1325 BAY DRIVE RESIDENCE

NEW SINGLE FAMILY RESIDENCE
FIRST DRB SUBMITTAL (DRB17-0197) - DESIGN REVIEW BOARD

Property Address: 1325 Bay Drive, Miami Beach, Florida 33141 - Folio Number:02-3210-013-2430
Owner: MB 325, LLC

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SCOPE OF WORK:

1. DESCRIPTION OF WORK:
   New construction 2 Story Single Family Residence.
2. SCOPE OF WORK INCLUDES:
   2.1 Complete demolition of existing one story residence. This home was built in 1936.
   2.2 New construction of 2 story single family residence.

ARCHITECT:
ARCHITECTUREWORKS, LLC.
ARCHITECTURE & DESIGN
300 71 Street, Suite 528 Miami Beach, Fl. 33141
Phone (305) 866 1668

FIRST DRB SUBMITTAL DEADLINE DATE: 11/20/2017
FINAL DRB SUBMITTAL DEADLINE DATE: 12/08/2017

I N D E X O F D R A W I N G S

SHEET No.	ARCHITECTURE SET	SHEET No.	ARCHITECTURE SET	SHEET No.	ARCHITECTURE SET	SHEET No.	ARCHITECTURE SET
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A1.2	LOT SIZE DIAGRAM	A2.1	SECOND FLOOR PLAN	A7.2	AXONOMETRIC - SE CORNER		

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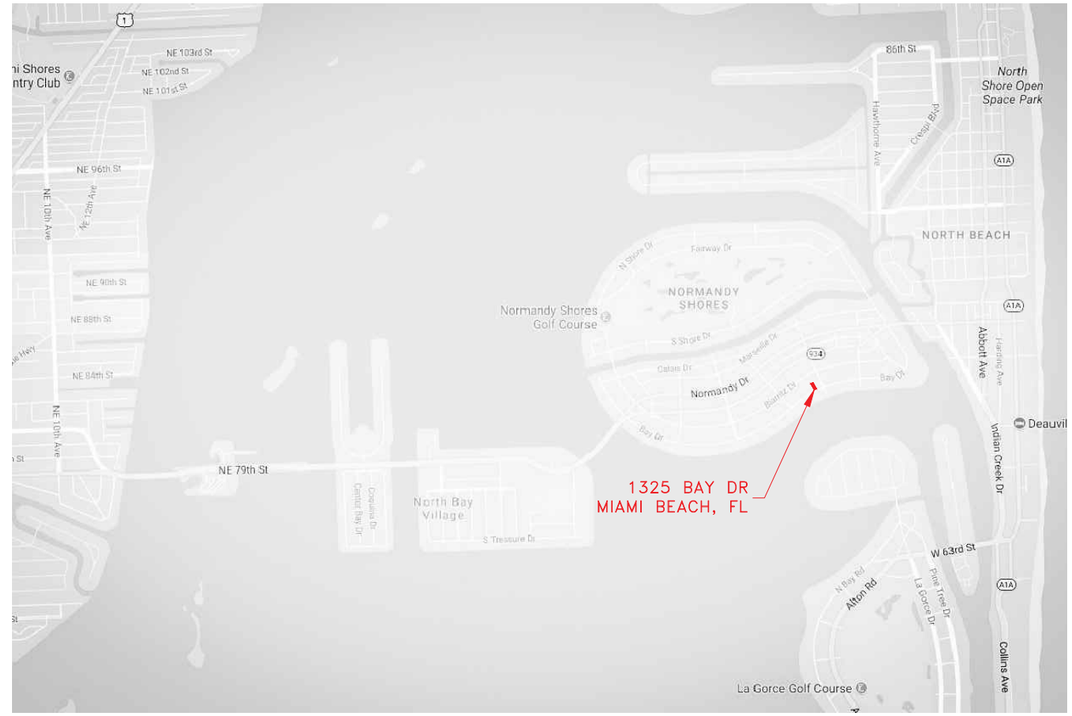

LOCATION MAP

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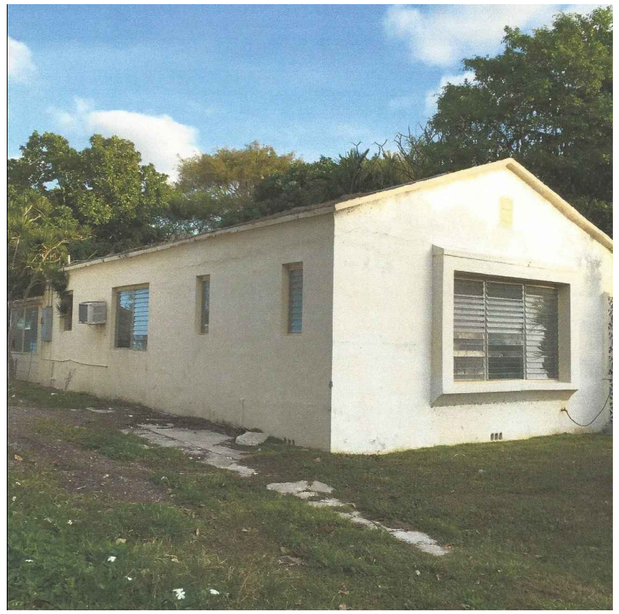

3. SOUTHWEST VIEW

2. FRONT FACADE

1. FRONT FACADE

KEY PLAN

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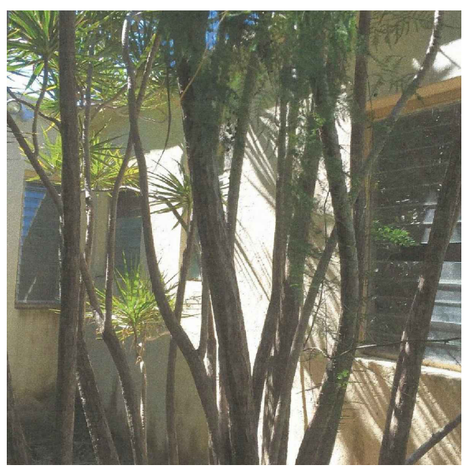
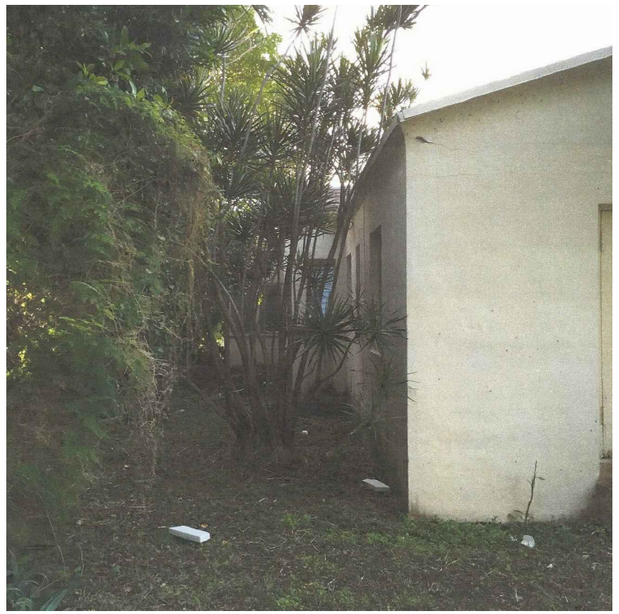


7. NORTHEAST VIEW



6. NORTHEAST VIEW

5. NORTHWEST VIEW

4. WEST FACADE

EXISTING SITE CONTEXT

EXISTING BUILDING CONDITIONS

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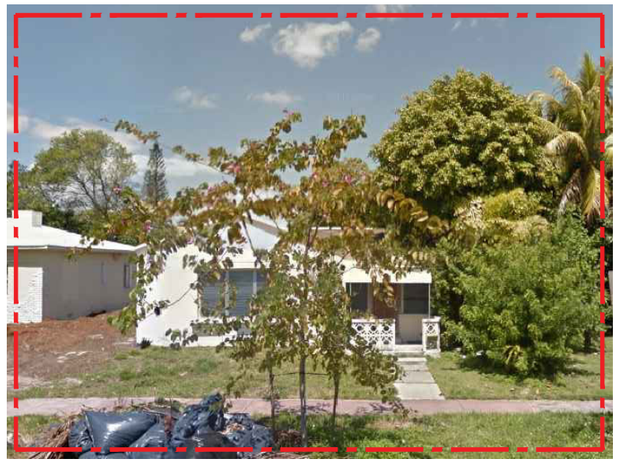

3. 1325 BAY DR

SITE

2. 1311 BAY DR

1. 1301 BAY DR

KEY PLAN

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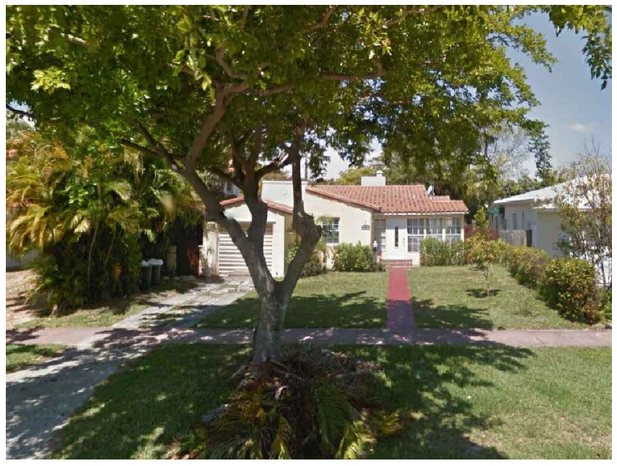
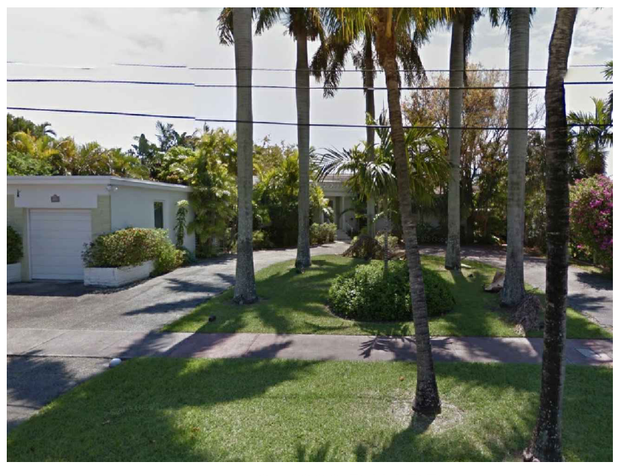
6. 1345 BAY DR

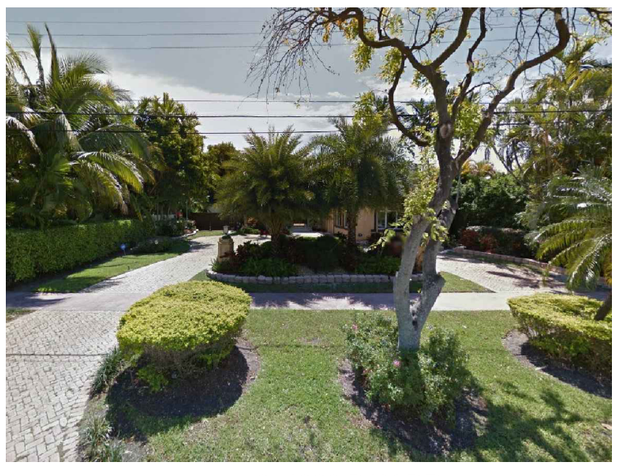


5. 1341 BAY DR

4. 1331 BAY DR



9. 1330 BAY DR



8. 1320 BAY DR

7. 1310 BAY DR

NEIGHBORHOOD CONTEXT

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1341 BAY DR 1331 BAY DR 1325 BAY DR 1311 BAY DR 1301 BAY DR

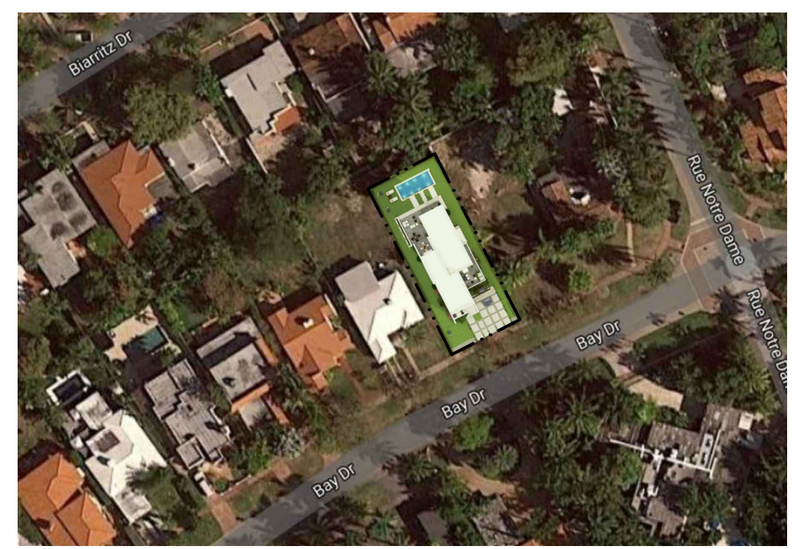
CONTEXT PHOTOMONTAGE

EXISTING

1341 BAY DR 1331 BAY DR 1325 BAY DR 1311 BAY DR 1301 BAY DR

CONTEXT PHOTOMONTAGE

PROPOSED



AERIAL SITE CONTEXT

PROPOSED

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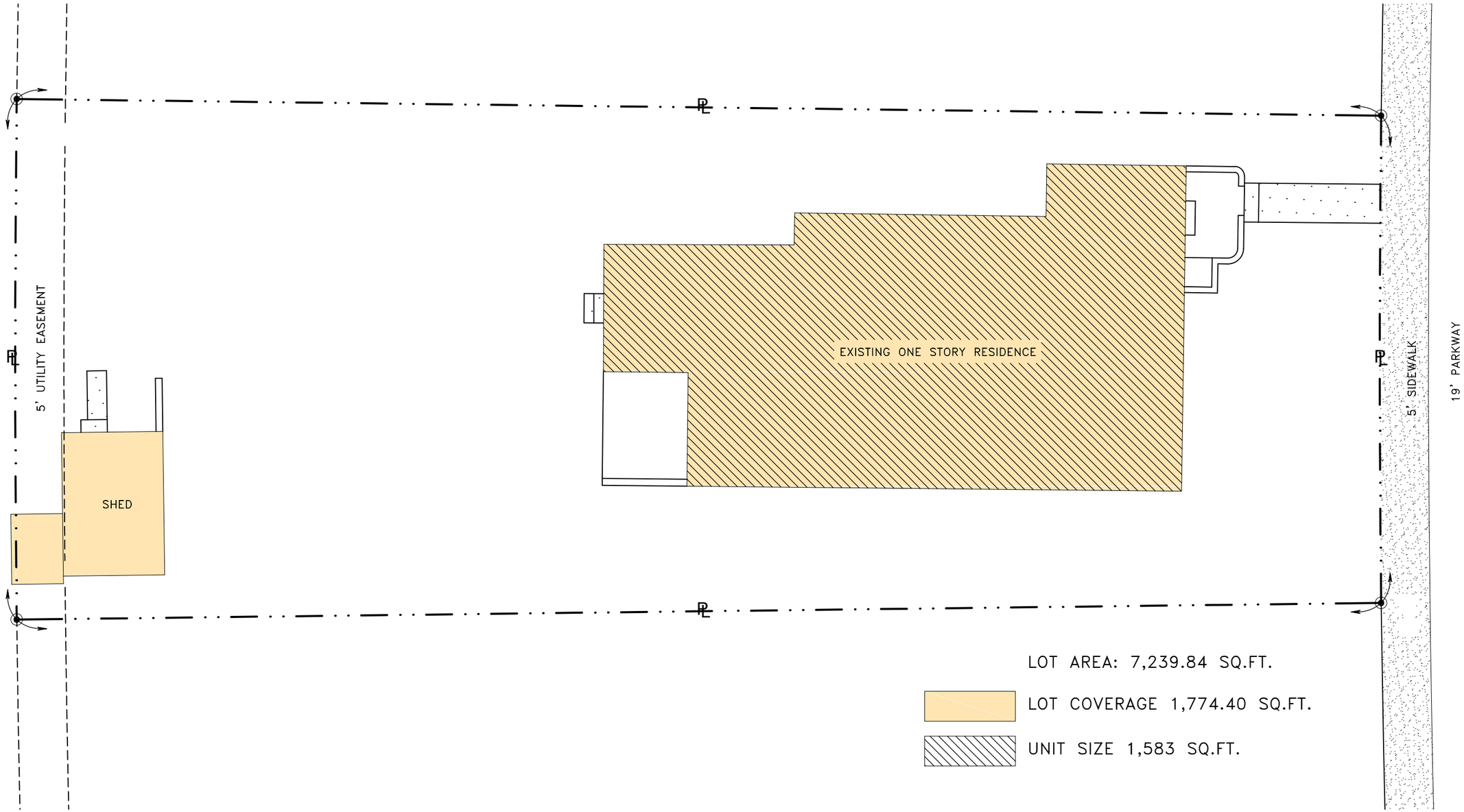

EXISTING LOT COVERAGE - UNIT SIZE

SCALE:3/32"=1'-0"

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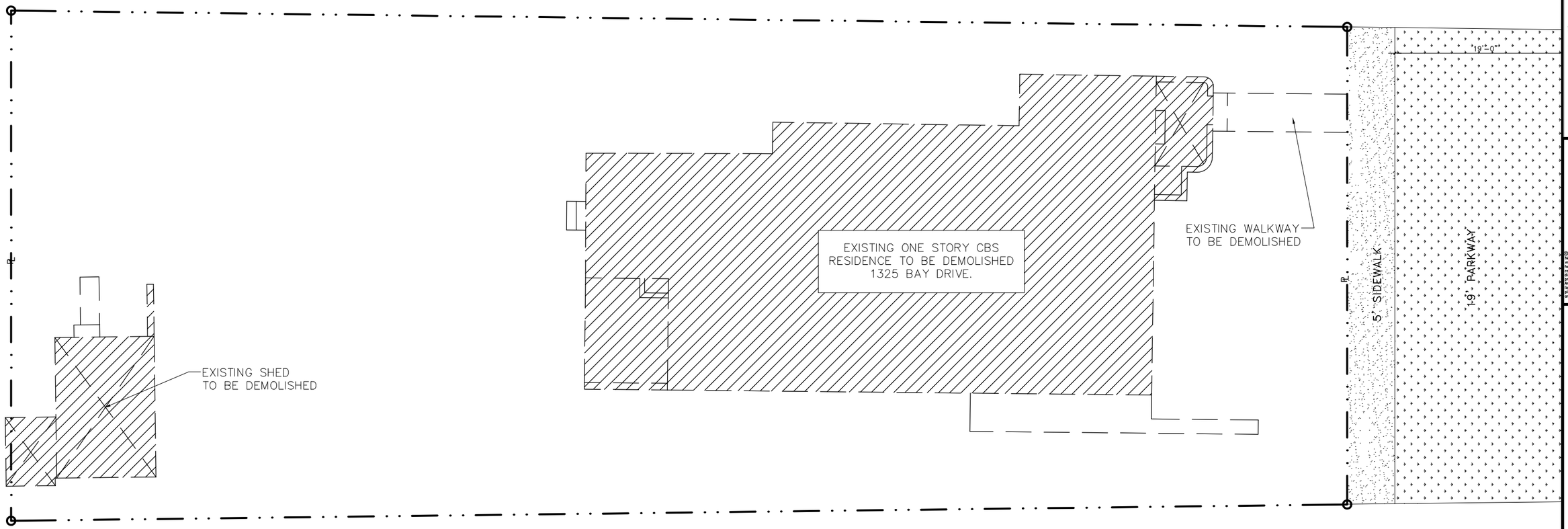

DEMOLITION PLAN

SCALE:3/32"=1'-0"

GENERAL NOTES

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
   A. THESE GENERAL NOTES UNLESS NOTED OTHERWISE (U.N.O.) ON THE PLANS OR SPECIFICATIONS
   B. FLORIDA BUILDING CODE LATEST EDITION
   C. ALL APPLICABLE LOCAL, AND STATE CODES, ORDINANCES AND REGULATIONS
2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTOR.
3. DIMENSIONS TAKE PRECEDENT OVER SCALED MEASUREMENTS.
4. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS NOTED OTHERWISE OR SHOWN.
5. ALL CONDITIONS AND APPLICABLE REQUIREMENTS OF THE CONTRACT BETWEEN THE CONTRACTOR AND THE OWNER SHALL GOVERN ALL SECTIONS OF THE SPECIFICATIONS.
6. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF THIS CONTRACT.
7. ALL DRAWINGS AND SPECIFICATIONS ARE DIRECTED TO THE ATTENTION OF THE CONTRACTOR AND THE INCLUSION OF ANY WORK BY MENTION, NOTE OR DETAIL, ITEMIZATIONS OR IMPLICATIONS HOWEVER BRIEF, MEANS THE CONTRACTOR SHALL PROVIDE AND INSTALL THE SAME AS PART OF
8. ALL WORK PERFORMED AND TO BE PART OF A COMPLETE PACKAGE WITHIN THE DEFINITION OF NORMAL INDUSTRY STANDARDS.
9. EXISTING ACTIVE UTILITY SERVICES WATER, GAS, SEWER, ELECTRIC, ETC. MUST BE DISCONNECTED BEFORE DEMOLITION OF THE STRUCTURE..
10. COMPLETE DEMOLITION SHALL INCLUDE THE REMOVAL OF ANY AND ALL UNDERGROUND FOUNDATION, UTILITIES, IRRIGATION ETC.
11. CONTRACTOR SHALL TAKE ANY AND ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE PRIOR TO IMITATING THE DEMOLITION WORK.
12. CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS TO PROTECT STORM WATER CATCH BASINS FROM DEBRIS GENERATED BY THE DEMOLITION WORK.

SCOPE OF WORK:

- COMPLETE DEMOLITION OF EXISTING ONE STORY CBS RESIDENCE.
THIS HOME WAS BUILT IN 1936.

- EXISTING ACTIVE UTILITY SERVICES WATER, GAS, SEWER, ELECTRIC, ETC. MUST BE DISCONNECTED BEFORE ANY DEMOLITION OF THE STRUCTURE OCCURS, CALL BEFORE YOU DIG .

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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

Item #	Zoning Information			
1	Address:	1325 Bay Drive, Miami Beach, FL 33141		
2	Folio number(s):	02-3210-013-2430		
3	Board and File numbers:			
4	Year built:	1936 (existing)	Zoning District:	RS-4
5	Based Flood Elevation	8	Grade value in NGVD:	3.9
6	Adjusted grade (Flood+Grade/2)	5.95	Free board:	1
7	Lot Area: (Miami Dade Records)	7,238 SF	Lot Area: (As per Survey dated 11.20.2017)	7,239.84 SF
8	Lot Width:	50'-0" / 53'-5"	Lot Depht:	140'-0"
9	Max Lot Coverage SF and %:	2,171.9 SF (30%)	Proposed Lot Coverage SF and %:	1,943 SF (27%)
10	Existing Lot Coverage SF and %:	1,774.4 SF (	Lot Coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	867.84 SF (57.4%)	Rear Yard Open Space SF and %:	1,116.59 SF (100%)
12	Max Unit Size SF and %:	3,619.9 SF (50%)	Proposed Unit Size SF and %:	3,187.4 SF (44%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	1,987.4 SF
14	Existing Second Floor Unit Size:	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval):	1,200 SF (62%)
15			Proposed Second Floor Unit Size SF and %:	1,200 SF (62%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area inmediately below):	n/a

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"		23'-0"	N/A
18	Setbacks:				N/A
19	Front First Level:	30'-0"	20'-0"	30'-0"	N/A
20	Front Second Level:	30'-0"		30'-0"	N/A
21	Side 1:	7'-6"	11'-8"	7'-6"	N/A
22	Side 2 or (facing street):	7'-6"	5'-4"	7'-6"	N/A
23	Rear:	21'-0"	60'-0"	33'-4"	N/A
	Accesory Structure Side 1:	N/A	34'-0"	N/A	N/A
24	Accesory Structure Side 2 or (facing street):	N/A	3'-7"	N/A	N/A
25	Accesory Structure Rear:	N/A	0	N/A	N/A
26	Sum of Side yard:	15'-0"	17'-0"	15'-0"	N/A

27	Located within a Local Historic District?	No
28	Designated as an individual Historic Single Family Residence Site?	No
29	Determined to be Architecturally Significant?	No

LEGAL DESCRIPTION:

LOT 16, BLOCK 15, OCEAN SIDE, ISLE OF NORMANDY, AS RECORDED IN PLAT BOOK 25, AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY

FOLIO: 02-3210-013-2430

BUILDING DEPARTMENT REQUIRED NOTES:

1. GENERAL CONTRACTOR MUST SUBMIT TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL AN ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION.
2. GENERAL CONTRACTOR MUST SUBMIT TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY AN AS BUILT ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION.
3. AS PER FBCR 302.9 WALL AND CEILING FINISHES SHALL NOT HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200, AND AS PER FBCR 302.9.2 WALL AND CEILING FINISHES SHALL NOT HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
4. AS PER FBCR 302.10 INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX OF NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

APPLICABLE CODES:

Florida Building Code 2014 (with latest revisions)
Florida Building Code Residential 2014 (with latest revisions)
Florida Building Code Accessibility 2014 (with latest revisions)
Florida Building Energy Conservation 2014 (with latest revisions)
FBC Test Protocols for High Velocity Hurricane Zones 2014 (with latest revisions)
FBC Mechanical Code 2014 (with latest revisions)
FBC Plumbing Code 2014 (with latest revisions)
NFPA 70-2011; National Electrical Code (with latest revisions)
NFPA 72-2010; National Fire Alarm Code (with latest revisions)
NFPA 80-2010; Standard for Fire Doors and Fire Windows (with latest revisions)
NFPA 90A-2012; Standard for the Installation of Air Conditioning and Ventilating Systems (with latest revisions)
NFPA 101-2010; Edition (with latest revisions)
NFPA 221-2012; Standard on Fire Walls and Fire Barrier Walls 2009 (with latest revisions)
NFPA 241-2009; Standard for Safeguarding Construction, Alteration and Demolition Operations 2004 (with latest revisions)
FLORIDA FIRE PREVENTION CODE 2014 (with latest revisions)
ASCE 7-2010 ASCE 24-14 ACI 318-14, ACI 531.1-1983
Federal, State and local jurisdiction applicable codes, ordinances and Statutes
Section 504 of the Rehabilitation Act of 1973 with the Uniform Federal Accessibility Standars.
ANSI Specifications: 156.1 Thru A156.17, most current edition

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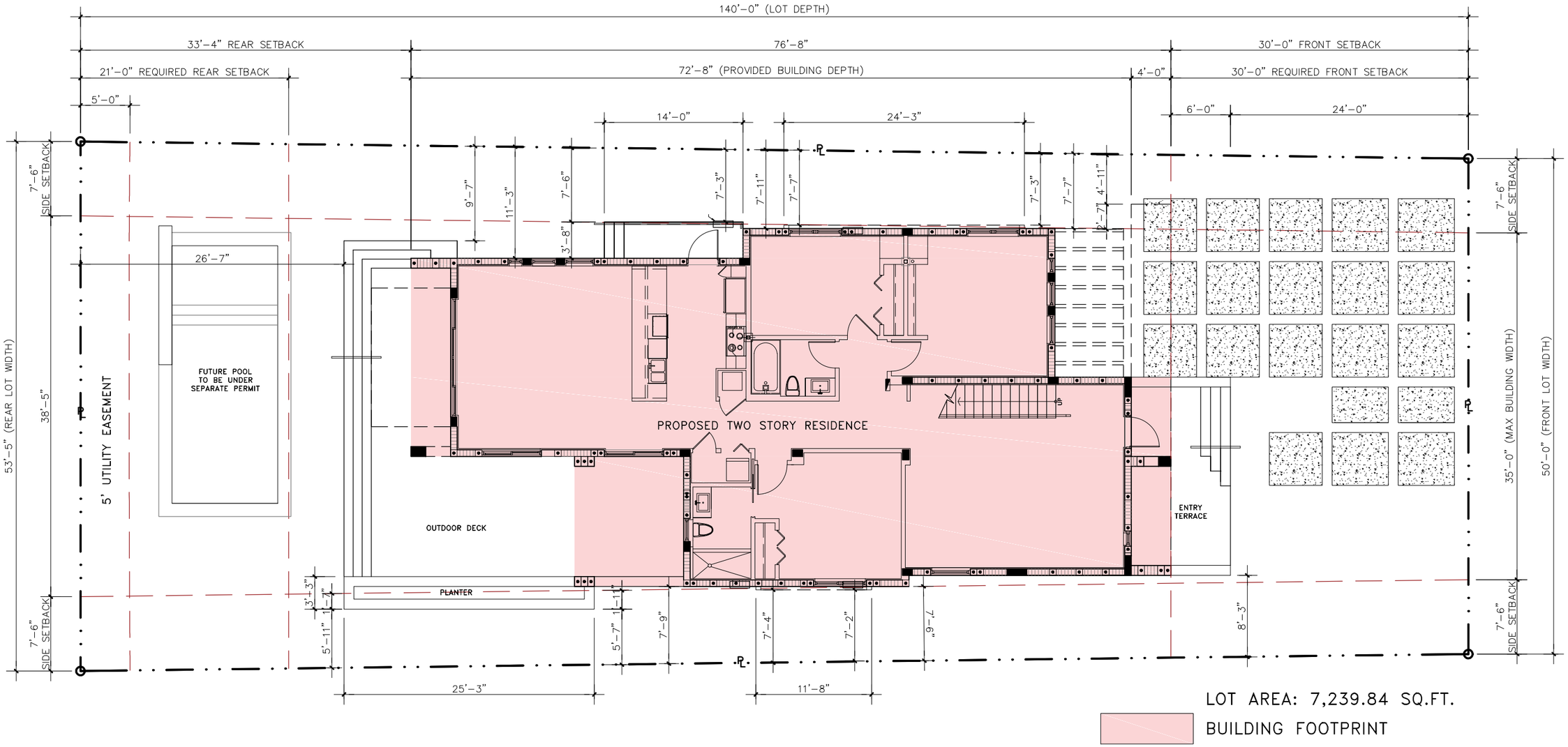

SETBACKS DIAGRAM

SCALE:3/32"=1'-0"

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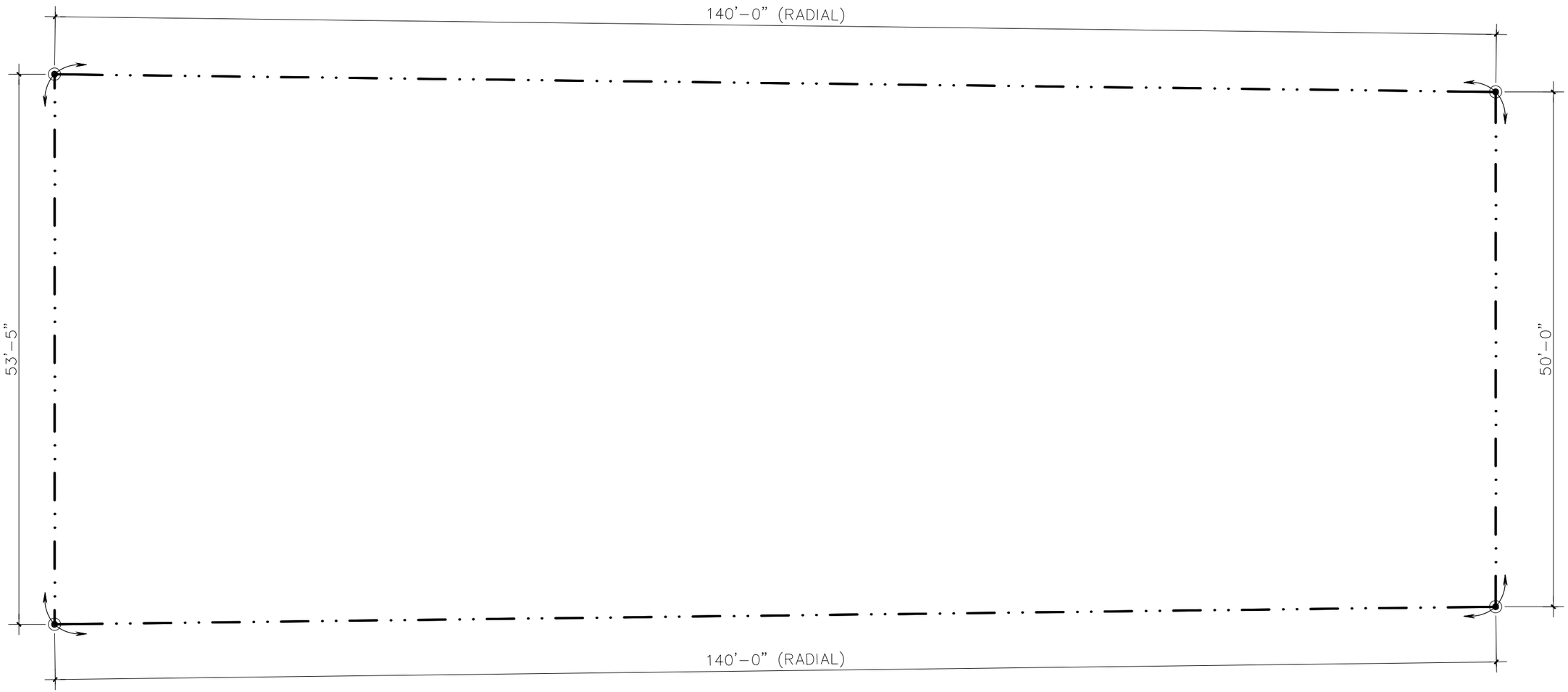

LOT AREA: 7,239.84 SQ.FT.
NOTE: LOT SIZE WIDTH AND DEPTH ARE TAKEN FROM SURVEY.

LOT SIZE DIAGRAM

SCALE:3/32"=1'-0"

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LOT INFORMATION:

JURISDICTION: CITY OF MIAMI BEACH

LOT AREA 7,239.84 SQ.FT. (as per Survey prepared by John Ibarra & or 0.17 ACRES Associates, Inc. dated 11.20.2017)

PROPOSED RESIDENCE :

GROUND FLOOR 1,943 SQ.FT.

SECOND FLOOR 1,200 SQ.FT.

TOTAL PROPOSED RESIDENCE : 3,143 SQ.FT.

FLOOD ZONE: AE

Base flood elevation + 8.0 NGVD according to data from survey prepared by John Ibarra & Associates, Inc.

AVERAGE GRADE CALCULATION:

8.0' (NGVD) - 3.90' (GRADE @ SIDEWALK) = 4.10'

HIGHEST GRADE AVERAGE: +6.56' NVGD. ALLOWED +7.0' NVGD. PROVIDED

ZONING INFORMATION: (AREA CALCULATIONS)

ZONING DESIGNATION : RS-4 (Single Family District)

	ALLOWABLE	PROPOSED
MINIMUM LOT AREA	6,000 SQ.FT.	7,239.83 SQ.FT
MINIMUM LOT WIDTH	50'-0"	53'-5" per SURVEY
MAXIMUM LOT COVERAGE (2 story residence)	30% of lot area (2,171.9)	1,943 SQ.FT. (27%)
MAXIMUM UNIT SIZE	50% of lot area (3,619.9)	3,187.4 SQ.FT. (44%)
MAXIMUM SECOND FLOOR AREA	70% of floor below (1,360.1)	1,200 SQ.FT. (62 %)
MAXIMUM BUILDING HEIGHT	24'-0" FLAT ROOF	23'-0"

SETBACKS INFORMATION:

		REQUIRED	PROVIDED
MAIN STRUCTURE	FRONT	30'-0"	30'-0"
	REAR	21'-0" MIN.	33'-4"
	SIDE INTERIOR	7'-6"	7'-6"
	SIDE INTERIOR	7'-6"	7'-6"

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SHEET

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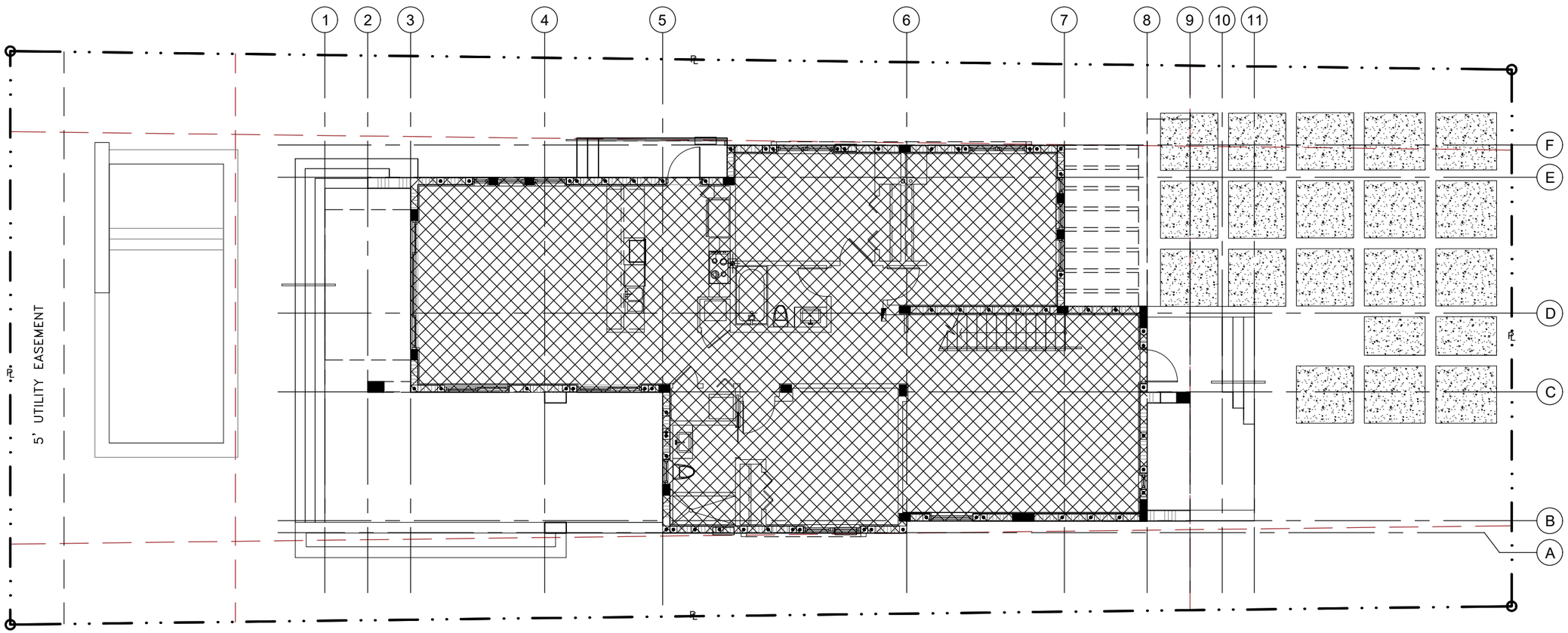

LOT COVERAGE CALCULATION DIAGRAM

(142-105/B1)

SCALE:3/32"=1'-0"

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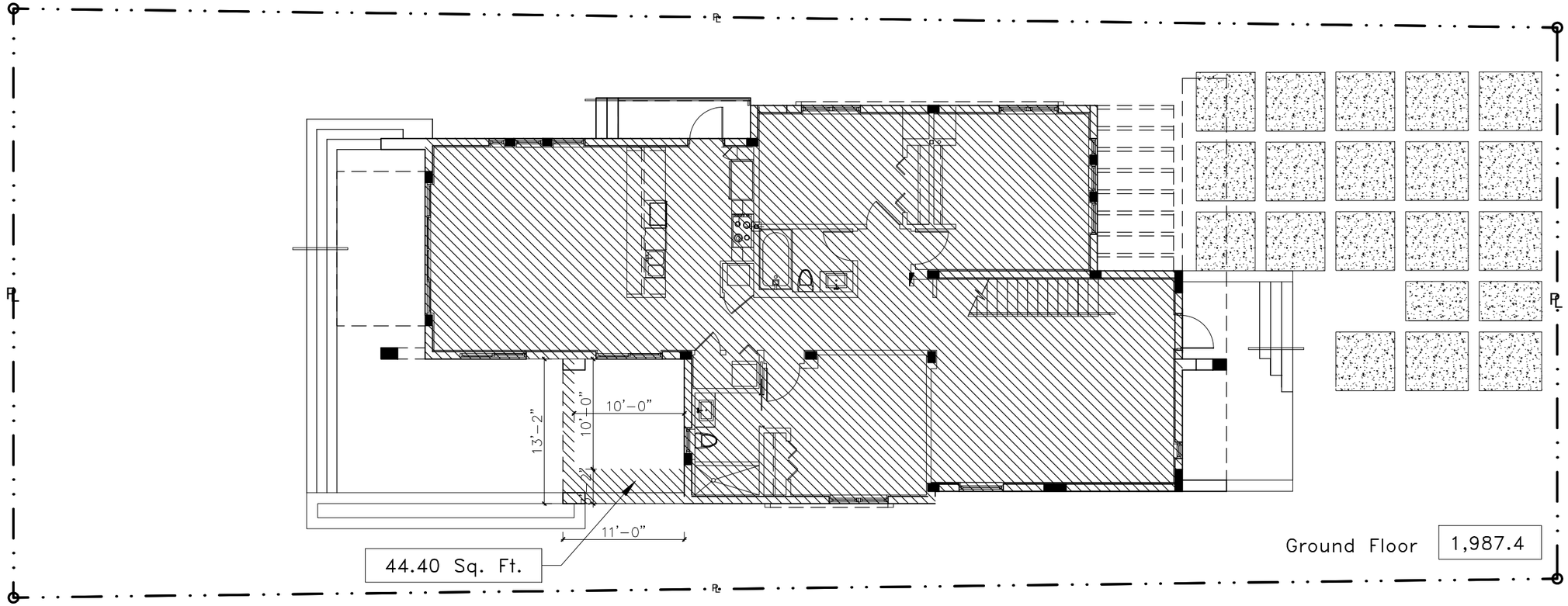

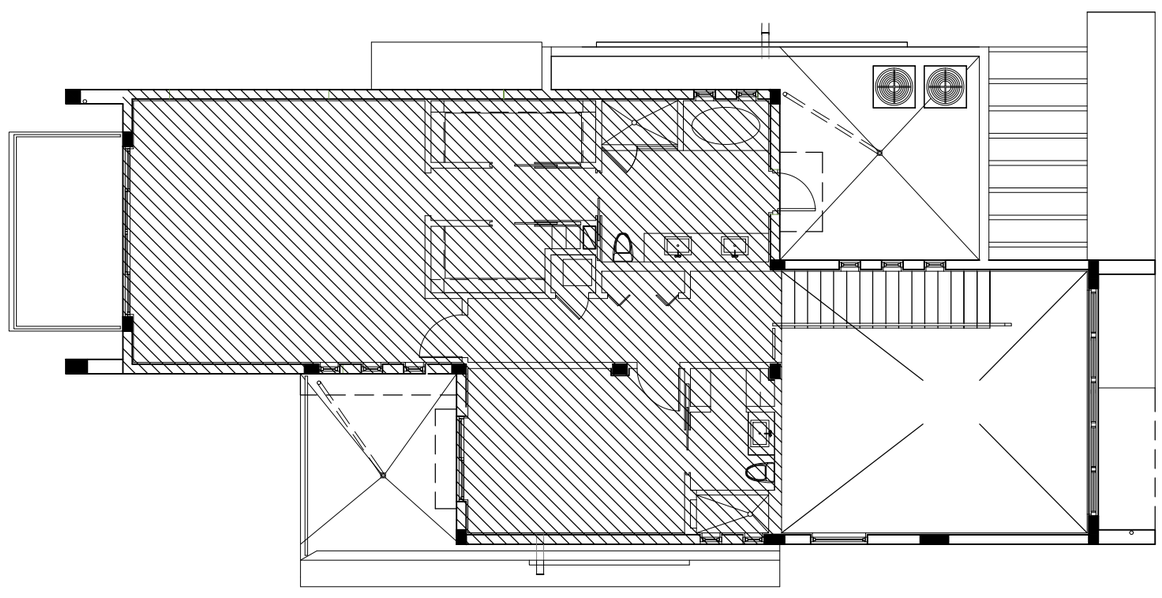

UNIT SIZE

OPEN TERRACE CALCULATIONS	ALLOWED	PROVIDED
LOT AREA: 7,239.84 Sq. Ft.	144.80 Sq. Ft. (2% MAX.)	44.40 Sq. Ft. (0.06%)

UNIT SIZE CALCULATION DIAGRAM

(142-105/B1)

SCALE:3/32"=1'-0"

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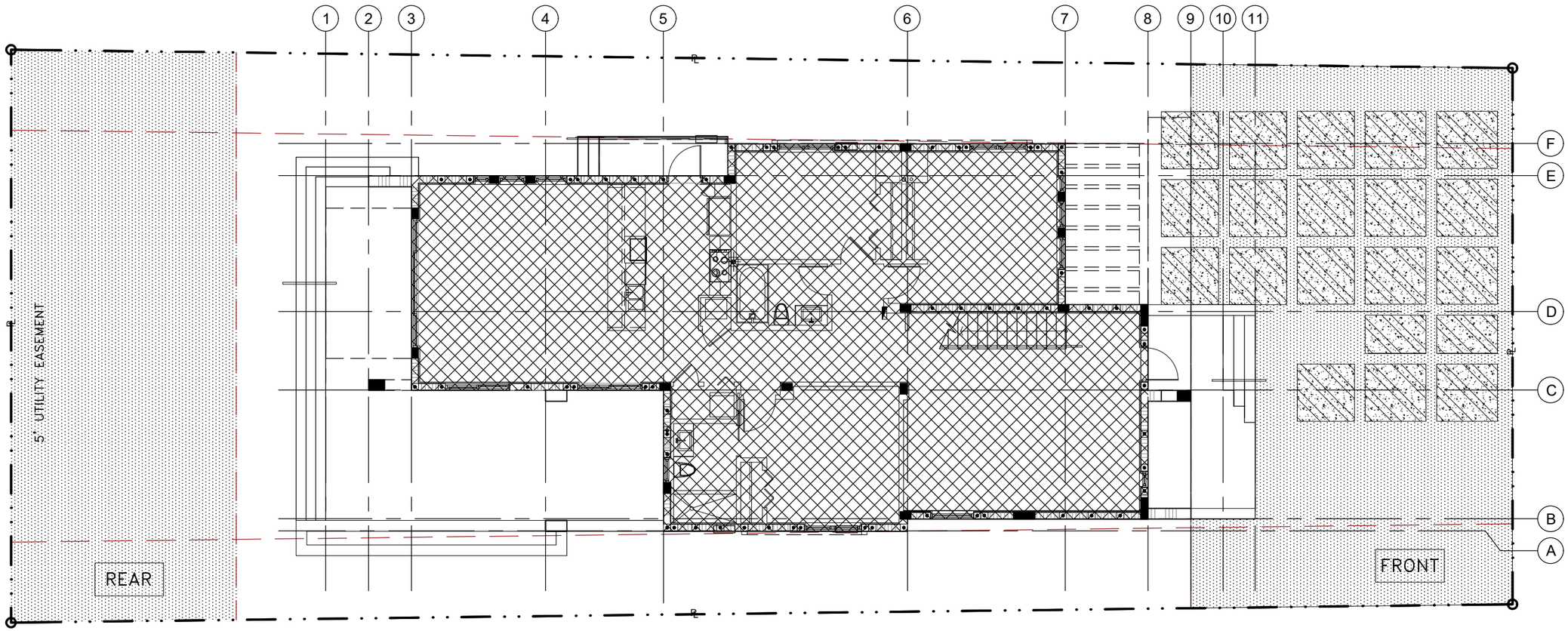

FRONT & REAR YARD PERVIOUS AREA

FRONT YARD IMPERVIOUS AREA

TOTAL AREA		REQUIRED	PROVIDED
FRONT:	1,004.7285 Sq. Ft.	386.6550 Sq. Ft. (35% MIN.)	610.1694 Sq. Ft. (60%)
REAR:	1,063.7102 Sq. Ft.	744.5984 Sq. Ft. (70% MIN.)	1,063.7102 Sq. Ft. (100%)

FRONT & REAR YARD OPEN SPACE CALCULATION DIAGRAM

SCALE:3/32"=1'-0"

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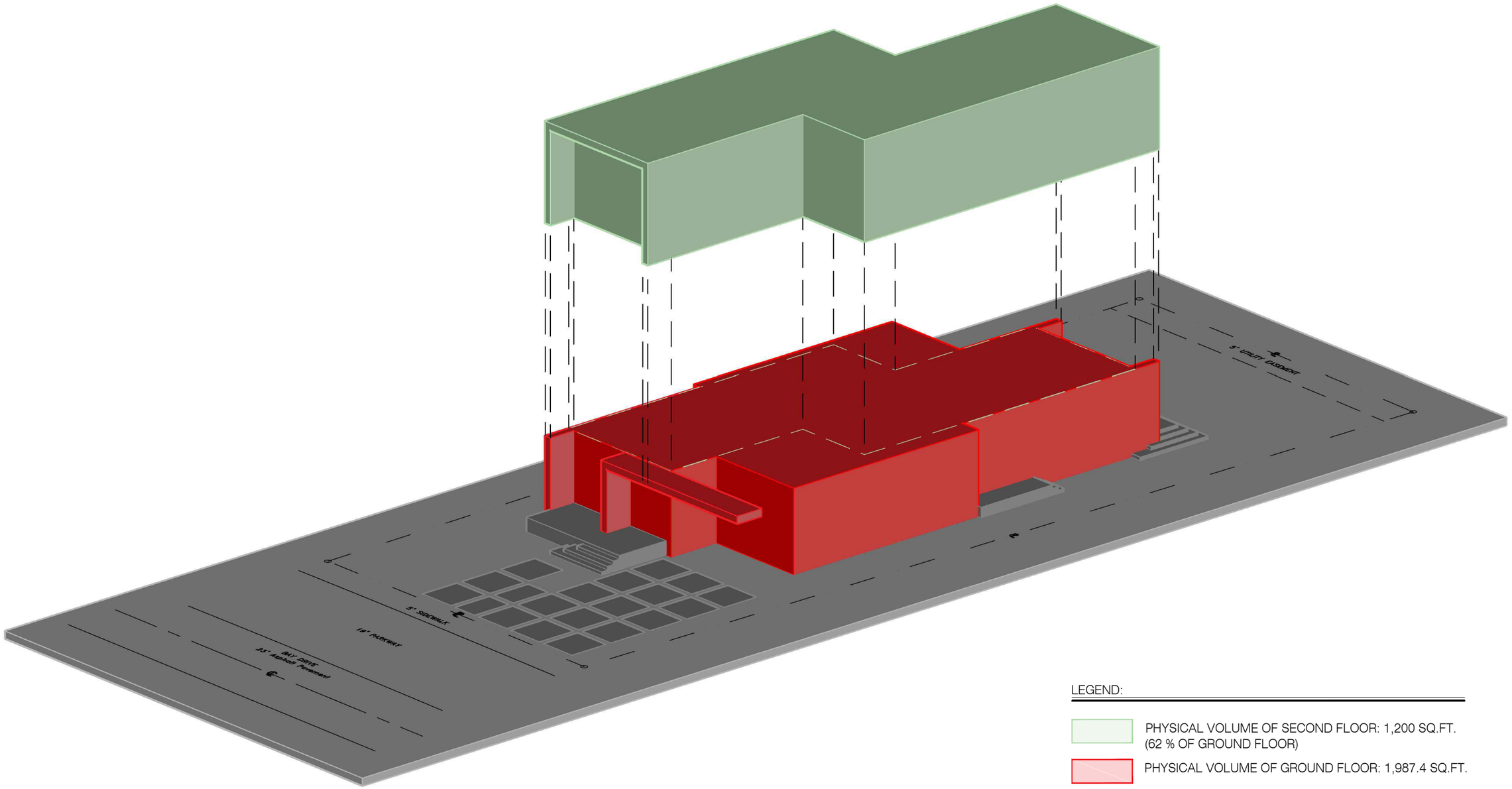

LEGEND:

PHYSICAL VOLUME OF SECOND FLOOR: 1,200 SQ.FT.
(62 % OF GROUND FLOOR)

PHYSICAL VOLUME OF GROUND FLOOR: 1,987.4 SQ.FT.

EXPLODED AXONOMETRIC DIAGRAM

N.T.S.

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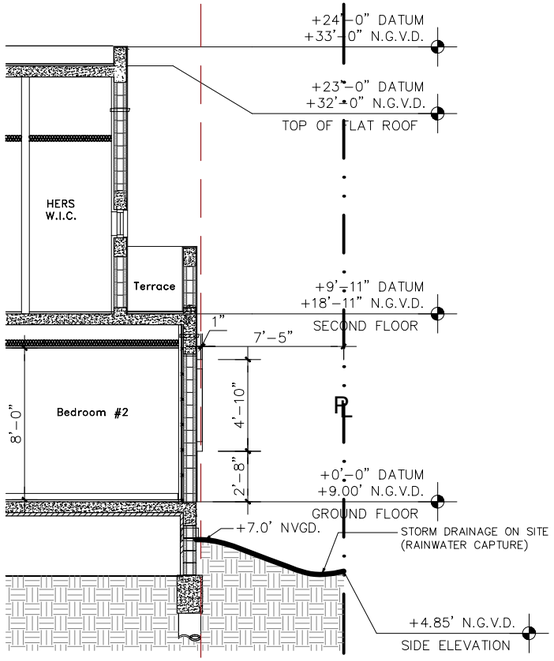
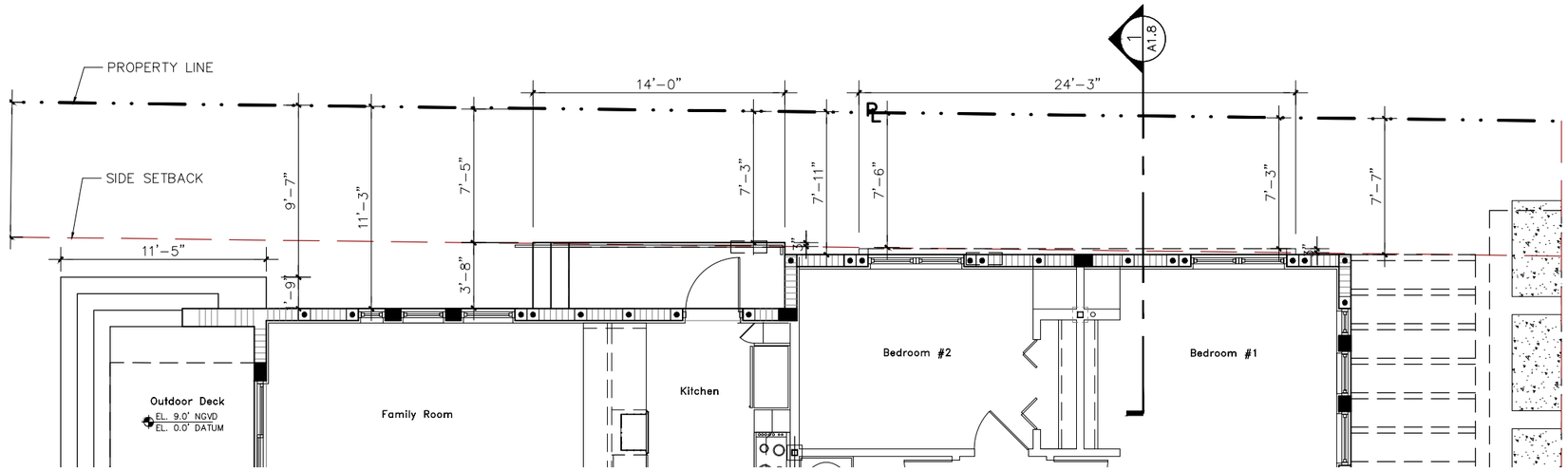


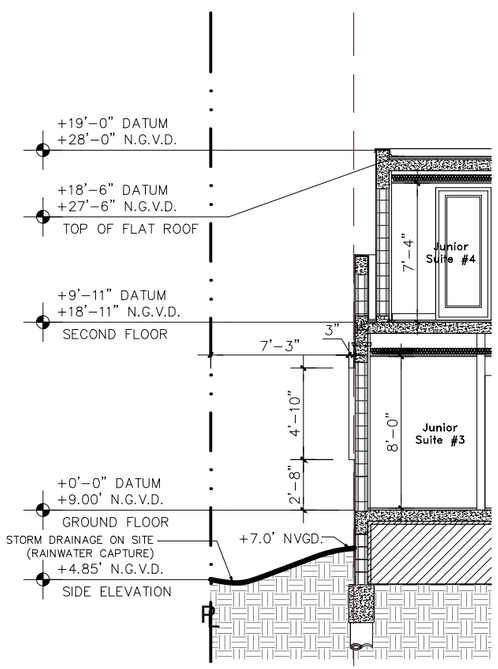
SECTION 1

SCALE:1/8"=1'-0"



EAST YARD DIAGRAM - PLAN

SCALE:1/8"=1'-0"



SECTION 2

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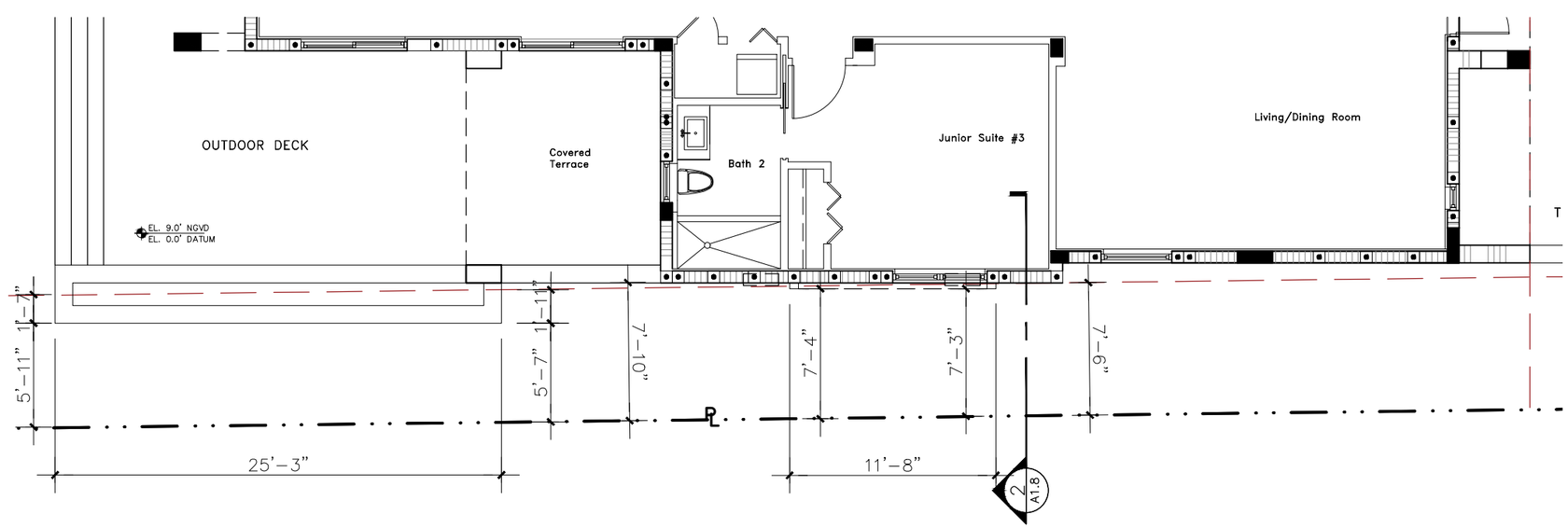

WEST YARD DIAGRAM - PLAN

SCALE:1/8"=1'-0"

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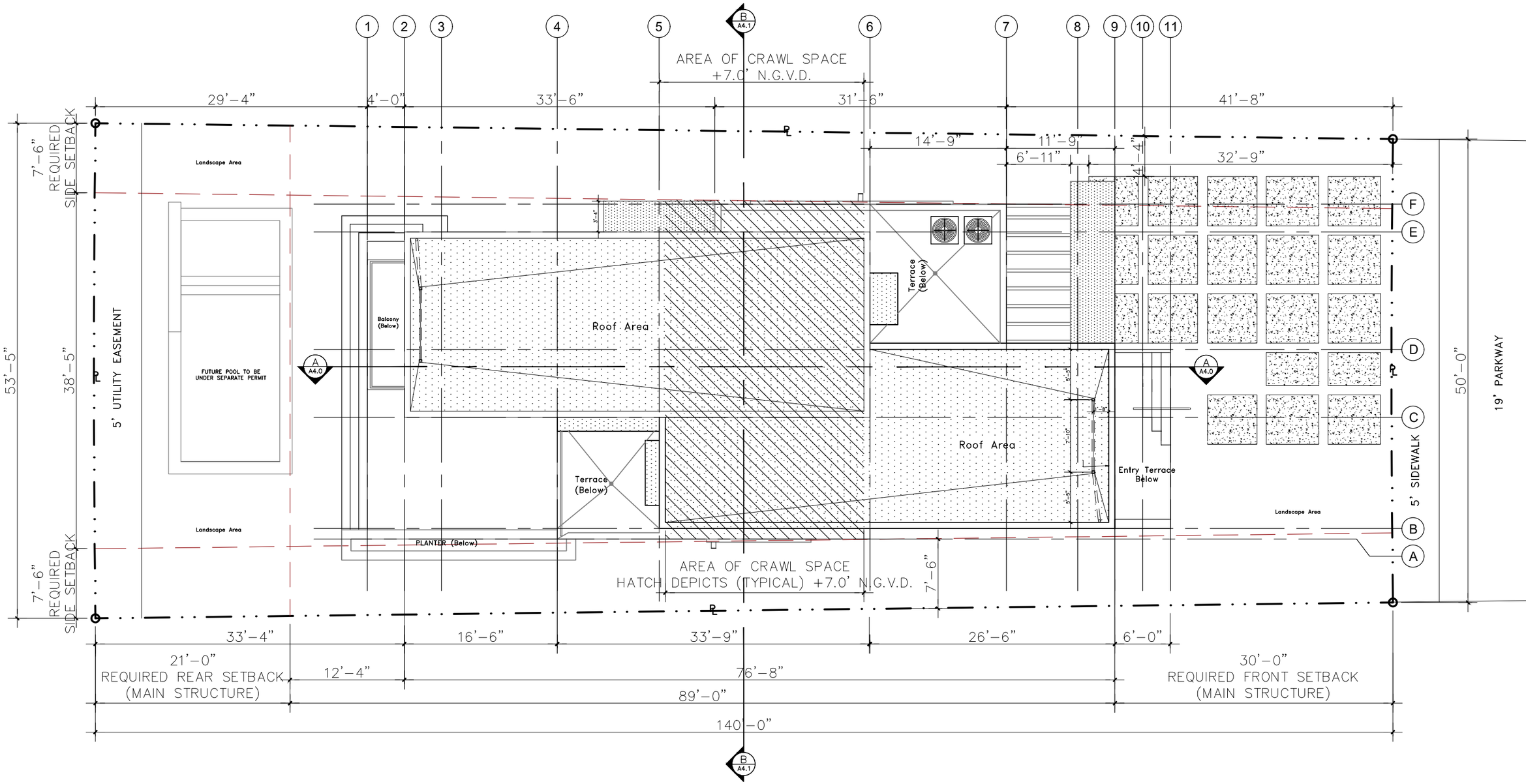

SITE PLAN

SCALE:3/32"=1'-0"

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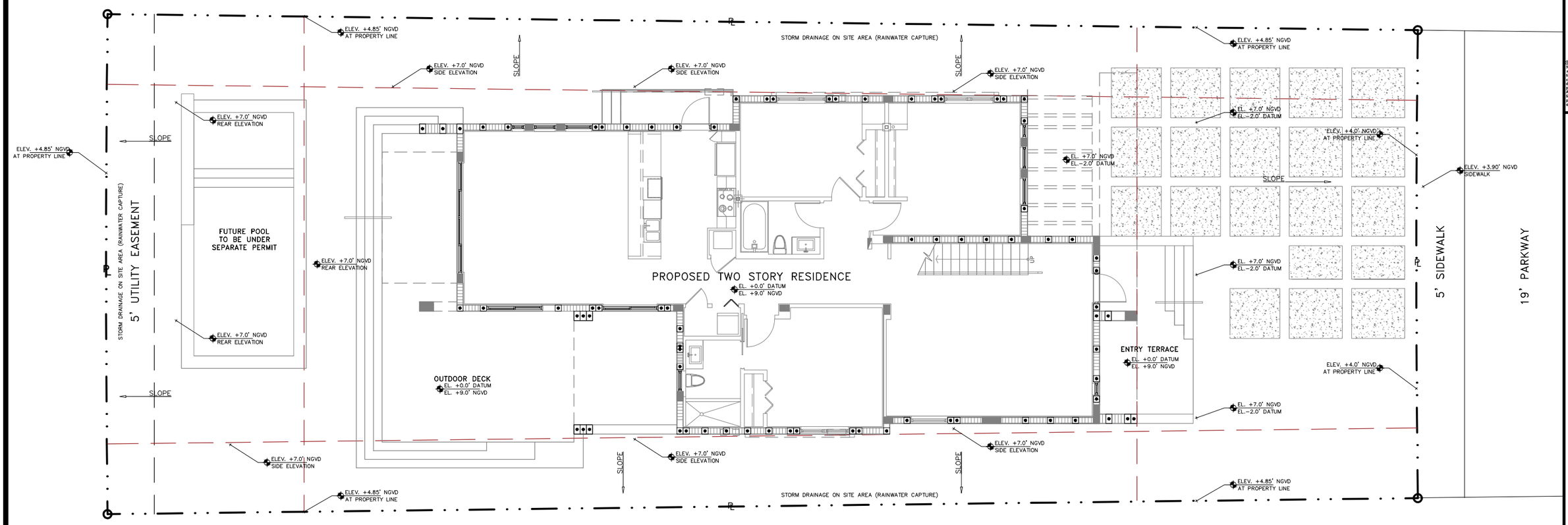

GRADING PLAN

SCALE:3/32"=1'-0"

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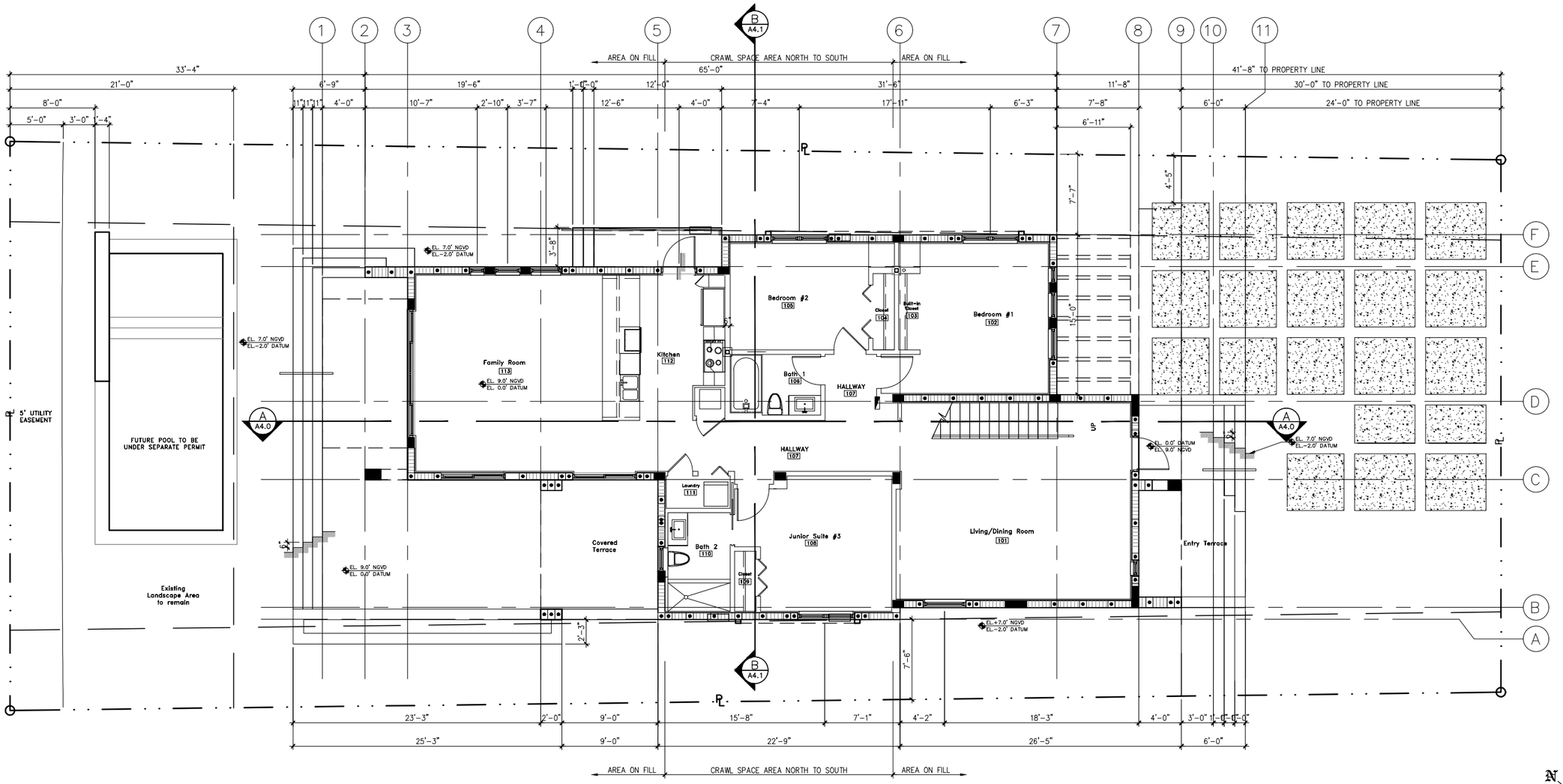

GROUND FLOOR PLAN

SCALE:3/32"=1'-0"

FLOOD VENTS NOTES:

- OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF THE WALL.
- OPENINGS COVERS SHALL NOT ALLOW AUTOMATIC FLOW OF FLOOD WATERS INTO AN OUT OF THE ENCLOSED AREA.

FLOOD VENTS CALCULATIONS (1 SQ.IN. / 1 SQ.FT. REQUIRED)

TOTAL CRAWL AREA = 735 SQ.FT.

FLOOD VENTS:

#	SIZE	SQ.IN.	TOTAL
4	24X8	192	768 SQ.IN.

REQUIRED: 735 SQ.IN.

PROVIDED: 768 SQ.IN.

GENERAL NOTES:

1. FINISH FLOOR TO BE PORCELAIN TILE ALL THROUGHOUT AND FINISH TO BE SLIP RESISTANT. CONTRACTOR TO COORDINATE WITH OWNER AND ARCHITECT IN SELECTION OF THE TILE PRIOR TO ORDERING ANY MATERIAL.
2. CONTRACTOR TO INSTALL 2X6 P.T. WOOD BLOCKING OR ¾" THICK P.T PLYWOOD IN ALL WALLS TO RECEIVE WALL MOUNTED DEVICES FIXTURES AND/OR CABINETRY.
3. ALL EXTERIOR BUILDING COMPONENTS TO COMPLY WITH ALL APPLICABLE DADE COUNTY APPROVED PRODUCTS, PROVIDE NOTICE OF ACCEPTANCE FOR ARCHITECTS REVIEW PRIOR TO ORDERING ANY MATERIAL AND/OR APPLYING FOR PERMIT.
4. REFER TO SHEET A1.1 FOR MORE NOTES, ABBREVIATION AND LEGENDS.
5. REFER TO SHEET A6.0 FOR ALL WALL TYPES.
6. REFER TO SHEET A6.0 FOR MORE DETAILS.
7. REFER TO SHEET A2.4 FOR DOOR AND WINDOWS SCHEDULE.
8. ALL DIMENSIONS ARE NOMINAL (EXCEPT FOR DETAILS).
9. ALL ELECTRICAL, SYSTEMS EQUIPMENT AND COMPONENTS (HEATING, VENTILATION, AIR CONDITIONING, PLUMBING, APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE BASE FLOOD ELEVATION 8.00' NGVD PER SURVEYOR'S ELEVATION CERTIFICATE.
10. ALL CONSTRUCTION MATERIALS INSTALLED BELOW THE BASE FLOOD ELEVATION (+8.00. NGVD) SHALL COMPLY WITH FEMA TECHNICAL BULLETIN 2/2008.
11. ALL ENCLOSED AREAS, INCLUDING CRAWL SPACE, THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR BUILDING ACCESS.

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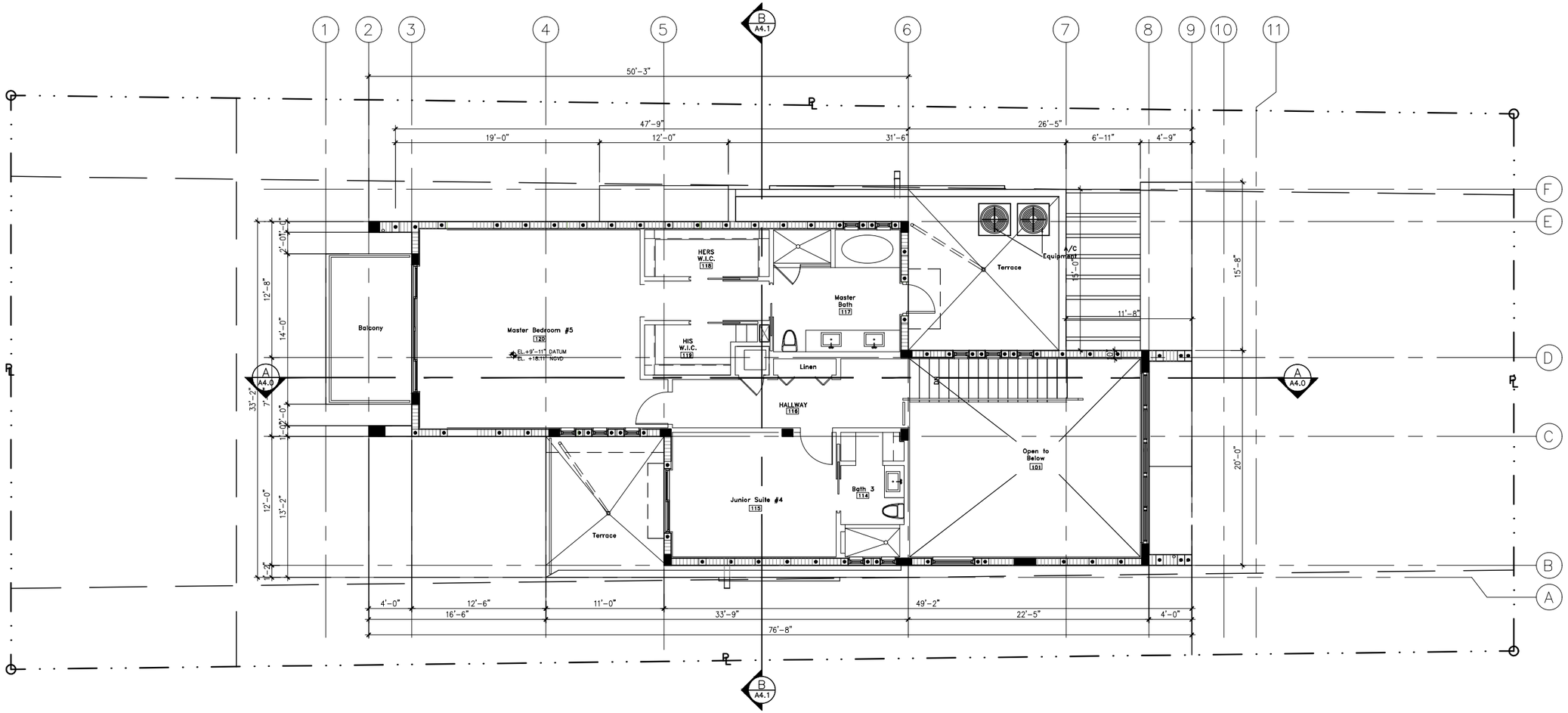

SECOND FLOOR PLAN

SCALE:3/32"=1'-0"

GENERAL NOTES:

1. FINISH FLOOR TO BE PORCELAIN TILE ALL THROUGHOUT AND FINISH TO BE SLIP RESISTANT. CONTRACTOR TO COORDINATE WITH OWNER AND ARCHITECT IN SELECTION OF THE TILE PRIOR TO ORDERING ANY MATERIAL.
2. CONTRACTOR TO INSTALL 2X6 P.T. WOOD BLOCKING OR ¾" THICK P.T PLYWOOD IN ALL WALLS TO RECEIVE WALL MOUNTED DEVICES FIXTURES AND/OR CABINETRY.
3. ALL EXTERIOR BUILDING COMPONENTS TO COMPLY WITH ALL APPLICABLE DADE COUNTY APPROVED PRODUCTS, PROVIDE NOTICE OF ACCEPTANCE FOR ARCHITECTS REVIEW PRIOR TO ORDERING ANY MATERIAL AND/OR APPLYING FOR PERMIT.
4. REFER TO SHEET A1.1 FOR MORE NOTES, ABBREVIATION AND LEGENDS.
5. REFER TO SHEET A6.0 FOR ALL WALL TYPES.
6. REFER TO SHEET A6.0 FOR MORE DETAILS.
7. REFER TO SHEET A2.4 FOR DOOR AND WINDOWS SCHEDULE.
8. ALL DIMENSIONS ARE NOMINAL (EXCEPT FOR DETAILS).
9. ALL ELECTRICAL, SYSTEMS EQUIPMENT AND COMPONENTS (HEATING, VENTILATION, AIR CONDITIONING, PLUMBING, APPLIANCES, PLUMBING FIXTURES, DUCT SYSTEMS AND OTHER SERVICE EQUIPMENT SHALL BE LOCATED AT OR ABOVE THE BASE FLOOD ELEVATION 8.00' NGVD PER SURVEYOR'S ELEVATION CERTIFICATE.
10. ALL CONSTRUCTION MATERIALS INSTALLED BELOW THE BASE FLOOD ELEVATION (+8.00. NGVD) SHALL COMPLY WITH FEMA TECHNICAL BULLETIN 2/2008.
11. ALL ENCLOSED AREAS, INCLUDING CRAWL SPACE, THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR BUILDING ACCESS.

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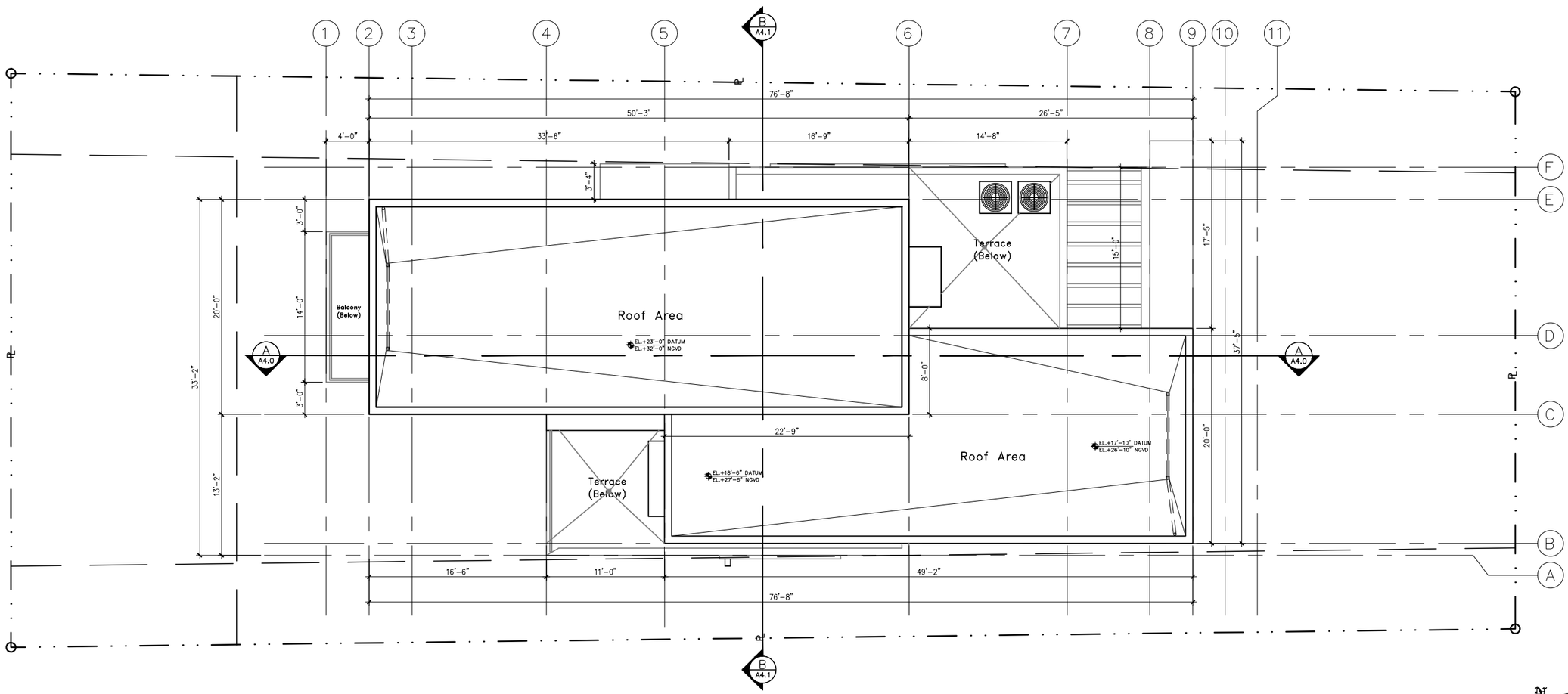

ROOF PLAN

SCALE:3/32"=1'-0"

GENERAL NOTES:

1. REFER TO SHEET A6.0 FOR ROOFING DETAILS.
2. ALL DIMENSIONS ARE NOMINAL (EXCEPT FOR DETAILS).

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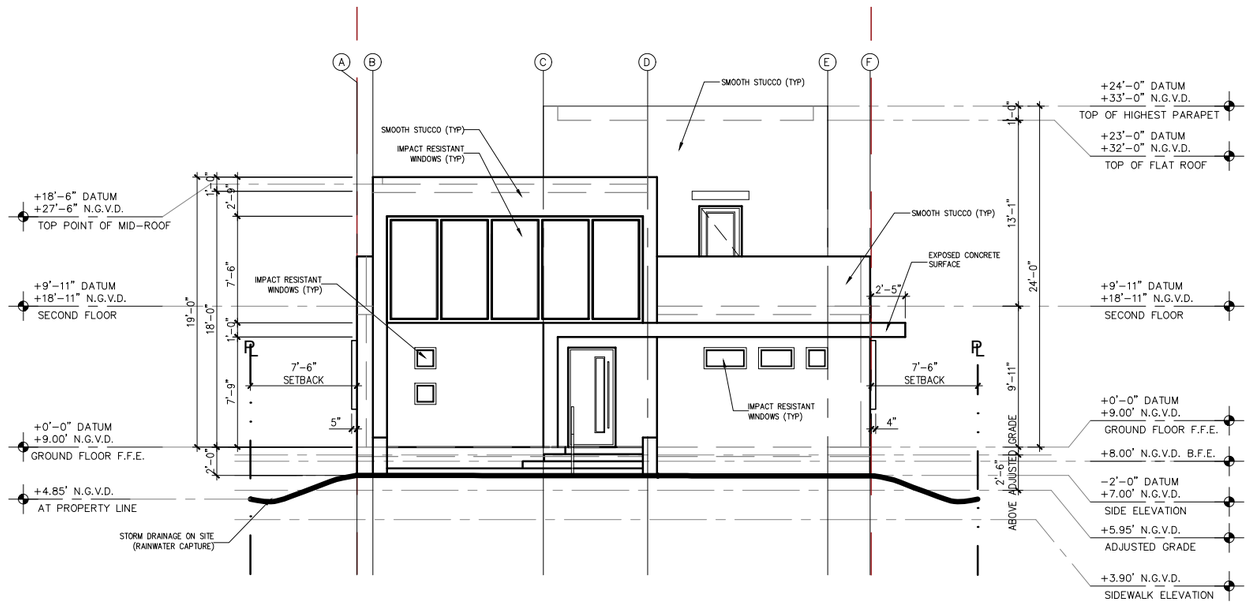
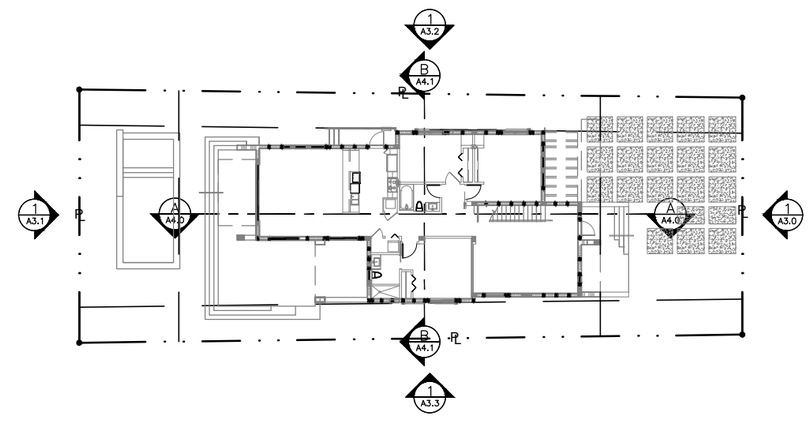


NORTH ELEVATION (FRONT)

SCALE:3/32"=1'-0"



KEY PLAN

SCALE:1/32"=1'-0"

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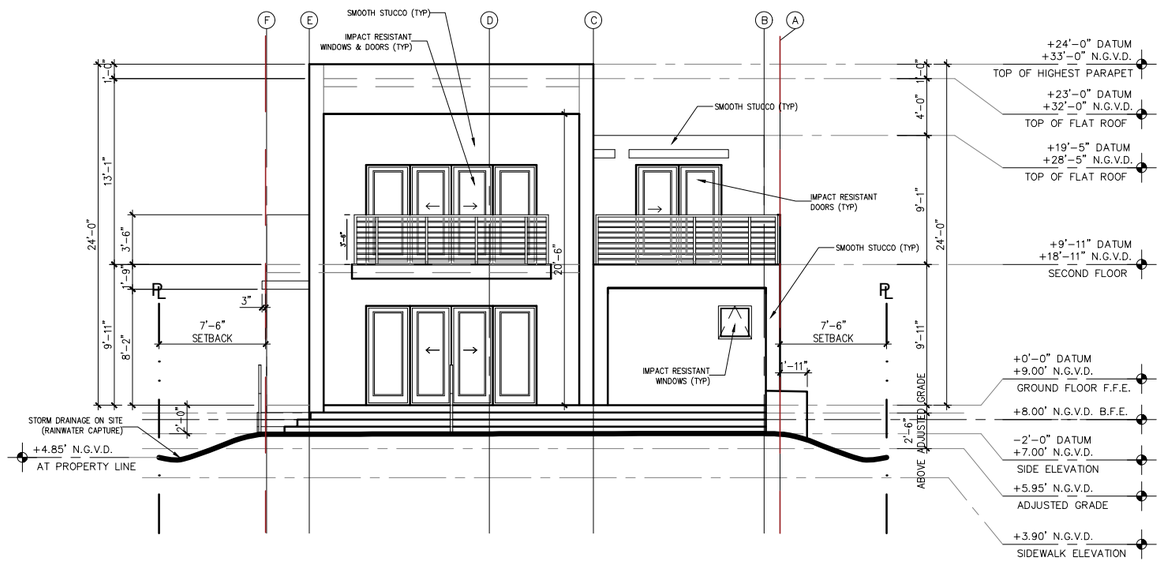
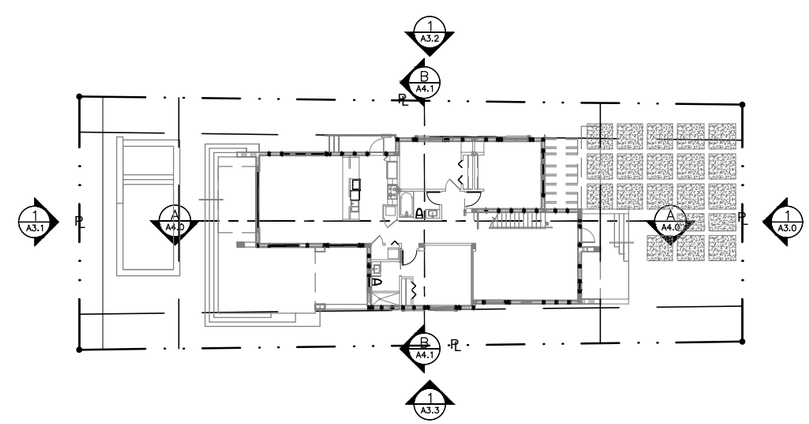


SOUTH ELEVATION (BACK)

SCALE:3/32"=1'-0"



KEY PLAN

SCALE:1/32"=1'-0"

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OWNER:MB 325, LLC

ADDRESS: 1325 Bay Drive, Miami Beach, FL. 33141 FOLIO # 02-3210-013-2430

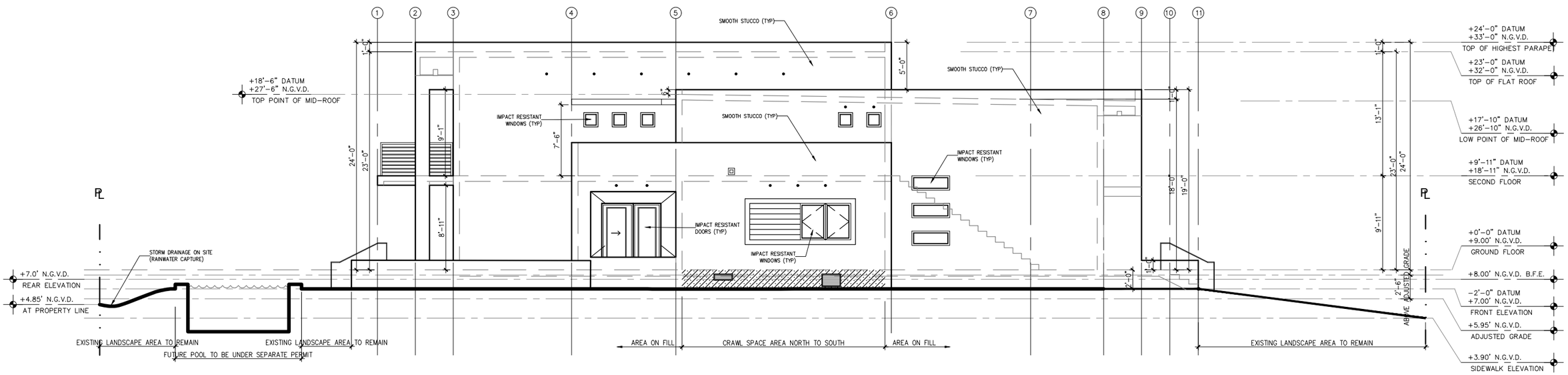
ARCHITECTUREWORKS, LLC

300 71 Street Suite 528 Miami Beach, FL. 33141 (305) 866 1623 Facsimile (305) 866 1681

ARCHITECT
James R. Mackenzie
FLORIDA – AR-0015491

SHEET

A3.1



EAST ELEVATION (SIDE)

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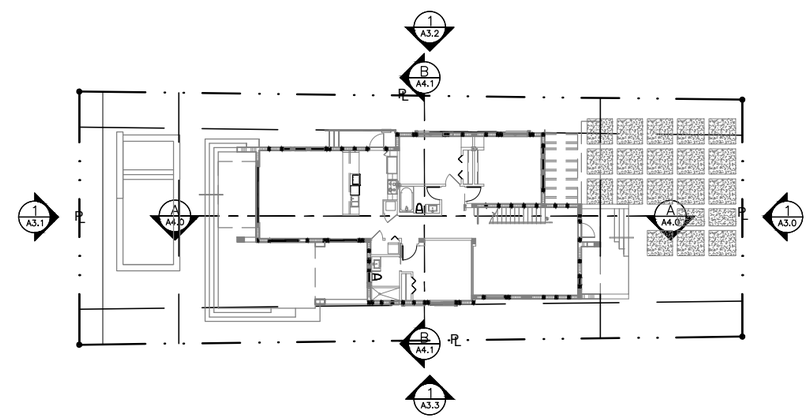

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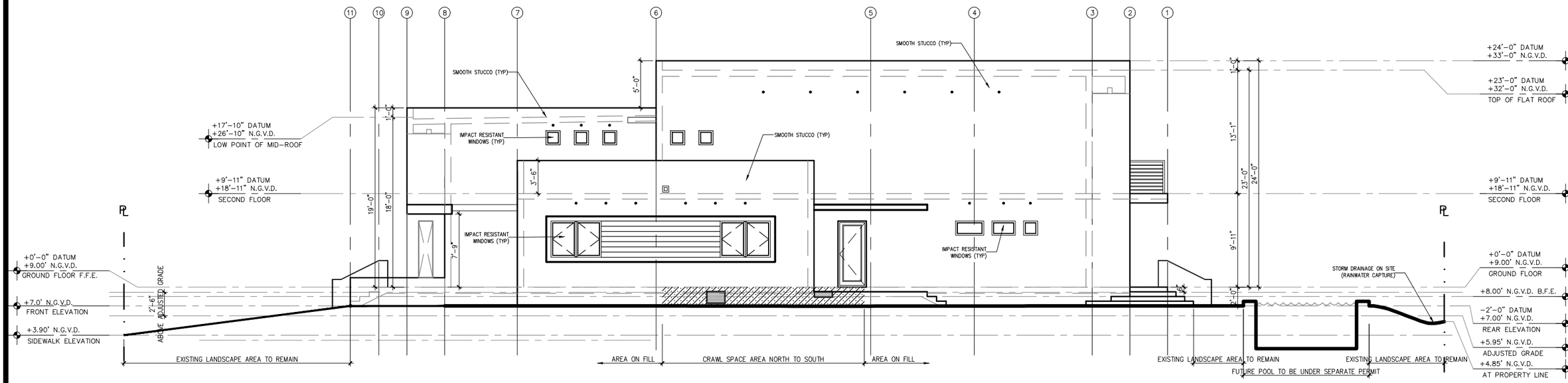

WEST ELEVATION (SIDE)

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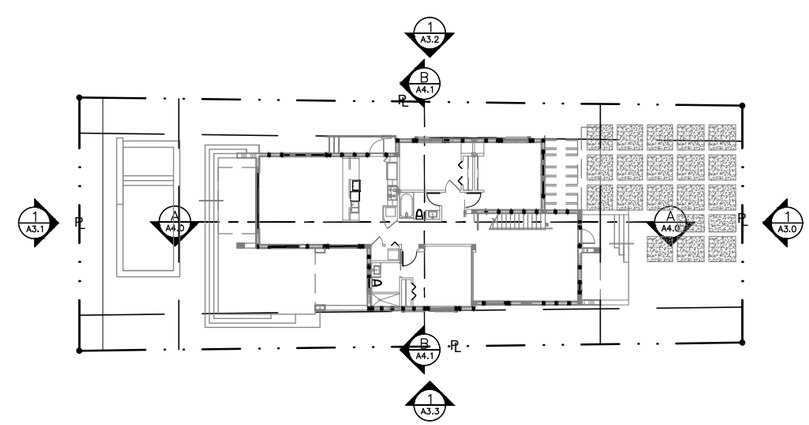

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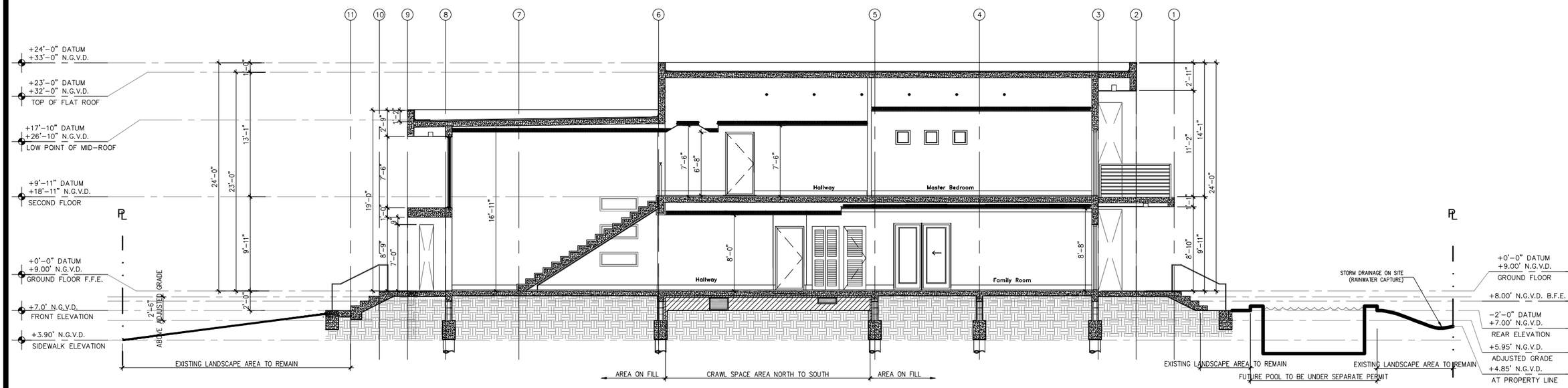

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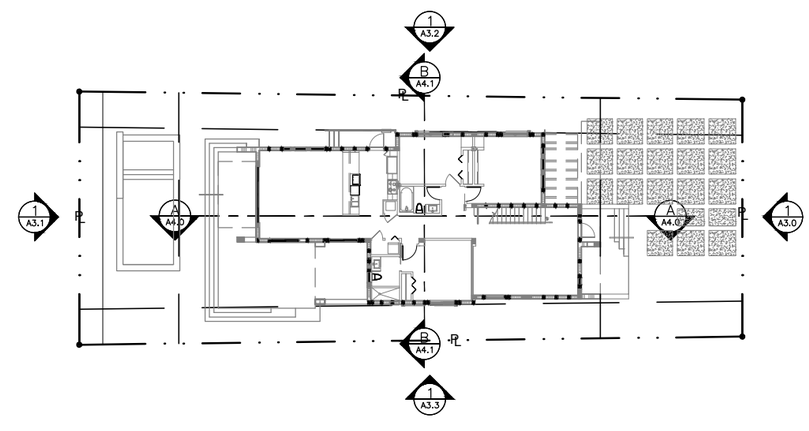

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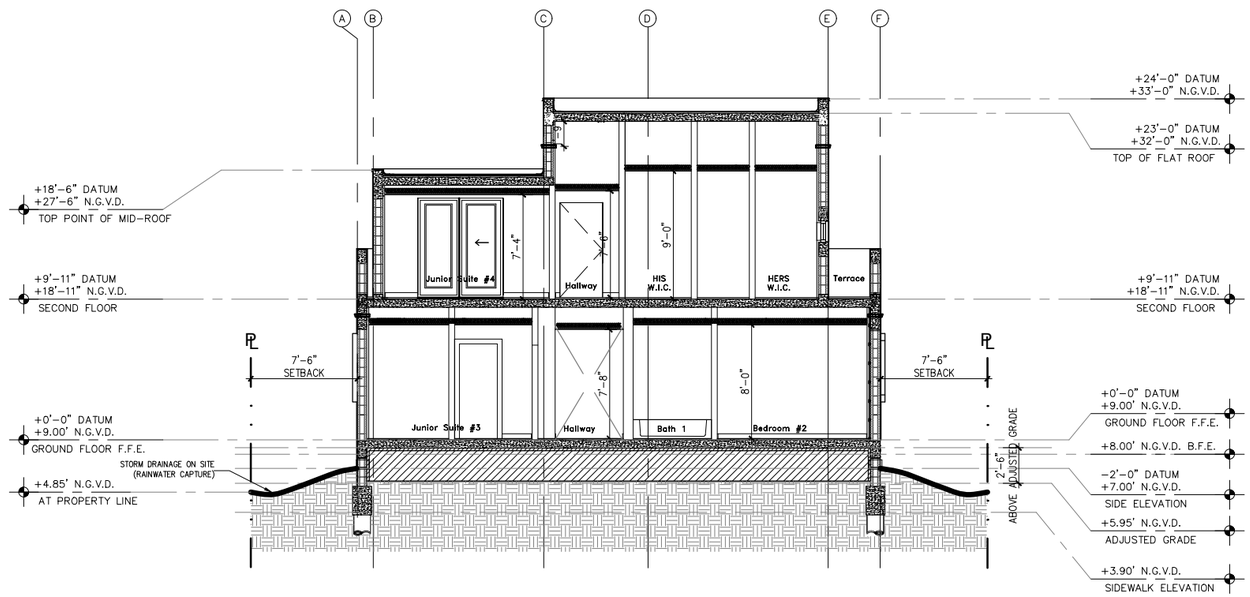

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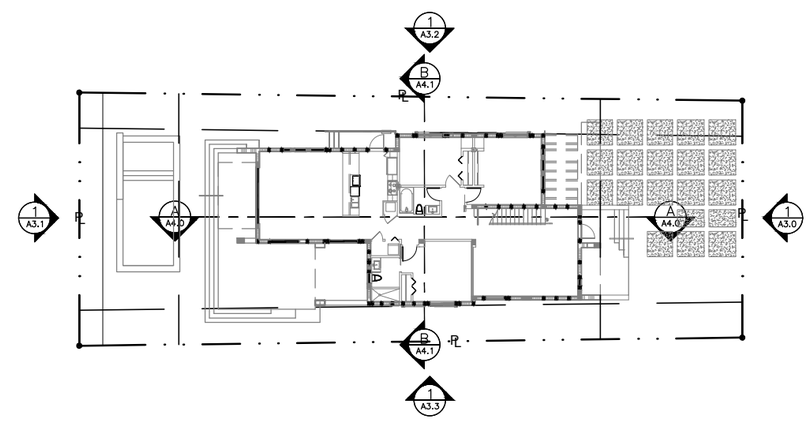

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AXONOMETRIC

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AXONOMETRIC

SE CORNER

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RENDERINGS

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ARCHITECT
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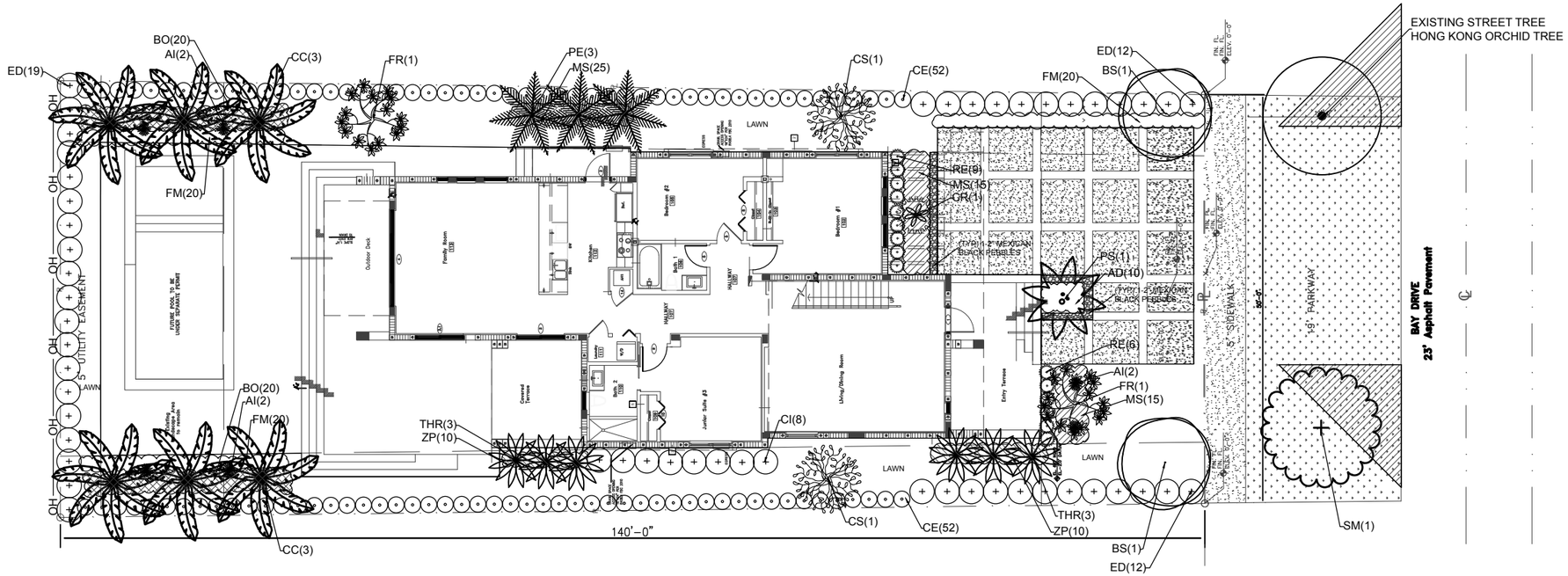

SYMBOL KEY

EXISTING TREE TO REMAIN

PLANT LIST:

QTY.	KEY		BOTANICAL/COMMON NAME	DESCRIPTION
2	BS	★★ Λ	Bursera simaruba GUMBO LIMBO	12' x 5' spr., 2" dbh f.g.
6	CC	★★	Cocos nucifera GREEN MALAYAN COCONUT PALM	10' g.w., matched hts. f.g., ff
2	CS	★ Λ	Conocarpus erectus 'Sericeus' SILVER BUTTONWOOD STD	12' ht. x 5' spr., 2" DBH f.g.
2	FR	★★	Plumeria rubra pink PINK FRANGIPANI	8' ht. x 5' spr., F 5 branches min., f.g.
3	PE	★★	Ptychosperma elegans ALEXANDER PALM	16' o.a. ht., Single Trk. f.g.
1	PS	★	Phoenix sylvestris SYLVESTER PALM	10' CT., H f.g.
(STREET TREE) 1	SM	★ Λ	Swietenia mahogani MAHOGANY	12' ht. x 5' spr., 2" DBH f.g.
6	THR	★★	Thrinax radiata THATCH PALM	8' ht., F, single trk. f.g.
LARGE SHRUBS:				
8	CI	★ Λ	Chrisobalanus icaco 'Red Tip' RED TIP COCOPLUM	6' ht., F 15 gal.
43	ED	★	Elaeocarpus decipiens JAPANESE BLUEBERRY HEDGE	6' ht., F 7 gal.
SHRUBS:				
40	BO	★	Begonia odorata 'Alba' WHITE ANGEL BEGONIA	24"ht.x 24"spr. 3 gal.
104	CE	★ Λ	Conocarpus erectus GREEN BUTTONWOOD	36"ht.x 24"spr. 7 gal.
GROUNDCOVERS:				
10	AD	★	Asparagus densiflorus 'Meyersii' FOXTAIL FERN	18"ht.x 18"spr. 3 gal.
60	FM	★	Ficus microcarpa GREEN ISLAND FICUS	18"ht.x 18"spr. 3 gal.
55	MS	★	Mycrosorum scolopendrium WART FERN	18"ht.x 18"spr. 3 gal.
20	ZP	★★ Λ	Zamia pumila COONTIE	18"ht.x 18"spr. 3 gal.
ACCENTS:				
6	AI	★★	Alcantarea imperialia 'Rubra BROMELIAD IMPERIALIS	10 gal.
1	CR	★★	Cycas revoluta KING SAGO	36"ht.x 24"spr. 7 gal.
15	RE	★	Rhapis excelsa LADY PALM	4' ht., F 15 gal.
As Req.	LAWN		St. Augustine ' Floratam'	solid even sod

ABBREVIATIONS / DROUGHT TOLERANCE-ORIGIN
★ MODERATE DROUGHT TOLERANCE
★★ VERY DROUGHT TOLERANT
Λ NATIVE SPECIES

NOTE:
- PALMS OF A 10 FOOT MIN. OVERALL HEIGHT AND MINIMUM CALIPER OF 3 INCHES AT TIME OF PLANTING MAY BE PLANTED IN ADDITION TO THE TREE REQUIREMENT.
PALMS SHALL NOT COUNT TOWARDS THE MINIMUM NUMBER OF REQUIRED TREES.

-LARGE SHRUBS OR SMALL TREES SHALL BE A MINIMUM OF SIX FEET HIGH WITH A MINIMUM CROWN SPREAD OF 4 FEET AT TIME OF PLANTING. THE MINIMUM NUMBER OF LARGE SHRUBS OR SMALL TREES SHALL BE 10 PERCENT OF THE REQUIRED NUMBER OF SHRUBS FOR THE PROJECT.
THE MINIMUM NUMBER OR LARGE SHRUBS OR SMALL TREES REQUIRED SHALL BE IN ADDITION TO THE MINIMUM SHRUBS REQUIRED. NO LESS THAN 50 PERCENT OF THE REQUIRED LARGE SHRUBS OR SMALL TREES SHALL BE NATIVE SPECIES.

CITY OF MIAMI BEACH

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zoning District: RS-4 Net Lot Area 7,239.83 SQUARE FEET

OPEN SPACE	REQUIRED	PROVIDED
A. Square Feet of open space required, as indicated on site plan: Net lot area = 7,239.83 s.f. x ____ % = _____ s.f.	N/A	2,540
B. Square Feet of parking lot open space required as indicated on site plan. No. parking spaces_____ x 10 s.f. per parking spaces =	N/A	N/A
C. Total s.f. of landscaped open space required: A + B =	N/A	2,540
LAWN AREA CALCULATION		
A. N/A total s.f. of landscaped open space required	N/A	N/A
B. Maximum lawn area (sod) permitted = _____ % x _____ s.f. =		
TREES		
A. No. trees required per net lot acre, Less existing number of trees meeting minimum requirements = 3 trees x net lot acres (+1 tree per additional 1,000 sf over 6,000 of property.	4	4
B. % Natives Required: No. trees provided x 30% =	1	4
C. Low Maintenance/Drought Tolerant: No. trees provided x 50% =	2	4
D. Street trees (maximum average spacing of 20' o.c.): 50 linear feet along street / 20 =	2	2 (1 FROM EXISTING)
E. Street trees located directly beneath power lines (maximum average spacing of 20' o.c.): N/A linear feet along street / 20 =		
F. Total Trees Required A + D + E = 6 Total Trees	6	6
SHRUBS		
A. No. trees required x 12 = No. of shrubs required	72	144
B. No. shrubs allowed x 50% = No. of native shrubs required	36	104
LARGE SHRUBS OR SMALL TREES		
A. Number of large shrubs or small trees required. Number of required shrubs x 10%	8	51
B. % Native large shrubs or small trees required. Number of large shrubs or small trees provided x 50%.	4	8

The safe sight distance triangle area shall not contain obstructions to cross-visibility at a height of two Ground covers and shrubs may not exceed 30" in height if within sight tringles.

info@landstonedesign.com I www.landstonedesign.com TEL. 818-856-9556
LANDSCAPE PROJECT MANAGER: FAVIO PEREZ / 305-778-7136

DERICK LANGEL
LA6667045
LANDSCAPE ARCHITECT
DERICK C. LANGEL
LA 6667045
STATE OF FLORIDA

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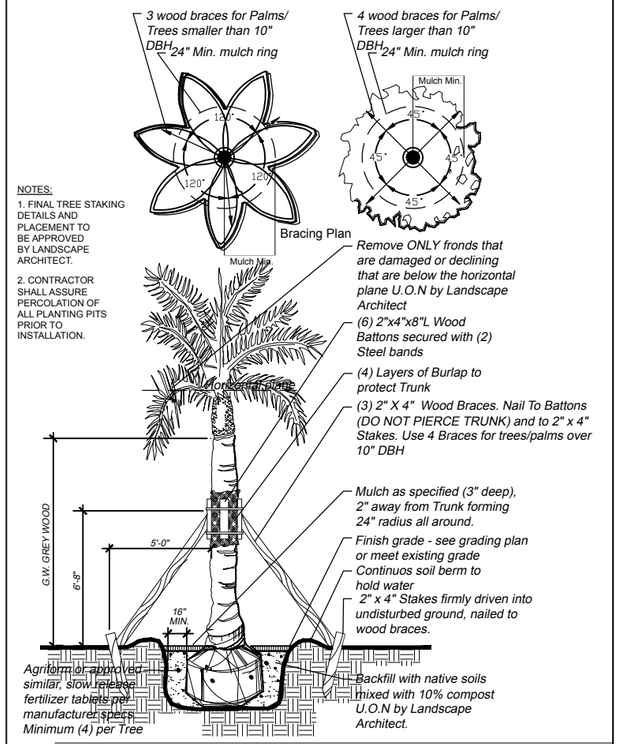
OWNER:MB 325, LLC
300 71 Street Suite 328 Miami Beach, FL 33141 (305) 866 9623 Facsimile (305) 866 9081

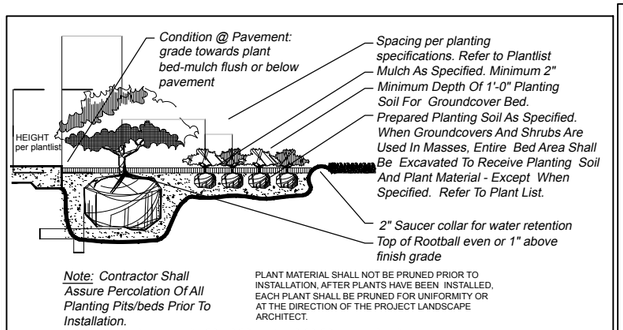
ARCHITECT
James R. Mackenzie
FLORIDA — AR-0015491

SHEET
L1
LANDSCAPE PLAN
SCALE: 1/16 = 1'-0"



LARGE TREE / LARGE PALM DETAIL

Section — Not To Scale

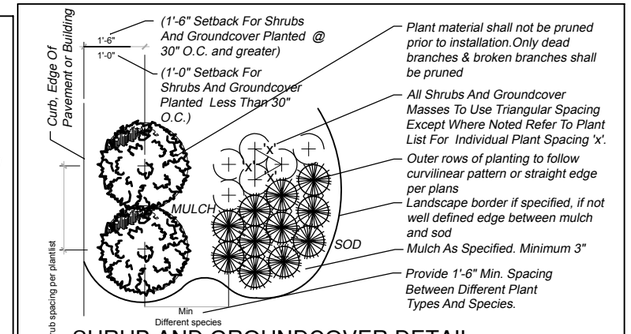


Note: Contractor Shall Assure Percolation Of All Planting Pits/beds Prior To Installation.

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION, AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY OR AT THE DIRECTION OF THE PROJECT LANDSCAPE ARCHITECT.

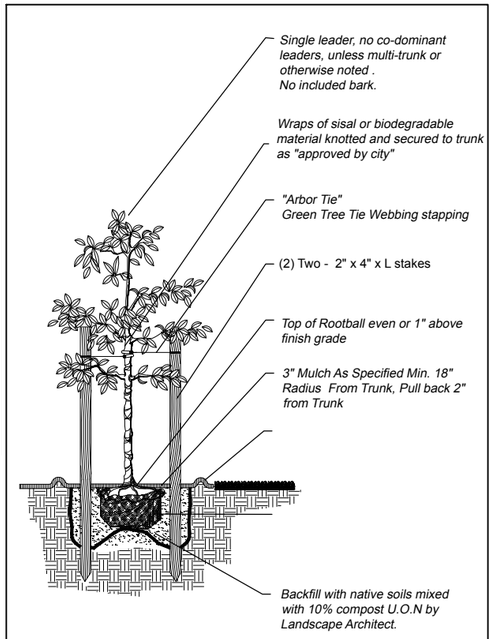
SHRUB AND GROUNDCOVER DETAIL

Section — Not To Scale



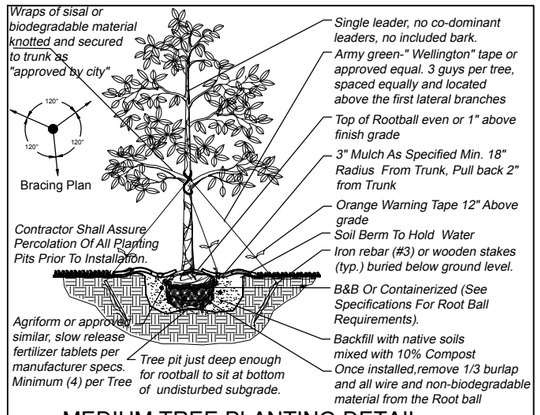
SHRUB AND GROUNDCOVER DETAIL

Plan — Not To Scale



SMALL TREE PLANTING DETAIL

Section — Not To Scale



MEDIUM TREE PLANTING DETAIL

Section — Not To Scale

G E N E R A L P L A N T I N G R E Q U I R E M E N T S

THE PLAN TAKES PRECEDENCE OVER THE PLANT LIST.

2 FULL BUSINESS DAYS BEFORE DIGGING, CALL TOLL FREE 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC. NOTIFICATION CENTER. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH THE OWNERS AND APPROPRIATE PUBLIC AGENCIES TO ASSIST IN LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS..

GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND ANY FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.

ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN(S) WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY GRADES AND STANDARDS FOR FLORIDA NURSERY TREES AND PLANTS.

ALL TREES DESIGNATED AS SINGLE TRUNK SHALL HAVE A SINGLE, RELATIVELY STRAIGHT, DOMINANT LEADER, PROPER STRUCTURAL BRANCHING AND EVEN BRANCH DISTRIBUTION. TREES WITH BARK INCLUSION, TIPPED BRANCHES, AND CO-DOMINANT TRUNKS WILL NOT BE ACCEPTED. TREES WITH GIRDLING, CIRCLING AND/OR PLUNGING ROOTS WILL BE REJECTED.

ALL PLANTING BEDS SHALL BE FREE OF ALL ROCKS½" OR LARGER, STICKS, AND OBJECTIONABLE MATERIAL INCLUDING WEEDS, WEED SEEDS. ALL LIMEROCK SHALL BE REMOVED/CLEANED DOWN TO THE NATIVE SOILS. PLANTING SOIL 50/50 SAND/TOPSOIL MIX SHALL BE DELIVERED TO THE SITE IN A CLEAN LOOSE AND FRIABLE CONDITION AND IS REQUIRED AROUND THE ROOT BALL OF ALL TREES AND PALMS, THE TOP 6" OF ALL SHRUBS AND GROUND COVER BEDS AND TOP 2" OF ALL SODDED AREAS. THIS SOIL SHALL BE TILLED INTO THE EXISTING SOIL AFTER THE EXISTING SOIL HAS BEEN CLEANED OF ALL ROCKS, LIMESTONE AND STICKS. RECYCLED COMPOST IS ENCOURAGED AS A SOIL AMENDMENT ALTERNATIVE. A MANDATORY INSPECTION OF THE PLANTING BEDS IS REQUIRED BEFORE PLANTING

ALL BURLAP, STRING, CORDS, WIRE BASKETS, PLASTIC OR METAL CONTAINERS SHALL BE REMOVED FROM THE ROOTBALLS BEFORE PLANTING. REMOVE ALL BAMBOO AND METAL NURSERY STAKES. REMOVE ALL TAGGING TAPE.

ALL TREES/PALMS SHALL BE PLANTED SO THE TOP OF THE ROOT BALL, ROOT FLAIR ARE SLIGHTLY ABOVE FINAL GRADE. SHRUB MATERIAL SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE. IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INSURE THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND DURING ALL PLANT WARRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO AUGMENT NATURAL RAINFALL AND SITE IRRIGATION IS MANDATORY TO INSURE PROPER PLANT DEVELOPMENT AND SHALL BE PROVIDED AS A PART OF THIS CONTRACT.

ALL TREES/PALMS SHALL BE STAKED USING BIODEGRADABLE MATERIAL. NO WIRE, BLACK STRAPPING, OR OTHER SYNTHETIC MATERIAL SHALL BE USED. NAILING INTO TREES AND PALMS FOR ANY REASON IS PROHIBITED AND THE MATERIAL WILL BE REJECTED. PLEASE REFER TO THE PLANTING DETAILS

ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SPRINKLER SYSTEM WITH A MINIMUM 100% COVERAGE WITH ALL HEADS ADJUSTED TO 50% OVERLAP. EACH SYSTEM SHALL BE INSTALLED WITH AN OPERATIONAL RAIN SENSOR AND RUST INHIBITOR. EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTEDTO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.

NO FERTILIZERS ARE REQUIRED.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH A 1" COMPACTED LAYER OF PINE STRAW, THEN TOPPED WITH A 2" LAYER OF PINE BARKMULCH TO A MINIMUM DEPTH OF THREE INCHES (3") OF TOTAL COVER WHEN SETTLED. SPREAD MULCH TO 1" THICKNESS 3" AWAY FROM THE TRUNKS/STEMS OF ALL PLANT MATERIAL. ALL TREES IN SODDED AREAS SHALL HAVE A CLEAN CUT 4' DIAMETER MULCH RING. THE 5-6" HEIGHT WATER RING SHALL BE MADE FROM MULCH, NOT SOIL. CERTAIN AREAS MAY RECEIVE A THICKER MULCH COVER WHERE NOTED ON PLANS. CYPRESS, RED, GOLD AND GREEN MULCH IS PROHIBITED.

ALL OPEN AREAS NOT COVERED BY TREES, PALMS, SHRUBS, VINES OR GROUND COVERS SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOD, WHETHER LABELED ON THE PLANS OR NOT, UNLESS A DIFFERENT SPECIES IS INDICATED ON THE PLANTING PLAN. ALL NOTED S.F. SHALL BE APPROXIMATE; IT IS THE CONTRACTOR'S RESPONSIBILITY TO DO HIS OR HER TAKE OFF AND SOD ALL OPEN AREAS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY EXISTING SOD WHICH MAY BE DAMAGED DURING CONSTRUCTION.

PLEASE REFER TO THE PLANTING DETAILS FOR A GRAPHIC REPRESENTATION OF THE ABOVE NOTES.

ALL PLANT MATERIAL AS INCLUDED HEREIN SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD AS FOLLOWS: ALL TREES AND PALMS FOR 12 MONTHS, ALL SHRUBS, VINES, GROUNDCOVERS AND MISCELLANEOUS PLANTING MATERIALS FOR 90 DAYS, AND ALL LAWN AREAS FOR 60 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE.

FAILURE TO COMPLY WITH ANY OF THE ABOVE WILL RESULT IN LANDSCAPE REMOVAL

EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST TO INSURE QUALITY WORK. ALL EXISTING TREES SHALL BE "LIFTED AND THINNED" TO PROVIDE AN 8' MINI- MUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS AND ALL VEHICULAR USE AREAS.

ALL PLANT MATERIAL WAS CONFIRMED AVAILABLE AT THE TIME OF DESIGN. NO CHANGES ARE AUTHORIZED UNLESS APPROVED BY LANDSCAPE ARCHITECT.

PRUNNING SHALL BE PER ANSI-300 STANDARDS

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PLANTING DETAILS
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