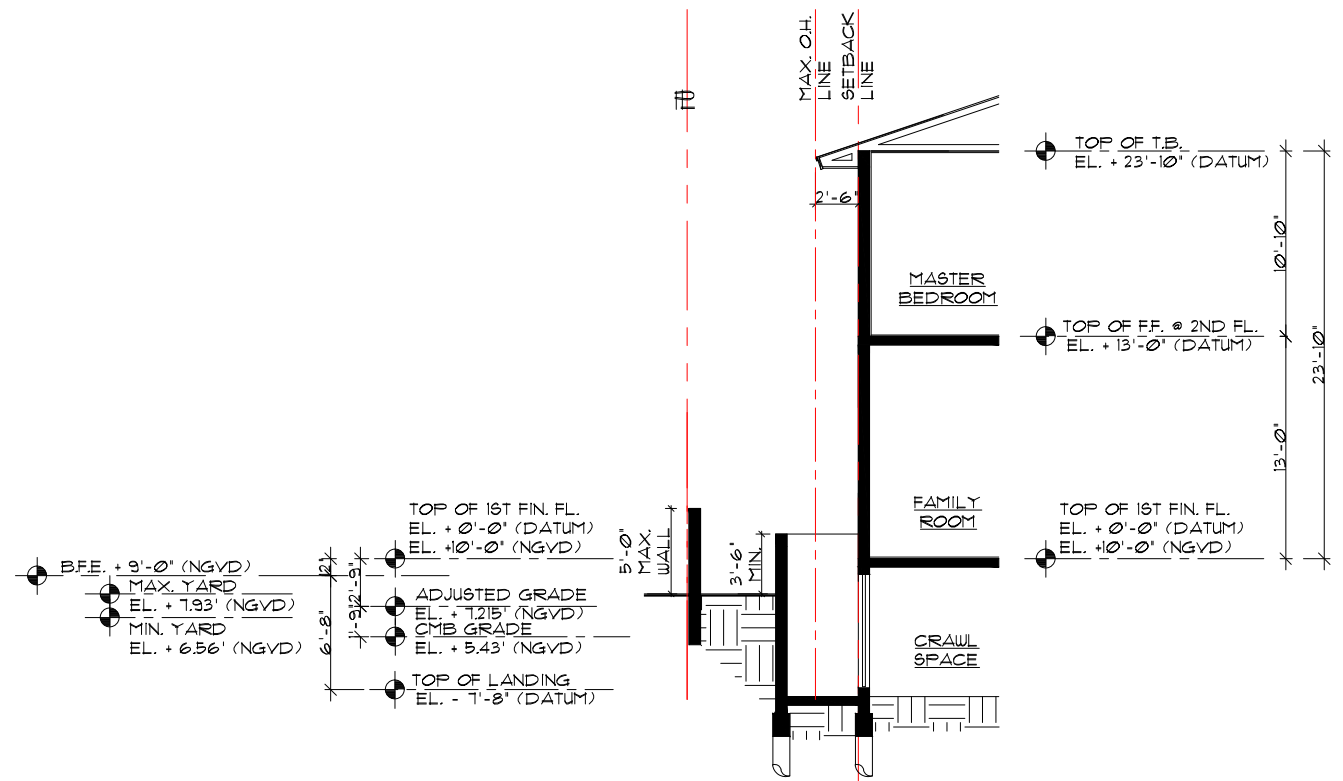
date 12 / 5 / 17

sheet no.

D2.2.2



SECTION D  
SCALE : 3/32" = 1'-0"



SECTION E  
SCALE : 3/32" = 1'-0"

MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

## SOUTHEAST SIDE YARD DIAGRAM - SECTIONS

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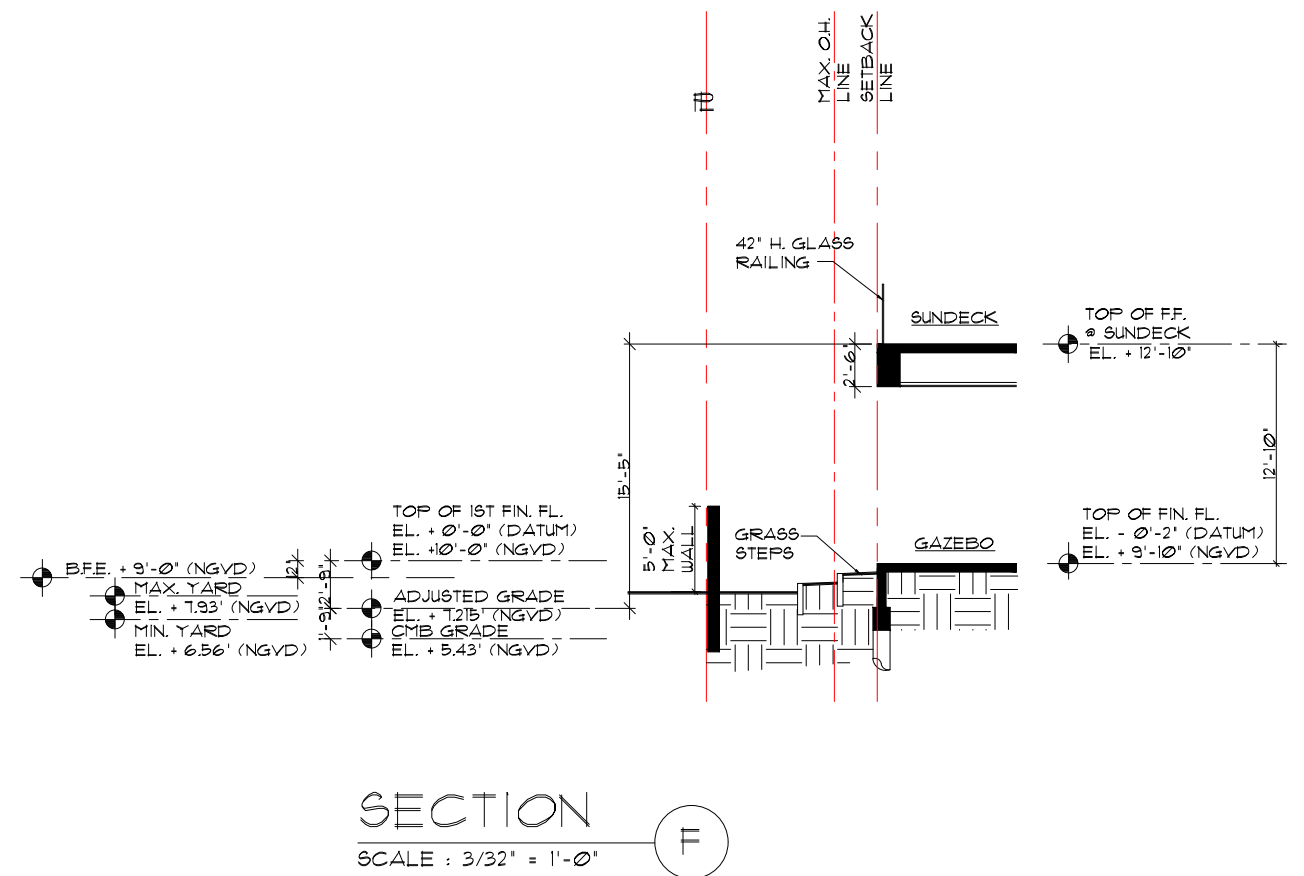
64 PALM AVENUE

MIAMI BEACH, FLORIDA

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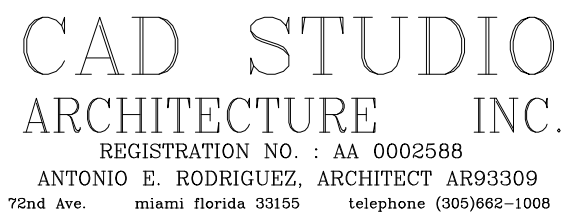
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D2.2.2A



SOUTHEAST SIDE YARD  
DIAGRAM - SECTIONS

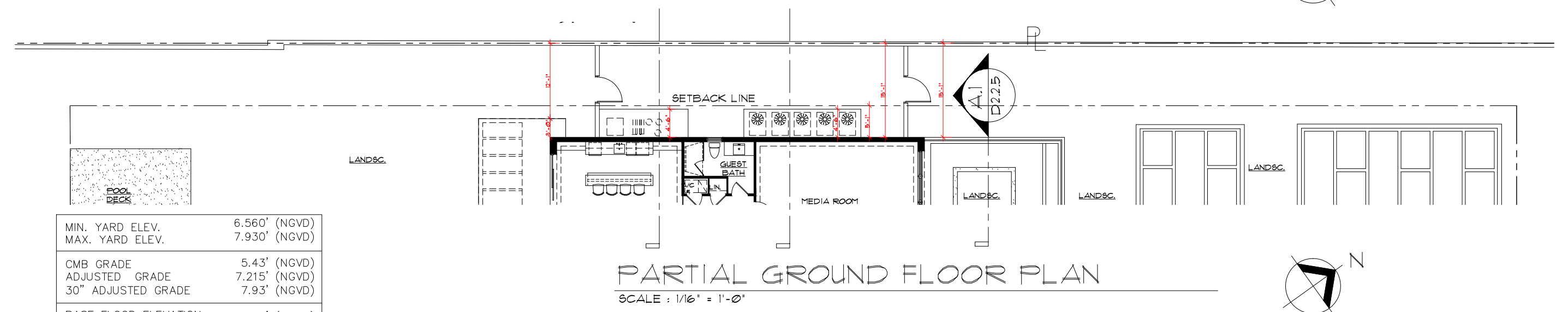
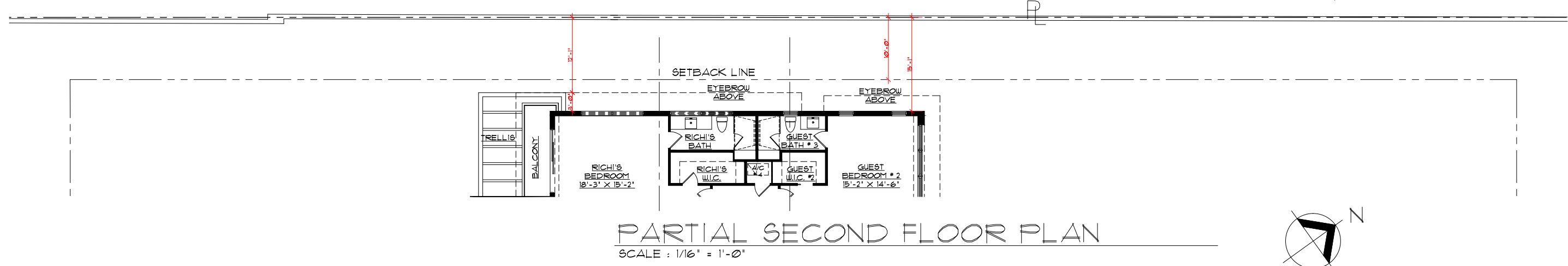
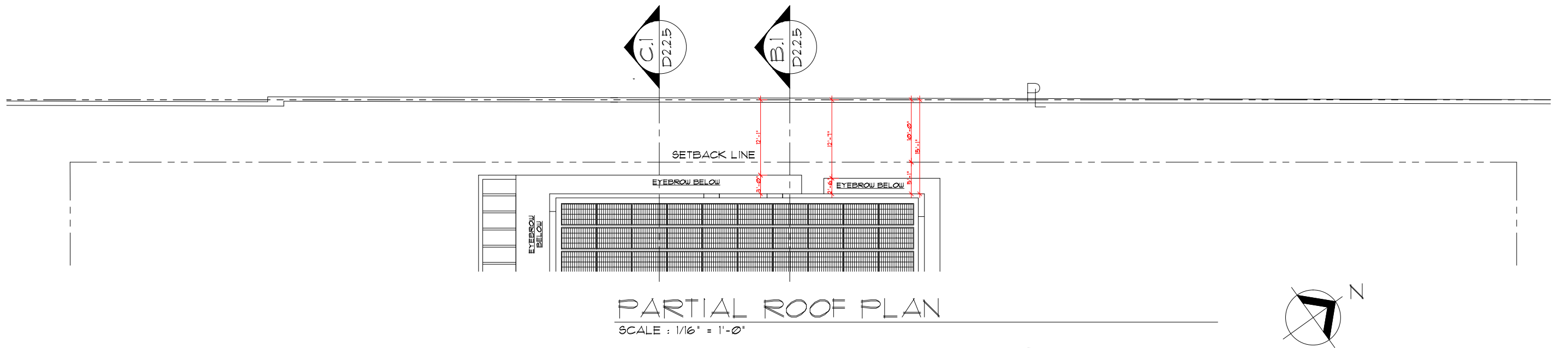
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MR. & MRS. SARRIA  
64 PALM AVENUE MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no. \_\_\_\_\_

### D2.2.3



MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

# NORTHWEST SIDE YARD DIAGRAM - PLAN

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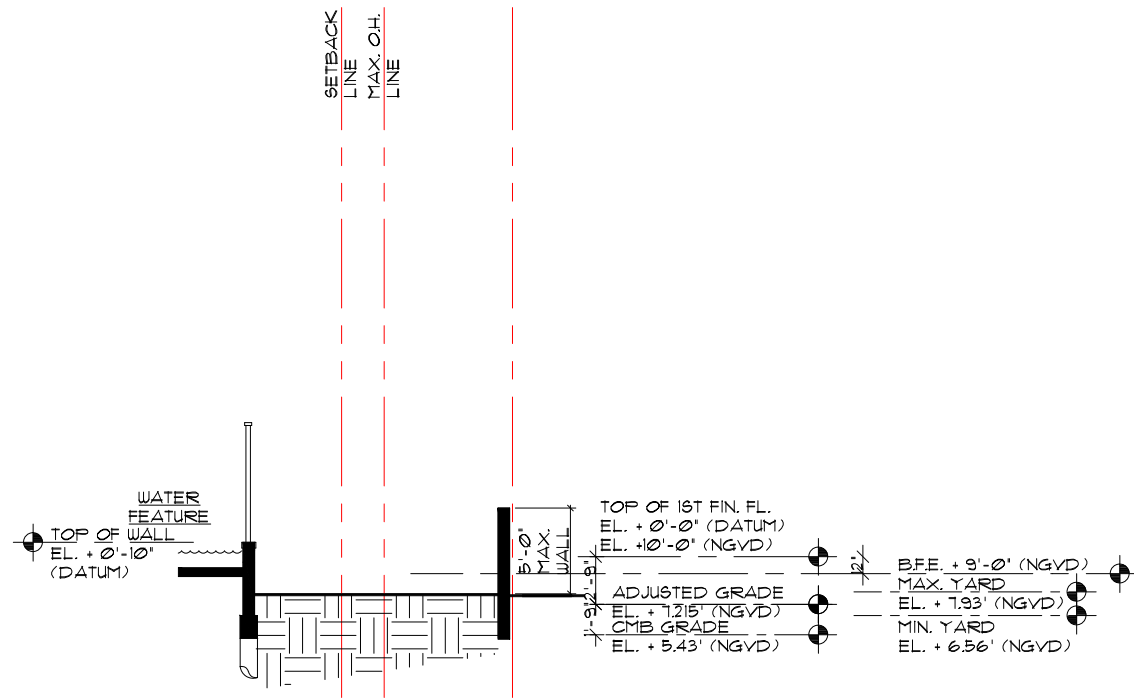
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64 PALM AVENUE  
MIAMI BEACH, FLORIDA

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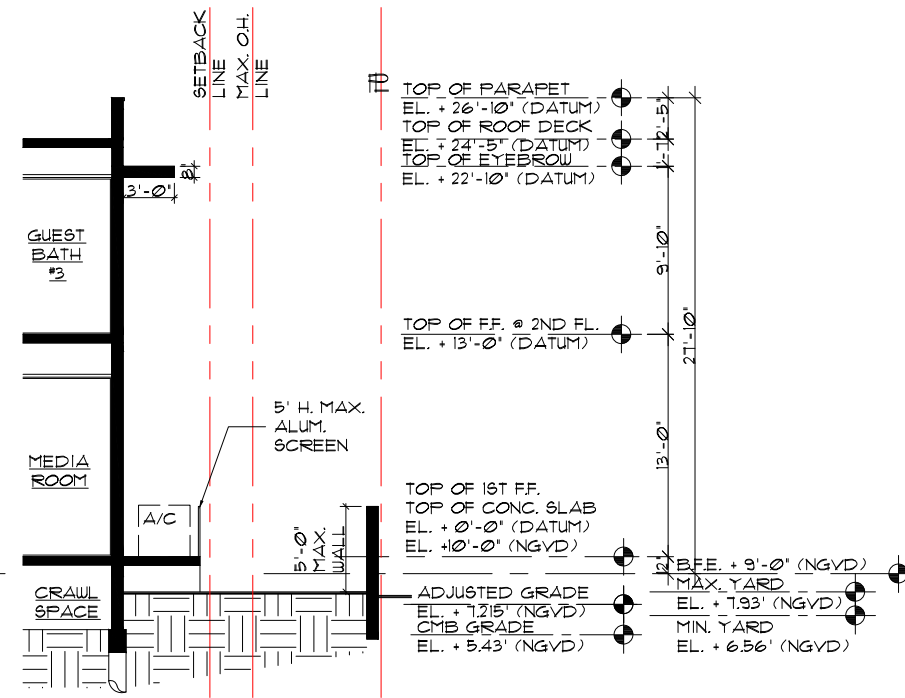
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## SECTION

SCALE : 3/32" = 1'-0"

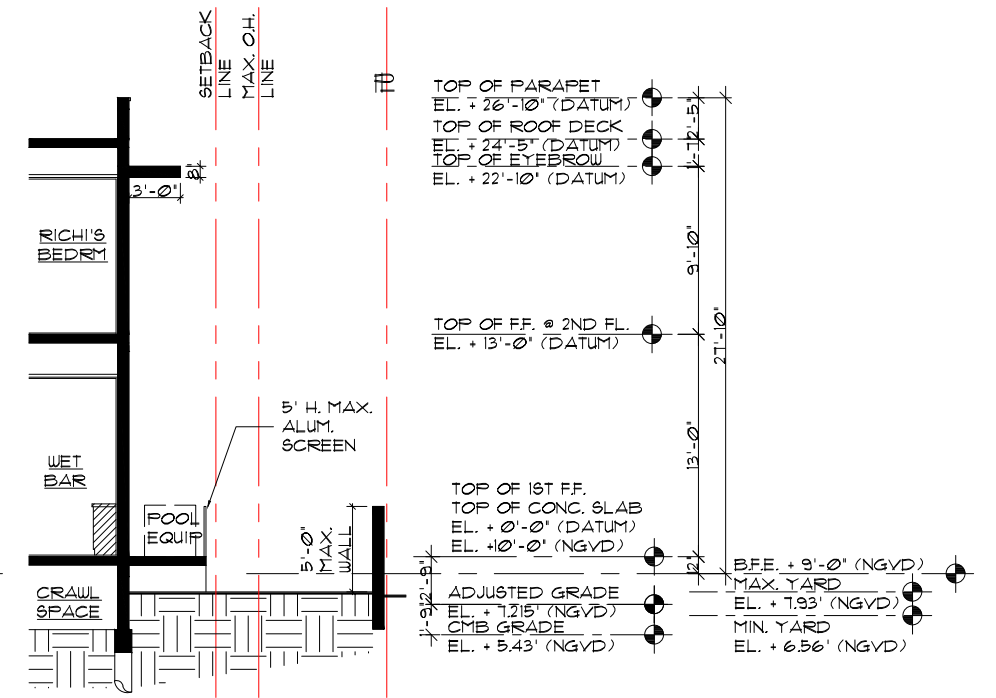
A.1



## SECTION

SCALE : 3/32" = 1'-0"

B.1



## SECTION

SCALE : 3/32" = 1'-0"

C.1

MIN. YARD ELEV.	6.560' (NGVD)
MAX. YARD ELEV.	7.930' (NGVD)
CMB GRADE	5.43' (NGVD)
ADJUSTED GRADE	7.215' (NGVD)
30" ADJUSTED GRADE	7.93' (NGVD)
BASE FLOOD ELEVATION	9.00' (NGVD)
FINISH FLOOR ELEVATION	10.00' (NGVD)

## NORTHWEST SIDE YARD DIAGRAM - SECTIONS

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RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

sheet no.

D2.2.5

AREA CALCULATION :

GROUND FL. A/C AREA :	5,791 SQ. FT.
SECOND FL. A/C AREA :	4,988 SQ. FT.
DOUBLE HEIGHT AREA :	440 SQ. FT.
SECOND FL. GYM A/C AREA :	930 SQ. FT.
ROOF DECK ELEVATOR & LOBBY A/C AREA :	75 SQ. FT.
TOTAL A/C AREA :	12,220 SQ. FT.

COVERED ENTRY	180 SQ. FT.
COVERED TERRACES :	746 SQ. FT.
CARPORT AND WALKWAY :	799 SQ. FT.
3 CAR GARAGE:	930 SQ. FT.
TOTAL:	2,655 SQ. FT.

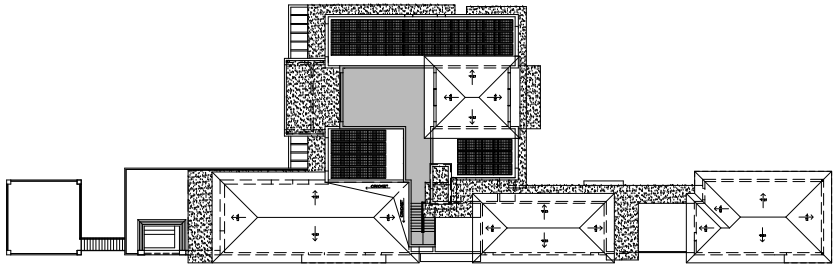
SECOND FL. FRONT SUNDECKS & COV. WALKWAY:	1,029 SQ. FT.
SECOND FLOOR MASTER SUNDECK:	533 SQ. FT.
SECOND FL. MASTER COV. TERRACE & BALCONY:	435 SQ. FT.
SECOND FL. LUCIANA'S BALCONY:	202 SQ. FT.
SECOND FL. RICHI'S BALCONY:	70 SQ. FT.

ROOF SUNDECK :	704 SQ. FT.
TOTAL:	2,973 SQ. FT.

GAZEBO :	544 SQ. FT.
GAZEBO SUNDECK :	544 SQ. FT.

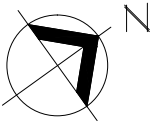
TOTAL AREA:	18,936 SQ. FT.
-------------	----------------

- A/C AREAS
- DOUBLE HT. AREAS
- GARAGE
- COVERED AREAS
- SUNDECKS/ OPEN TO THE SKY
- IMPERVIOUS AREAS/  
CONC. SLABS/ CONC. EYEBROWS



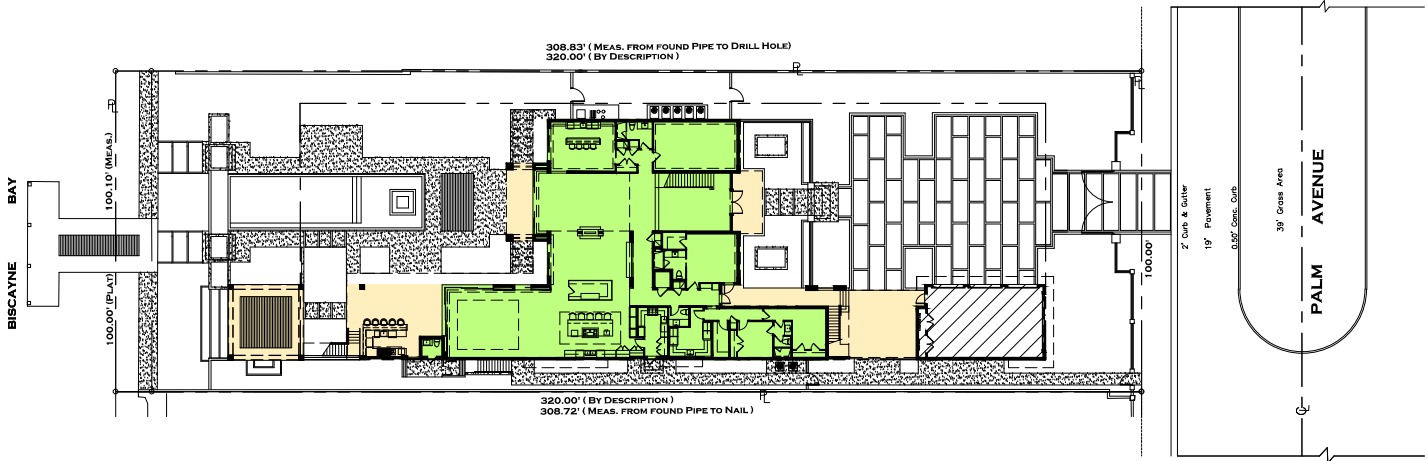
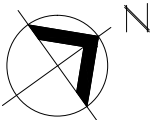
ROOF PLAN

SCALE : N.T.S.



SECOND FLOOR PLAN

SCALE : N.T.S.



GROUND FLOOR PLAN

SCALE : N.T.S.



AREA CALCULATION

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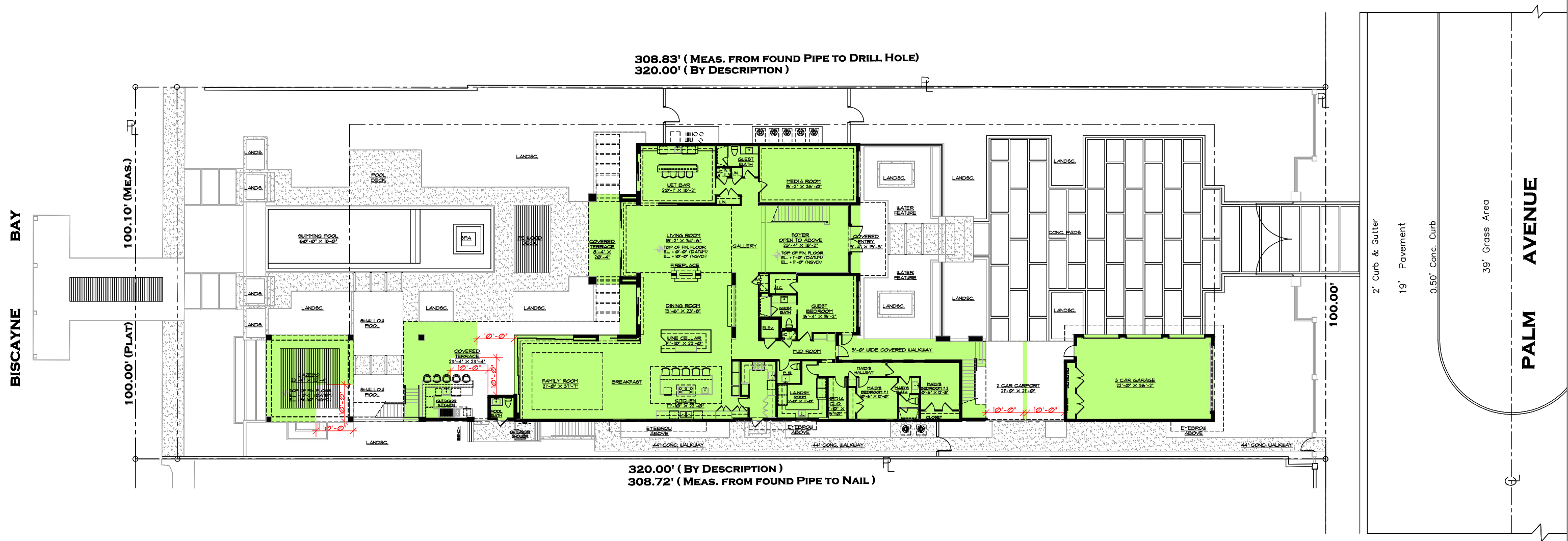
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64 PALM AVENUE

MIAMI BEACH, FLORIDA

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D2.3



UNIT SIZE : 7,706 SQ. FT.

INCLUDING GARAGE : 430 SQ. FT. (500 SF. OF GARAGE AREA NOT INCLUDED)

AS PER MIAMI BEACH, FL. CODE OF ORDINANCES  
SEC. 142-105 (b) (4) 3. :  
UNIT SIZE OF A SINGLE FAMILY HOME SHALL NOT INCLUDE  
THOSE PORTIONS OF COVERED TERRACES, BREEZEWAYS,  
OR OPEN PORCHES, THAT DO NOT PROJECT MORE THAN  
TEN FEET FROM THE MAIN HOME BUILDING (S)

UNIT SIZE - GROUND FLOOR

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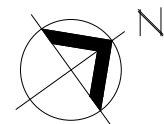
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UNIT SIZE  
GROUND FLOOR PLAN

SCALE : 1" = 25'-0"



RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

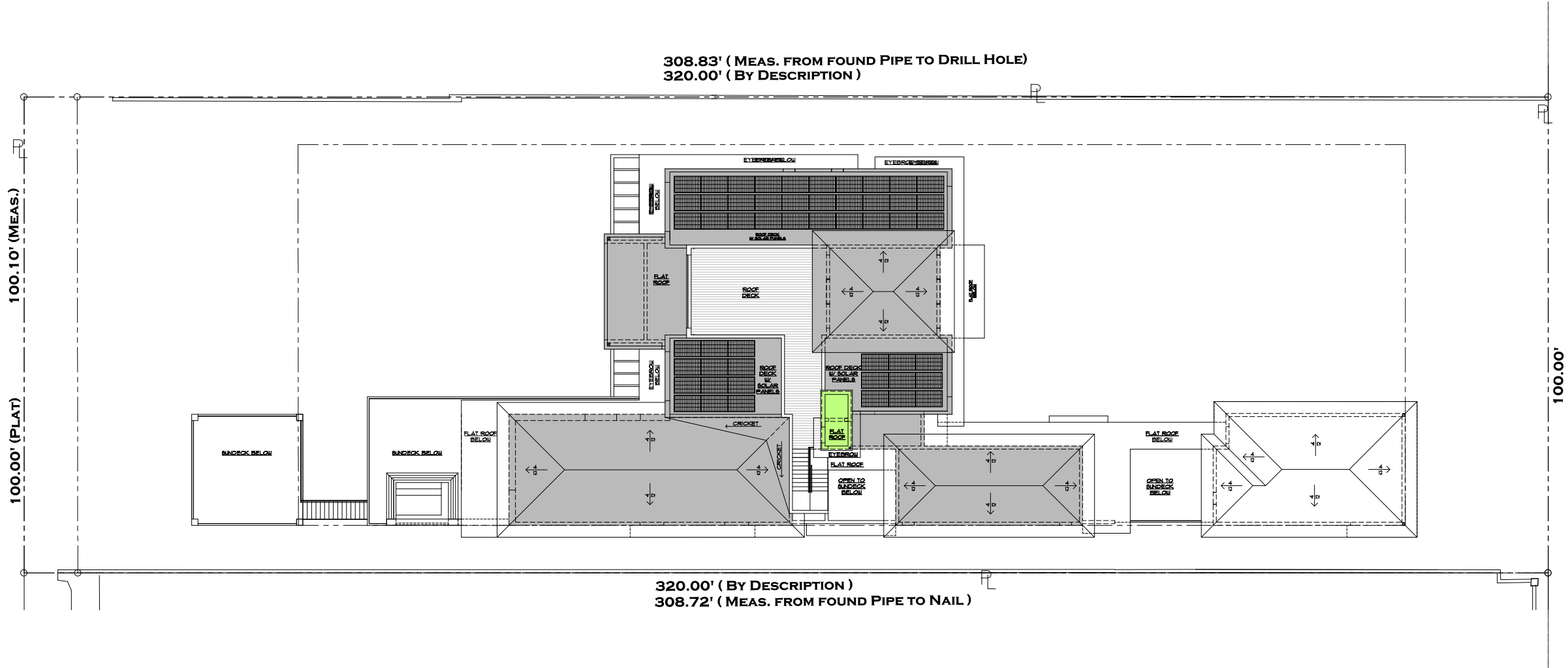
date 12 / 5 / 17




sheet no.

D2.4



BISCAYNE BAY

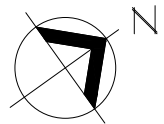


	ELEVATOR & ELEV. VESTIBULE :	75 SQ. FT.
	ROOF AREA, FLOOR AREA DIRECTLY BELOW :	4,833 SQ. FT.
	ROOF DECK PROVIDED:	104 SQ. FT. (14.5 %)

ROOF DECK AREA ALLOWED:  
25% (1,613 SQ. F.T.) OF THE ENCLOSED FLOOR AREA  
DIRECTLY BELOW

## UNIT SIZE AND ROOF DECK AREA

SCALE : 1" = 25'-0"



UNIT SIZE/ ROOF DECK AREA



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ANTONIO E. RODRIGUEZ, ARCHITECT AR93309

4808 southwest 72nd Ave. miami florida 33155 telephone (305)662-1008

RESIDENCE FOR :

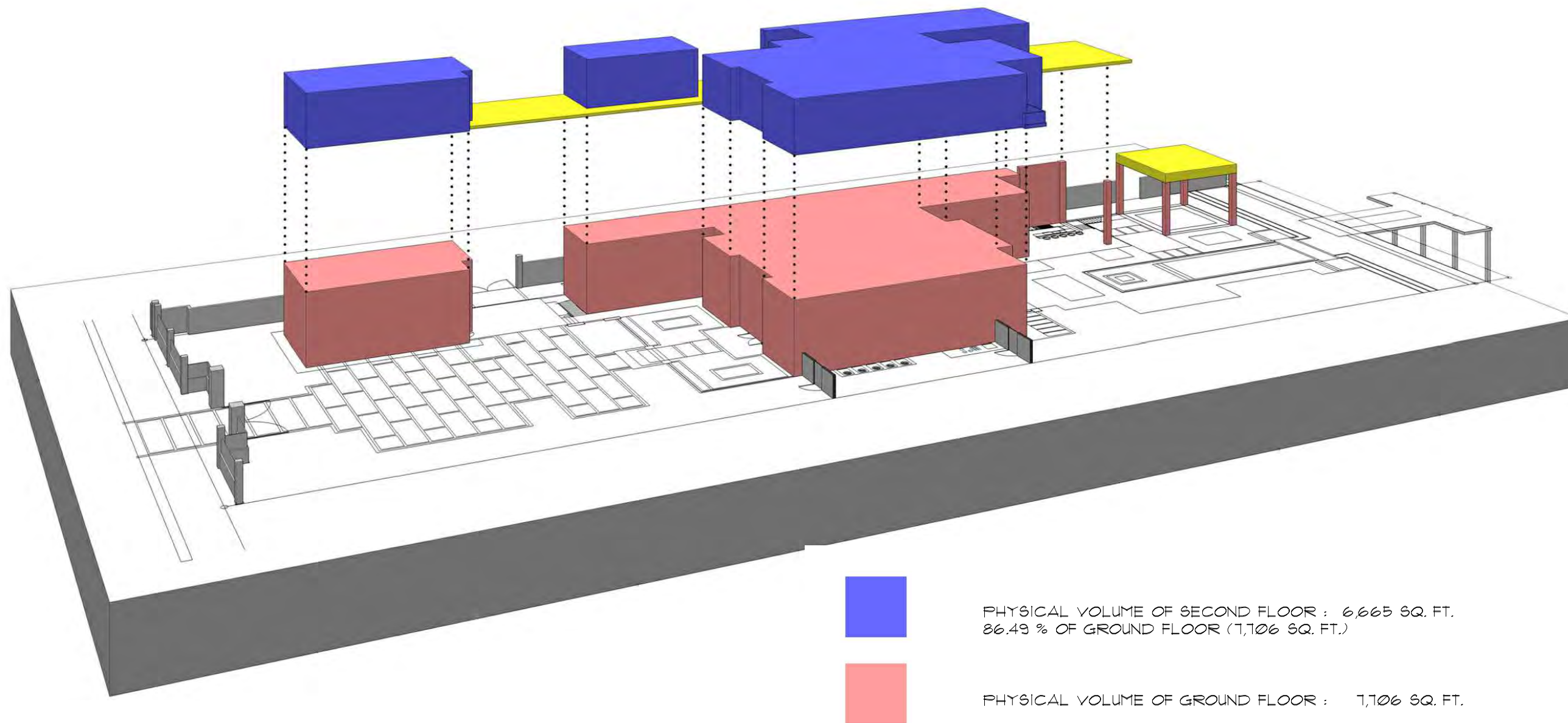
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no.

D2.6



RELEVANT CODE INFORMATION:

"FOR TWO STORY HOMES WITH AN OVERALL LOT COVERAGE OF 25% OR GREATER, PHYSICAL VOLUME OF THE SECOND FLOOR SHALL NOT EXCEED 10% OF THE FIRST FLOOR OF THE MAIN HOME, INCLUSIVE OF ANY ENCLOSED PARKING STRUCTURE." (142-105 (b) (4) C.

AXONOMETRIC DIAGRAM

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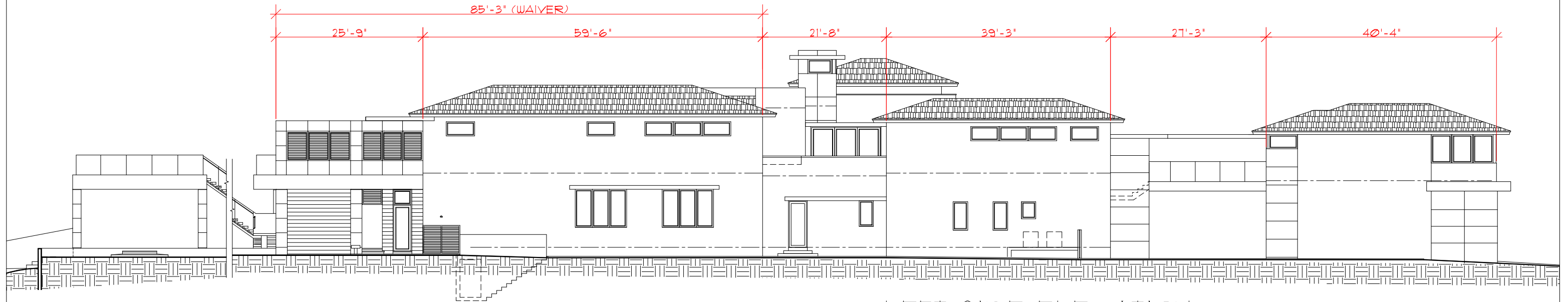
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no.

D2.7





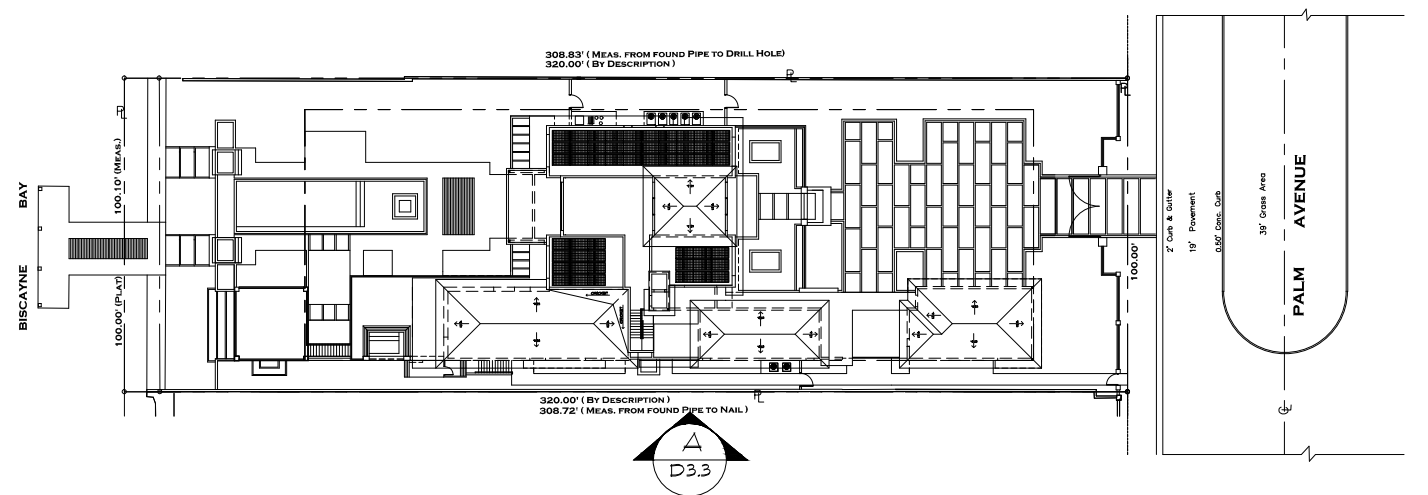
# LEFT SIDE ELEVATION (SOUTHEAST)

SCALE : 1/16" = 1'-0"

A

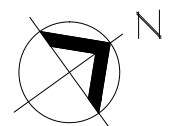
\* SEE SHEET D4.2.1 & D4.2.2 FOR DETAILS

WAIVER SOUGHT TO ALLOW TWO-STORY  
ELEVATION GREATER THAN 60' IN LENGTH.  
  
60'-0" ALLOWED  
85'-3" PROVIDED (SEE ELEVATION ABOVE)



## KEY PLAN

SCALE : N.T.S.



WAIVER DIAGRAM - MAXIMUM  
TWO-STORY ELEVATION

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RESIDENCE FOR :

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64 PALM AVENUE

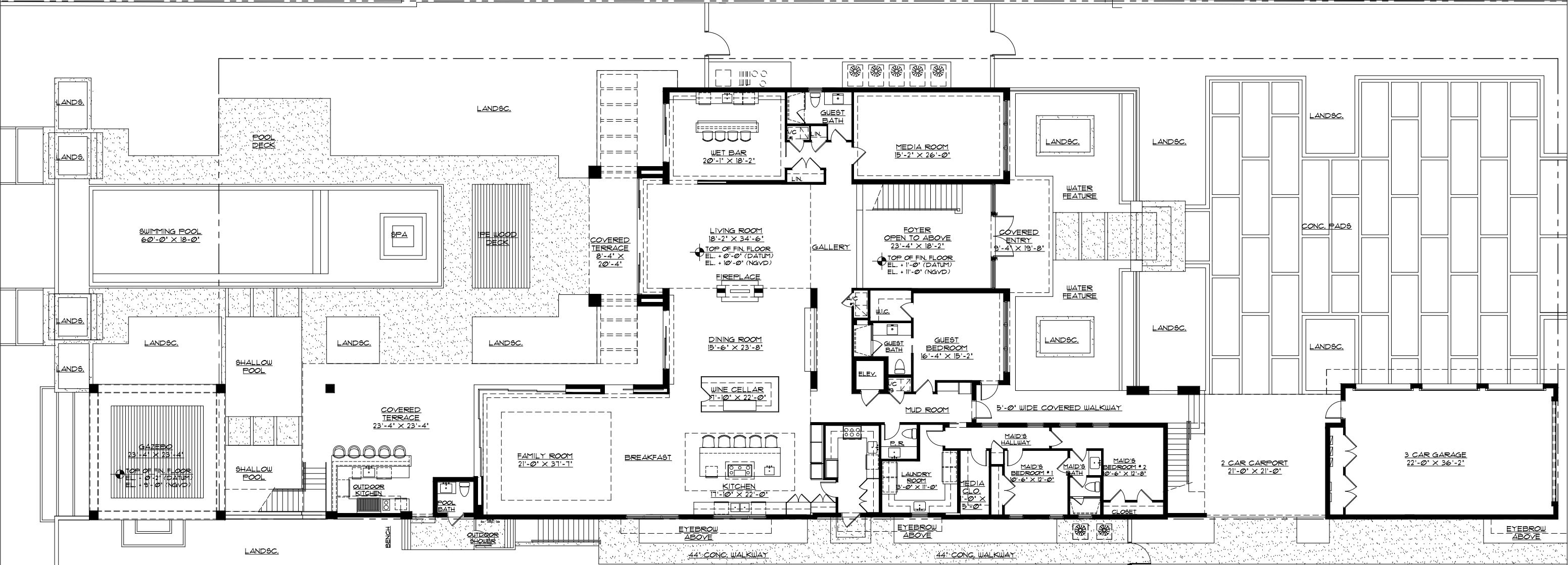
MIAMI BEACH, FLORIDA

date 12 / 5 / 17

sheet no.

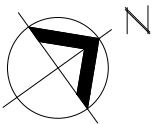
D2.9

308.83' ( MEAS. FROM FOUND PIPE TO DRILL HOLE)  
320.00' ( BY DESCRIPTION )



320.00' ( BY DESCRIPTION )  
308.72' ( MEAS. FROM FOUND PIPE TO NAIL )

GROUND FLOOR PLAN  
SCALE : 1/16" = 1'-0"



GROUND FLOOR PLAN

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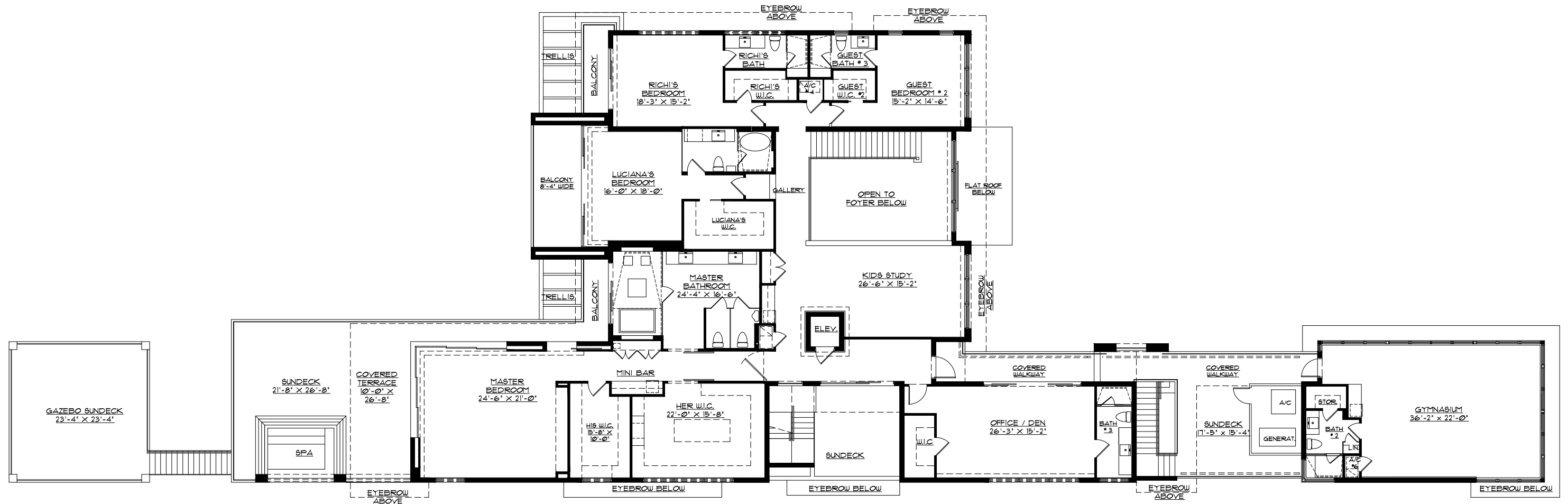


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64 PALM AVENUE  
MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no.

D3.0



## SECOND FLOOR PLAN

SCALE : 1/16" = 1'-0"



## SECOND FLOOR PLAN

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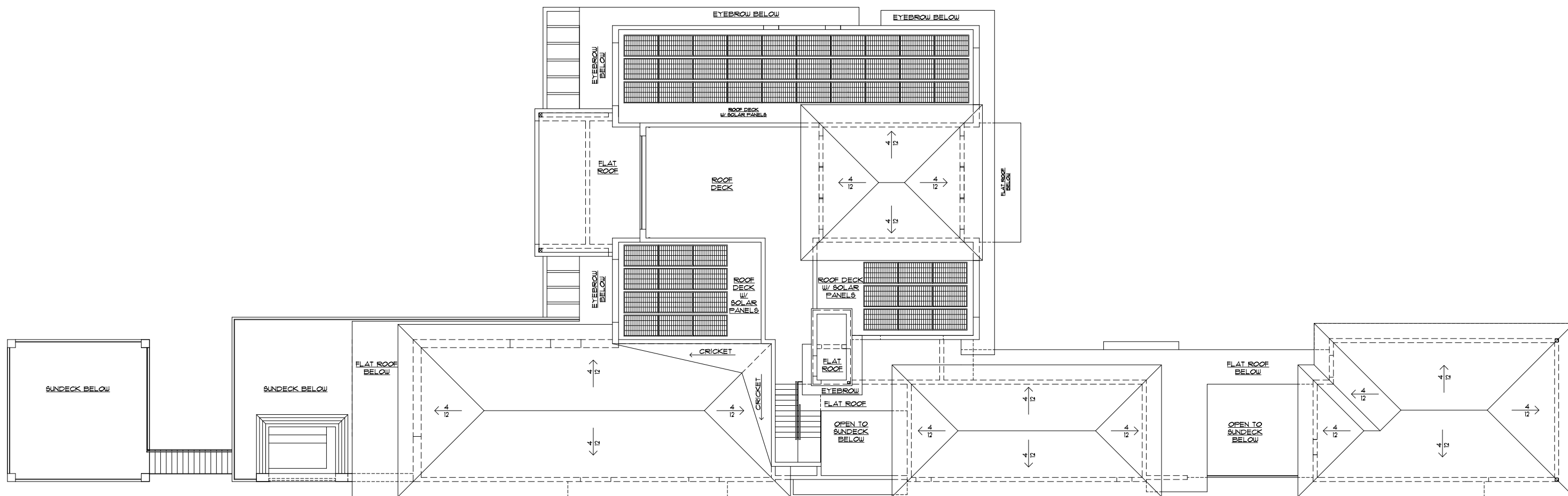
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

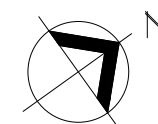
sheet no.

D3.1



## ROOF PLAN

SCALE : 1/16" = 1'-0"



## ROOF PLAN

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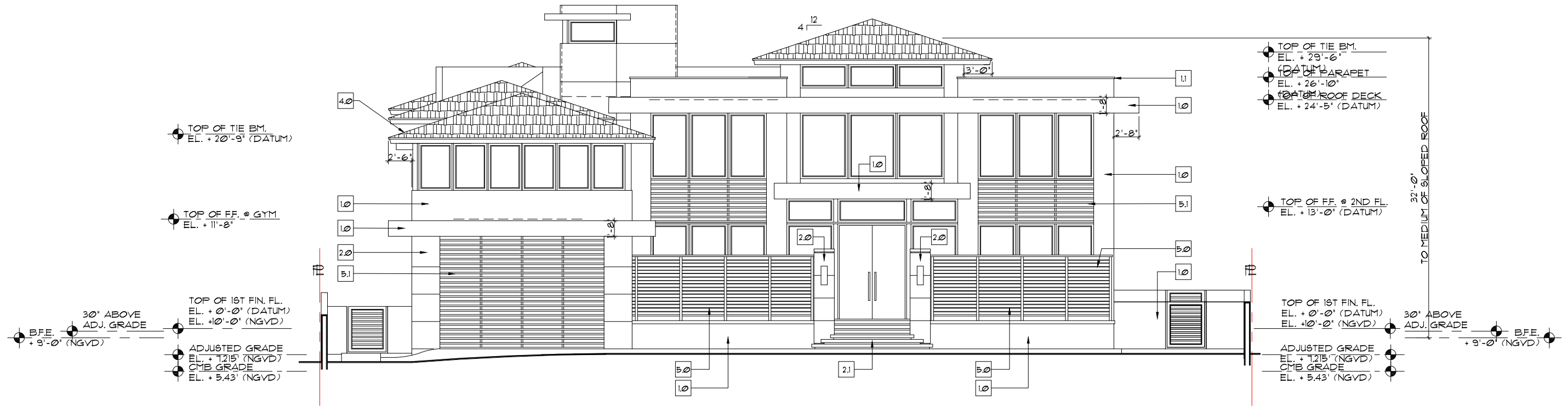
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

sheet no.

D3.2



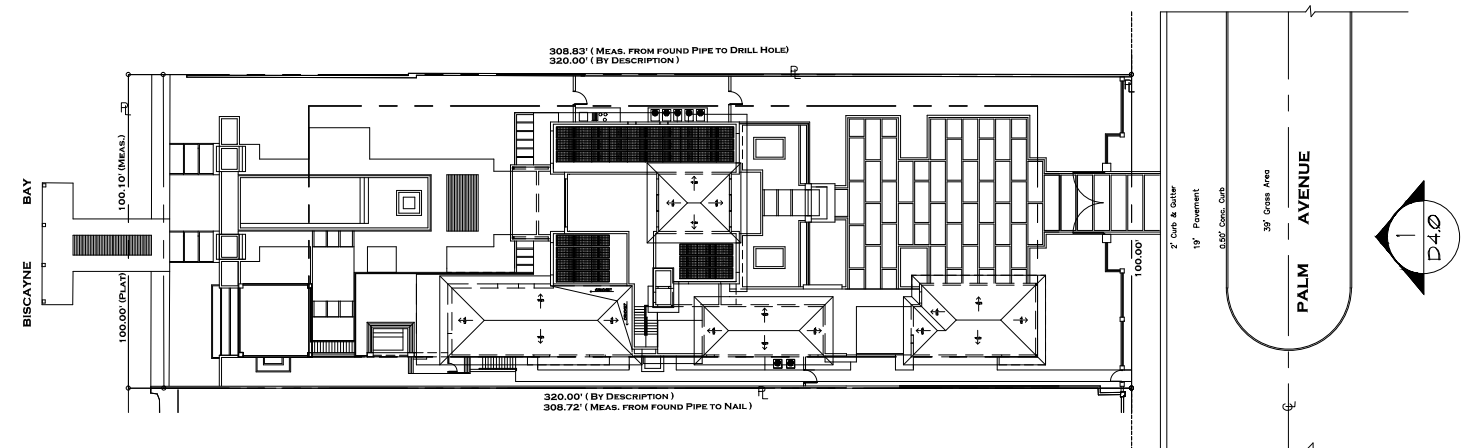
FRONT ELEVATION (NORTHEAST)

SCALE : 3/32" = 1'-0"

1

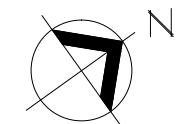
# MATERIAL LEGEND :

1.0	SMOOTH STUCCO FINISH OVER CONCRETE	4.0	FLAT CEMENT TILE (TYP. WHERE SHOWN)
1.1	2" STUCCO BAND	5.0	4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)
2.0	LIMESTONE VENEER	5.1	2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS ON CONCRETE WALL WITH SMOOTH STUCCO FINISH
2.1	CONCRETE STEPS WITH STONE FINISH	5.2	ALUMINUM TRELLIS (BY OTHERS)
2.2	1" REVEAL	6.0	42" H. GLASS RAILING CAT. II SAF. GL. (BY OTHERS)
3.0	IPE WOOD	6.1	42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)
3.1	LIVING WALL	7.0	GRASS STEPS



KEY PLAN

SCALE : N.T.S.



FRONT ELEVATION  
(SOUTHEAST) ①

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RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

sheet no.

D4.0







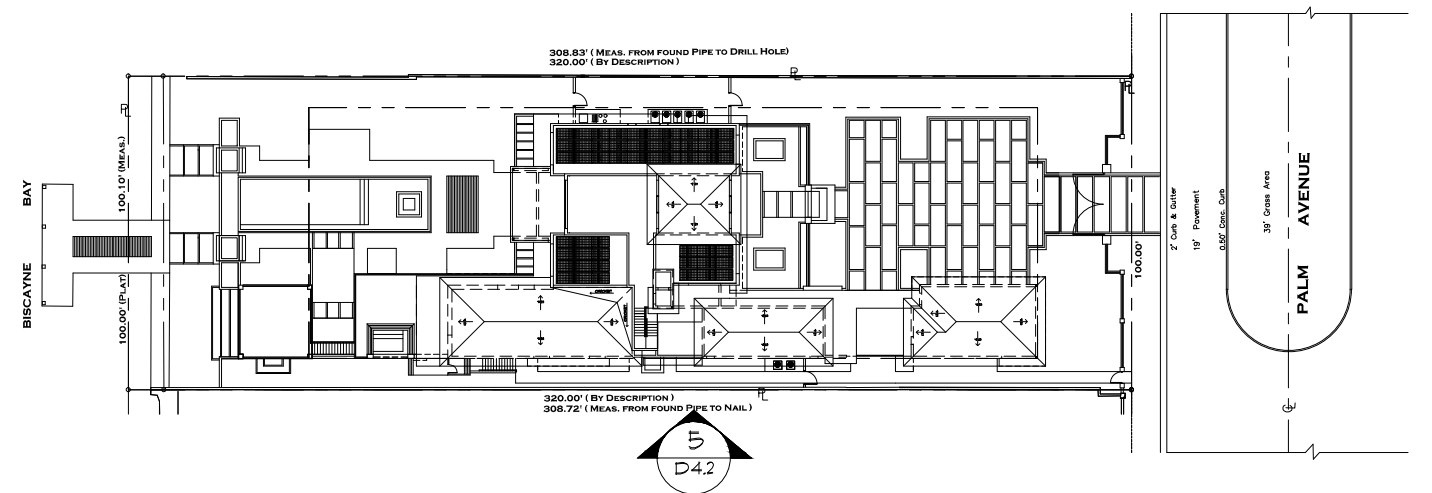


## LEFT SIDE ELEVATION (SOUTHEAST)

SCALE : 1/16" = 1'-0"

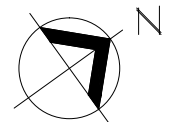
5

\* SEE SHEET D4.2.1 & D4.2.2 FOR DETAILS



## KEY PLAN

SCALE : N.T.S.



LEFT SIDE ELEVATION  
(SOUTHEAST) 5

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RESIDENCE FOR :

MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

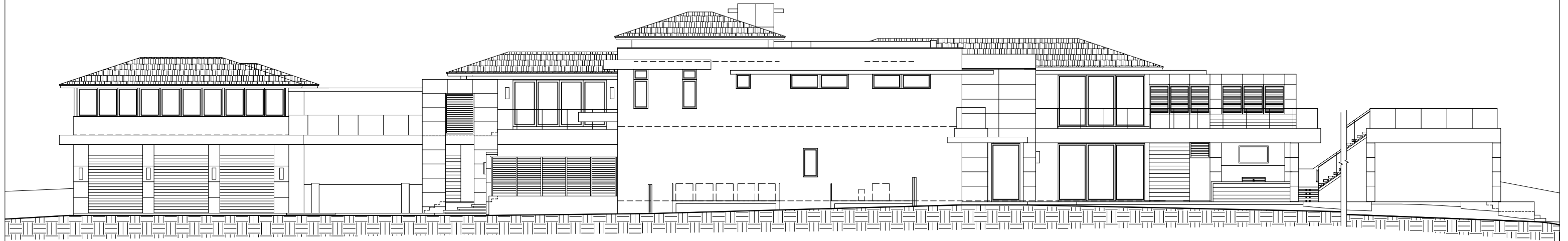
date 12 / 5 / 17

sheet no.

D4.2





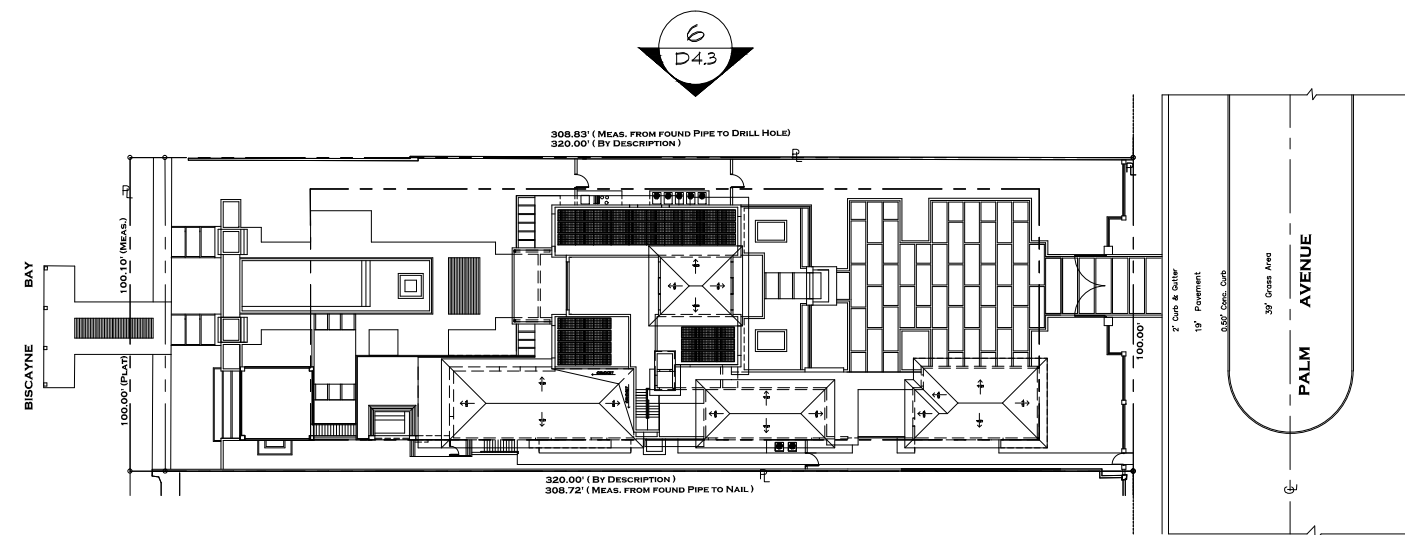


## RIGHT SIDE ELEVATION (NORTHWEST)

SCALE : 1/16" = 1'-0"

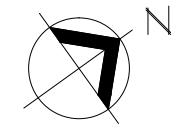
6

\* SEE SHEET D4.3.1 & D4.3.2 FOR DETAILS



## KEY PLAN

SCALE : N.T.S.



RIGHT SIDE ELEVATION ⑥

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RESIDENCE FOR :

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64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

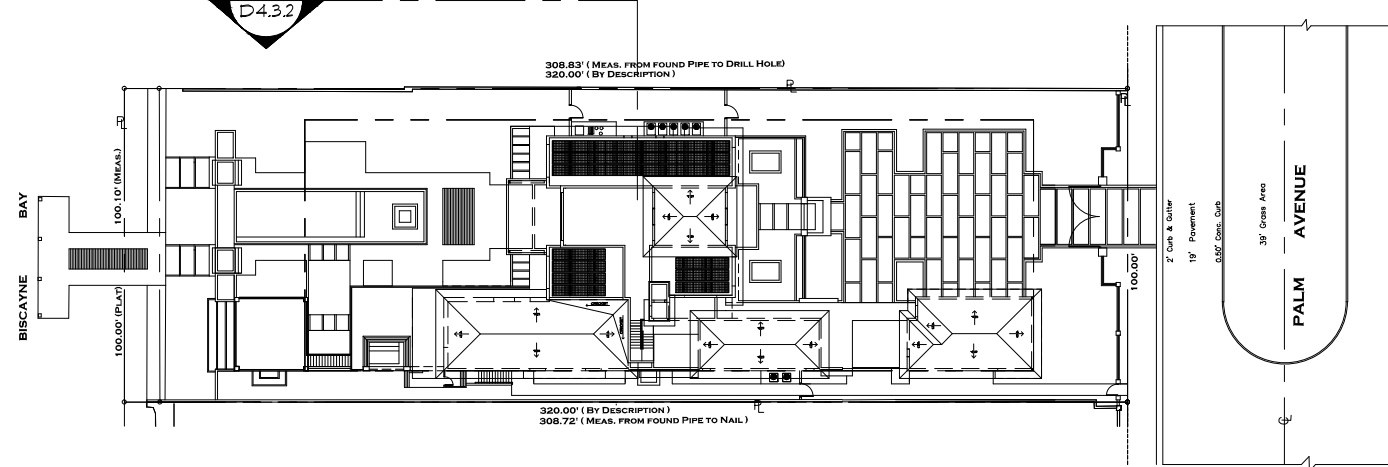
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D4.3

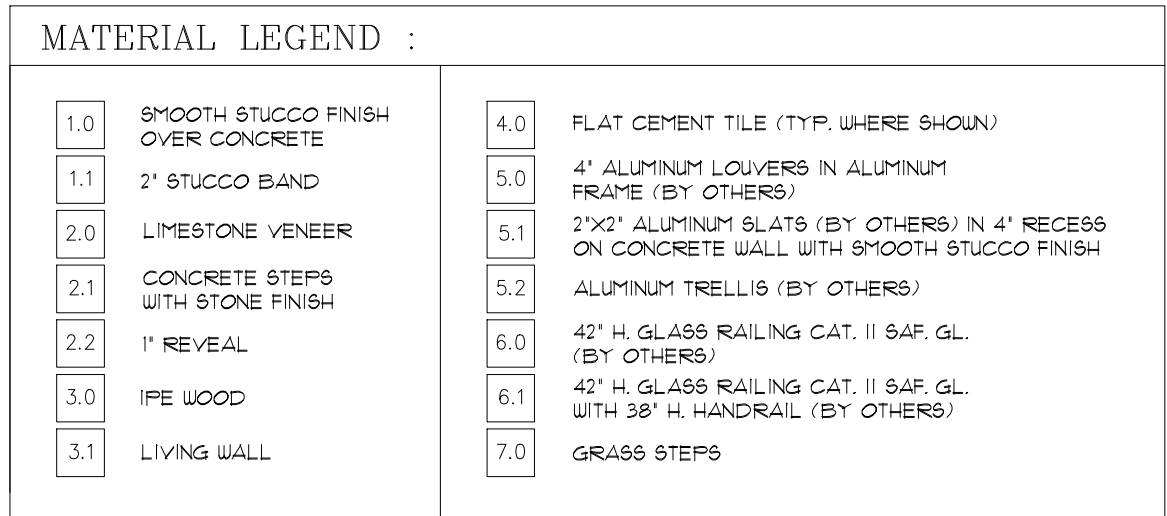




(6.2)



SCALE : N.T.S



PARTIAL RIGHT SIDE  
ELEVATION (NORTHWEST)

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End Ave. miami florida 33155 telephone (305)662-1000

4808 southwest 72nd Ave.      miami florida 33155      telephone (305)662-1008

RESIDENCE FOR :

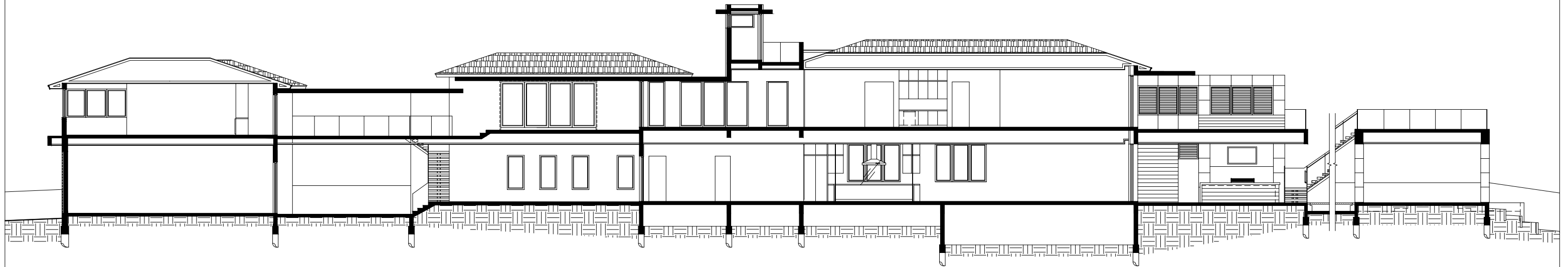
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no. \_\_\_\_\_

D4.3.2

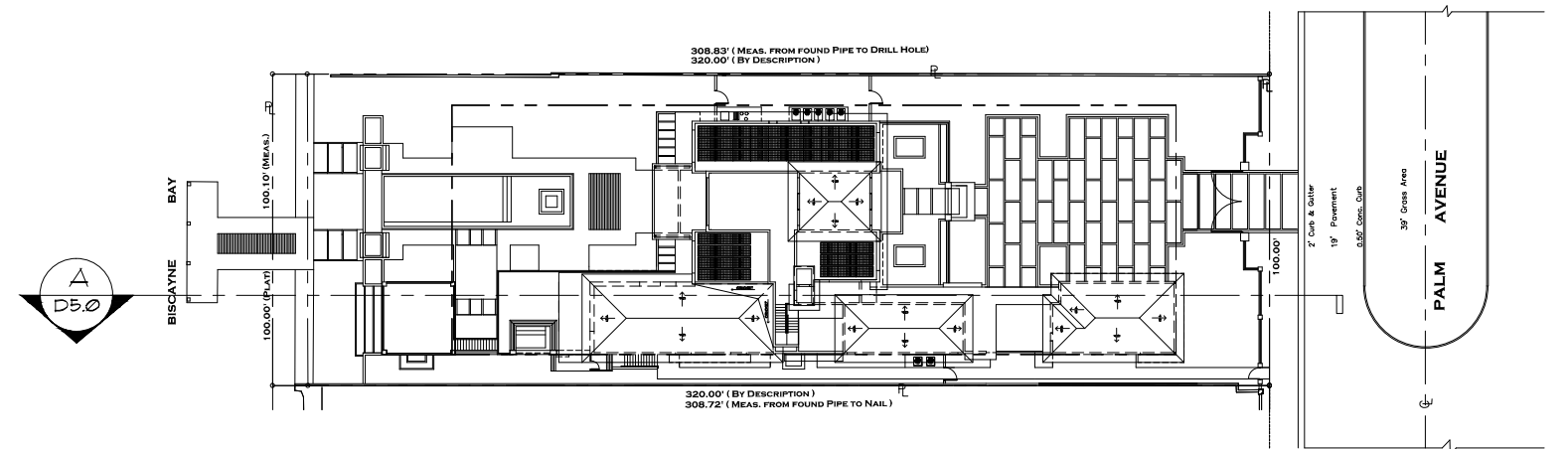


# SECTION

SCALE : 1/16" = 1'-0"

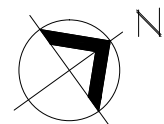
A

\* SEE SHEET D5.0.1 & D5.0.2 FOR DETAILS



# KEY PLAN

SCALE : N.T.S.



SECTION

A

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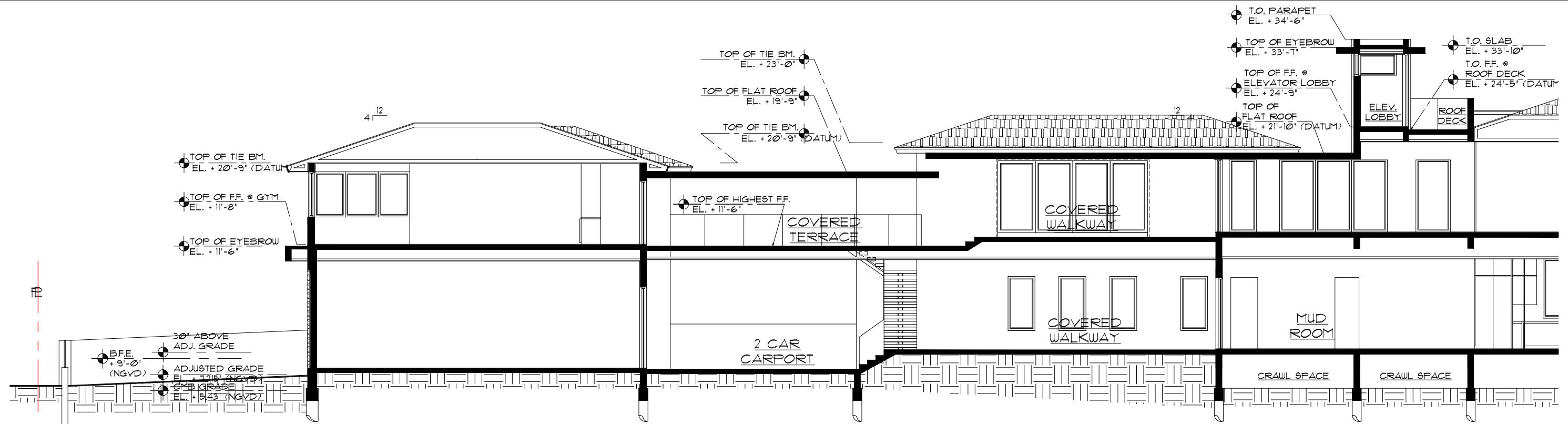
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

sheet no.

D5.0



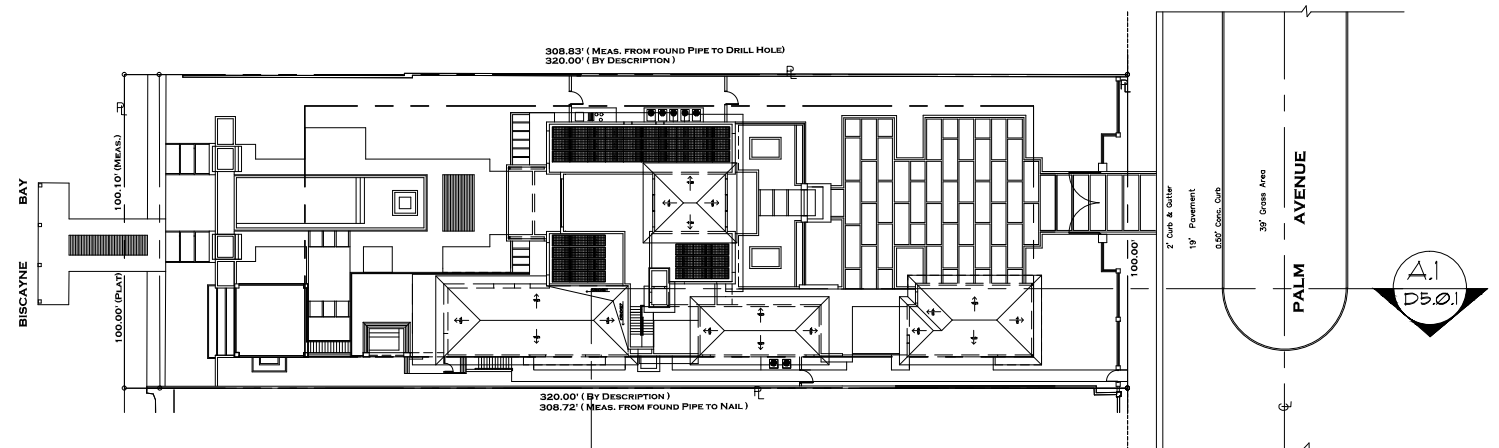
## SECTION

SCALE : 3/32" = 1'-0"

A.1

## MATERIAL LEGEND :

1.0	SMOOTH STUCCO FINISH OVER CONCRETE	4.0	FLAT CEMENT TILE (TYP. WHERE SHOWN)
1.1	2" STUCCO BAND	5.0	4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)
2.0	LIMESTONE VENEER	5.1	2"X2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS ON CONCRETE WALL WITH SMOOTH STUCCO FINISH
2.1	CONCRETE STEPS WITH STONE FINISH	5.2	ALUMINUM TRELLIS (BY OTHERS)
2.2	1" REVEAL	6.0	42" H. GLASS RAILING CAT. II SAF. GL. (BY OTHERS)
3.0	IPE WOOD	6.1	42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)
3.1	LIVING WALL	7.0	GRASS STEPS



## KEY PLAN

SCALE : N.T.S.

A.1

D5.0.1

SECTION

A.1

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RESIDENCE FOR :

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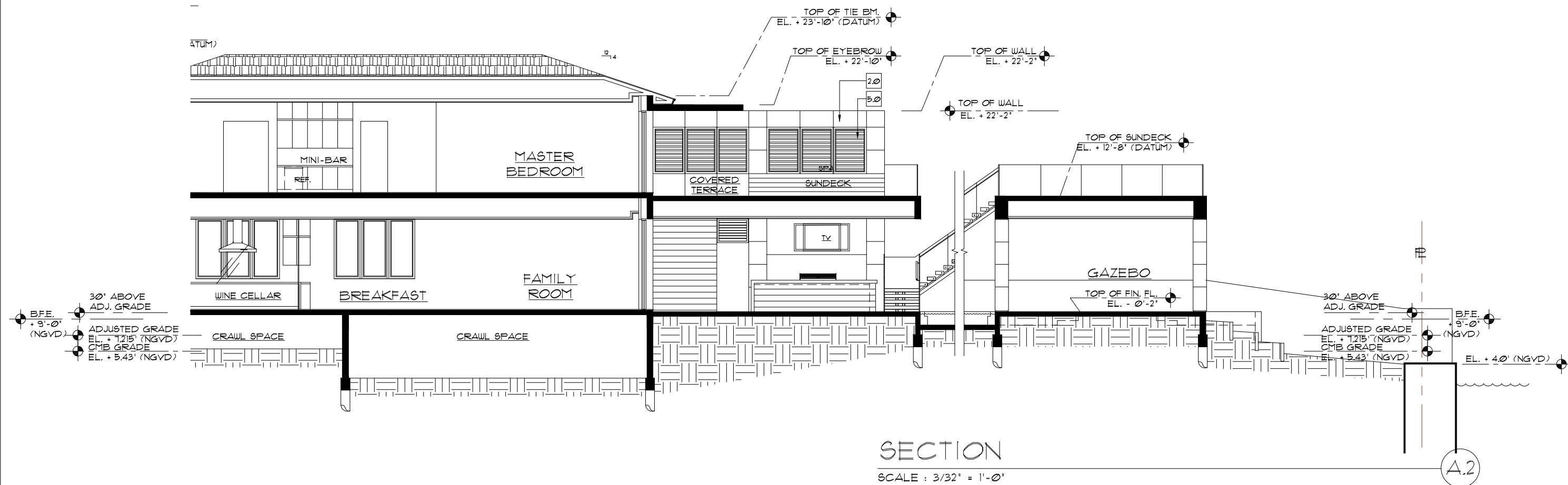
64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17

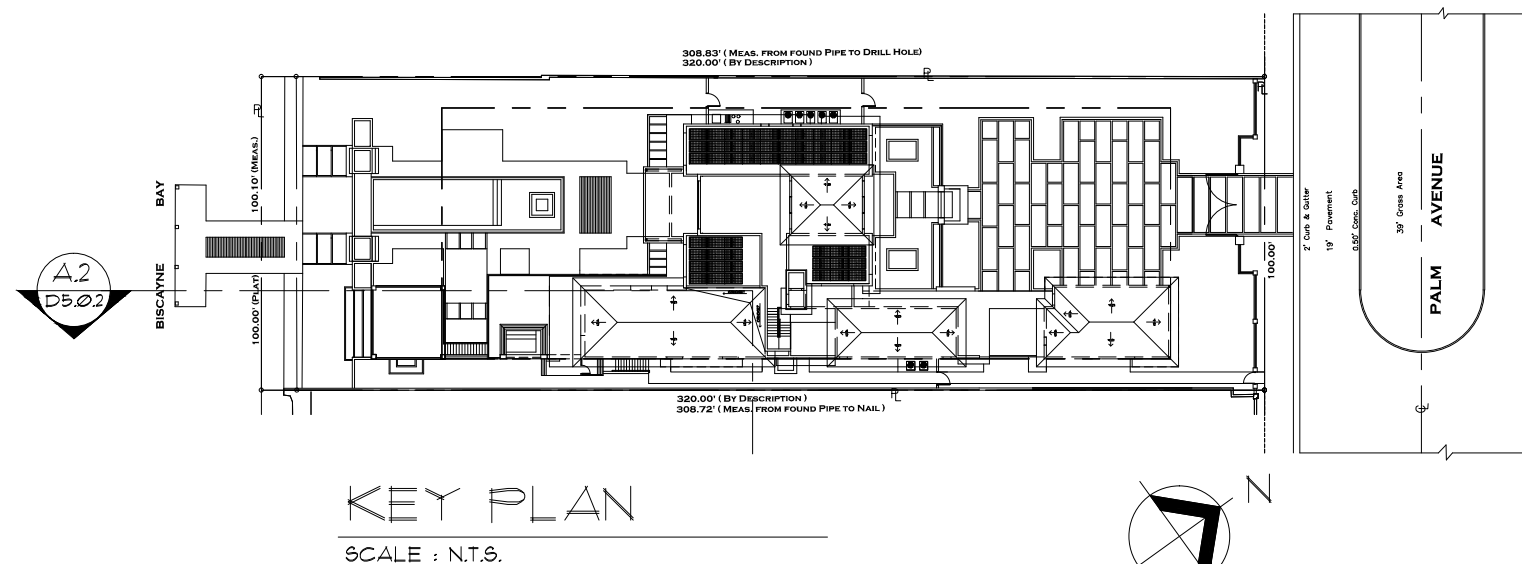
sheet no.

D5.0.1



### MATERIAL LEGEND :

1.0	SMOOTH STUCCO FINISH OVER CONCRETE	4.0	FLAT CEMENT TILE (TYP. WHERE SHOWN)
1.1	2" STUCCO BAND	5.0	4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)
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3.0	IPE WOOD	6.1	42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)
3.1	LIVING WALL	7.0	GRASS STEPS



SECTION

A.2

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64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 5 / 17  
sheet no.

D5.0.2



1.0	SMOOTH STUCCO FINISH OVER CONCRETE	4.0	FLAT CEMENT TILE (TYP. WHERE SHOWN)
1.1	2" STUCCO BAND	5.0	4" ALUMINUM LOUVERS IN ALUMINUM FRAME (BY OTHERS)
2.0	LIMESTONE VENEER	5.1	2"x2" ALUMINUM SLATS (BY OTHERS) IN 4" RECESS ON CONCRETE WALL WITH SMOOTH STUCCO FINISH
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3.0	IPE WOOD	6.1	42" H. GLASS RAILING CAT. II SAF. GL. WITH 38" H. HANDRAIL (BY OTHERS)
3.1	LIVING WALL	7.0	GRASS STEPS

## KEY PLAN

SCALE : N.T.S.

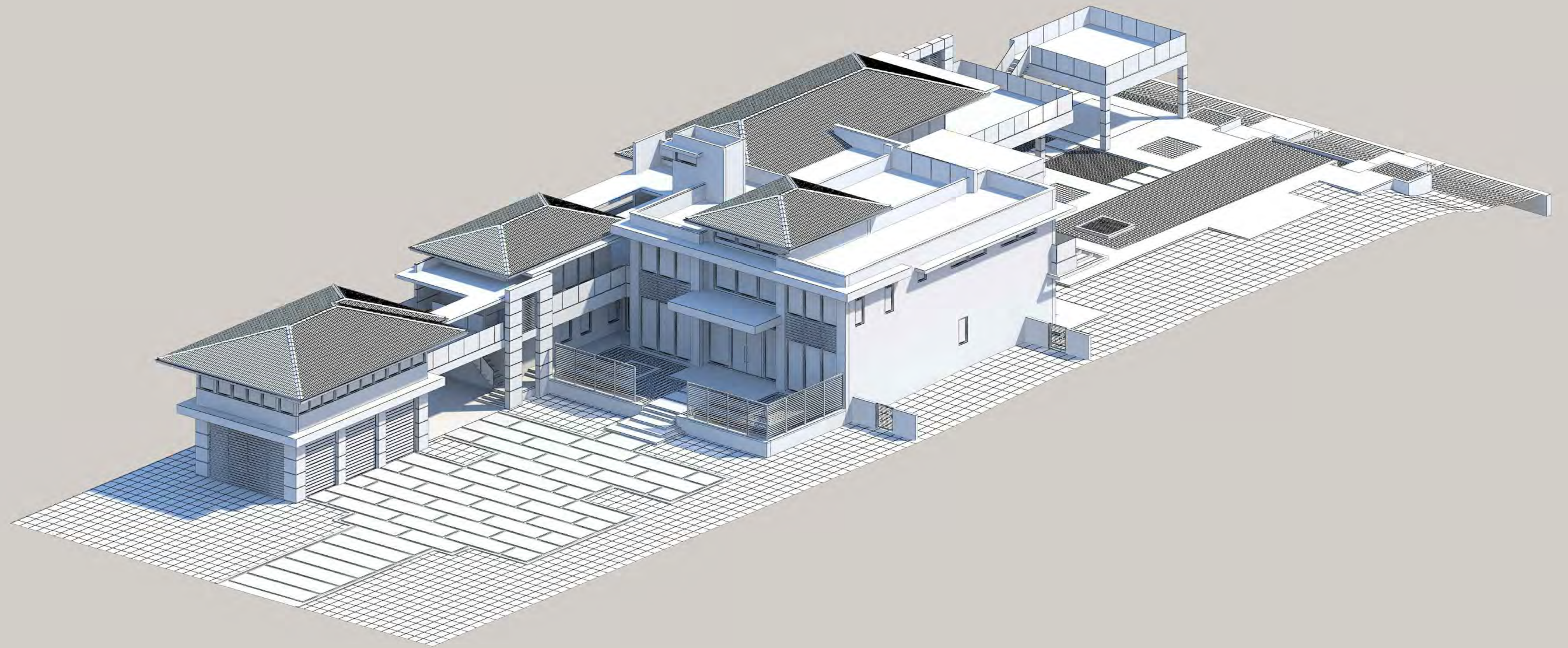
## SECTION

B



D5.1





NORTH AXONOMETRIC VIEW

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RESIDENCE FOR :

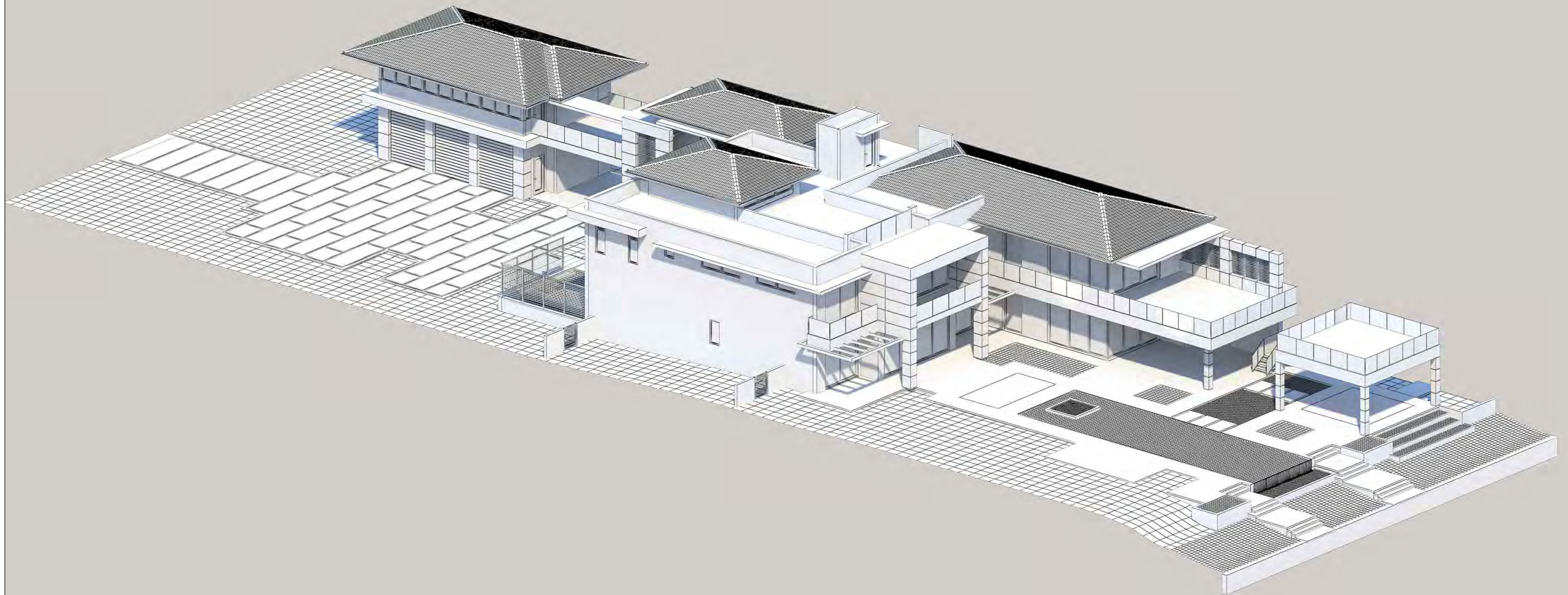
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 8 / 17  
sheet no.

D6.0



WEST AXONOMETRIC VIEW

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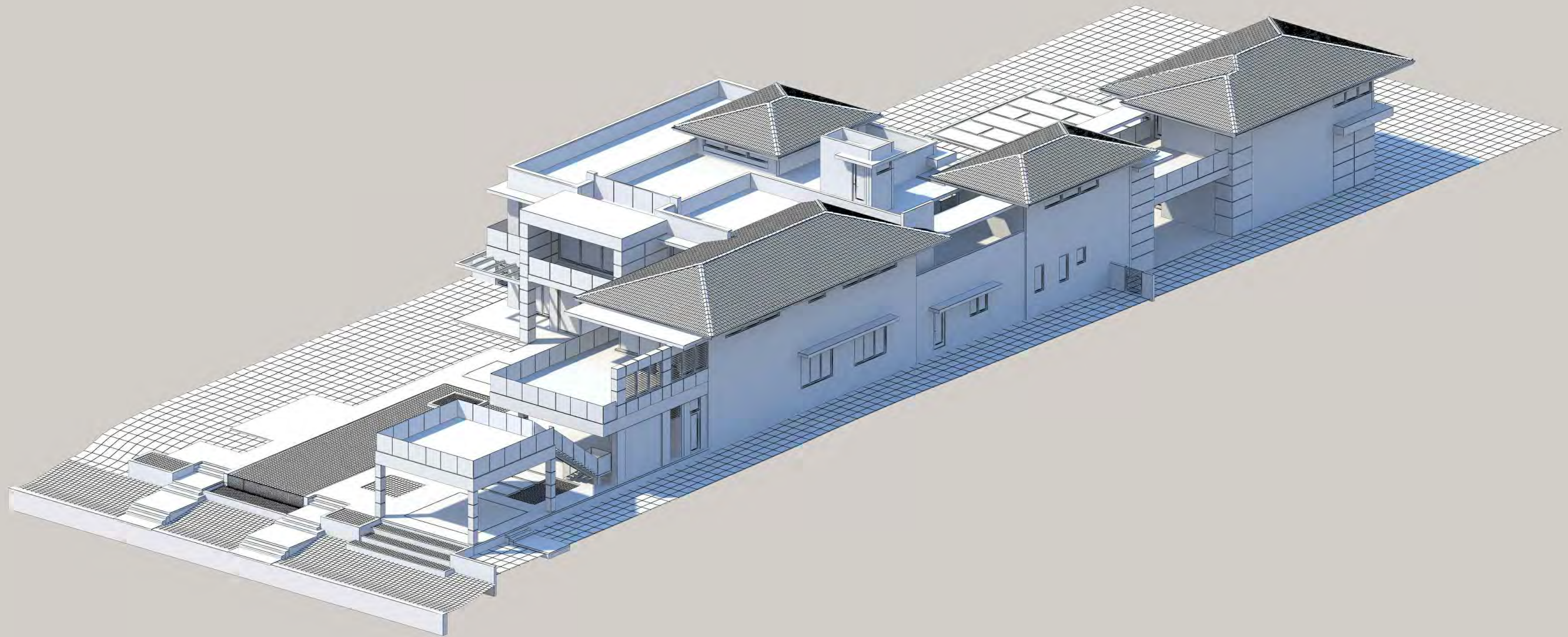
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sheet no.

D6.1



SOUTH AXONOMETRIC VIEW

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RESIDENCE FOR :

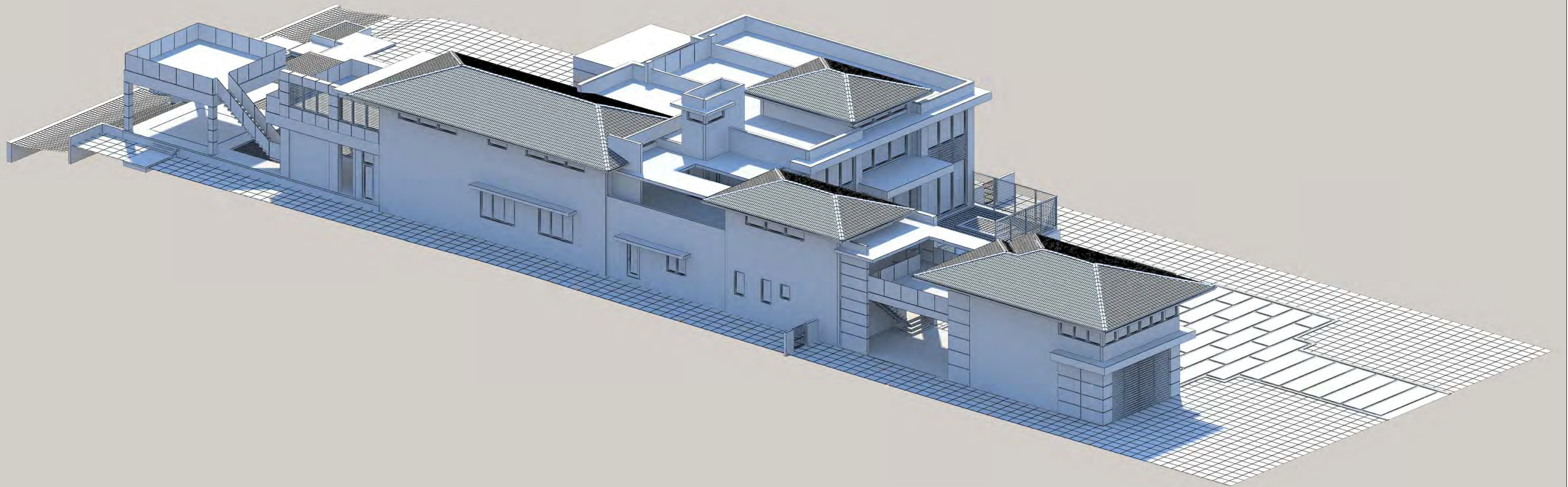
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D6.2



EAST AXONOMETRIC VIEW

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RESIDENCE FOR :

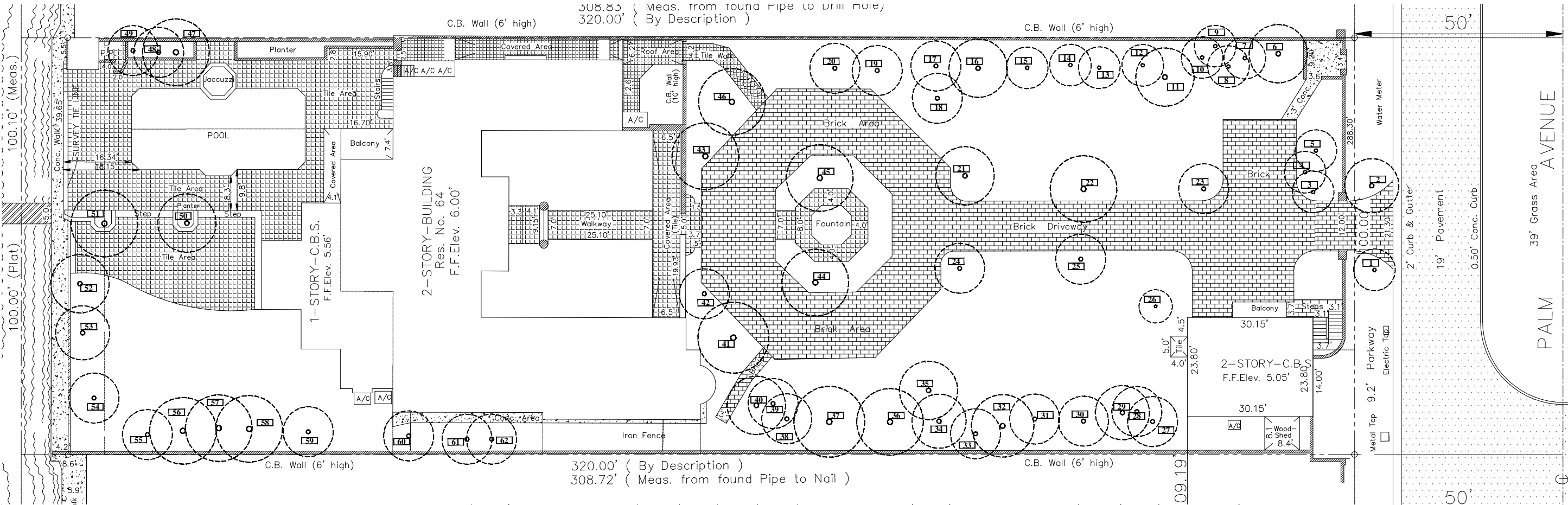
MR. & MRS. SARRIA

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date 12 / 8 / 17  
sheet no.

D6.3



EXISTING TREE LEGEND						
TREE #	COMMON NAME / LATIN NAME	DBH (INCHES)	HEIGHT (FEET)	SPREAD (FEET)	CANOPY (SQ FT)	STATUS
1	CANARY DATE PALM	18	17	10		RELOCATE
	PHOENIX CANARIENSIS					
2	CANARY DATE PALM	18	17	13		RELOCATE
	PHOENIX CANARIENSIS					
3	MONTGOMERY PALM	8	20	10	79	REMOVE - MITIGATE
	VEITCHIA MONTGOMERYANA					
4	MONTGOMERY PALM	8	20	10	79	REMOVE - MITIGATE
	VEITCHIA MONTGOMERYANA					
5	MONTGOMERY PALM	9	20	10	79	REMOVE - MITIGATE
	VEITCHIA MONTGOMERYANA					
6	SCREW PINE	18	20	14		RELOCATE
	PANDANUS AMARYLLIFOLIUS					
7	ROYAL PALM	18	50	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
8	ROYAL PALM	18	50	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
9	ROYAL PALM	12	50	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
10	ROYAL PALM	12	46	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
11	ROYAL PALM	12	37	14	154	REMOVE - MITIGATE
	ROYSTONEA REGIA					
12	ROYAL PALM	12	37	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
13	ROYAL PALM	12	37	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
14	ROYAL PALM	12	37	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
15	ROYAL PALM	18	40	10	79	REMOVE - MITIGATE
	ROYSTONEA REGIA					
16	ROYAL PALM	18	40	14	154	REMOVE - MITIGATE
	ROYSTONEA REGIA					
17	ROYAL PALM	18	40	12	113	REMOVE - MITIGATE
	ROYSTONEA REGIA					
18	ROYAL PALM	18	50	12	113	REMOVE - MITIGATE
	ROYSTONEA REGIA					
19	ROYAL PALM	18	50	12	113	REMOVE - MITIGATE
	ROYSTONEA REGIA					
20	ROYAL PALM	18	50	12	113	REMOVE - MITIGATE
	ROYSTONEA REGIA					
21	ROYAL PALM	24	50	14	154	REMOVE - MITIGATE
	ROYSTONEA REGIA					
22	ROYAL PALM	21	30	16	201	REMOVE - MITIGATE
	ROYSTONEA REGIA					

22	ROYAL PALM		21	30	16	201	REMOVE - MITIGATE
23	ROYAL PALM	24	50	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
24	ROYAL PALM	18	50	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
25	ROYAL PALM	18	50	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
26	SPINDLE PALM	9	20	8			RELOCATE
	IVYOPHORBE VERSCHAFFELTII						
27	ROYAL PALM	21	60	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
28	ROYAL PALM	21	60	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
29	ROYAL PALM	21	40	13	133		REMOVE - MITIGATE
	ROYSTONEA REGIA						
30	ROYAL PALM	21	40	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
31	ROYAL PALM	21	40	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
32	ROYAL PALM	21	40	15	177		REMOVE - MITIGATE
	ROYSTONEA REGIA						
33	ROYAL PALM	21	50	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
34	ROYAL PALM	16	40	10	133		REMOVE - MITIGATE
	ROYSTONEA REGIA						
35	ROYAL PALM	18	40	14	154		REMOVE - MITIGATE
	ROYSTONEA REGIA						
36	ROYAL PALM	21	40	16	201		REMOVE - MITIGATE
	ROYSTONEA REGIA						
37	ROYAL PALM	21	40	17	227		REMOVE - MITIGATE
	ROYSTONEA REGIA						
38	ROYAL PALM	21	40	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
39	ROYAL PALM	21	40	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
40	ROYAL PALM	18	40	14	154		REMOVE - MITIGATE
	ROYSTONEA REGIA						
41	CANARY DATE PALM	24	20	17			RELOCATE
	PHOENIX CANARIENSIS						
42	ROYAL PALM	18	40	12	113		REMOVE - MITIGATE
	ROYSTONEA REGIA						
43	ROYAL PALM	21	40	16	201		REMOVE - MITIGATE
	ROYSTONEA REGIA						
44	ROYAL PALM	24	40	16	201		REMOVE - MITIGATE
	ROYSTONEA REGIA						
45	ROYAL PALM	24	40	16	201		REMOVE - MITIGATE
	ROYSTONEA REGIA						
46	CANARY DATE PALM	24	20	16			RELOCATE
	PHOENIX CANARIENSIS						

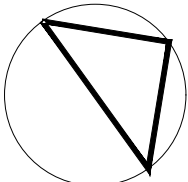
47	FICUS	11	20	16		REMOVE - PROHIBITED NO MITIGATION
48	FICUS BENJAMINA	10	20	12	113	REMOVE - MITIGATE
	COCONUT PALM					
49	COCONUT PALM	9	20	12	113	REMOVE - MITIGATE
	COCONUT PALM					
50	MEDJOL DATE PALM	11	30	14		RELOCATE
	PHOENIX DACTYLIFERA					
51	MEDJOL DATE PALM	6	35	16		RELOCATE
	PHOENIX DACTYLIFERA					
52	ROYAL PALM	18	30	14	154	REMOVE - MITIGATE
	ROYSTONEA REGIA					
53	ROYAL PALM	6	20	13	133	REMOVE - MITIGATE
	ROYSTONEA REGIA					
54	ROYAL PALM	9	30	12	113	REMOVE - MITIGATE
	ROYSTONEA REGIA					
55	COCONUT PALM	9	30	12	113	REMOVE - MITIGATE
	COCONUT PALM					
56	ROYAL PALM	10	30	16	201	REMOVE - MITIGATE
	ROYSTONEA REGIA					
57	ROYAL PALM	10	30	16	201	REMOVE - MITIGATE
	ROYSTONEA REGIA					
58	QUEEN PALM	10	30	16	201	REMOVE - MITIGATE
	SYAGRUS ROMANZOFFIANUM					
59	QUEEN PALM	11	20	12	113	REMOVE - MITIGATE
	SYAGRUS ROMANZOFFIANUM					
60	QUEEN PALM	9	20	12	113	REMOVE - MITIGATE
	SYAGRUS ROMANZOFFIANUM					
61	QUEEN PALM	9	20	12	113	REMOVE - MITIGATE
	SYAGRUS ROMANZOFFIANUM					
62	QUEEN PALM	9	20	12	113	REMOVE - MITIGATE
	SYAGRUS ROMANZOFFIANUM					

REMOVING 6,796 sq.ft. of canopy.

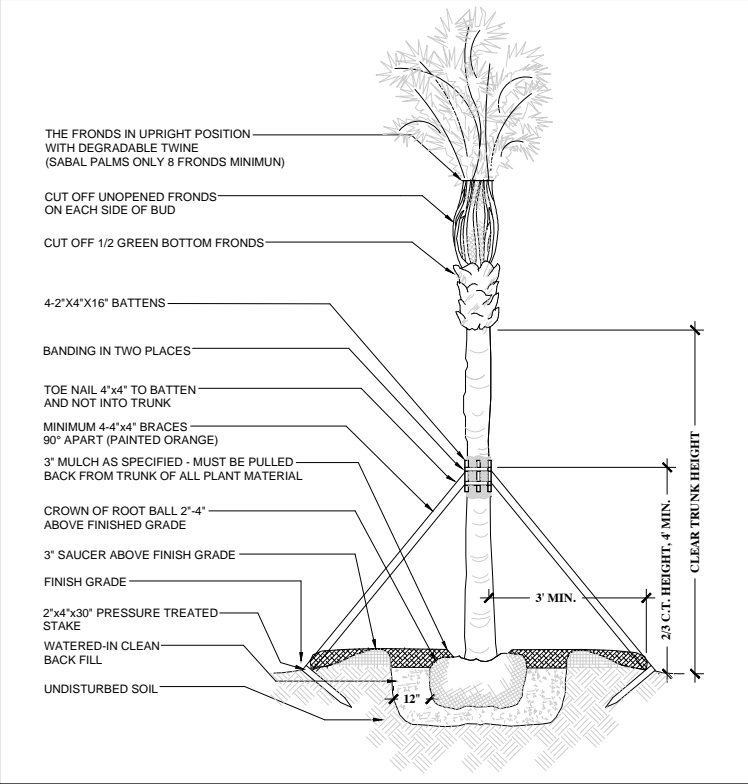
TREE MITIGATION:

Replacing 6,796 sq.ft. of canopy with 7,200 sq.ft. as shown:

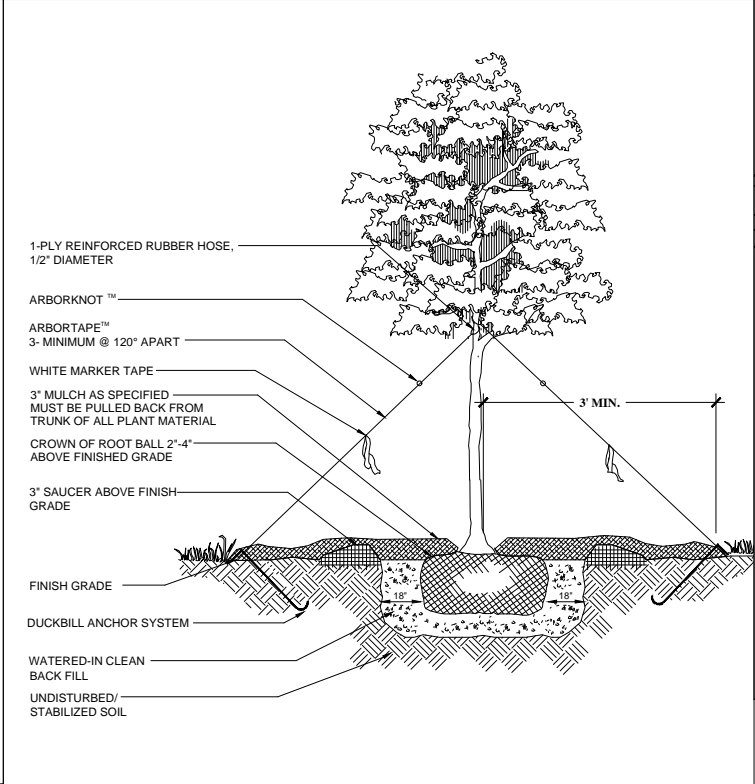
6 Silver Buttonwood	(300 ea)	= 1,800 sq.ft.
5 Crabwood	(300 ea)	= 1,500 sq.ft.
13 Green Buttonwood	(300 ea)	= 3,900 sq.ft.
TOTAL:		7,200 sq.ft.



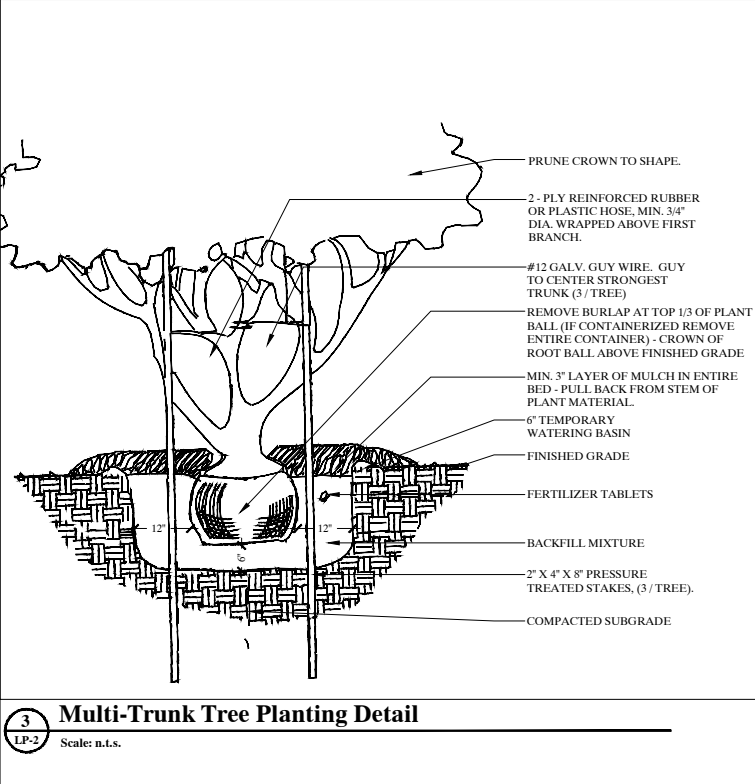
**4872 S.W. 72nd Avenue**  
**Miami, Florida 33155**  
**(305)668-3196**  
**Fax(305)668-2871**



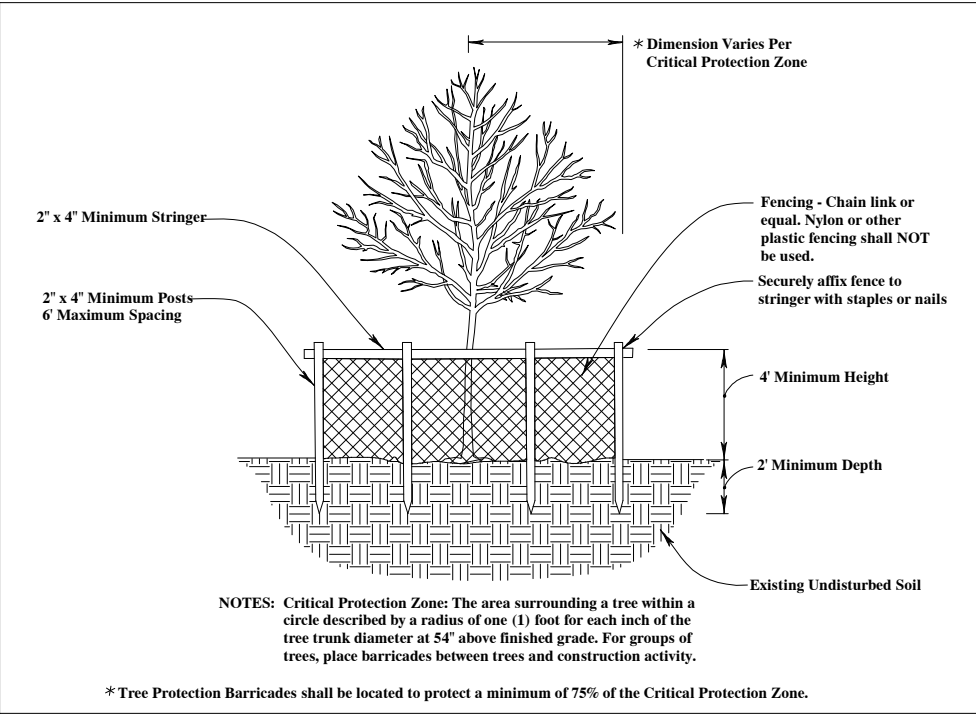
**1 Palm Planting Detail**  
Scale: n.t.s.



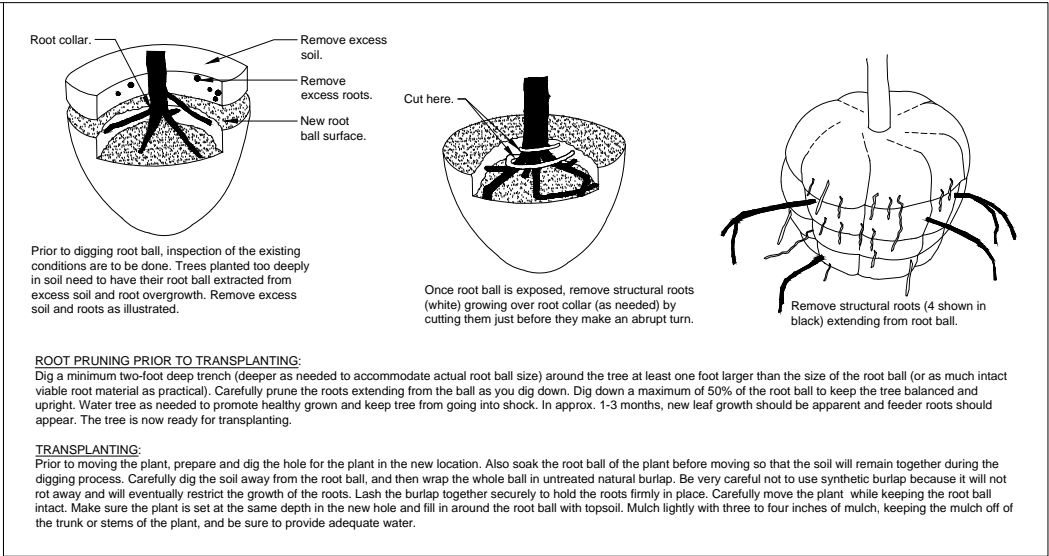
**2 Single Trunk Tree Planting Detail**  
Scale: n.t.s.



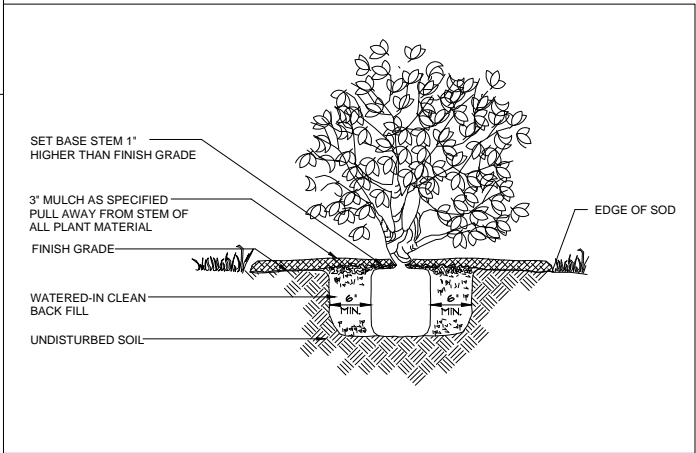
**3 Multi-Trunk Tree Planting Detail**  
Scale: n.t.s.



**4 Tree/Shrub Protection Barrier Detail**  
Scale: N.T.S.



**5 Tree Root Prune and Transplant Detail**  
Scale: N.T.S.



**6 Shrub Planting Detail**  
Scale: n.t.s.

#### LANDSCAPE NOTES

1. All plant material to be Florida No.1 or better. Florida Department of Agriculture Grade and Standards, Parts I and II 1973, 1975 Respectively.
2. All planting beds to be topped with 2" min. mulch "Grade A", unless otherwise noted. A two-inch layer, after watering in, of mulch must be placed and maintained around all newly installed trees, shrubs, and ground cover plantings. Each tree must have a ring of mulch no less than 24 inches beyond its' trunk in all directions. Red mulch is not acceptable. CYPRESS MULCH WILL NOT BE USED.
3. All trees to be staked in good workmanlike manner. No nail staking permitted. (Refer to planting details) Landscape contractor is responsible for removing trees stakes once trees are established.
4. Landscape plan shall be installed in compliance with all local codes. Local codes take precedence over Landscape plan.
5. All tree holes to be back filled around and under root ball with planting soil. All shrub beds to be installed with planing soil (see planting details).
6. Sod shall be as specified in the landscape plan. Solid sod shall be laid with alternative and abutting joints, with 2" top soil minimum if required.
7. All trees and palms are to be guaranteed for one year. All shrubs and ground covers shall be guaranteed for six months from date of final acceptance.
8. All planting beds shall be free of weeds, grass, litter, and construction debris prior to planting.
9. All trees, palms, shrubs, and groundcover plants shall be fertilized at installation with slow release fertilizer, according to manufacturer's recommendations (submit sample for approval).
10. Landscape contractor shall review all drawings and prepare his own take off and plant list prior to bid cost, and compare to Landscape Architect's plant list. Sizes specified on Landscape plan are deemed to be minimums. Landscape Contractor is responsible for attaining accurate counts of plant materials specified. In the event of discrepancies, Landscape Contractor shall bring to the attention of the Landscape Architect. Plan shall take precedence over plant list. No Exceptions!
11. Landscape Contractor shall locate and verify all underground utility prior to digging. Plantings in Easements: Utility, power, or drainage easements may overlap required buffers; however no required trees or shrubs may be located in any utility, power, or street easement or right-of-way.
12. All trees, except street trees, shall be a minimum of ten (10) feet high and have a minimum dbh of two (2) inches at time of planting except that thirty (30) percent of the tree requirement may be met by native species with a minimum height of eight (8) feet and a minimum dbh of one and one-half (1½) inches at time of planting.
13. All shrubs must be a minimum of 18" in height at time of planting. When used as a visual screen, buffer, or hedge, shrubs shall be planted at a maximum average spacing of thirty (30) inches on center or if planted at a minimum height of thirty-six (36) inches, shall have a maximum average spacing of forty-eight (48) inches on center and shall be maintained so as to form a continuous, unbroken and solid visual screen within one (1) year after time of planting.
14. All material is subject to availability at time of installation. Substitutions MUST be cleared with Landscape Architect prior to install.
15. All newly planted areas to receive 100% coverage (with 50% overlap) by automatic irrigation system (refer to irrigation plan).
16. All existing plant material to remain shall be protected (see planting details).
17. All trees to be relocated will get root pruned a minimum of 30 days prior to relocation (more if req. by species). Upon relocation, thin out (under L.A direction) 25% of tree canopy.
18. After removal/relocation of existing trees and palms, backfill tree pit with planting soil and sod disturbed area (if needed) to bring them to the same level of the surrounding areas.
19. No changes shall be made without the prior consent of the Landscape Architect and Owner.

#### TREE MAINTENANCE NOTES

1. Begin maintenance immediately after planting. Maintain all plant material until final acceptance and for a maintenance and warranty period of twelve (12) months after final acceptance.
2. Maintenance shall include but is not limited to pruning, cultivating, mowing, weeding, fertilizing, watering, and application of appropriate pesticides necessary to maintain plants in healthy condition.
  - 1) Reset settled plants to proper grade and position.
  - 2) Restore soil berm and mulch layer.
  - 3) Tighten and repair elastic guys or other supports
  - 4) Correct defective work.
  - 5) Remove and replace rejected material within one (1) working day from notification.
  - 6) Maintain mulch surface weed-free.
3. The contractor is entirely responsible for the irrigation through final acceptance and twelve- (12) month warranty period. Plant material shall receive water in accordance with the water schedule established per Irrigation Notes.



BRUCE HOWARD &  
ASSOCIATES, INC.

Landscape Architects,  
Site Planners &  
Golf Course Designers

PROJECT: **SARRIA RESIDENCE - 64 PALM AVE.**

DRAWING TITLE :

**LANDSCAPE DETAILS**

DATE: 11-17-2017



Bruce J. Howard  
License #: LA0000371

SCALE: 1"=25'-0"

SHEET #  
**L2.2**

4872 S.W. 72nd Avenue  
Miami, Florida 33155  
(305)668-3196  
Fax(305)668-2871



SEE OTHER SIDE FOR ADDITIONAL ELECTRICAL & PLUMBING PERMITS

Flaherty Tom R. Lewis  
Owner Sailing Baruch Mailing Address Permit No. 5067  
R. G. Hasoell - owner  
Lot 33 Block 1 Subdivision Palm Island No. 64 Street Palm ave Date 10/22/32  
General Contractor Wm. F. Bonsack, Inc. 9078 Address  
Architect Robert L. Weed Address 4205-01-0300  
Front 46'-8" Depth 40'-2" Height 25- Stories Use Residence &  
Type of construction C B Stucco Cost \$25,000.00 Foundation Reinf-conc-Piling Roof Garage  
Tile & Comp  
Plumbing Contractor Address Date  
No. fixtures Rough approved by Date  
Plumbing Contractor Stolpman #6334 Address Date 1-3-32  
No. fixtures set 22 Final approved by Date  
Sewer connection O'Neill- 6316 - Make Date 10-26-32  
Septic tank TWO-  
Electrical Contractor Hardie Electric Co. #3161 Address Date 10-27-32  
No. outlets 70 Heaters 2 Stoves 1 Motors 1 Fans Temporary service  
20 receptacles-  
Rough approved by Date  
Electrical Contractor Hardie Electric #3258 Address Date Dec. 12-32  
No. fixtures set 50 Final approved by Date  
Larkin - Elec. Permit #3297 - - - - - 58 Fixtures - - - - - Dec 30-'32  
Date of service  
Alterations or repairs 8369 - Fence 400ft - June 1936  
permit # 6173: Swimming Pool: Cost, \$9,700.00 ----- Date July 24-1934  
Robt. L. Weed, architect: Fred Howland, Contractor:  
Reinforced concrete construction: Concrete pile foundations:  
Electrical Permit # 4387L Wagner: 5 outlets: 1 motor: - - - - - Sept. 26-1934  
Building Permit # 9917-- Addition (Fred Howland, contractor) Robt L. Weed, arch:  
c-b-s- Concrete Pile foundation- cost- \$6,500.00 -June 2-1937  
BUILDING PERMIT # 12240- Installation of filter plant: Bainbridge-Dodge Co.- \$1,000.- Feb.10-1939  
BUILDING PERMIT ..# 18021... Fence - 2 ft high on bulkhead ... owner, builds.. \$ 100: Feb.1,1944

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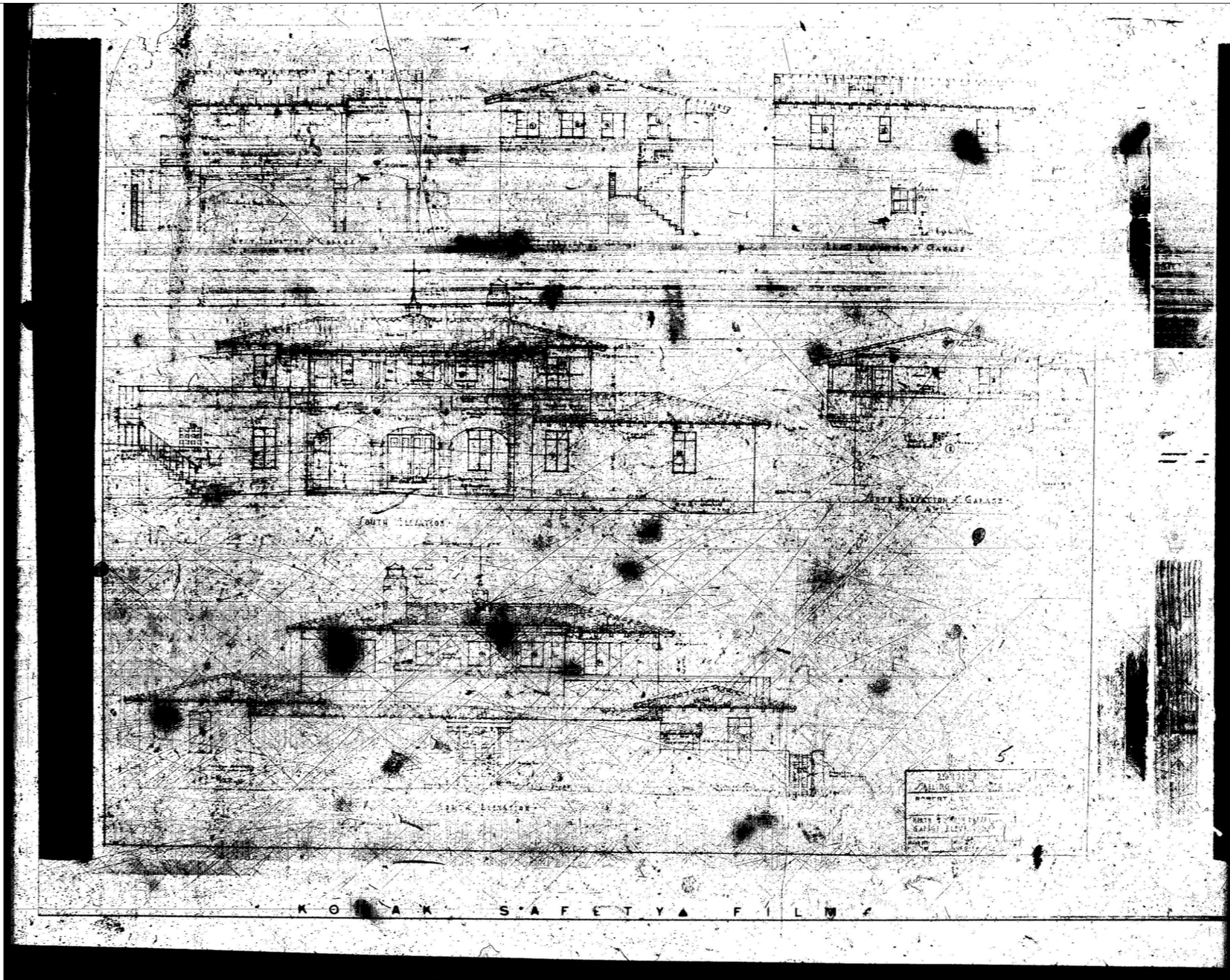
MR. & MRS. SARRIA

64 PALM AVENUE

MIAMI BEACH, FLORIDA

date 12 / 8 / 17  
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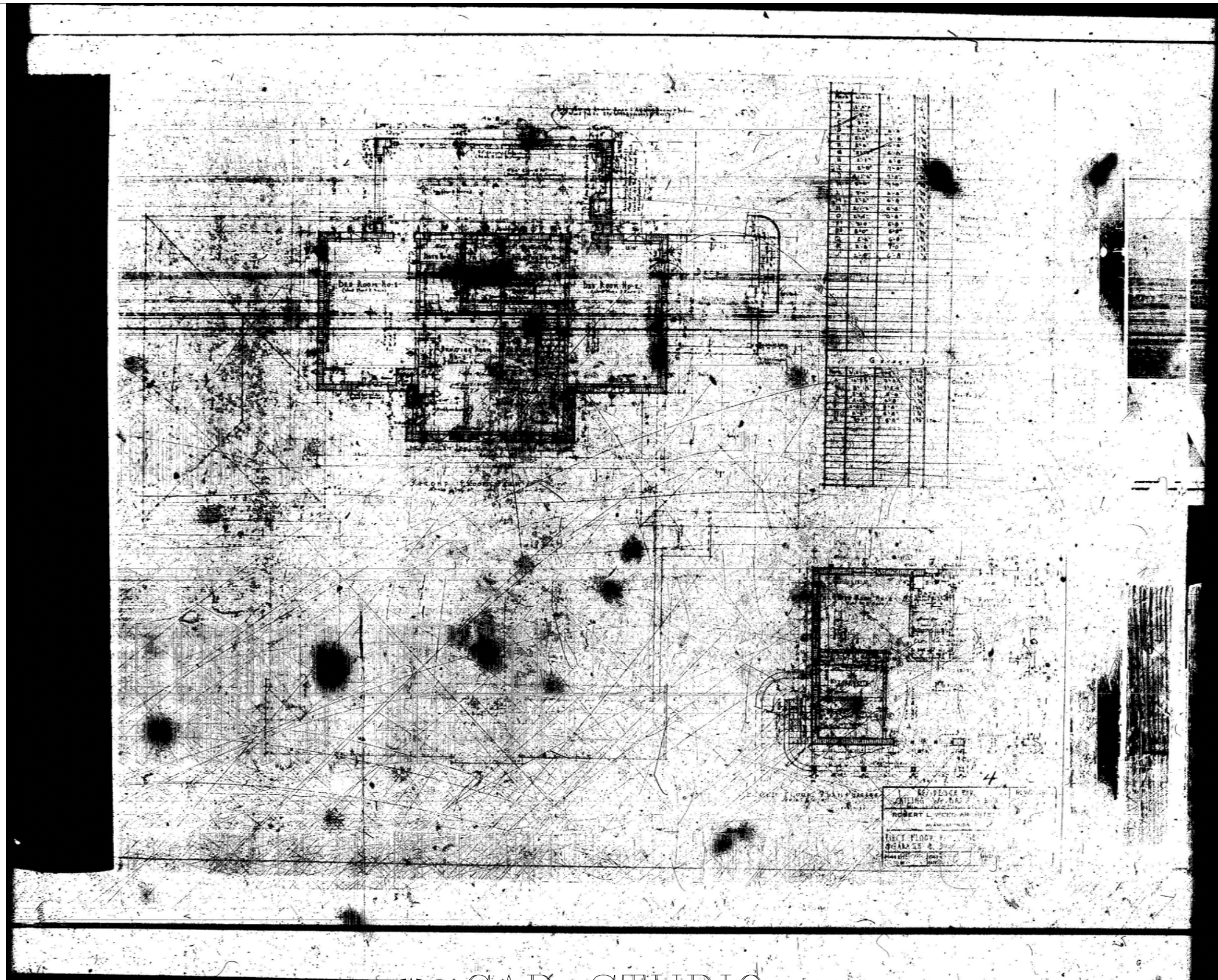
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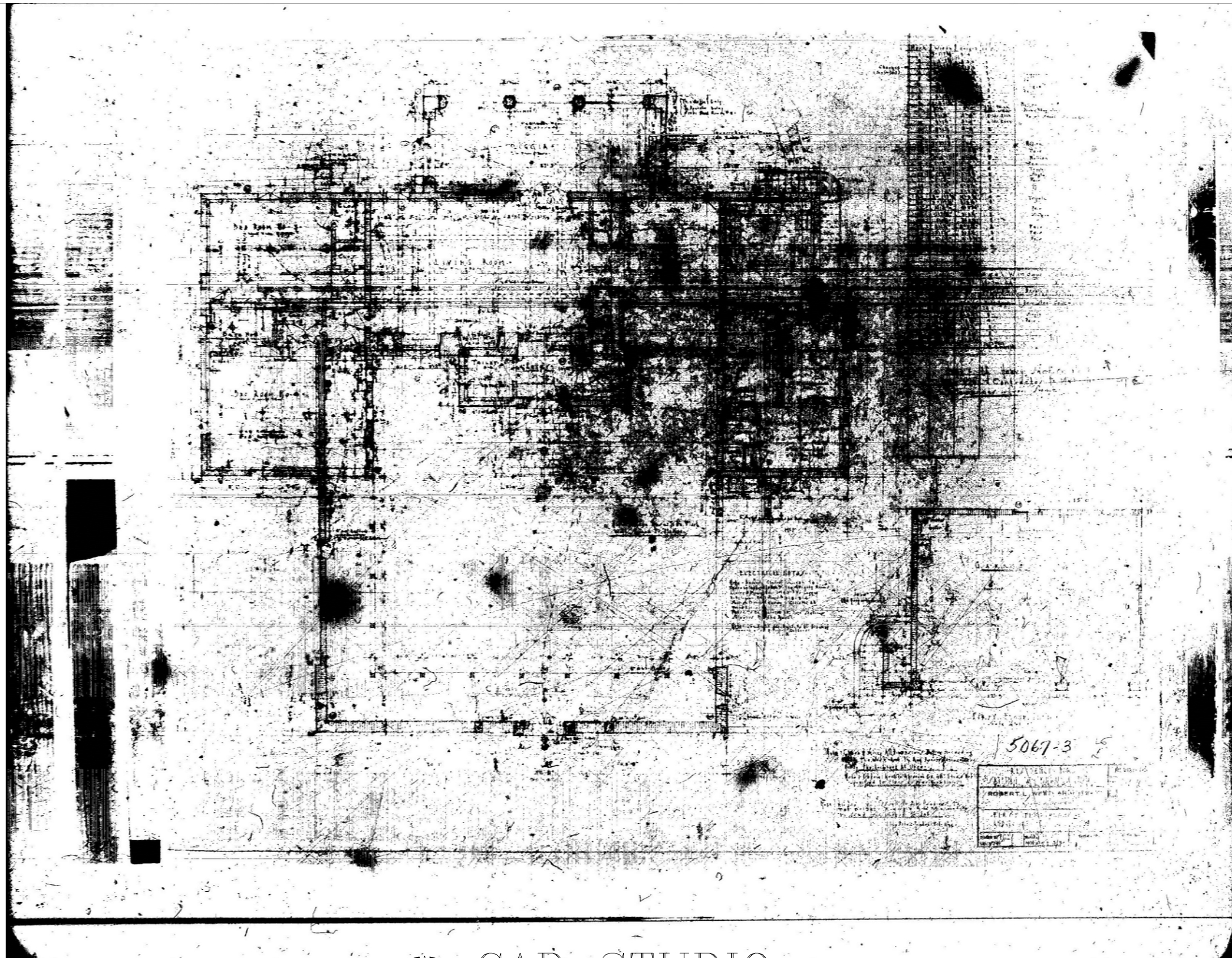
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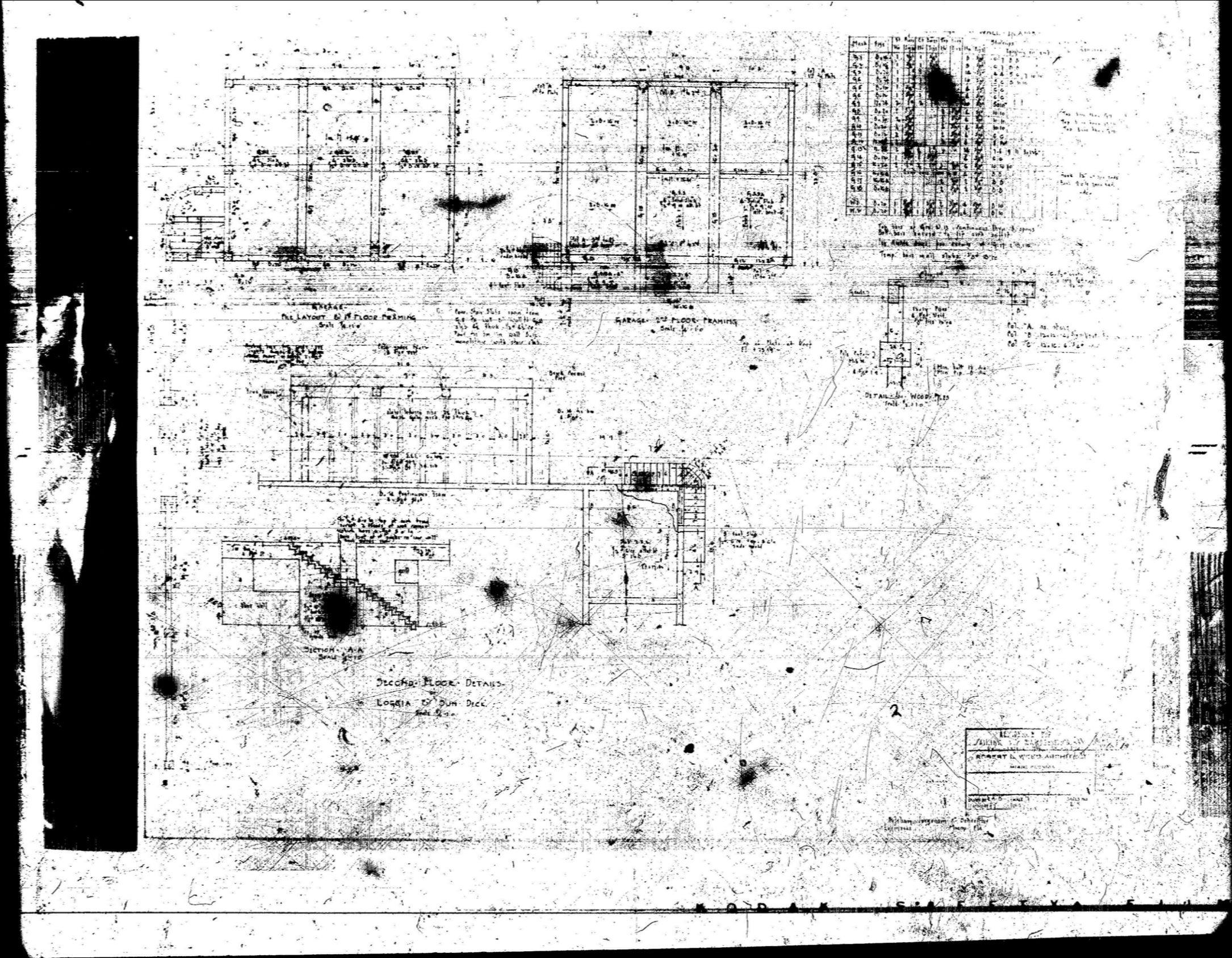
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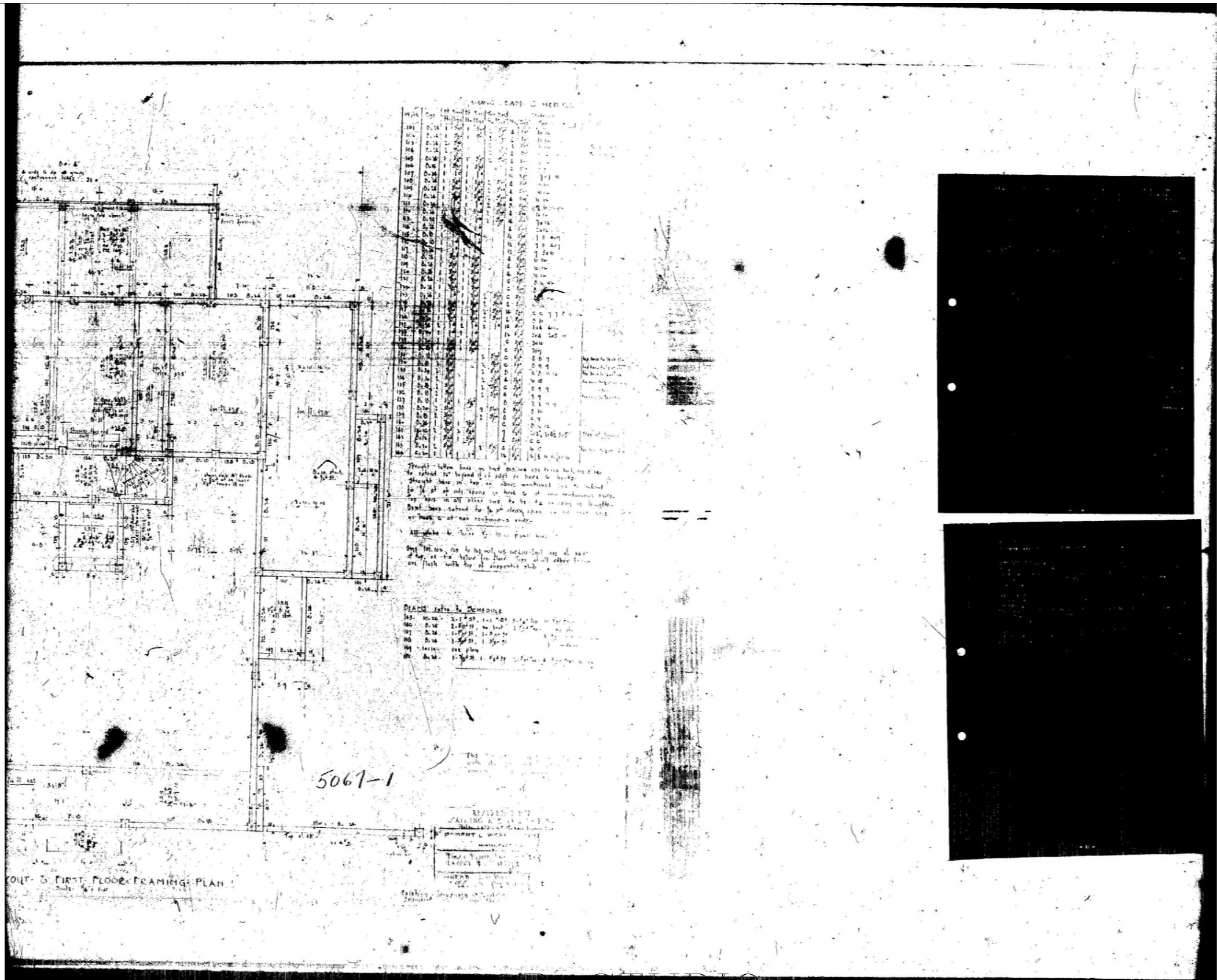
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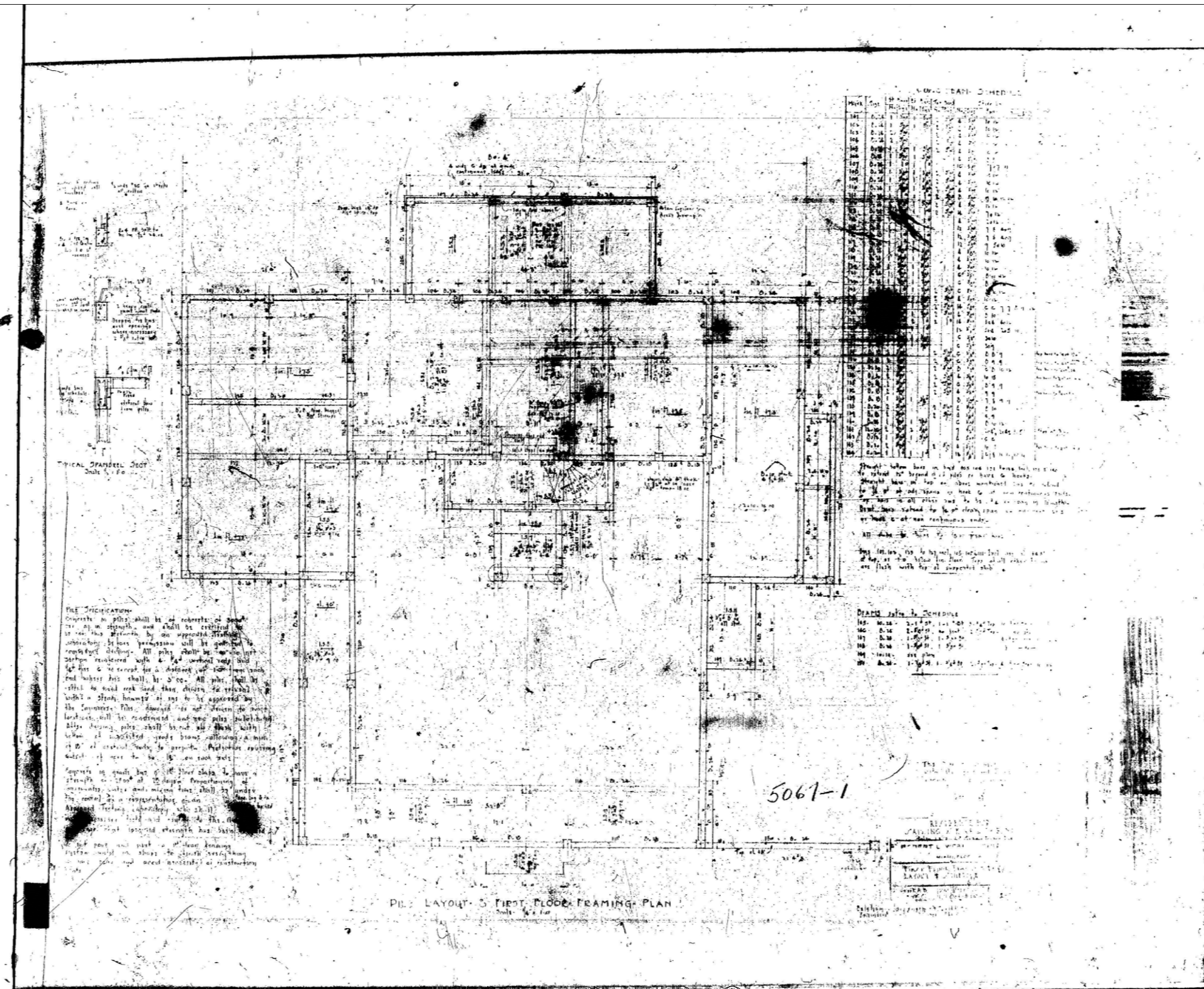
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