

RIVO ALTO RESIDENCE

CAP FINAL Submittal 12/08/2017



40 W. RIVO ALTO DRIVE
MIAMI BEACH, FLORIDA

SCOPE OF WORK

New 2 story residence replacing existing pre-1942 building.

ARCHITECT

Praxis Architecture
278 NW 37th St.
Miami, FL 33127
(305) 576-8063

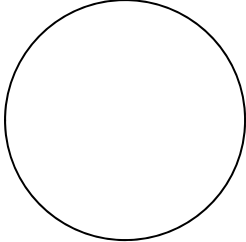
CLIENT

Rivo Alto Development LLC
40 W. Rivo Alto Drive
Miami Beach, FL 33139

PRAXIS
ARCHITECTURE + DESIGN
JOSE L. SANCHEZ, AIA, LEED AP
2326 N. MIAMI AVE.
MIAMI, FLORIDA 33127
TEL: (305) 576-8063
FAX: (305) 576-5772
FL Lic: AR 0016986
FL Lic: AA 26000837
N.Y. Lic: 23590 - N.Y. Lic: 12482

PRIETO RESIDENCE
40 W. RIVO ALTO DRIVE
Miami Beach, FL 33139

seal



Date:
12-08-2017

Revised:

Sheet no.
COVER



THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAGS ARCHITECTURE + DESIGN, WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO PRAGS ARCHITECTURE + DESIGN. REPRODUCTIONS OF DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAGS ARCHITECTURE + DESIGN IS PROHIBITED. CONTRACTORS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO PROFESSIONAL WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA 33139

Client:

Drawing Title

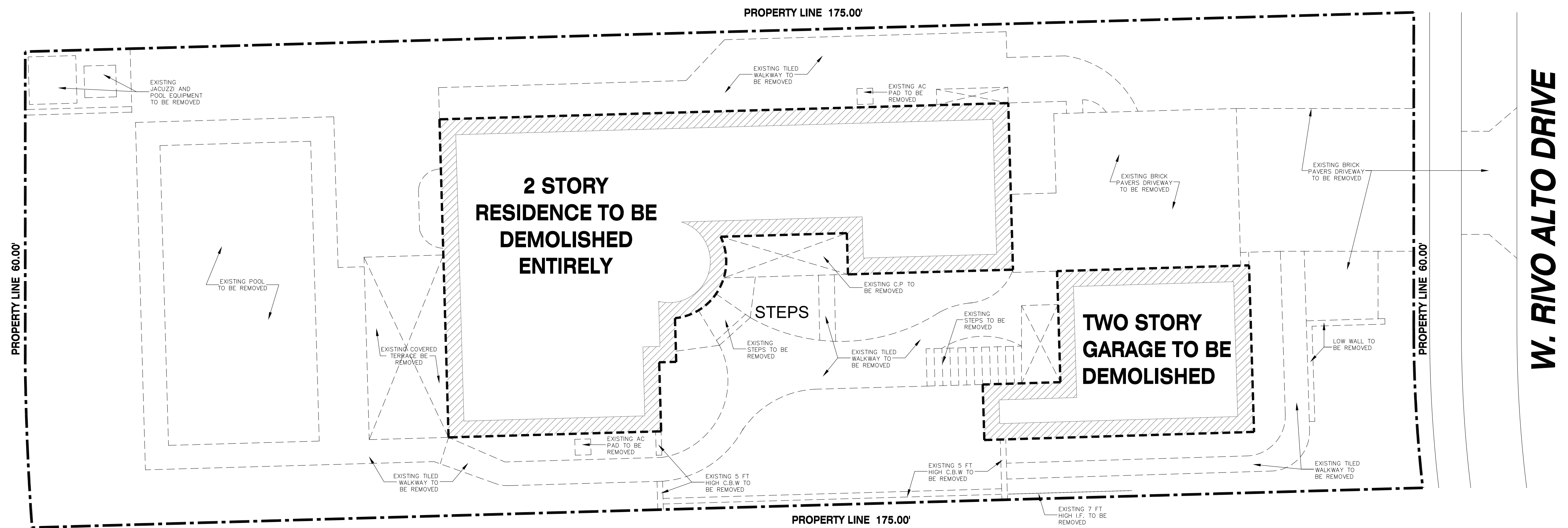
DEMOLIT PLAN

Revision		Date

Scale: As Shown
Date 04-10-1

Dwg:

D-



1

$$1/8^* = 1' - 0'$$


DEMOLITION NOTES

1. SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE + DETACHED GARAGE.
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
3. MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
2. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESTITUTION MEANS THE COST OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
4. CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILING AND ELSEWHERE DIRECTED BY OWNER AND SHALL BE RESPONSIBLE FOR DAMAGE. UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
5. CONTRACTOR SHALL PERFORM INSPECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
6. CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS. STRAIGHTEN DRIVES, WALKS, SERVICE LINES AND THE LIKE.
7. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH; DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED TO DUST PARTICLES TO PREVENT DUST FROM BEING CARRIED AWAY. PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
9. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND ADJACENT PROPERTIES. CONTRACTOR SHALL LEAVE THE ENTIRE SPACE BEING LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY PART OF THE AREAS, SURFACES AND MATERIALS.
10. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER MIAMI BEACH ORDINANCE.

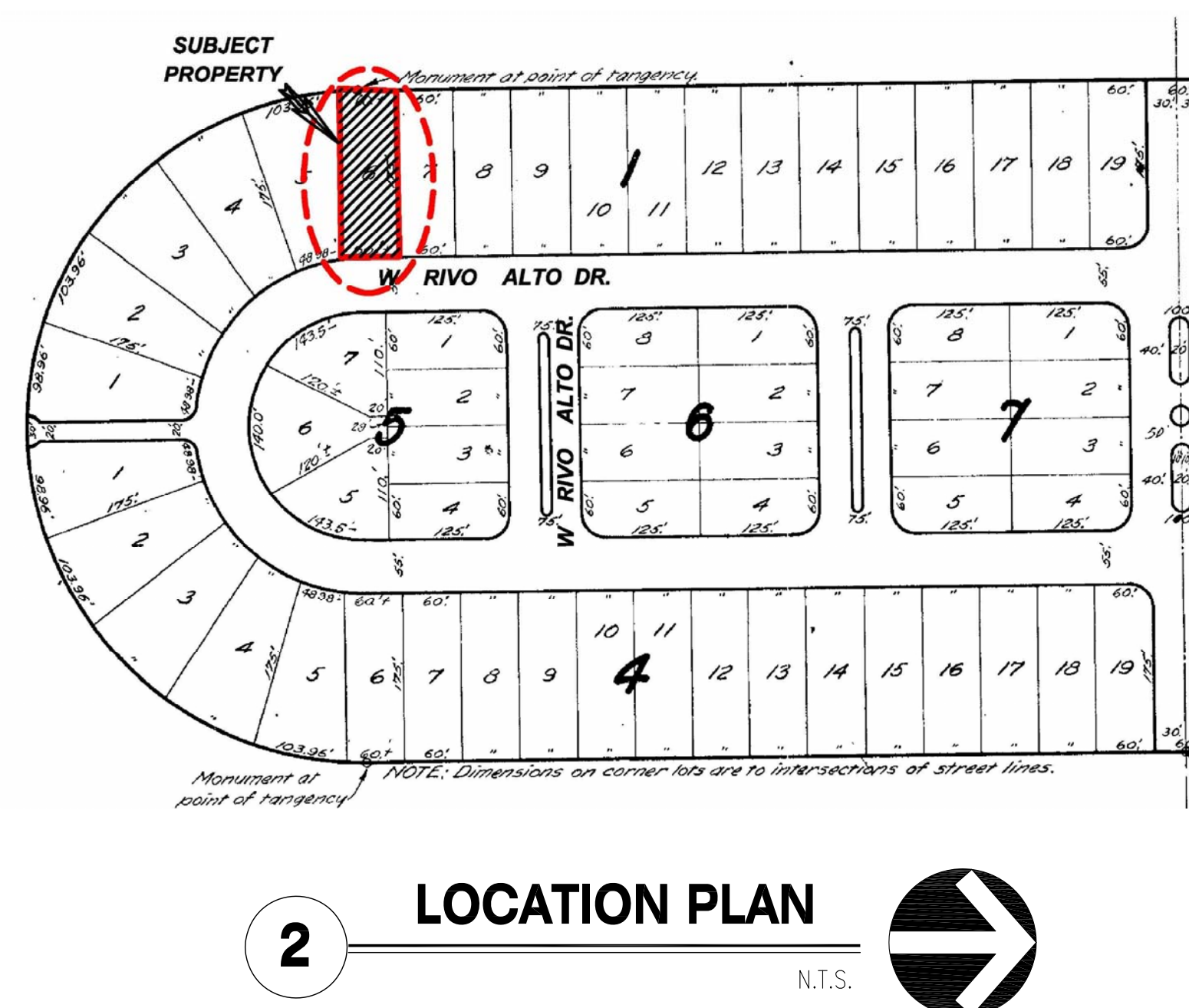
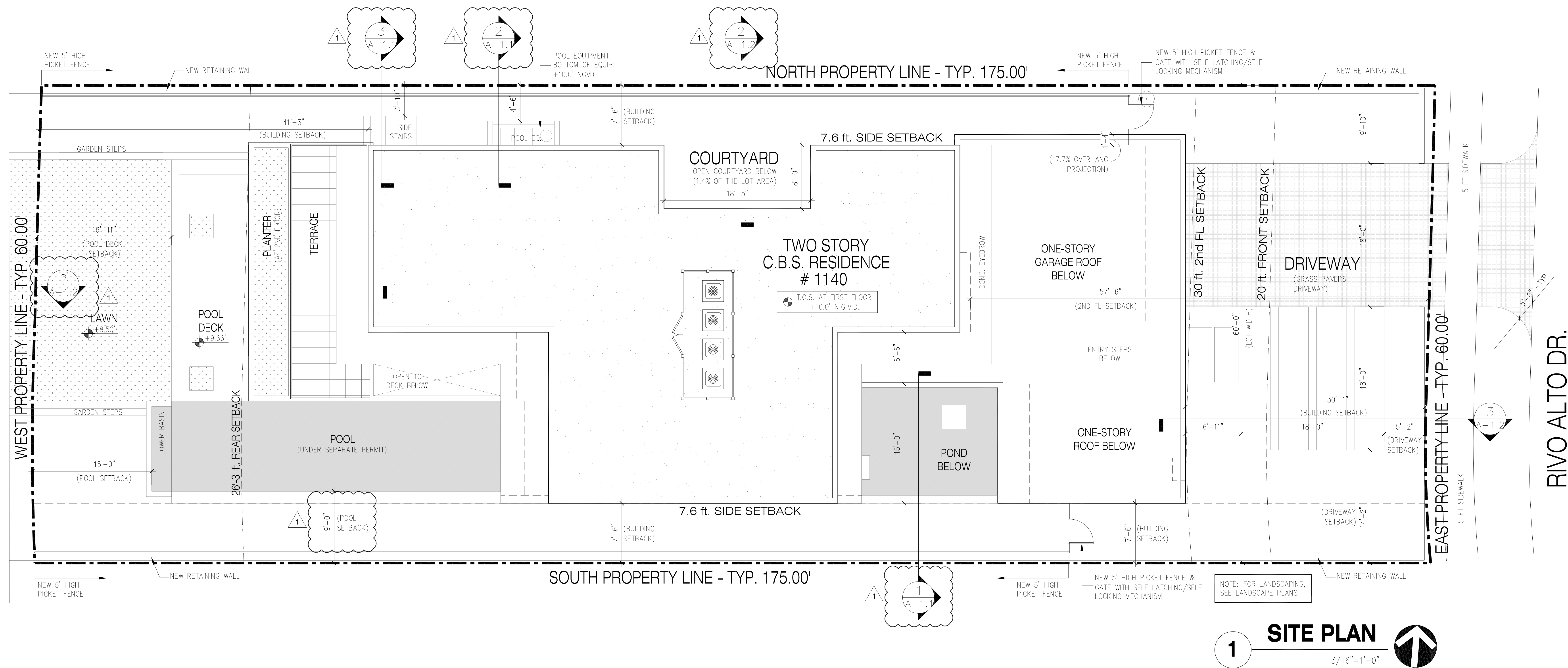








BALSA PERSPECTIVE VIEWS



		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.		24 FT.	SEE ELEVATION SHEET
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	30'-1"	
20	FRONT SECOND LEVEL:	30 FT.	N/A	57'-6"	
21	SIDE 1:	7'-6"		7'-6"	
22	SIDE 2 OR (FACING THE STREET):	7'-6"		7'-6"	
23	REAR:	26'-3"		41'-3"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			

LEGAL DESCRIPTION

LOT 6, BLOCK 1, RIVO ALTO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND ALSO AN 8 FOOT STRIP OF LAND CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 LYING BETWEEN THE WESTERLY EXTENSION OF THE NORTHERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 AND THE SOUTHERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 RIVO ALTO, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 7, PAGE 74 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ITEMS#	ZONING INFORMATION		
1	ADDRESS:	40 W RIVO ALTO DR. MIAMI BEACH 33141.	
2	FOLIO NUMBER(S):	02-3233-001-0060	
3	BOARD AND FILE NUMBERS:		
4	YEAR BUILT:		ZONING DISTRICT: RS-3
5	BASED FLOOD ELEVATION:	+9.0' NGVD	GRADE VALUE IN N.G.V.D: +4.21' NGVD
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.61' NGVD	FREE BOARD: +10.0' NGVD
7	LOT AREA:	10,500 S.F.	
8	LOT WIDTH:	60'-0"	LOT DEPTH: 175'-0"
9	MAX. LOT COVERAGE SF AND %:	3,150 SF (30%)	PROPOSED LOT COVERAGE SF AND %: 3,085 SF (29.38%)
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:
11	FRONT YARD OPEN SPACE SF AND %:	952 SF (52.83%)	REAR YARD OPEN SPACE SF AND %: 1,146 SF (72.76%)
12	MAX. UNIT SIZE SF AND %:	5,250 SF (50%)	PROPOSED UNIT SIZE SF AND %: 5,179 SF (49.32%)
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB): 2,421 SF (77.62%)
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %: 2,421 SF (77.62%)
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW): N/A

VARIANCE REQUEST FOR SIDE
STAIRS WITHIN SIDE YARD

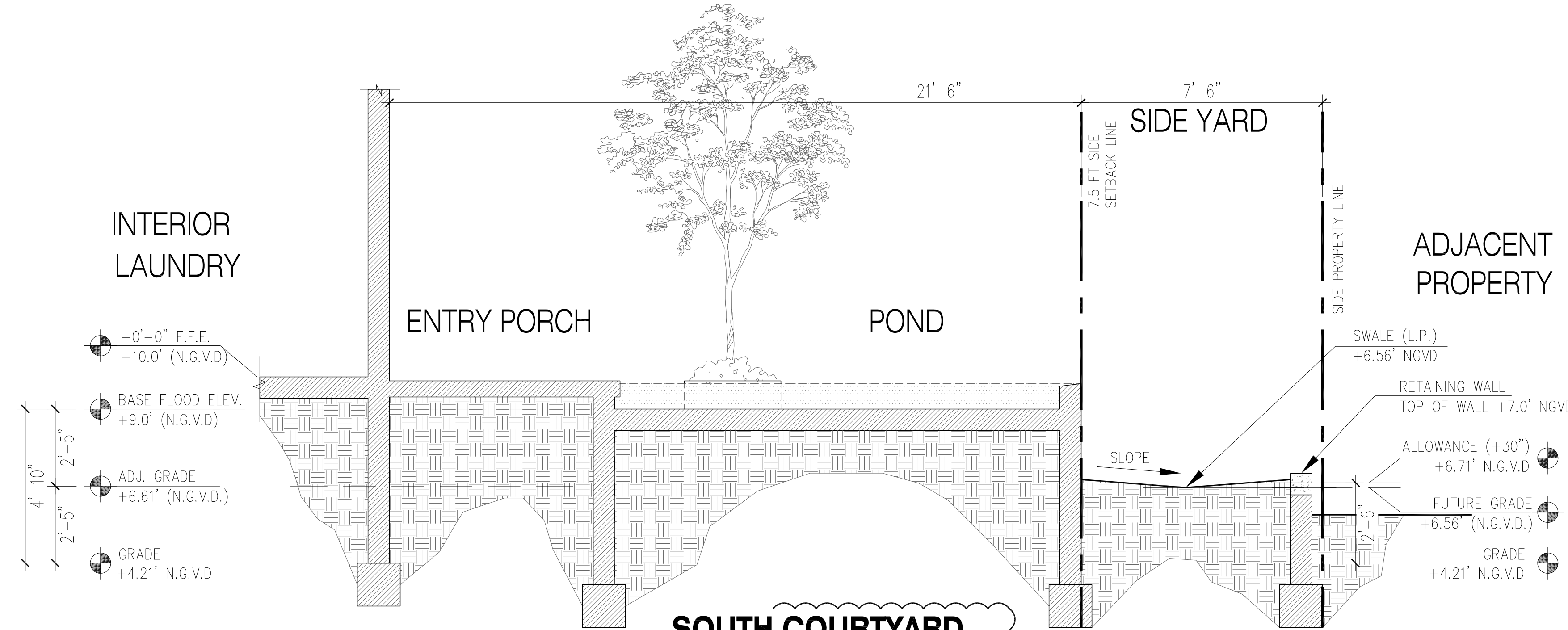
VARIANCE REQUEST FOR EQUIPMENT
PLATFORM WITHIN SIDE YARD



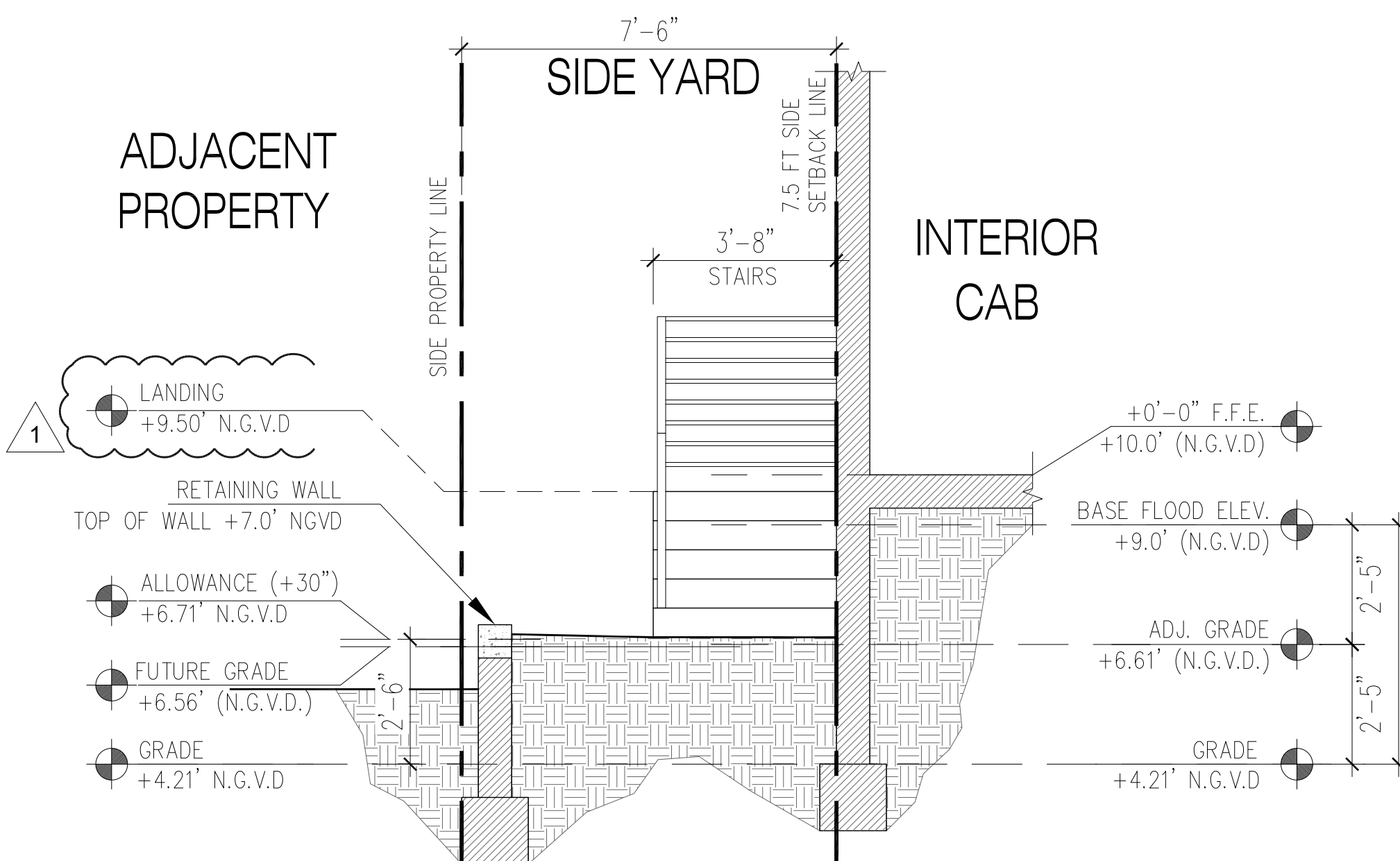
WAIVER REQUEST FOR OPEN
SPACE, POND AT COURTYARD

FIRST FLOOR PLAN

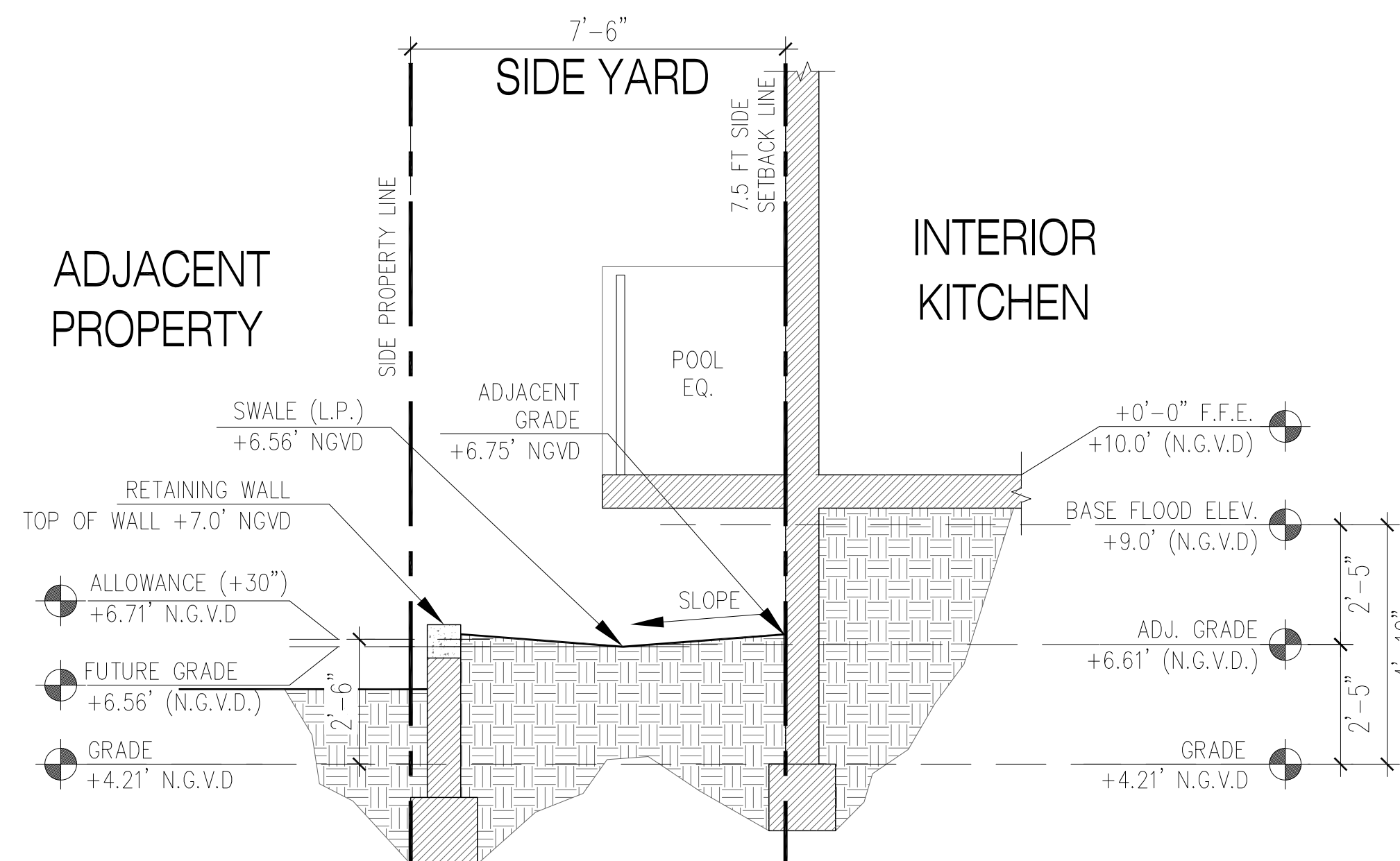
1/8" = 1'-0"



SOUTH COURTYARD
SECTION THRU POND



SIDE YARD SECTION
- SIDE STAIRS



SIDE YARD SECTION
- POOL EQUIP. PLATFORM

COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS
OF SERVICE AND SHALL REMAIN THE PROPERTY OF
PRAXIS ARCHITECTURE + DESIGN. NO PART OF
THESE DRAWINGS OR DOCUMENTS SHALL BE REPRODUCED
OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE WRITTEN
CONSENT OF PRAXIS ARCHITECTURE + DESIGN. THE
OWNER SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE
CONDITIONS PRIOR TO PROCEEDING WITH WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

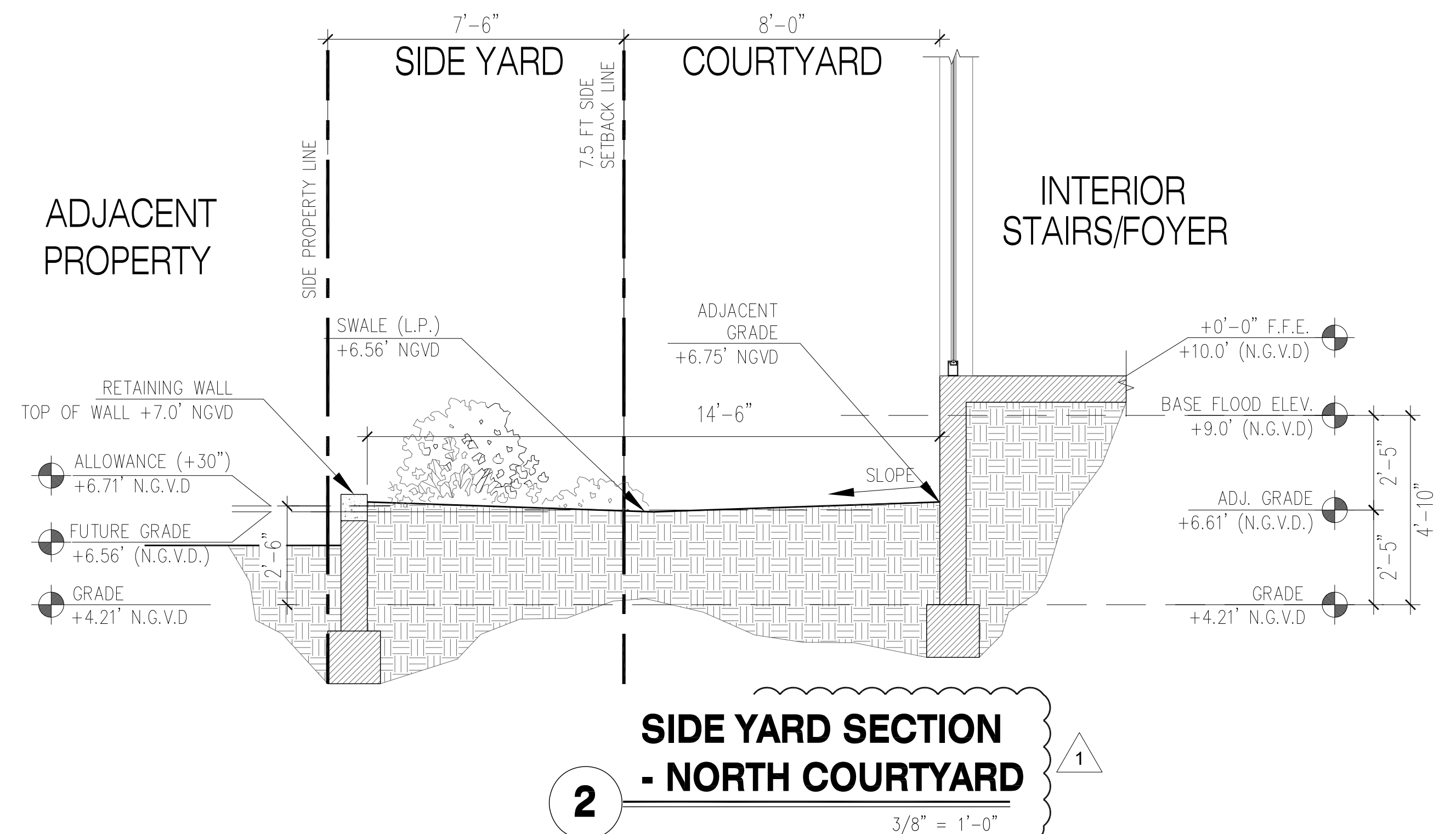
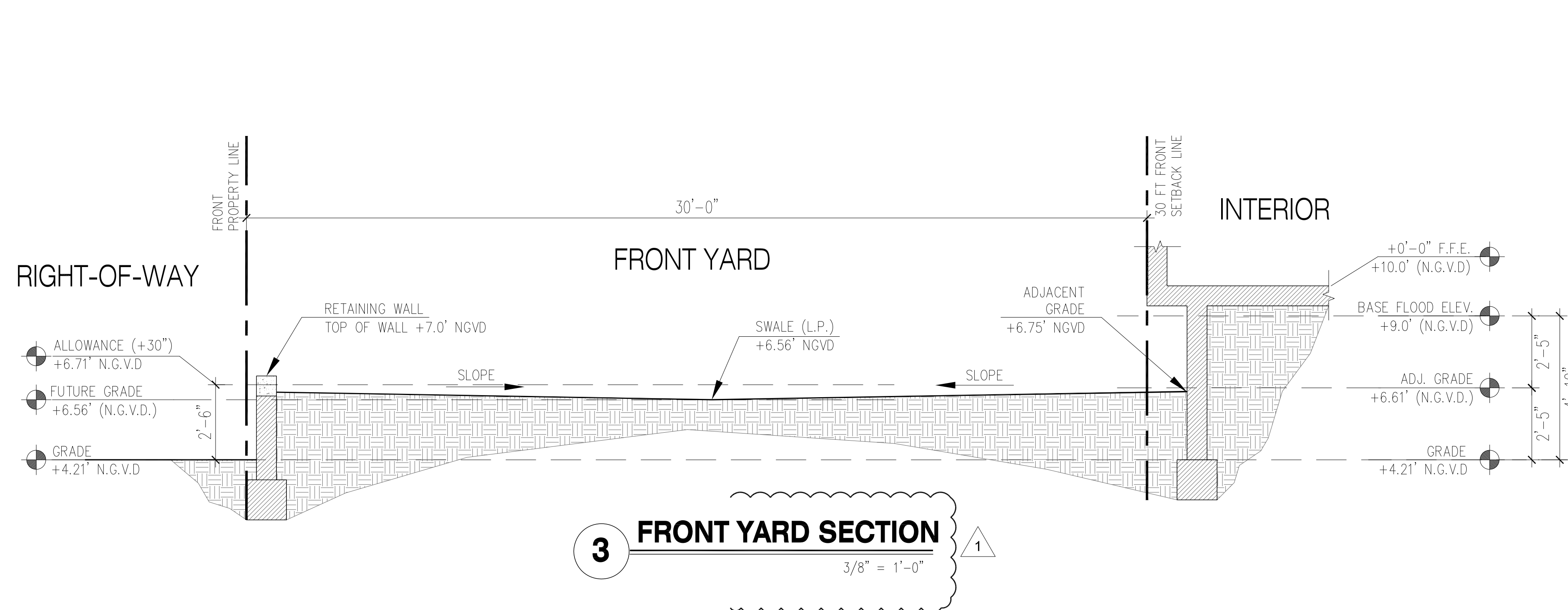
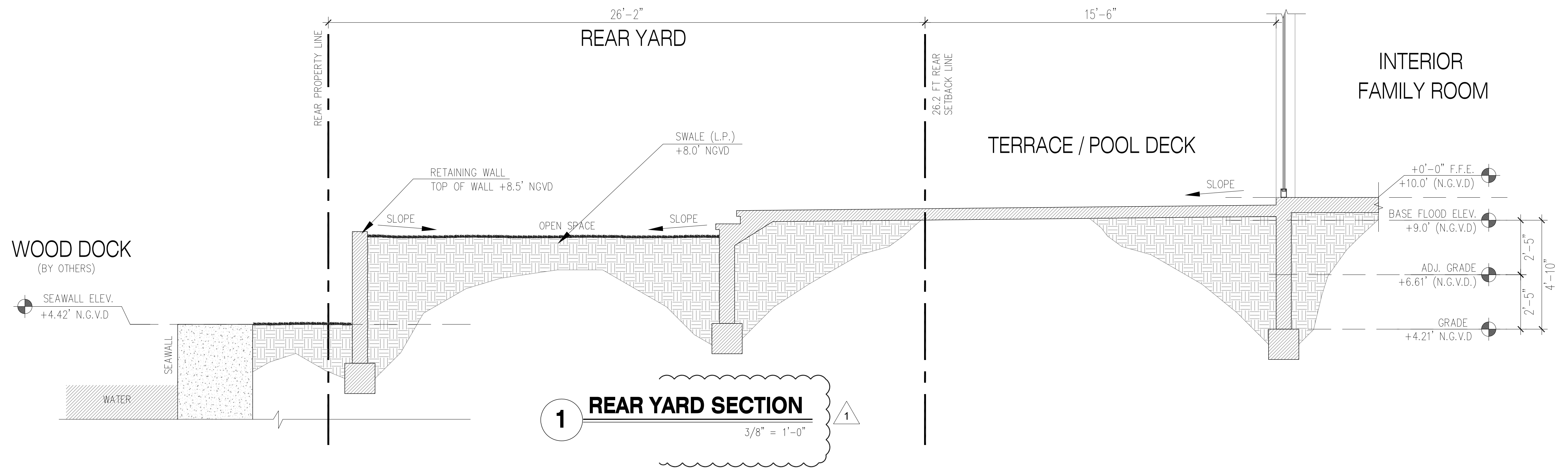
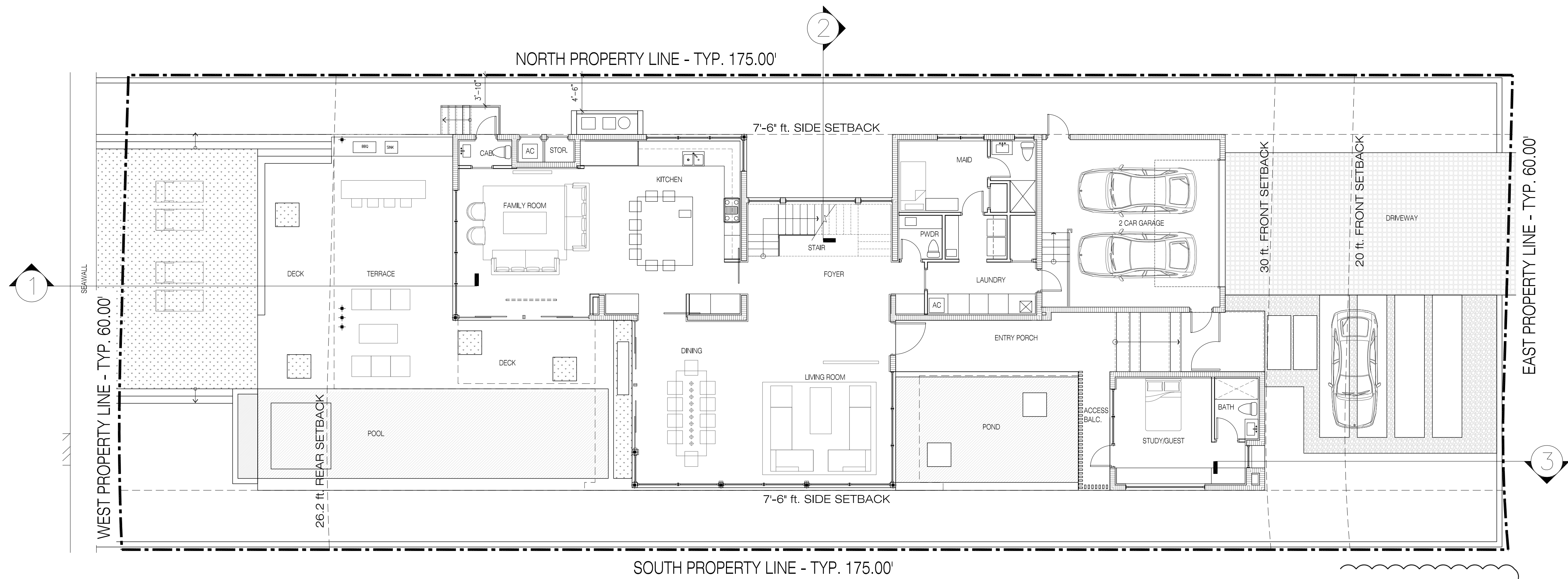
Project:
Client:

Drawing Title
**VARIANCE /
WAIVER
DIAGRAMS**

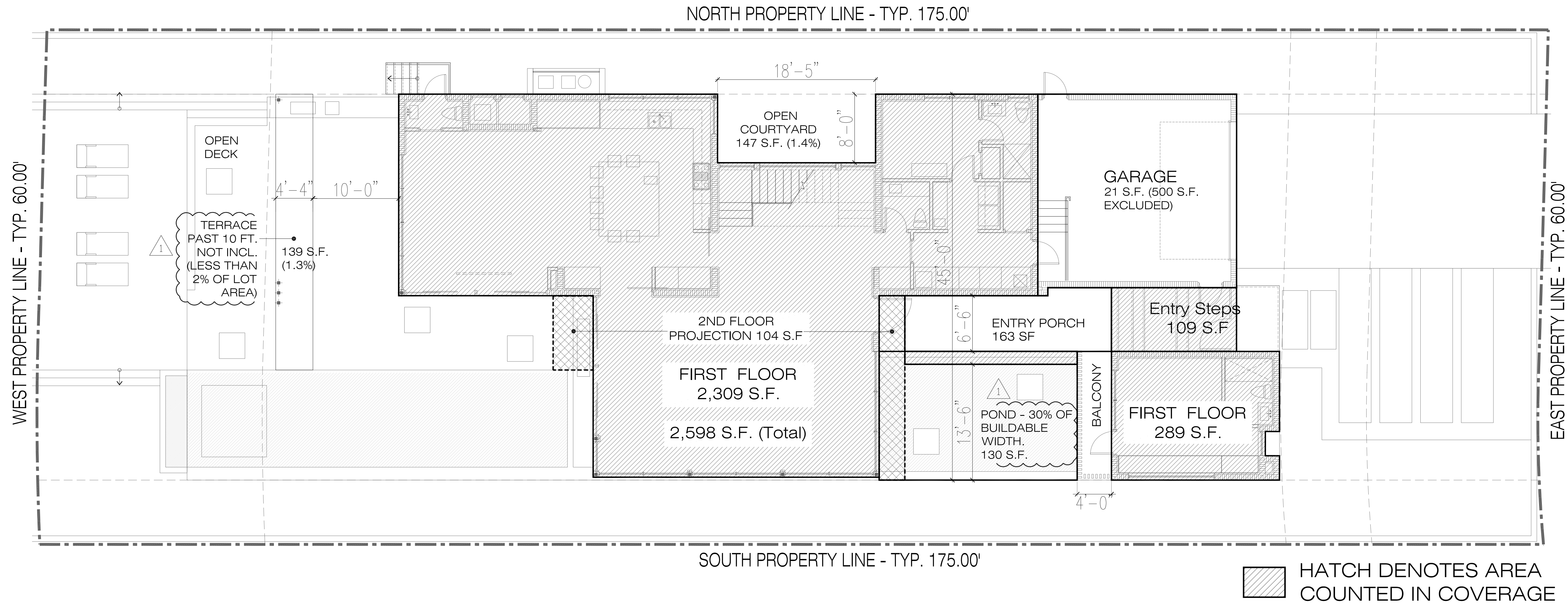
Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	

Scale: As Shown
Date 04-10-17

Dwg:
A-1.1

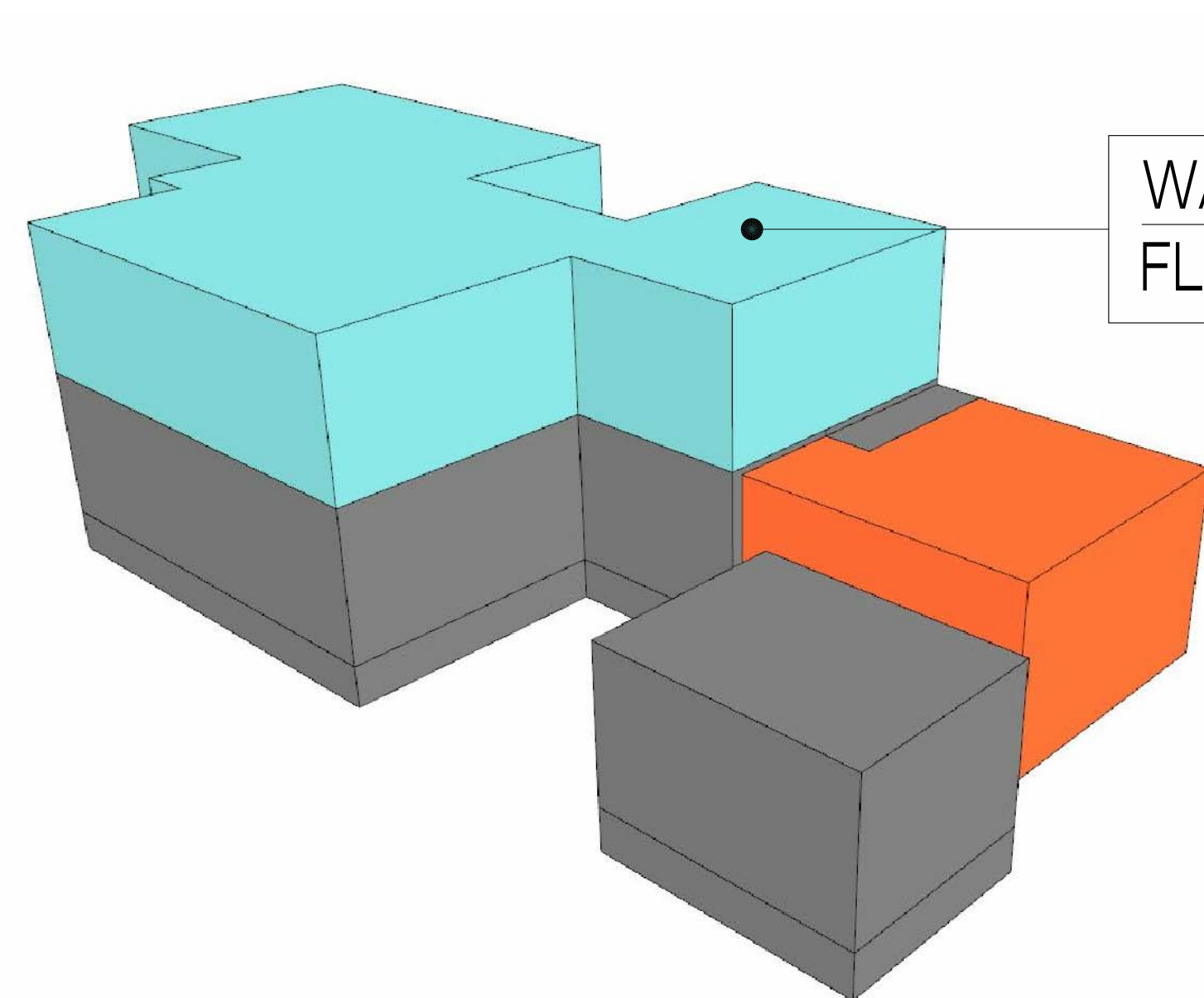
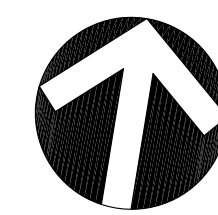


Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	



FIRST FLOOR LOT COVERAGE SHADED DIAGRAM

N.T.S.



WAIVER REQUEST FOR SECOND FLOOR VOLUME (77.62%)

- FIRST FLOOR A/C
- GARAGE
- 2ND FLOOR A/C

EXPLODED AXONOMETRIC DIAGRAM SECOND FLOOR RELATIONSHIP TO FIRST FLOOR

N.T.S.

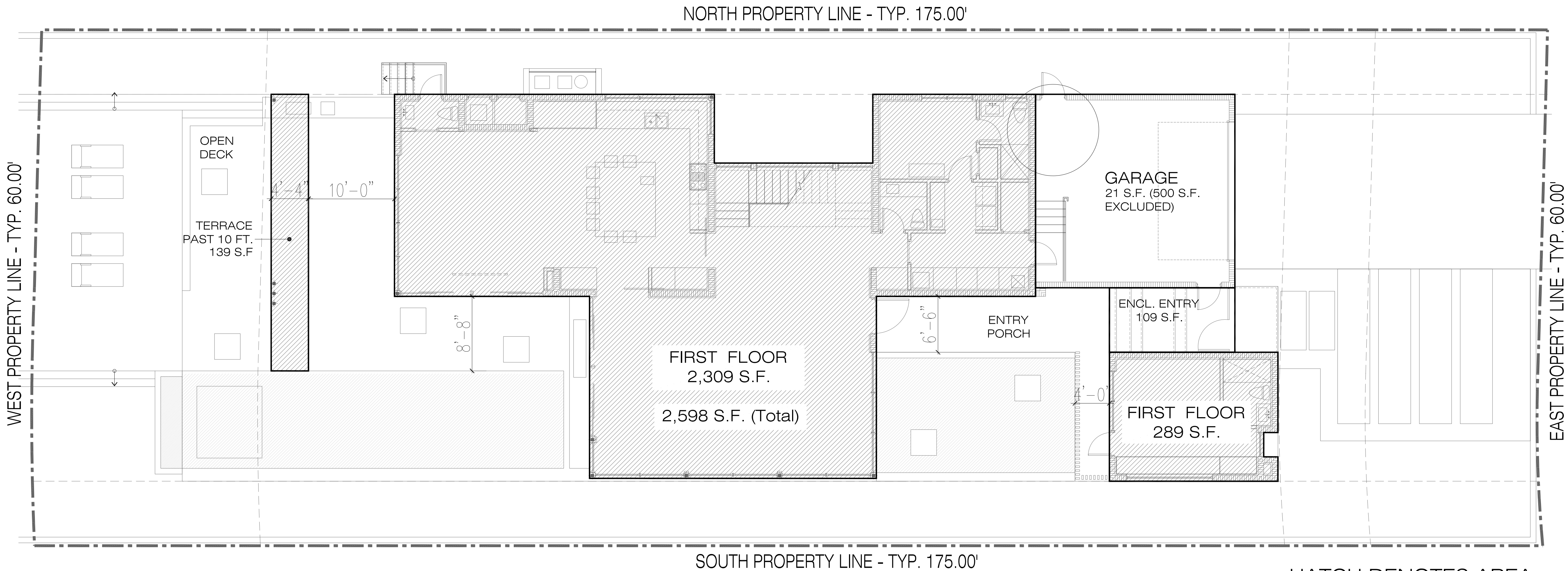
LOT COVERAGE CALCULATION

LOT AREA	10,500 Sq. Ft.
MAX COVERAGE (30%)	3,150 Sq. Ft.
1ST FLOOR	2,621 Sq. Ft.
2ND FLOOR PROJECTION	104 Sq. Ft.
GARAGE (500 S.F. EXCLUDED)	21 Sq. Ft.
TERRACE (PAST 10 FT, LESS THAN 2%)	0 Sq. Ft.
POND (PAST 30% OF DEVELOPABLE WIDTH)	30 Sq. Ft.
ENTRY STEPS	146 Sq. Ft.
ENTRY PORCH	163 Sq. Ft.
TOTAL LOT COVERAGE	3,085 Sq. Ft.
PERCENTAGE PROPOSED	29.38%

BUILDING VOLUME CALCULATION

FIRST FLOOR	2,598 Sq. Ft.
GARAGE	521 Sq. Ft.
TOTAL FIRST FLOOR	3,119 Sq. Ft.
SECOND FLOOR	2,421 Sq. Ft.
SECOND FLOOR VOLUME RATIO TO FIRST FLOOR	2,421 Sq. Ft. = 77.62%

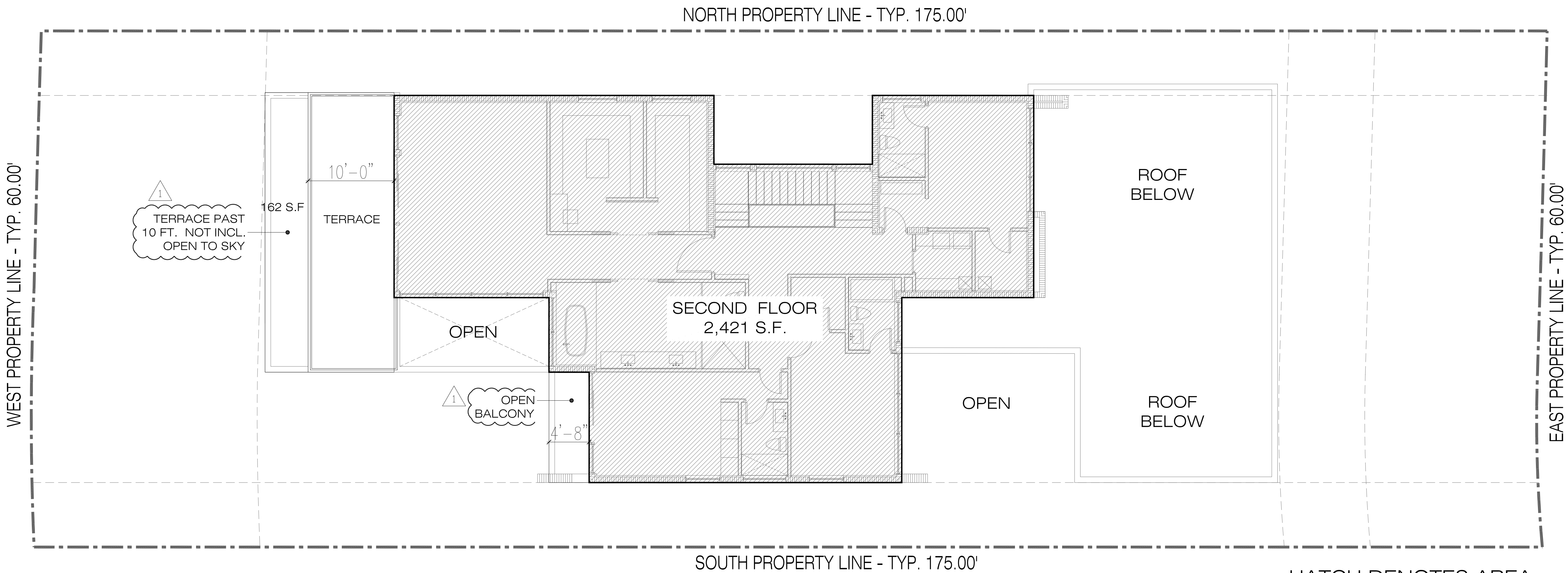
Revision	Date



HATCH DENOTES AREA
COUNTED IN UNIT SIZE

**UNIT SIZE: FIRST FLOOR
SHADED DIAGRAM**

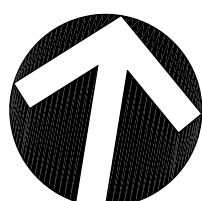
N.T.S.



HATCH DENOTES AREA
COUNTED IN UNIT SIZE

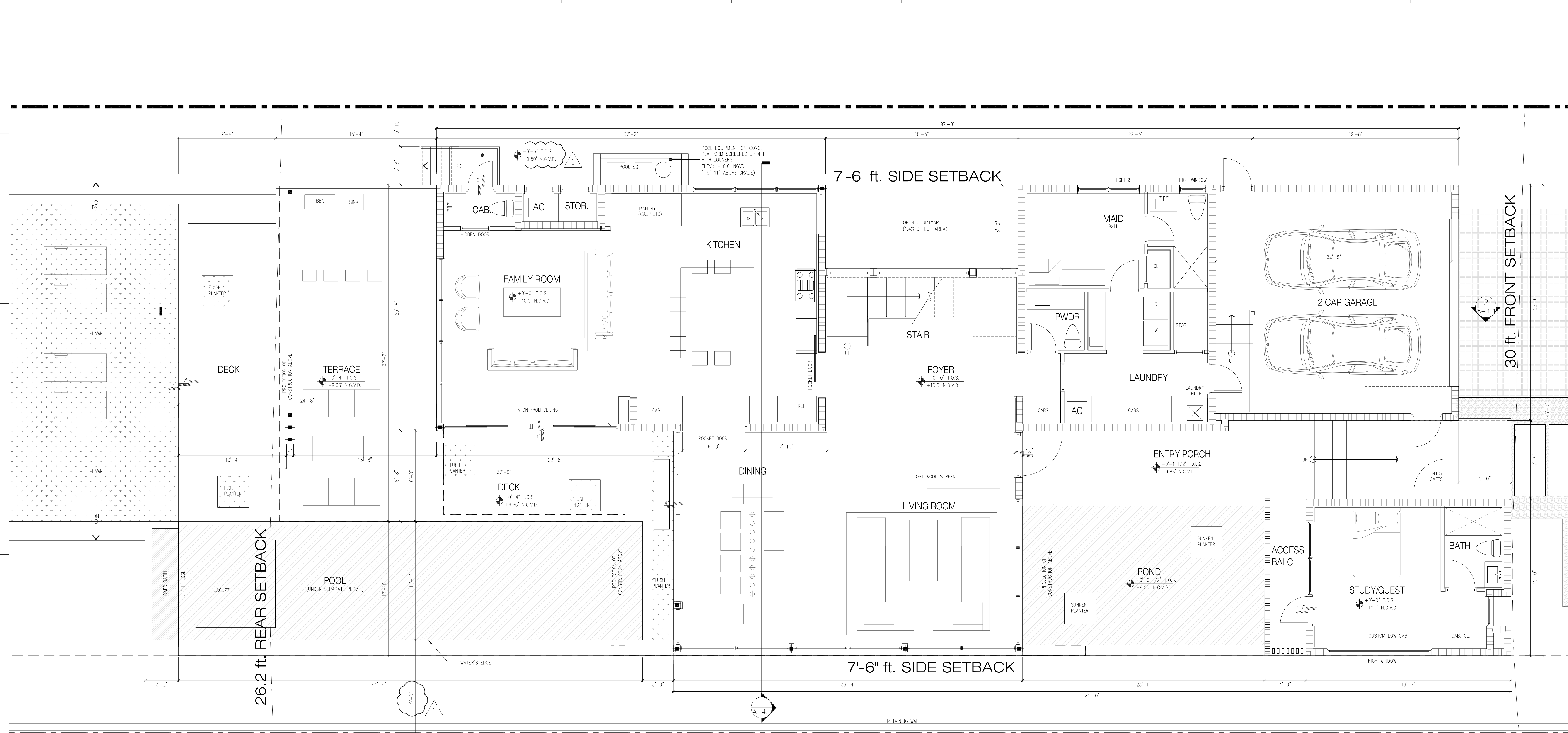
**UNIT SIZE: SECOND
FLOOR SHADED DIAGRAM**

N.T.S.



UNIT SIZE CALCULATION

LOT AREA	10,500 Sq. Ft.
MAX. UNIT SIZE (50%)	5,250 Sq. Ft.
1ST FLOOR A/C	2,598 Sq. Ft.
COVERED ENTRY (PAST 10 FT)	0 Sq. Ft.
GARAGE (AFTER EXCLUDING 500 S.F.)	21 Sq. Ft.
REAR TERRACE (PAST 10'-0")	139 Sq. Ft.
FIRST FLOOR UNIT SIZE	2,758 Sq. Ft.
2ND FLOOR A/C	2,421 Sq. Ft.
TERRACE (PAST 10 FT, OPEN TO THE SKY)	0 Sq. Ft.
BALCONY (OPEN ON 2 SIDES)	0 Sq. Ft.
TOTAL UNIT SIZE	5,179 Sq. Ft.
PERCENTAGE PROPOSED	49.32%



1 FIRST FLOOR PLAN
1/4"=1'-0"

EMERGENCY ESCAPE WINDOWS
- TYP. ALL BEDROOMS:
WINDOWS IN BEDROOMS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND HAVE A MINIMUM CLEAR WIDTH OF 20", A MINIMUM HEIGHT OF 24" AND A MINIMUM AREA OF 5.7 SQ. FT. FOR SECOND FLOOR OPENINGS OR 5.0 SQ. FT. FOR FIRST FLOOR OPENINGS. FIRST FLOOR ESCAPE WINDOWS SHALL NOT BE HIGHER THAN 44" FROM THE EXTERIOR GRADE.

*** WINDOW OPENING NOTE**
FOR ALL WINDOW GROUP, C.C. SHALL VERIFY WITH MANUFACTURER EXACT MASONRY OPENING REQUIRED PRIOR TO BUILDING WALLS.

WALL LEGEND

- NEW 8" C.M.U. WALL W/ PRESSURE TREATED FLOORING STRIPS, R-7 INSULATION BTM. 5/8" GYP. BD. FINISH
- NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
- NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 2" GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE 2"x4" WOOD STUDS. PROVIDE 1/2" DUROCK BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
- NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
- CONCRETE COLUMN

COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PRAXIS ARCHITECTURE + DESIGN. ANY VIOLATION OF THESE CONDITIONS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SHALL BE SUBJECT TO LITIGATION IN THE COURTS OF THE STATE OF FLORIDA.

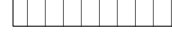
NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

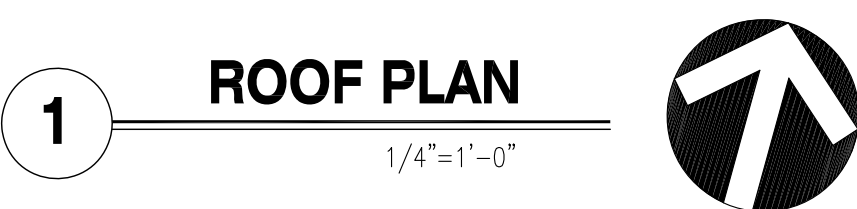
Project:	Client:
Drawing Title	
FIRST FLOOR PLAN	
Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	
Scale: As Shown	Date 04-10-17
Dwg:	
A-2.1	



*WINDOW OPENING NOTE
FOR ALL WINDOW GROUP, G.C. SHALL VERIFY WITH MANUFACTURER
EXACT MASONRY OPENING REQUIRED PRIOR TO BUILDING WALLS

WALL LEGEND

	NEW 8" C.M.U. WALL W/ PRESSURE TREATED FURRING STRIPS, R-11 INSULATION BTW. 5/8" CYP. BD. FINISH
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	NEW DRYWALL PARTITION - 7/8" GYPSUM BOARD ON 2x2 METAL STUDS @ 16" O.C. - ALTERNATIVE 2x4" WOOD STUDS @ 16" O.C. - 1/2" DRYWALL ON BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT DRYWALL AT DRY AREAS SUBJECT TO MOISTURE (BATHROOMS).
	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSUL. SYMBOL.
	CONCRETE COLUMN



COPYRIGHT © 2017
 ALL RIGHTS RESERVED.
 THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS
 OF SERVICE AND SHALL REMAIN THE PROPERTY OF
 PRAXIS ARCHITECTURE + DESIGN, WHETHER THE
 PROJECT FOR WHICH THEY WERE PREPARED IS
 EXCLUDED OR NOT. THEY ARE NOT TO BE USED IN
 AND FOR ANY OTHER PROJECTS OR EXTENSIONS TO
 THIS PROJECT EXCEPT BY AGREEMENT IN WRITING
 AND WITH THE APPROPRIATE COMPENSATION TO
 PRAXIS ARCHITECTURE + DESIGN. REPRODUCTION OF
 DRAWINGS & SPECIFICATIONS WITHOUT THE WRITTEN
 CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS
 PROHIBITED. CONTRACTORS RESPONSIBLE FOR
 VERIFYING ALL SITE CONDITIONS PRIOR TO
 PROCEEDING WITH WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

Project:

Client:

Drawing Title

ROOF PLAN

Revision		Date
1	CAP FIRST SUBMITTAL COMMENTS	11-20-17

Scale: As Shown
Date 04-10-17

Dwg:

A-2.3

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

Project:

Client:

Drawing Title

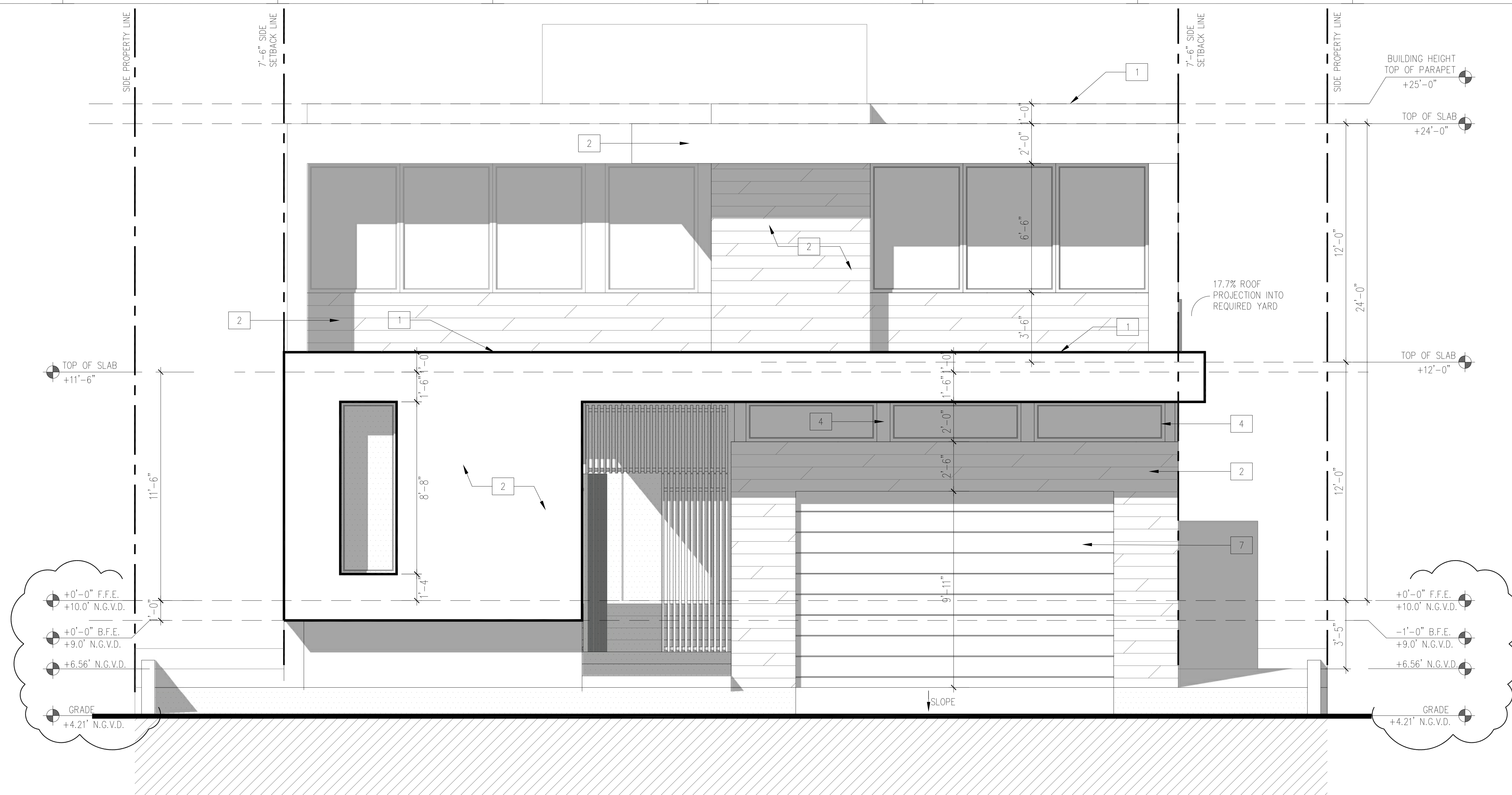
ELEVATIONS

Revision		Date
1	CAP FIRST SUBMITTAL COMMENTS	11-20-1

Scale: As Shown
Date 04-10-17

Dwg:

A-3.1



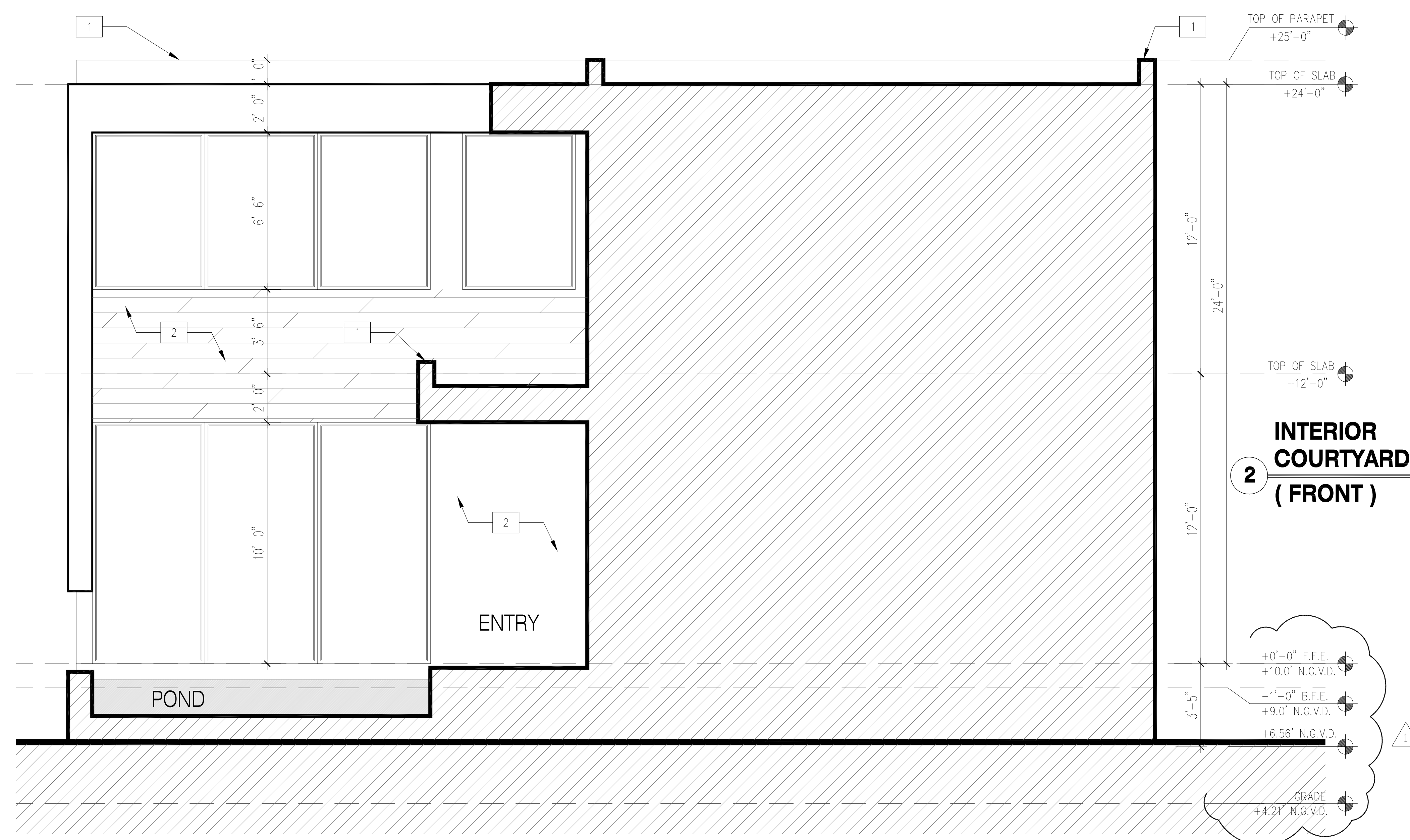
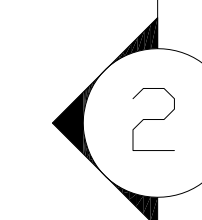
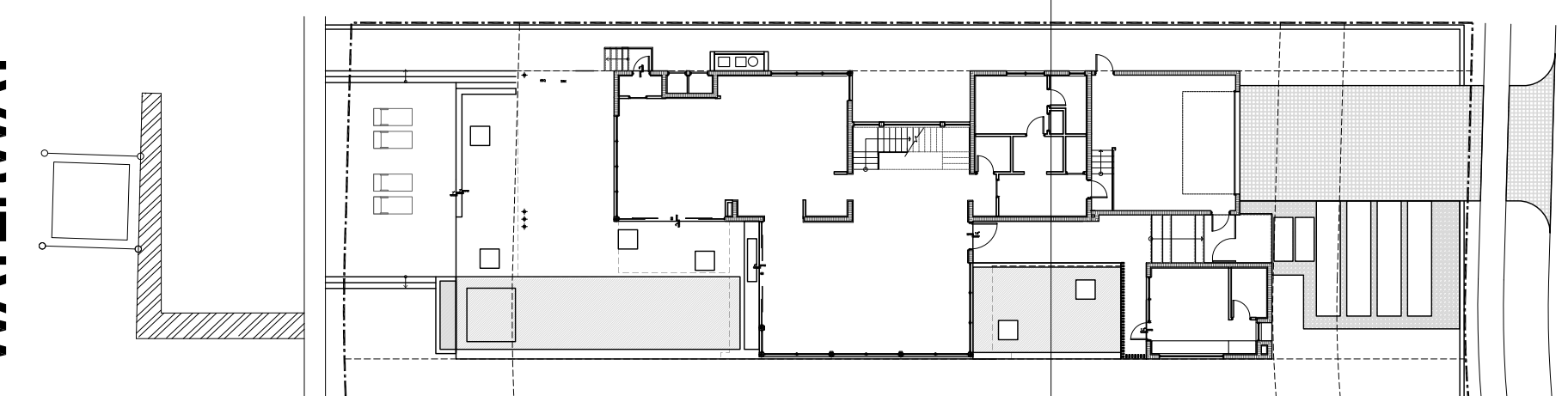
1 EAST ELEVATION
(FRONT) $3/8"=1'-0"$

ELEVATION KEYNOTES

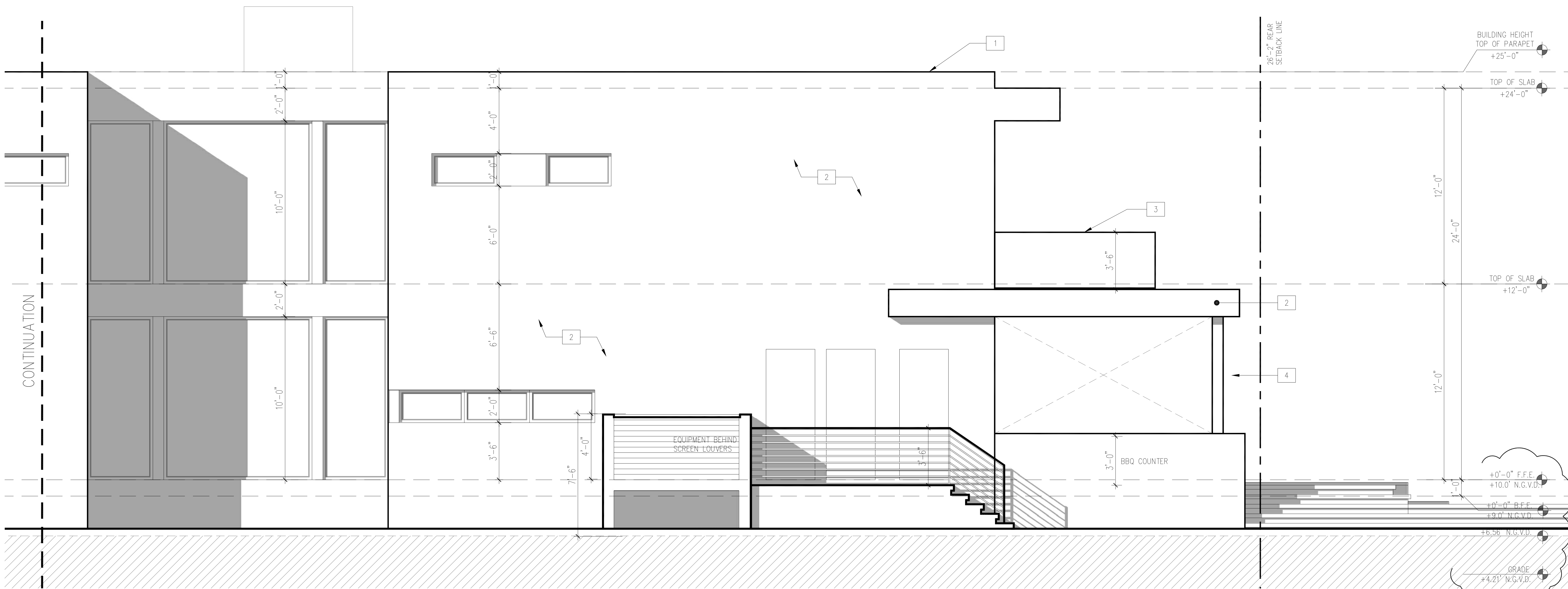
1. 12" ROOFTOP CURB (SEE ROOF PLAN)
2. SMOOTH CEMENT STUCCO
3. GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
4. STEEL COLUMN
5. PRECAST CONC. SCUPPER PROJECTING 4" FROM WALL-TYP.
6. ~~VENER- TO BE SELECTED- PORCELAIN TILE OR STONE TILE-~~
7. GARAGE DOOR



WATERWAY



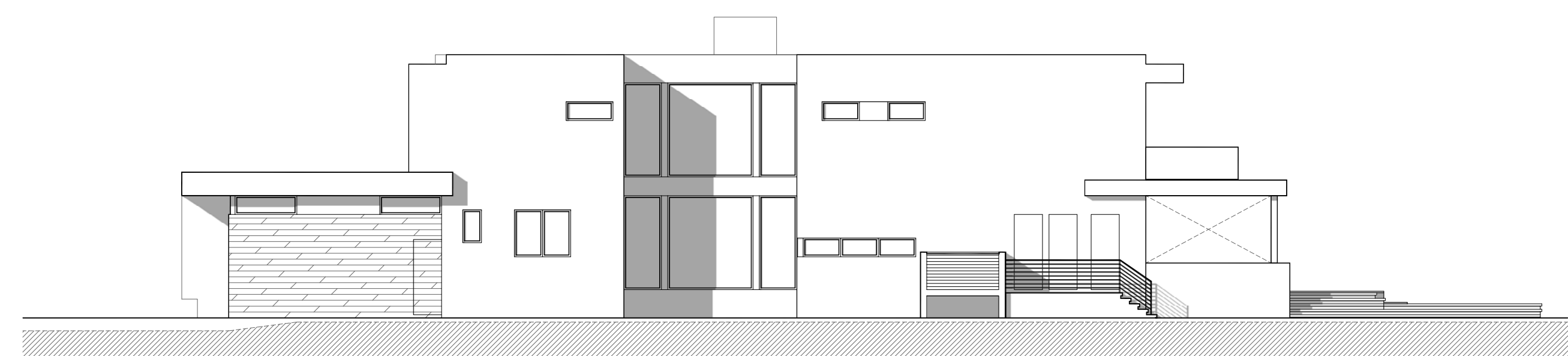
2 INTERIOR COURTYARD ELEVATION (FRONT) 3/8" = 1'-0"



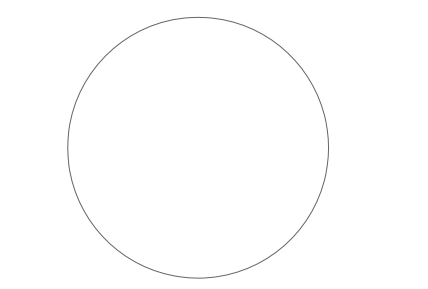
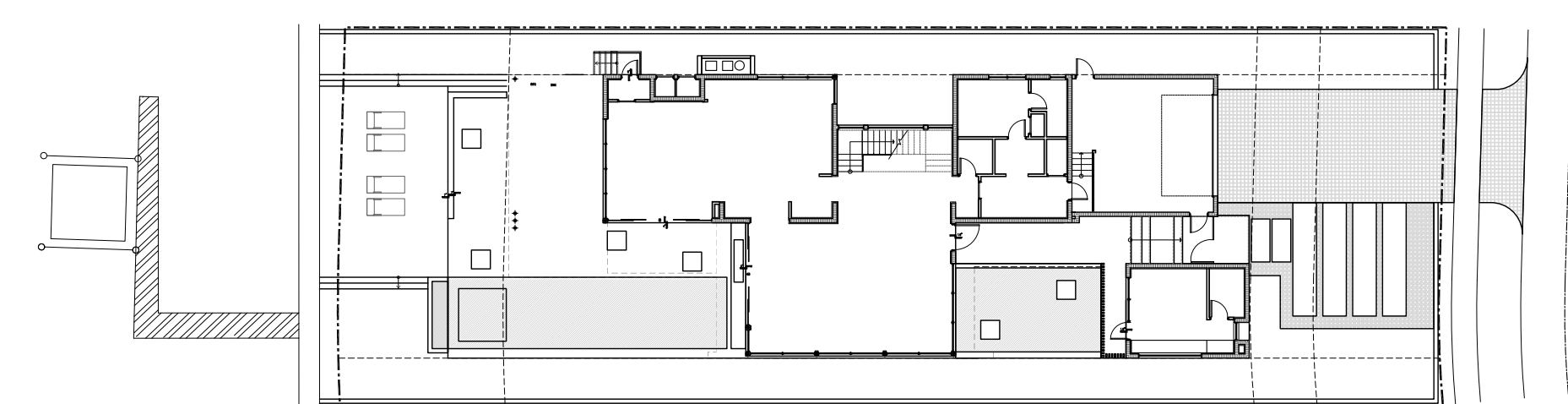
1 NORTH ELEVATION
(SIDE)
3/8"=1'-0"

ELEVATION KEYNOTES

- 12" ROOFTOP CURB (SEE ROOF PLAN)
- SMOOTH CEMENT STUCCO
- GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
- STEEL COLUMN
- PRECAST CONC. SCUPPER PROJECTING 4" FROM WALL-TYP.
- VENEER - TO BE SELECTED - PORCELAIN TILE OR STONE TILE
- GARAGE DOOR



WATERWAY



COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT FOR WHICH THEY WERE PREPARED IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT FOR WHICH THEY WERE PREPARED IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PRAXIS ARCHITECTURE + DESIGN.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

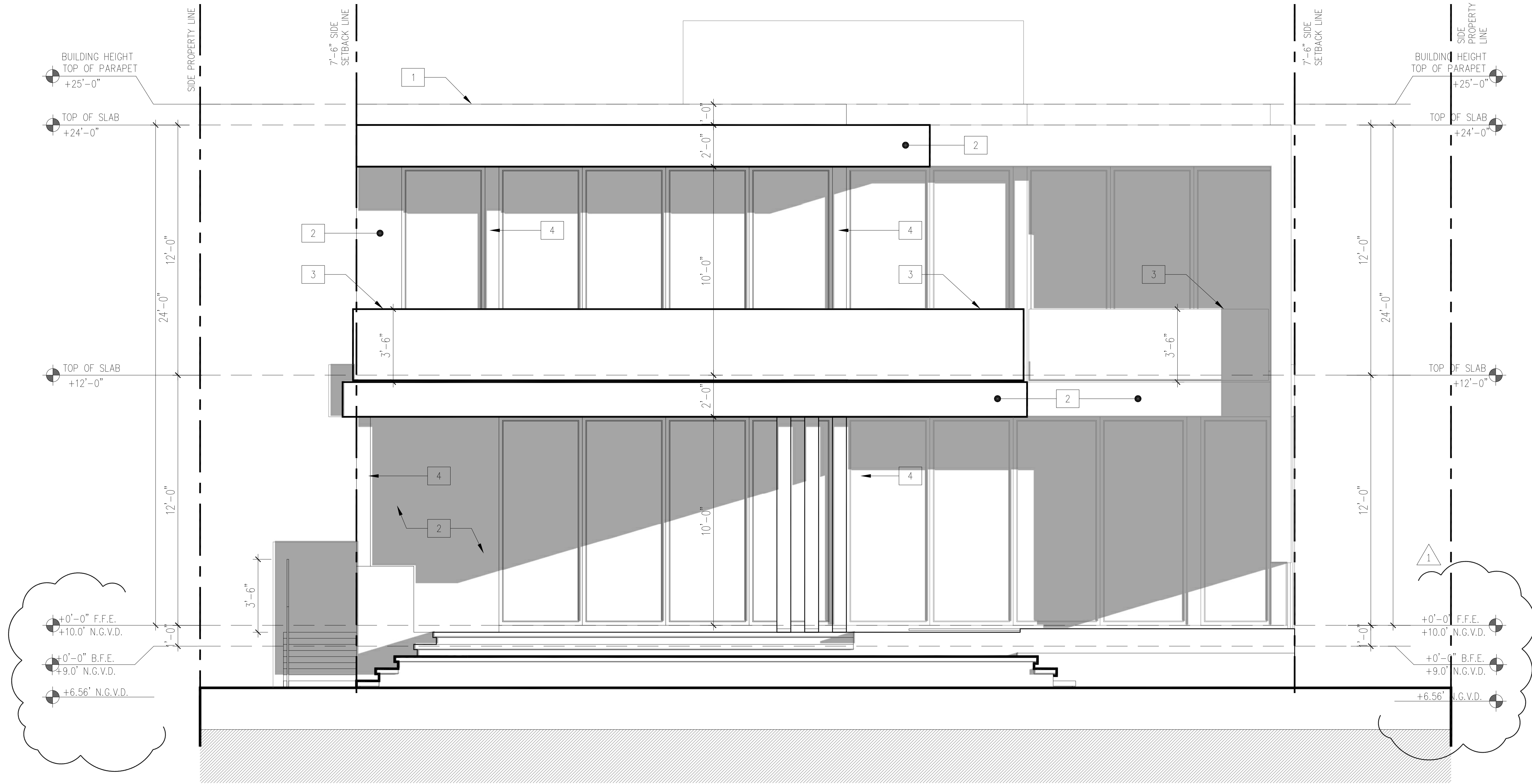
Project:
Client:

Drawing Title
ELEVATIONS

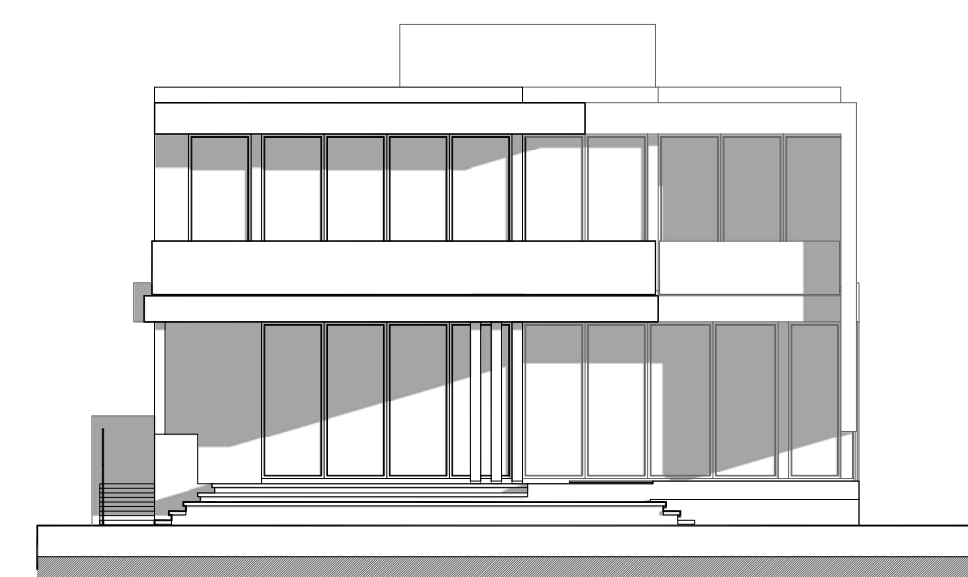
Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	

Scale: As Shown
Date 04-10-17

Dwg:
A-3.2



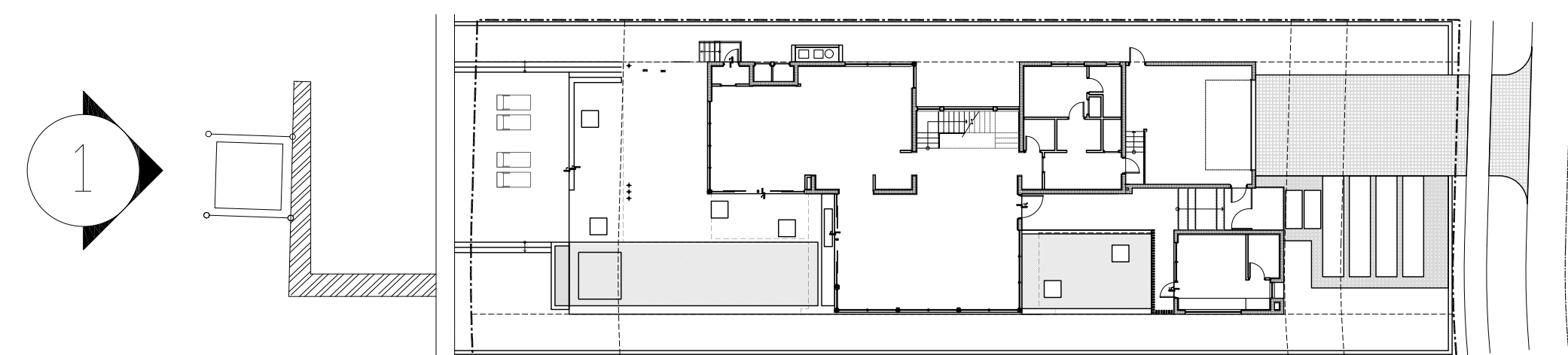
1 WEST ELEVATION
(REAR)
3/8"=1'-0"



ELEVATION KEYNOTES

- 12" ROOFTOP CURB (SEE ROOF PLAN)
- SMOOTH CEMENT STUCCO
- GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
- STEEL COLUMN
- PRECAST CONC. SCUPPER PROJECTING 4" FROM WALL-TYP.
- VENEER - TO BE SELECTED - PORCELAIN TILE OR STONE TILE
- GARAGE DOOR

WATERWAY



PRAXIS
ARCHITECTURE + DESIGN

JOSE L. SANCHEZ, AIA, LEED AP
278 NW 37TH ST
MIAMI, FL 33150
TEL: (305) 576-8063
FAX: (305) 576-5772
P.L. LEO AA 300000057
P.L. LEO 10448

COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THREE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS
OF SERVICE AND SHALL REMAIN THE PROPERTY OF
PRAXIS ARCHITECTURE + DESIGN. NO PART OF
THESE DRAWINGS OR DOCUMENTS SHALL BE REPRODUCED
OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE WRITTEN
CONSENT OF PRAXIS ARCHITECTURE + DESIGN. IT IS
UNDERSTOOD THAT THE ARCHITECT'S RESPONSIBILITY IS
TO VERIFY ALL SITE CONDITIONS PRIOR TO
PROCEEDING WITH WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

Project:

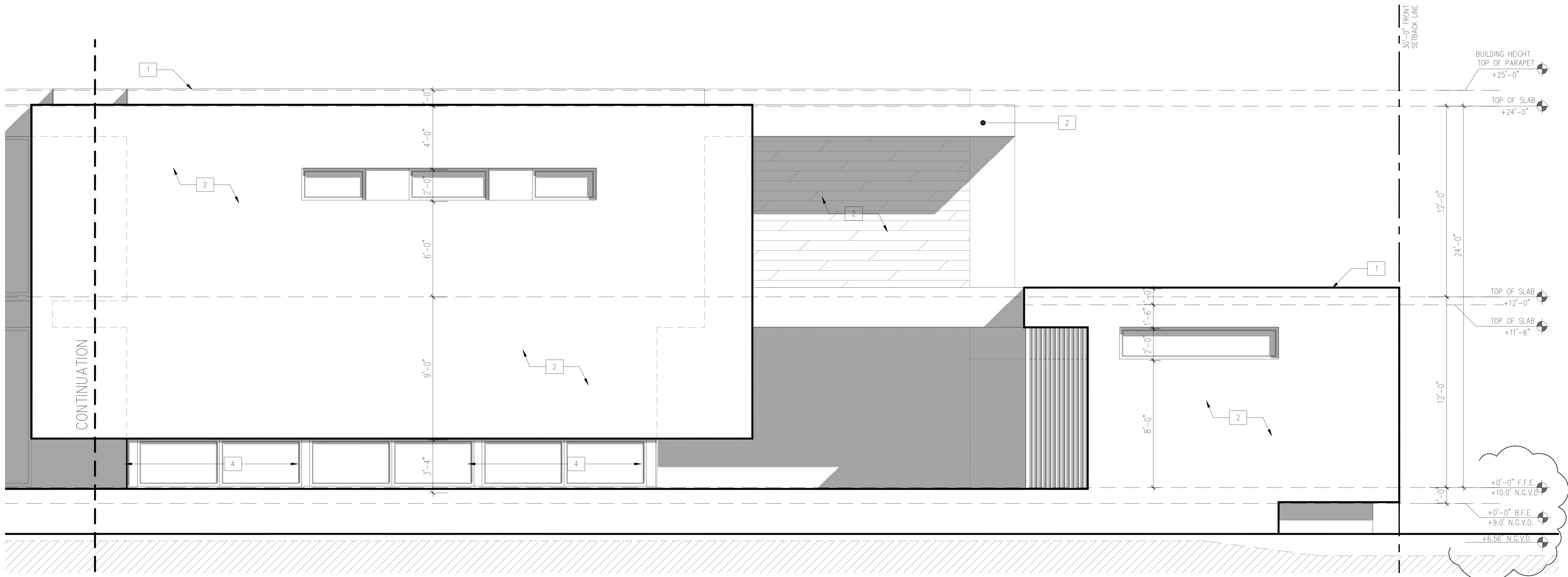
Client:

Drawing Title
ELEVATIONS

Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	

Scale: As Shown
Date 04-10-17

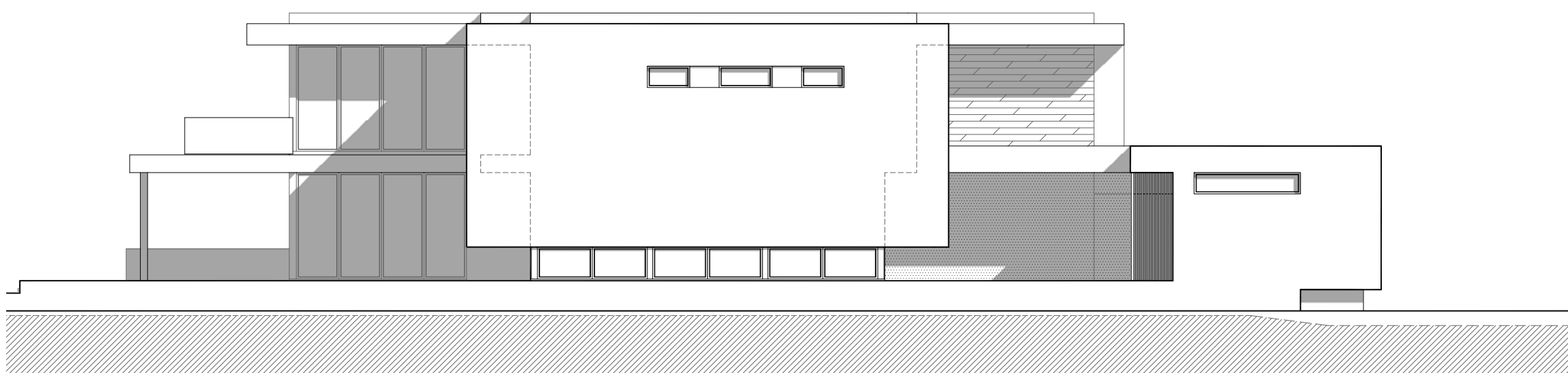
Dwg:
A-3.3



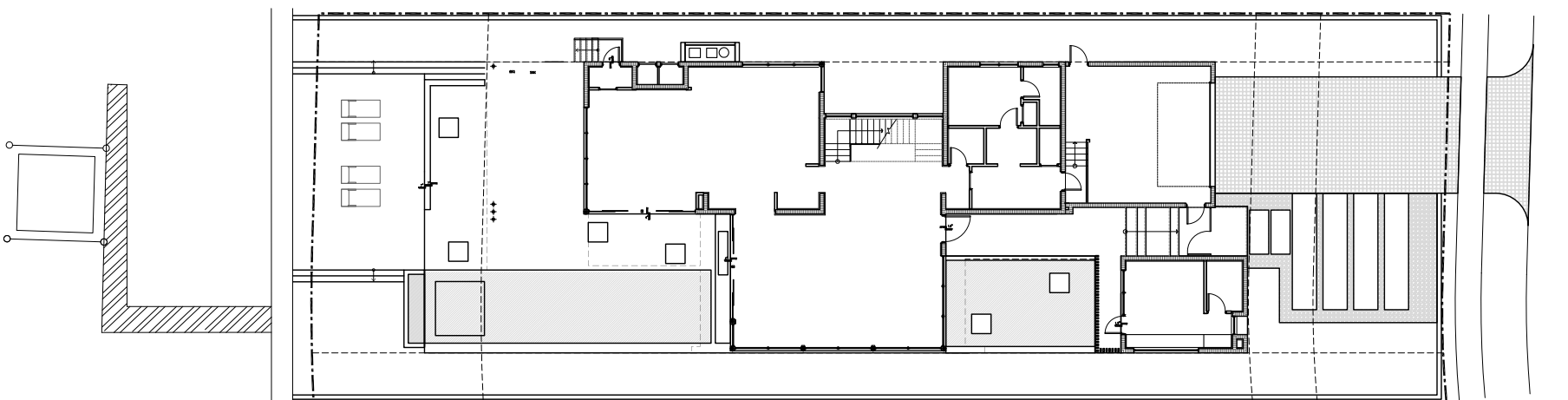
1 SOUTH ELEVATION
(SIDE)
3/8"=1'-0"

ELEVATION KEYNOTES

- 12" ROOFTOP CURB (SEE ROOF PLAN)
- SMOOTH CEMENT STUCCO
- GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
- STEEL COLUMN
- PRECAST CONC. SCUPPER PROJECTING 4" FROM WALL-TYP.
- VENEER - TO BE SELECTED - PORCELAIN TILE OR STONE TILE
- GARAGE DOOR



WATERWAY



1

COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT FOR WHICH THEY WERE PREPARED IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

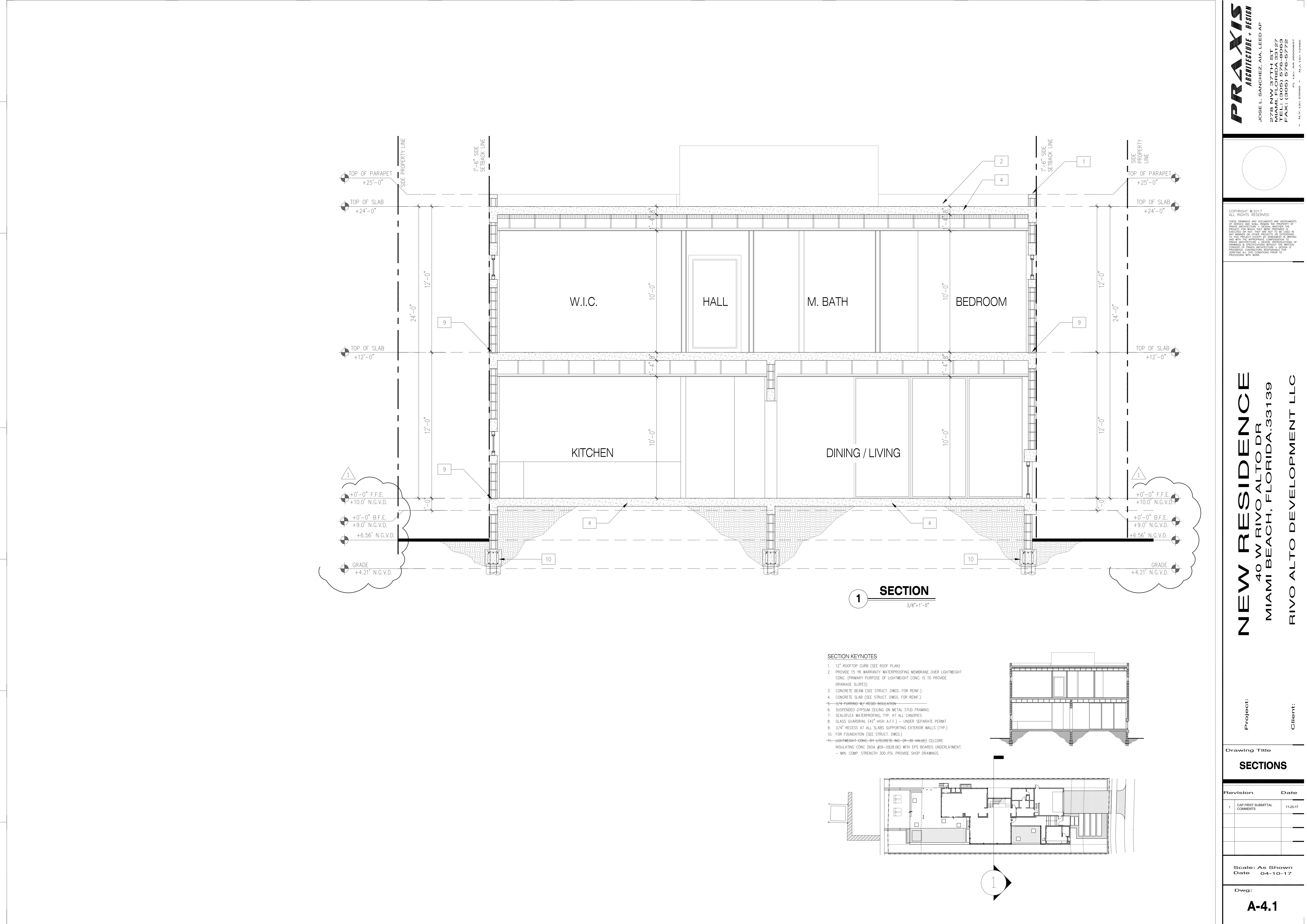
Project:
Client:

Drawing Title
ELEVATIONS

Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	

Scale: As Shown
Date 04-10-17

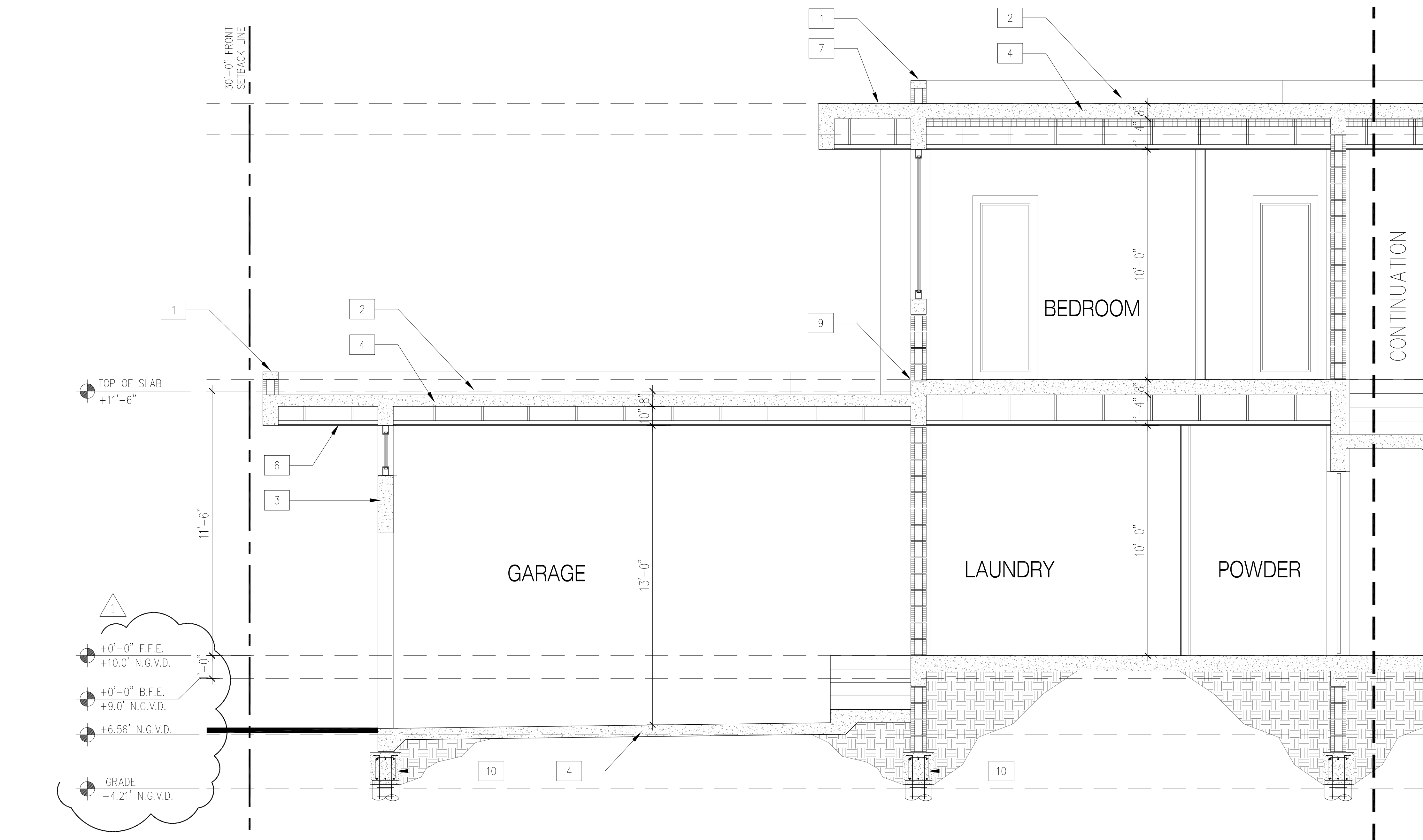
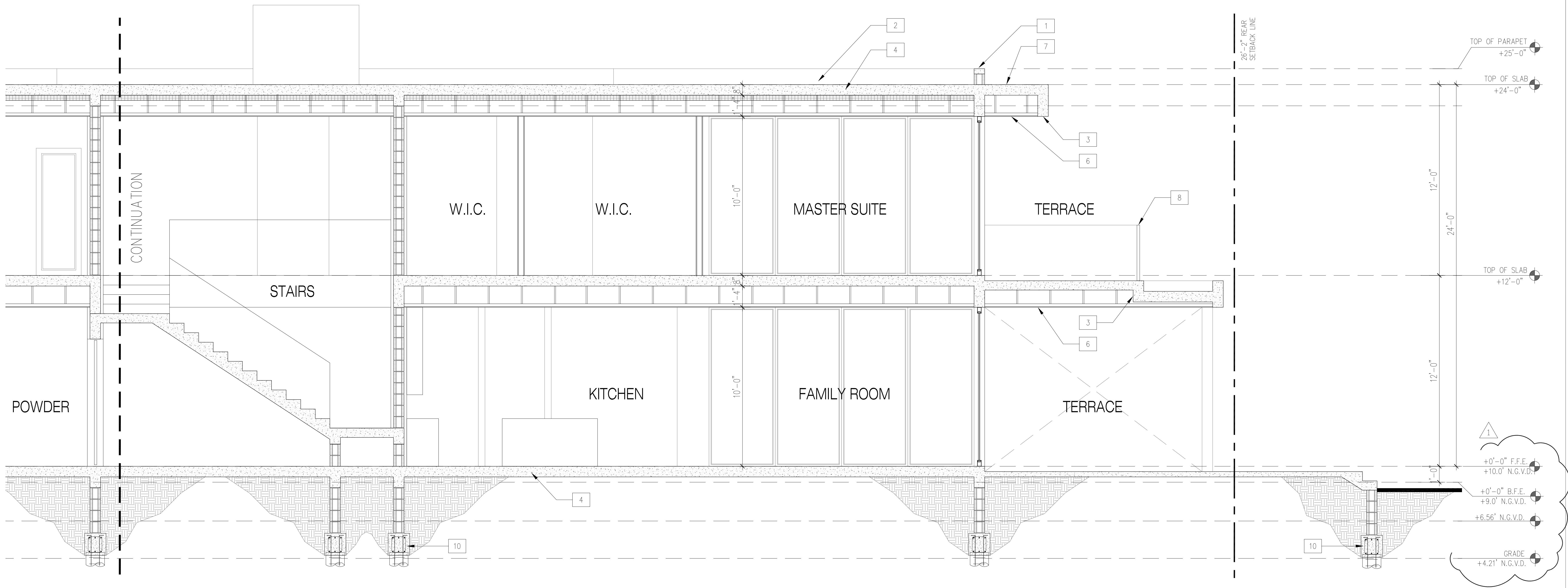
Dwg:
A-3.4



COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT FOR WHICH THEY WERE PREPARED IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PRAXIS ARCHITECTURE + DESIGN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF PRAXIS ARCHITECTURE + DESIGN IS PROHIBITED. CONSULTING ENGINEERS AND ARCHITECTS SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

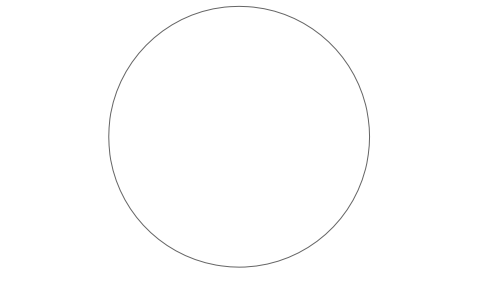
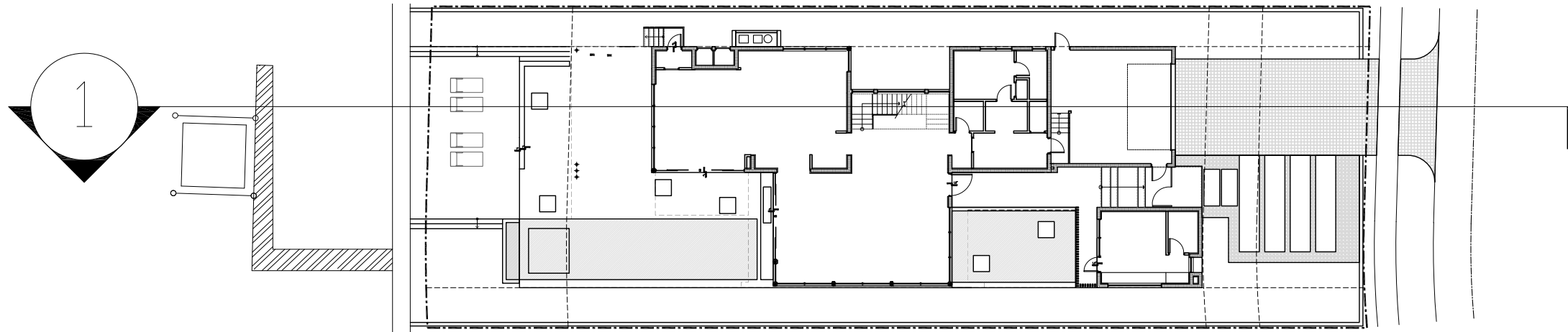
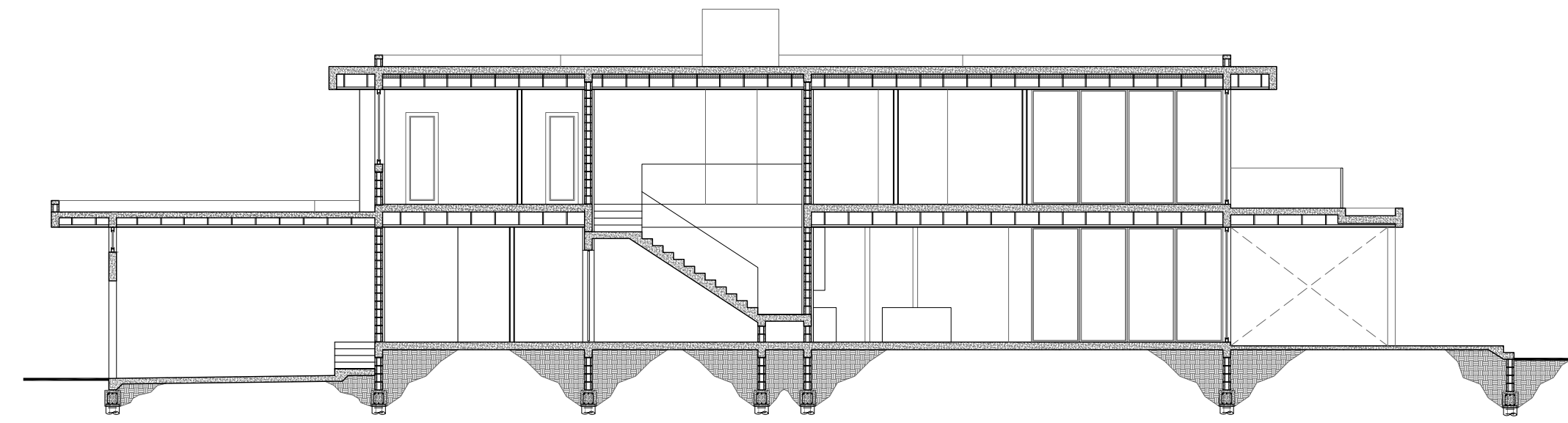
NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

Project:	
Client:	
Drawing Title	
SECTIONS	
Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	
Scale: As Shown	Date 04-10-17
Dwg:	
A-4.1	



1 SECTION
3/8"=1'-0"

- SECTION KEYNOTES**
- 12" ROOFTOP CURB (SEE ROOF PLAN)
 - PROVIDE 15 YR WARRANTY WATERPROOFING MEMBRANE OVER LIGHTWEIGHT CONC. (PRIMARY PURPOSE OF LIGHTWEIGHT CONC. IS TO PROVIDE DRAINAGE SLOPES)
 - CONCRETE BEAM (SEE STRUCT. DWGS. FOR REIN.)
 - CONCRETE SLAB (SEE STRUCT. DWGS. FOR REIN.)
 - 3/4" FURRING W/ RIGID INSULATION
 - SUSPENDED GYPSUM CEILING ON METAL STUD FRAMING
 - SEALOFLEX WATERPROOFING, TYP. AT ALL CANOPIES
 - GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
 - 3/4" RECESS AT ALL SLABS SUPPORTING EXTERIOR WALLS (TYP.)
 - FOR FOUNDATION (SEE STRUCT. DWGS.)
 - LIGHTWEIGHT CONC.-BY-LITEGRETTE-INC. (R-30 VALUE) CELL CORE INSULATING CONC (NOA #09-0928.06) WITH EPS BOARDS UNDERLAYMENT. - MIN. COMP. STRENGTH 300 PSI. PROVIDE SHOP DRAWINGS.



COPYRIGHT © 2017
ALL RIGHTS RESERVED.
THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THIS PROJECT FOR WHICH THEY WERE PREPARED IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN. NO PART OF THESE DRAWINGS OR DOCUMENTS IS TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF PRAXIS ARCHITECTURE + DESIGN. PRAXIS ARCHITECTURE + DESIGN SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR DOCUMENTS. THE USER OF THESE DRAWINGS OR DOCUMENTS SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

NEW RESIDENCE
40 W RIVO ALTO DR
MIAMI BEACH, FLORIDA.33139
RIVO ALTO DEVELOPMENT LLC

Project:
Client:

Drawing Title
SECTIONS

Revision	Date
1	11-20-17
CAP FIRST SUBMITTAL COMMENTS	

Scale: As Shown
Date 04-10-17

Dwg:
A-4.2