

THE SHORE CLUB

1901 Collins Ave - Miami, FL 33139

HOTEL REVISED SCOPE - HPB FINAL SUBMITTAL



Architect: ADD Inc | Isay Weinfeld
Developer: Shore Club Property Owner LLC
Landscape: Enea
HPB Submission - 17 March 2016

PROPOSED HOTEL (BUILDING C & D) REVISED SCOPE:

The following sheets have been revised with proposed new scope and layout for the Hotel Building C and Building D. Previously approved sheets marked with “R” have been included for reference only. Scope changes have been noted or clouded on revised sheets.

- A-1: Boundary Location and Topographic Survey S-1

A-2: Location Site Plan, Zoning Data, and Guest Room Matrix

A-3: Surrounding Site Photographs - Reference

A-4: Surrounding Site Photographs - Reference

A-5: Surrounding Site Photographs - Reference

A-6: Surrounding Site Photographs - Reference
- B-1: Proposed Site Plan
- D-3: Currently Approved/ Revised Proposed Ground Level Floor Plan - West

D-3a: Existing Ground Level Floor Demo Plan

D-3b: Ground Level Column Location Diagram - Enlarged Plan

F-1: Existing and Proposed Shore Club Lobby Enlarged Plan

F-1a: Proposed Shore Club Lobby / Drop Off - Enlarged Plan

F-3a: Proposed Lobby Interior Elevations

F-3b: Proposed Lobby Interior Elevations / Wall Detail

B-3: Perspective View of Shore Club Lobby
- D-4: Currently Approved/ Revised Proposed Ground Level Floor Plan - East

D-4a: Existing Ground Level Floor Demo Plan

D-5: Currently Approved/ Revised Proposed Second Level Floor Plan - West

D-5a: Existing Second Level Floor Demo Plan - West

D-6: Currently Approved/ Revised Proposed Third Level Floor Plan - West

D-6a: Existing Third Level Floor Demo Plan - West

D-7: Currently Approved/ Revised Proposed Fourth Level Floor Plan - West

D-7a: Existing Fourth Level Floor Demo Plan - West

D-8: Approved/Revised Proposed Second Level Floor Plan - East

D-8a: Existing Second Level Floor Demo Plan - East

D-9: Approved/Revised Proposed Third Level Floor Plan - East

D-9a: Existing Third Level Floor Demo Plan - East

D-10: Approved/Revised Proposed Fourth through Eighth Level Floor Plan - East

D-10a: Existing Fourth through Eighth Level Floor Demo Plan - East

D-11: Approved/Revised Proposed NinthLevel Floor Plan - East

D-11a: Existing Ninth Level Floor Demo Plan - East
- E-1: Proposed Overall East Elevation

E-2: Existing/ Revised Proposed North Elevations

E-4: Existing Overall South Courtyard Elevation

E-5: Revised Proposed Overall South Courtyard Elevation

E-6: Existing Overall South Elevation

E-7: Proposed Overall South Elevation
- F-16B: South Enlarged Restaurant and Interior Elevation from Isay

F-16D: Proposed & Existing Overall Bldg Section

F-16E: Proposed & Existing Wall Sections

- G-1: Enlarge Existing Shore Club Demolition Ground Level Floor Plan

G-2: Enlarge Existing Shore Club Demolition Ground Level Floor Plan

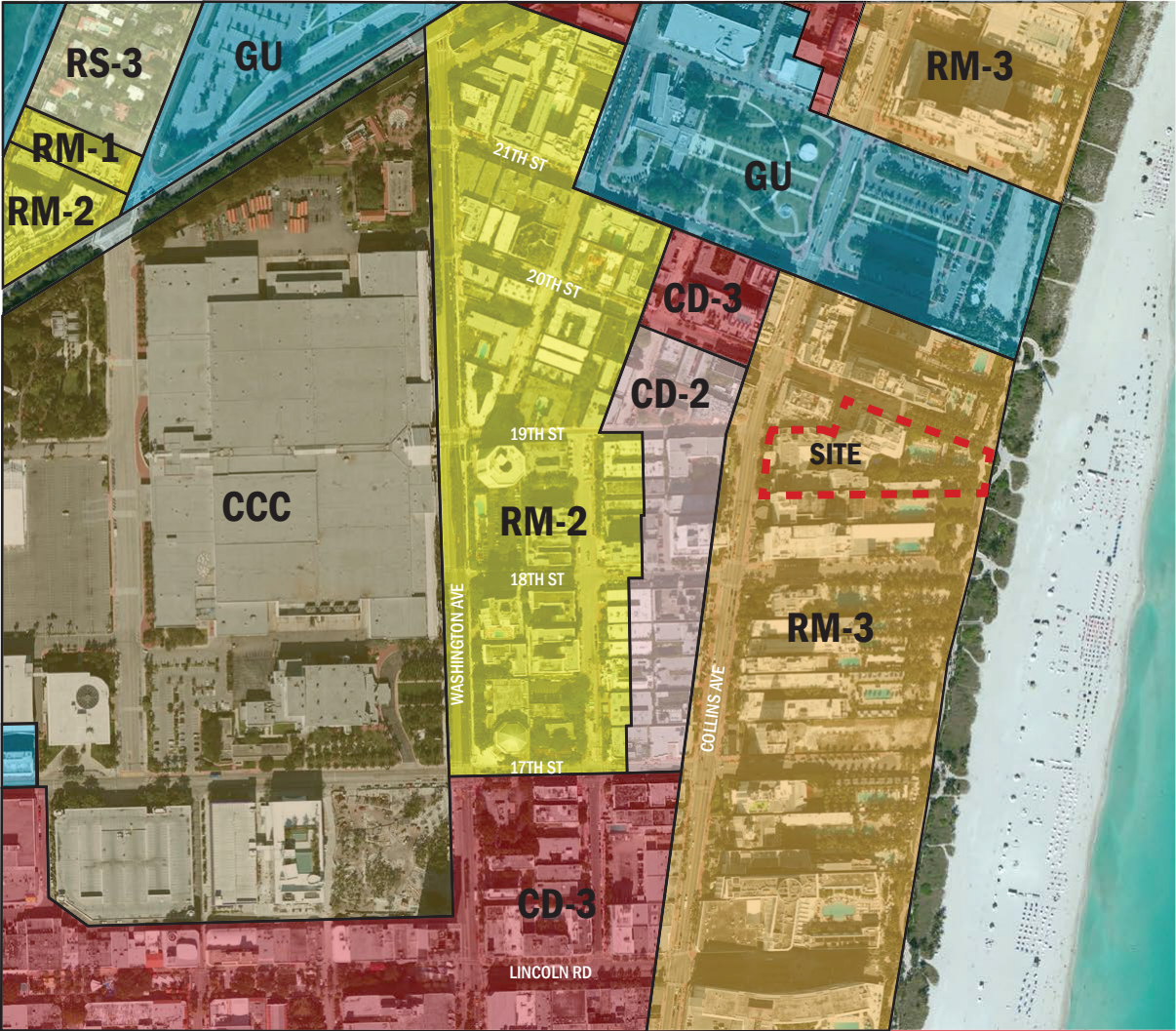
G-3: Enlarge Existing Shore Club Demolition Second Level Floor Plan

G-4: Enlarge Existing Shore Club Demolition Third Level Floor Plan

G-5: Enlarge Existing Shore Club Demolition Fourth Level Floor Plan
- L-5a: Understory Planting Plan Enlargement

ZONING INFORMATION				
1	Address:		1901 Collins Avenue	
2	Board and file number:			
3	Folio Number:			
4	Year Constructed:	Shore Club Bldg - 1941 Bldg - 1939 Renovations - 1998	Sharalton Central Tower	Zoning District: RM-3 (Ocean Drive/Collins Avenue Historic District)
5	Base Flood Elevation:	Required BFE = EL +8' (Zone AE-8)	Grade value in NGVD:	EL +6' Average
6	Adjusted grade (Flood+Grade/2):	EL +7"	Lot Area:	125,604 sq ft
7	Lot Width:	200' (Based on lot frontage along Collins Avenue)	Lot Depth:	645'
8	Minimum Unit Size:	Hotel - 290 sq ft Residential - 697 sq ft	Average Unit Size:	Hotel - 370 sq ft Residential - 1,400 sq ft
9	Existing Use:	Hotel	Proposed Use:	Hotel & Residential
		MAXIMUM	EXISTING	PROPOSED
10	Height:	New Construction - 120' Ground Floor Additions - 50' Cabanas - 25'	Existing Main Bldg Complex - 202' - 2 1/2"	Existing Main Bldg Complex - 202' - 2 1/2" Amenities Bldg - 50' New Cabanas - 25'
11	Number of Stories:	New Construction - 13 stories Ground Floor Additions - 5 stories	Existing Main Bldg Complex - 22 stories	Existing Main Bldg Complex - 22 stories New Amenity Bldg - 5 stories New Cabanas - 2 stories
12	FAR:	376,812 sq ft (125,604 lot size x 3.0 allowed FAR)	282,472.22 sq ft	354,406.38 sq ft
13	Gross Square Footage:	N/A	288,600.07 sq ft	362,997.97 sq ft
14	Square Footage By Use:		Hotel Units - 149,211.95 sq ft Corridors - 30,831.40 sq ft Vertical Circulation - 34,355.27 sq ft Common - 48,746.50 sq ft Lobby - 6,389.90 sq ft Balconies (FAR) - 12,937.20 sq ft Balconies (Non FAR) - 6,127.85 sq ft	Hotel/Resid Units - 179,275.20 sq ft Corridors - 27,695.14 sq ft Vertical Circulation - 36,741.60 sq ft Common - 60,393.33 sq ft Lobby - 9,906.70 sq ft Balconies (FAR) - 40,078.01 sq ft Balconies (Non FAR) - 8,537.59 sq ft
15	Number of Units Residential:	Maximum residential density is 150 units per acre. The Property has an area of 2.88 acres. Accordingly, a maximum of 432 units may be constructed on the Property.	0 Units	89 Units
16	Number of Units Hotel:	N/A	307 Units	106 Units
17	Number of Seats:		Terraza Restaurant - 230 seats Nobu - 140 restaurant seats & 131 occupant load for nightclub Red Bar - 144 occupant load	Sharalton Restaurant (Bldg A) - 130 seats *Central Tower Restaurant (Bldg B) - 102 seats Shore Club Restaurant (Bldg C) - 98 seats Shore Club South Bar/Lounge (Bldg C) - 46 seats (*Only Central Tower restaurant is located outside of a hisotric bldg footprint and will require parking. Refer to parking breakdown on sheet A-2)
18	Occupancy Load:			
		REQUIRED	EXISTING	PROPOSED
19	Subterranean:			
20	Front Setback:	20'	73'-10"	73'-10"
20	Side North Setback:	10' (Lot Width 200' x 5%)	0" (Building Along Side Street) 4'-10" (Building Along Side Interior)	4'-7" (Building Along Side Street) 4'-10" (Building Along Side Interior)
21	Side South Setback:	10' (Lot Width 200' x 5%)	32'-6"	32'-6"
22	Rear Setback:	50' from bulkhead line	233'-3" from Property Line (199'-0" from Bulkhead)	233'-3" from Property Line (199'-0" from Bulkhead)
At Grade Parking:				
23	Front Setback:	20'	N/A	N/A
24	Side North Setback:	10' (Lot Width 200' x 5%)	N/A	N/A
25	Side South Setback:	10' (Lot Width 200' x 5%)	N/A	N/A
26	Rear Setback:	50' from bulkhead line	N/A	N/A
Pedestal:				
27	Front Setback:	20'	30'-10" (Building), 0' (Porte Cochere)	30'-10" (Building), 0' (Porte Cochere)
28	Side North Setback:	16' (Lot Width 200' x 8%)	0' (Building Along Side Street) 4'-10" (Building Along Side Interior)	27'-7" (Building Along Side Street) 22'-5" (Balcony Along Side Street) 0' (Porte Cochere Along Side Street) 4'-10" (Building Along Side Interior)
29	Side South Setback:	16' (Lot Width 200' x 8%)	4'-11" (Building), 2'-8" (Balcony)	4'-11" (Building), 2'-8" (Balcony)
30	Rear Setback:	129' (Lot Depth 645' x 20%)	264'-8" (Building)	264'-8" (Building), 259'-8" (Balcony)
Tower:				
31	Front Setback:	70'	188'-8"	188'-8"
32	Side North Setback:	16' (Along Side Street - 16% of lot width) 31' (Along Side Interior - 16' pedestal+152')	27'-7" (Building Along Side Street) 10'-9" (Building Along Side Interior)	27'-7" (Building Along Side Street) 22'-5" (Balcony Along Side Street) 10'-9" (Building Along Side Interior)
33	Side South Setback:	31' (16' pedestal setback+ 152')	4'-11" (Building)	4'-11" (Building)
34	Rear Setback:	161.25' (Lot Depth 645' x 25%)	264'-8" (Building)	264'-8" (Building), 259'-8" (Balcony)
Cabanas:				
35	Front Setback:	N/A	N/A	N/A
36	Side North Setback:	5'	N/A	5'
37	Side South Setback:	5'	7'-4"	5'
38	Rear Setback:	64.5' (Lot Depth 645' x 10%)	113'-3"	106'-5"
		REQUIRED	EXISTING	PROPOSED
39	Parking District	No. 1	No. 1	No. 1
40	Total # of Parking	Refer to Parking Calculation Table on Sheet A-3. Total required are 109 spaces with 34 of those spaces being eligible for impact fees once credits are applied.	28 spaces	Existing 28 spaces t o be relocated. No additional parking to be provided on site.
41	# of parking spaces per use	Refer to Parking Calculation Table on Sheet A-3 for breadkown of required parking per use.		
42	# of parking spaces per level	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A
44	Parking Space Configuration	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A
47	Drive Aisle Width	N/A	N/A	N/A
48	Valet Drop Off and pick up	Yes	Yes	Yes
49	Loading zones and Trash collection Areas	Yes	Shared easment loading alley with property to west	Shared easment loading alley with property to west
50	Racks	N/A	N/A	N/A
47	Is this a contributing building?	Refer to site plans. Bldgs A (Sharalton), C (Shore Club) and D (South Tower) are historic bldgs. All other buildings (B, E, F & G) are not historic buildings.		
48	Located within a Local Historic District?	Yes		

LOCATION SITE PLAN AND ZONING DATA



Location Site Plan/ Existing Zoning Designations
NO SCALE

- RM-1 : Residential multifamily, low intensity.
- RM-2 : Residential multifamily, medium intensity.
- RM-3 : Residential multifamily, high intensity.
- CD-2 : Commercial, medium intensity.

- CD-3 : Commercial, high intensity.
- GU : Government use.
- RS-3 : Single-family residential.
- CCC : Convention center district.

1901 Collins Ave Unit Count	HISTORIC SHORE CLUB			
	SHORE CLUB			
	UNIT COUNT	< 300 SF	300 - 335 SF	> 335 SF
	107	15	31	61
	100%	14.0%	29.0%	57.0%

ALL SCOPE CHANGES PROPOSED AS PART OF THIS APPLICATION ARE SUMMARIZED IN RED BELOW ON A PER AREA BASIS.

PROPOSED SITE PLAN

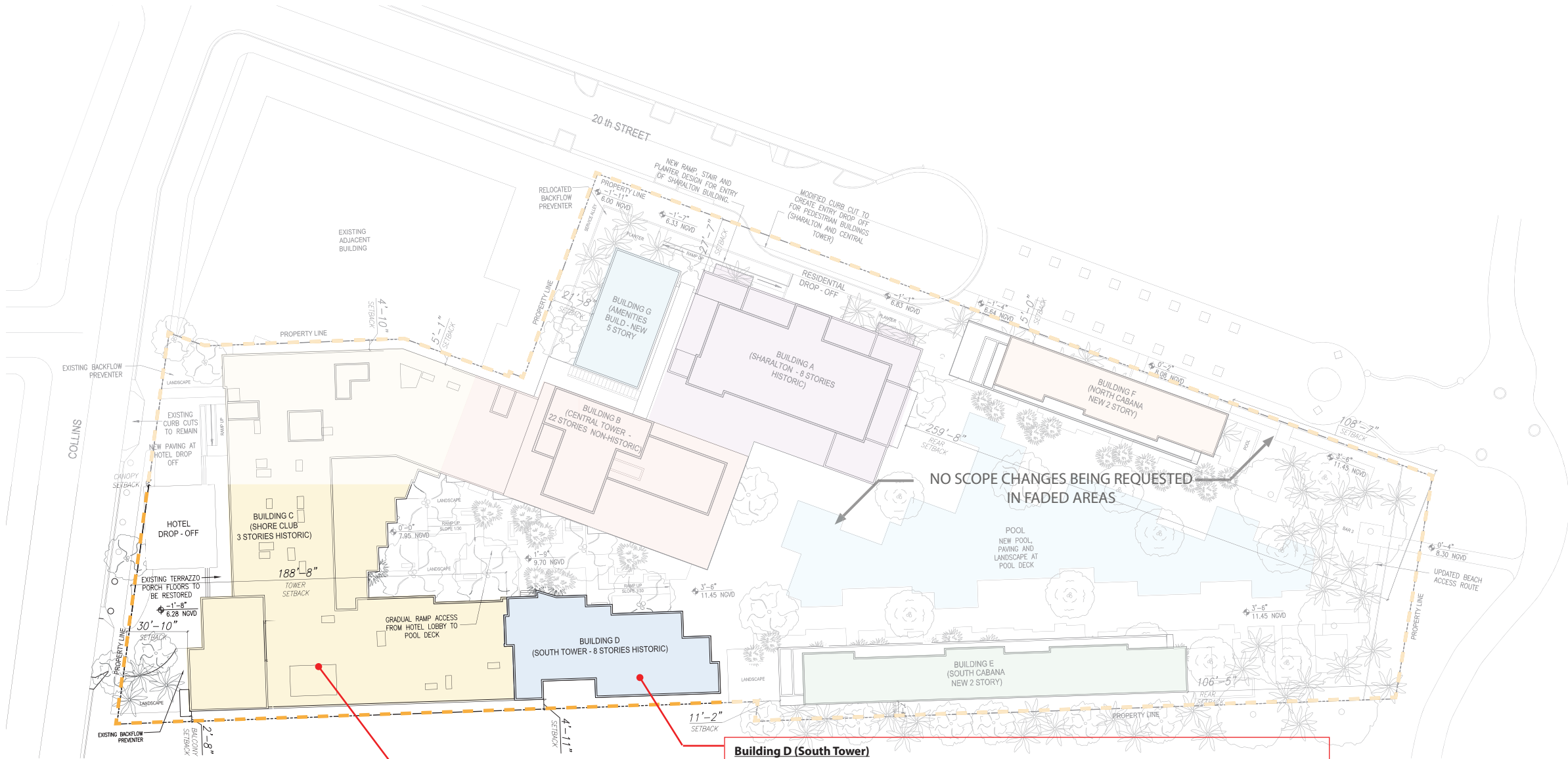
THE SHORE CLUB
1901 COLLINS AVE - MIAMI, FL

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HPB
04-14-2015
REV.
04-20-2015
06-05-2015
10-19-2015
03-17-2016

B-1



NO SCOPE CHANGES BEING REQUESTED
IN FADED AREAS

Building D (South Tower)

2. **Shift Location of Existing East Stair:** The existing east stair of Bldg D is being proposed to shift north approximately 7' on all levels. This change will allow for an updated egress stair.

Building C South Side (Shore Club)

1. **South Section Facing Lobby to be programmed with Bar/Lounge:** The existing south section of the lobby is currently used as office/storage rooms and has a floor elevation that is 5' higher than the historic lobby. The intent of the proposed design is to lower the floor elevation to allow for a better integration and flow of the existing lobby with the new programed lounge/bar and restaurant spaces of the hotel, as well as provide the ceiling height needed for this type of use, these changes will help activate the current historic lobby. The design of the proposed bar/lounge includes a new curved wall that is partially open and inspired by the existing north section of the historic lobby, the curve wall also encloses existing columns just south of the historic lobby that have been retained. Due to demolition of the elevator and stairs, the second and third floor structures, including the roof area within the limits noted will be replaced with a new structure, this will also allow for new mechanical equipment to be placed on the new roof structure since the existing wood framing will not support the loads of new mechanical equipment.



Revised Proposed Site Plan & Scope Diagram

SCALE: 1/32" = 1'-0"



PROJECT #: 14028.00