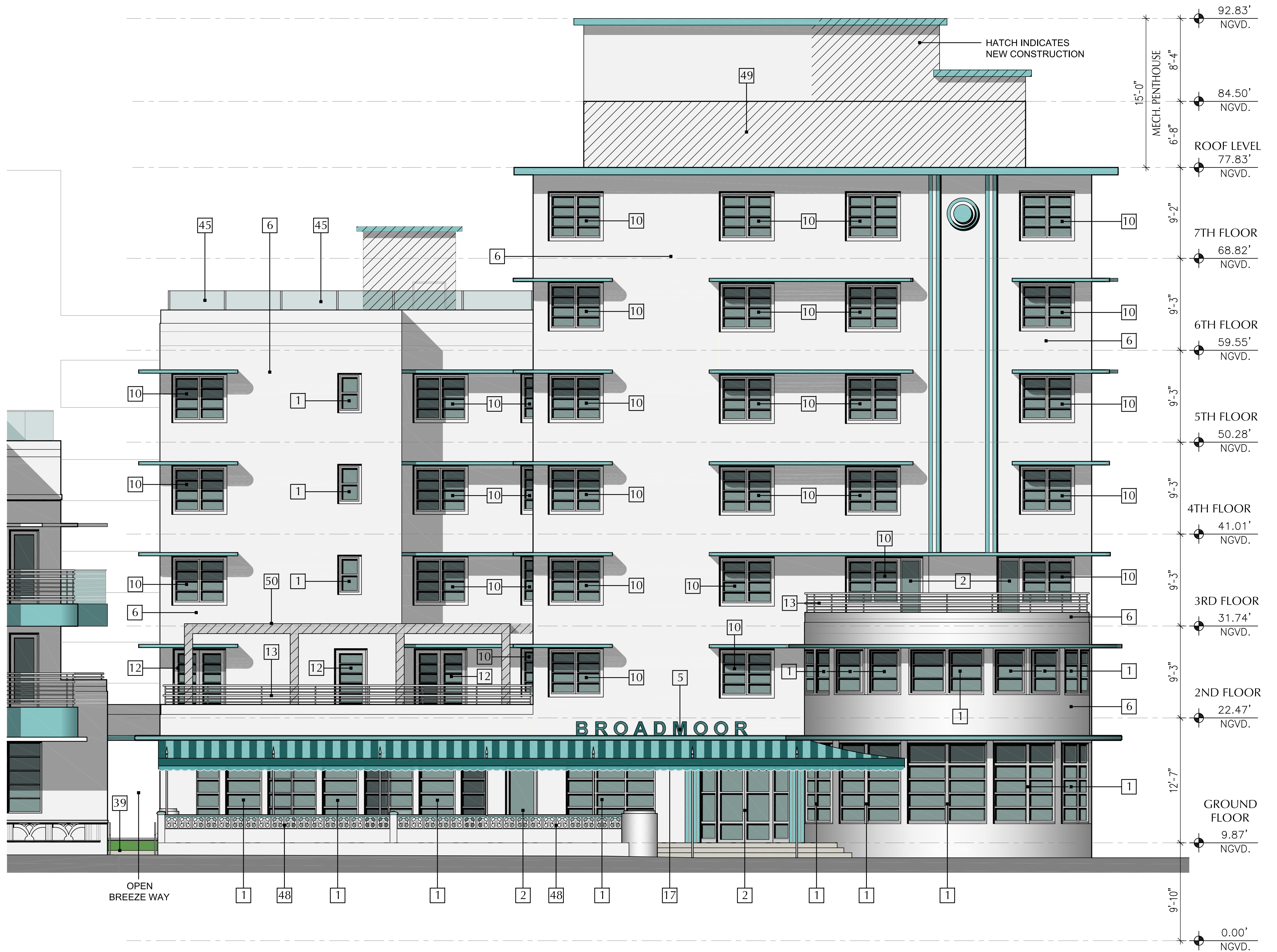


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7450 OCEAN TERRACE PROPOSED EAST ELEVATION

SCALE: 3/16" = 1' - 0"

RESTORATION NOTE: GRAPHIC DEPICTION OF BUILDING COLORS ARE NOT THE FINAL SELECTION.
FINAL BUILDING COLORS WILL BE SELECTED IN CONJUNCTION WITH PLANNING STAFF AND APPROVED ADMINISTRATIVELY.

- PROPOSED ELEVATION KEYNOTES
- 1 NEW IMPACT RESISTANT FIXED WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 2 NEW IMPACT RESISTANT STOREFRONT DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 3 RE-BUILD EXTERIOR WALL TO MATCH HISTORICAL CONFIGURATION
 - 4 RESTORE OR RE-CONSTRUCT HISTORICAL GLASS BLOCK
 - 5 NEW SIGN TO MATCH HISTORICAL LOCATION
 - 6 REPAIR AND RE-PAINT EXISTING STUCCO FINISH
 - 7 RE-BUILD FASCIA WITH NEW BRICKS TO MATCH HISTORICAL SIZE AND PATTERN
 - 8 RE-BUILD HISTORICAL STEPS AND DECK
 - 9 REPAIR EXISTING HISTORICAL ALUMINUM FASCIA
 - 10 NEW IMPACT RESISTANT CASEMENT WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 11 NEW IMPACT RESISTANT STOREFRONT WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 12 NEW IMPACT RESISTANT FRENCH DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 13 NEW ALUMINUM RAILING TO MATCH HISTORICAL CONFIGURATION
 - 14 REPAIR / REPLACE HISTORICAL STONE FASCIA
 - 15 NEW PLANTER WITH STUCCO FINISH IN HISTORICAL CONFIGURATION
 - 16 RESTORE OR REPRODUCE HISTORIC TERRAZZO FLOORING
 - 17 NEW CANVAS CANOPY TO MATCH HISTORICAL CONFIGURATION
 - 18 NEW 3' HIGH LOW WALL AND PLANTER WITH STUCCO FINISH
 - 19 NEW WALL WITH STUCCO FINISH TO MATCH EXISTING
 - 20 NEW NON-OPERABLE ALUMINUM DOOR WITH SPANDREL GLASS
 - 21 NEW IMPACT RESISTANT FIXED WINDOW WITH SPANDREL GLASS AND ANODIZED ALUMINUM FRAMING
 - 22 EXISTING BEAM WITH NEW STUCCO FINISH TO MATCH EXISTING
 - 23 NEW RE-BUILT BALCONY WITH STUCCO FINISH TO MATCH SOUTH BALCONY IN HEIGHT AND CONFIGURATION
 - 24 EXISTING STRUCTURAL COLUMN TO REMAIN
 - 25 NEW BALCONY BEYOND
 - 26 NEW CONCRETE EYEBROW BEYOND TO MATCH EXISTING
 - 27 REMOVE PAINT AND RESTORE EXISTING BRICK FASCIA
 - 28 NEW IMPACT RESISTANT SINGLE LEAF CASEMENT WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 29 NEW CANVAS AWNING
 - 30 NEW SCORED STUCCO FASCIA
 - 31 NEW SIGN LOCATION
 - 32 REPAIR EXISTING TRIM MOLDING AND RE-BUILD ANY MISSING SECTIONS
 - 33 NEW CMU KNEE-WALL WITH STUCCO FINISH
 - 34 RECESSED ENTRANCE
 - 35 REPAIR EXISTING EYE-BROW AND RE-BUILD IF NECESSARY
 - 36 EXISTING STRUCTURAL COLUMNS TO REMAIN
 - 37 NEW STUCCO FINISH
 - 38 NEW WALL MOUNTED LIGHT FIXTURE
 - 39 NEW ACCESSIBLE RAMP
 - 40 NEW IMPACT RESISTANT METAL DOOR
 - 41 FILL-IN EXISTING OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT
 - 42 NEW CMU EXTERIOR WALL WITH STUCCO FINISH
 - 43 NEW CONCRETE EYEBROW TO MATCH HISTORICAL CONFIGURATION
 - 44 NEW IMPACT RESISTANT CLEAR GLASS GUARDRAIL
 - 45 NEW IMPACT RESISTANT CLEAR GLASS WINDBREAKER ON ALUMINUM FRAME
 - 46 NEW CLEAR GLASS AND ALUMINUM FRAME ELEVATOR TOWER
 - 47 EXTEND EXISTING EYEBROW MATCHING EXISTING PROFILE
 - 48 REPAIR EXISTING HISTORICAL GUARD RAIL AND RE-BUILD IF NECESSARY
 - 49 NEW MECHANICAL SCREEN WALL WITH STUCCO FIN. TO MATCH EXISTING
 - 50 NEW ALUMINUM PERGOLA WITH RETRACTABLE FABRIC ABOVE

OCEAN TERRACE
7400 Ocean Terrace
Miami Beach, FL 33141

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Date
11/10/2017

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7450 OCEAN
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PROPOSED-EAST
HP-107

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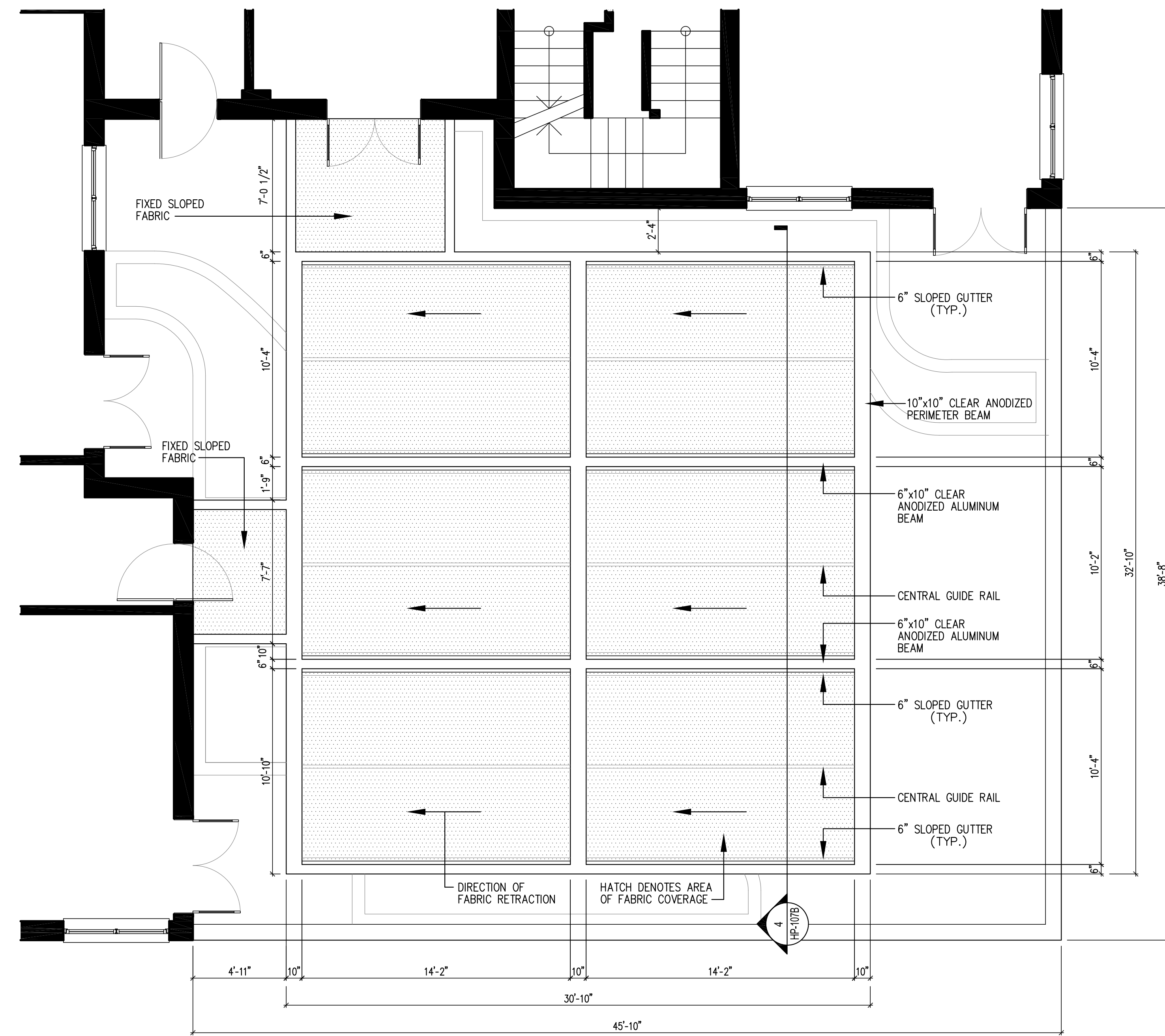
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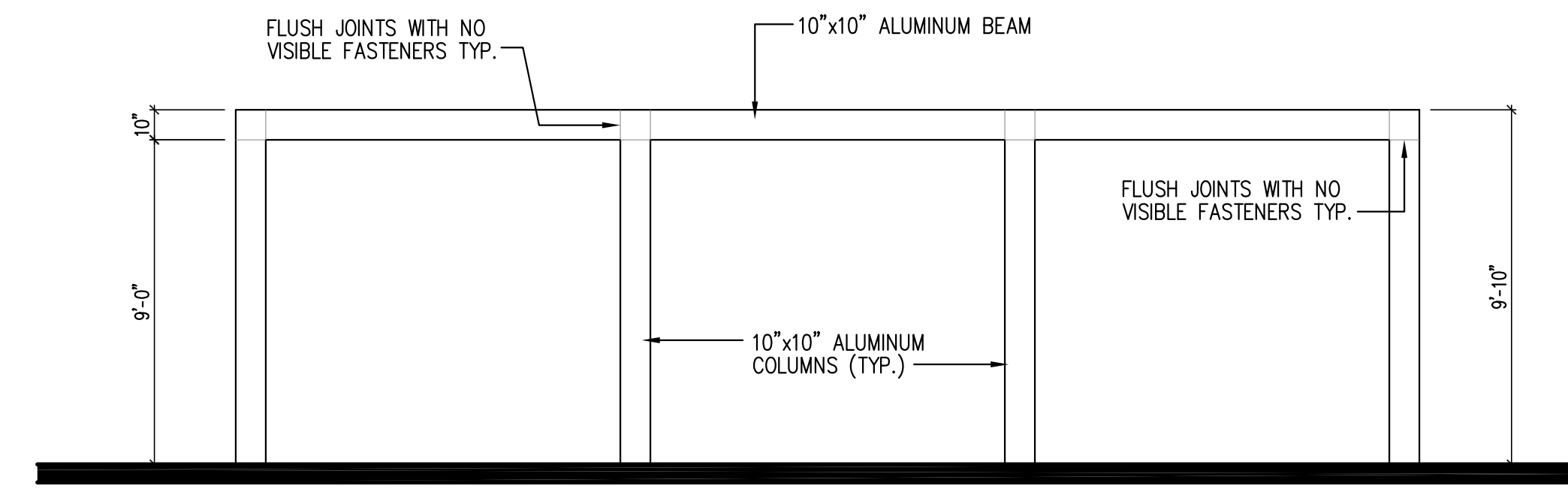
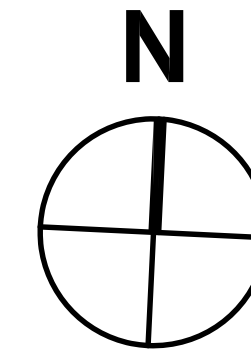
**7450 OCEAN
TERRACE PROPOSED
PERGOLA**

HP-108



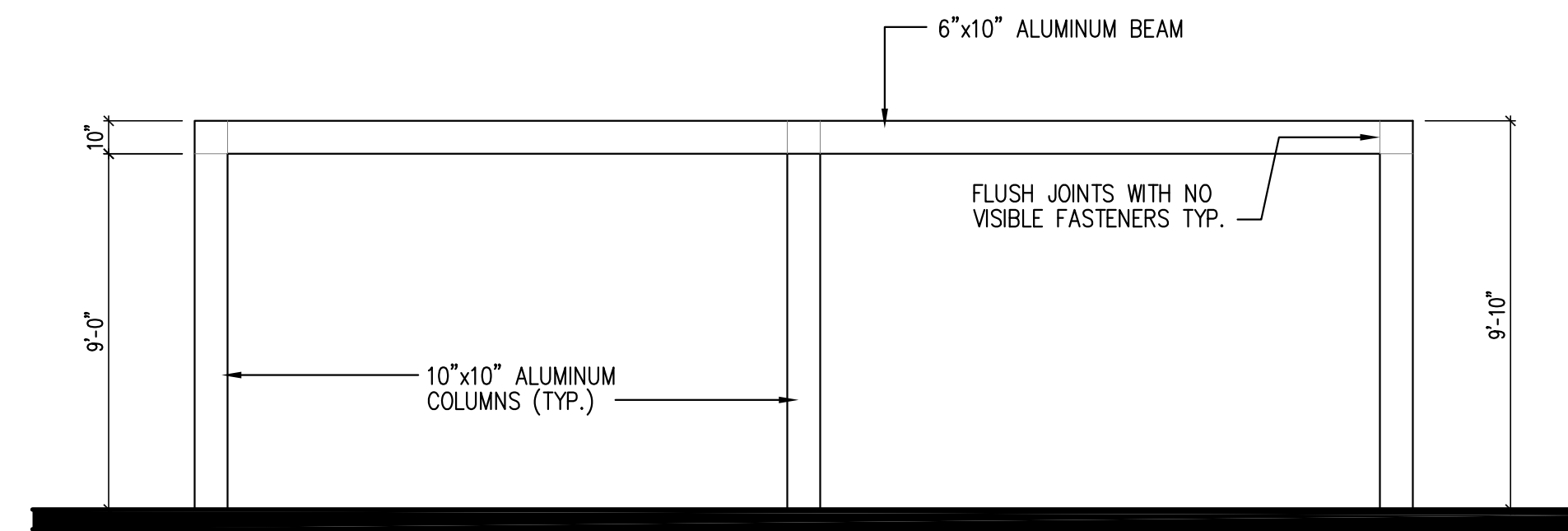
1 7450 OCEAN TERRACE SECOND FLOOR PERGOLA PLAN

SCALE: 1/4" = 1' - 0"



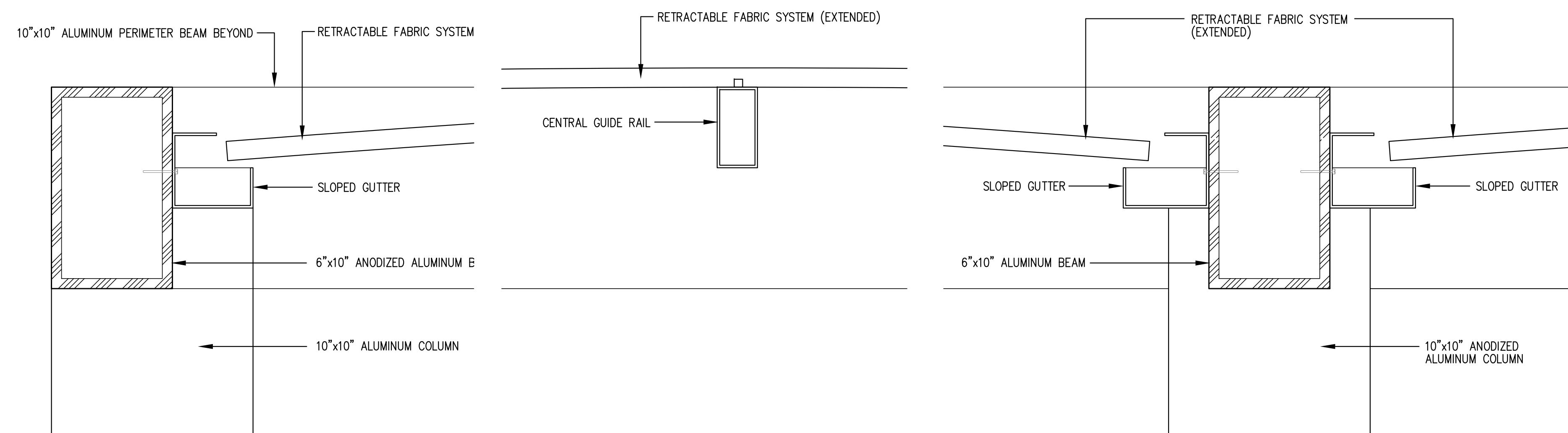
2 PERGOLA EAST ELEVATION

SCALE: 1/4" = 1' - 0"



3 PERGOLA SOUTH ELEVATION

SCALE: $1/4" = 1' - 0"$



5 PERGOLA DETAIL
SCALE: 3" = 1' - 0"

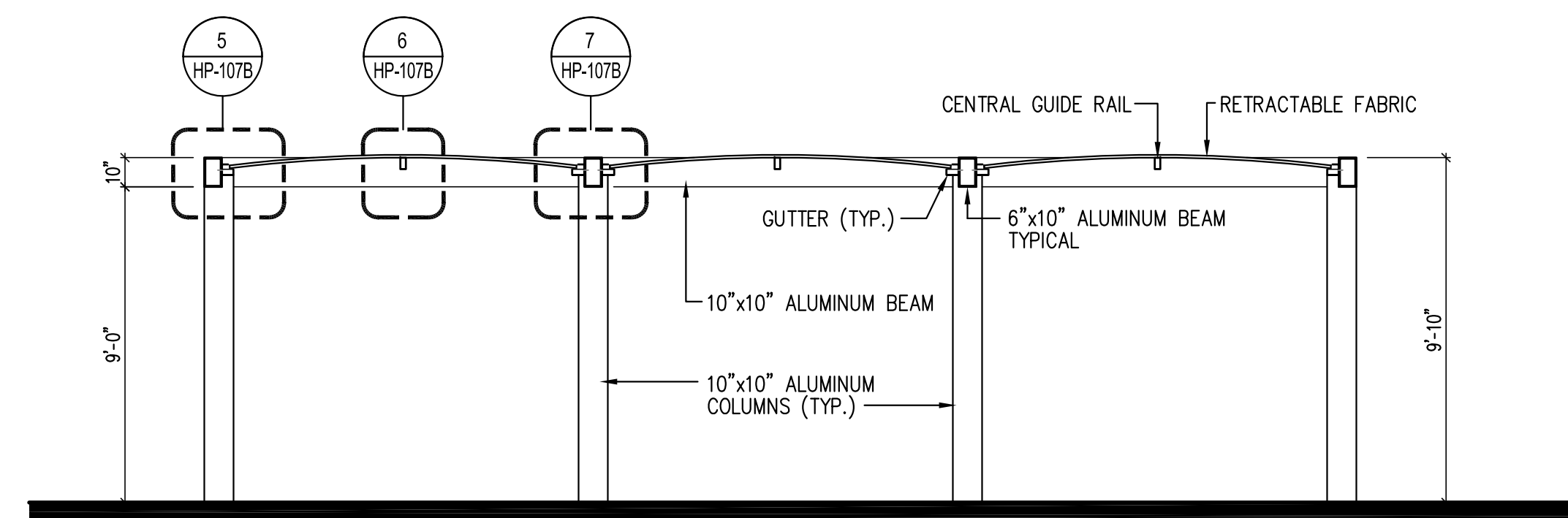
SCALE: 3" = 1' - 0"

6 PERGOLA DETAIL
SCALE: 3" = 1' - 0"

SCALE: 3" = 1' - 0'

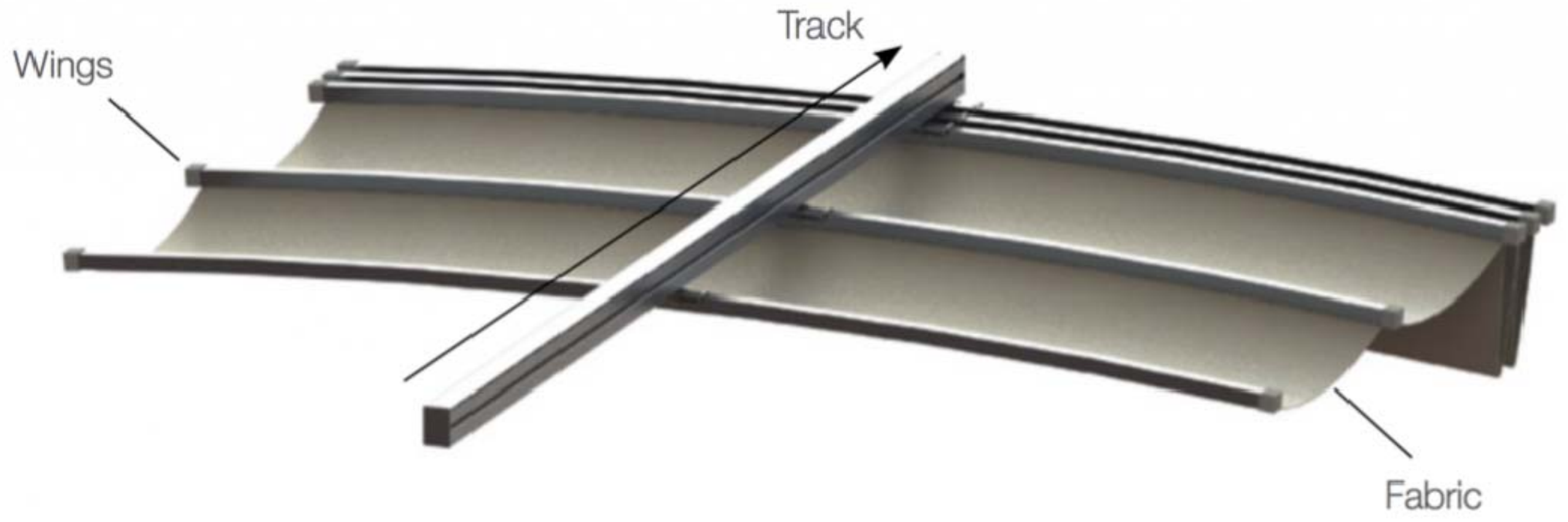
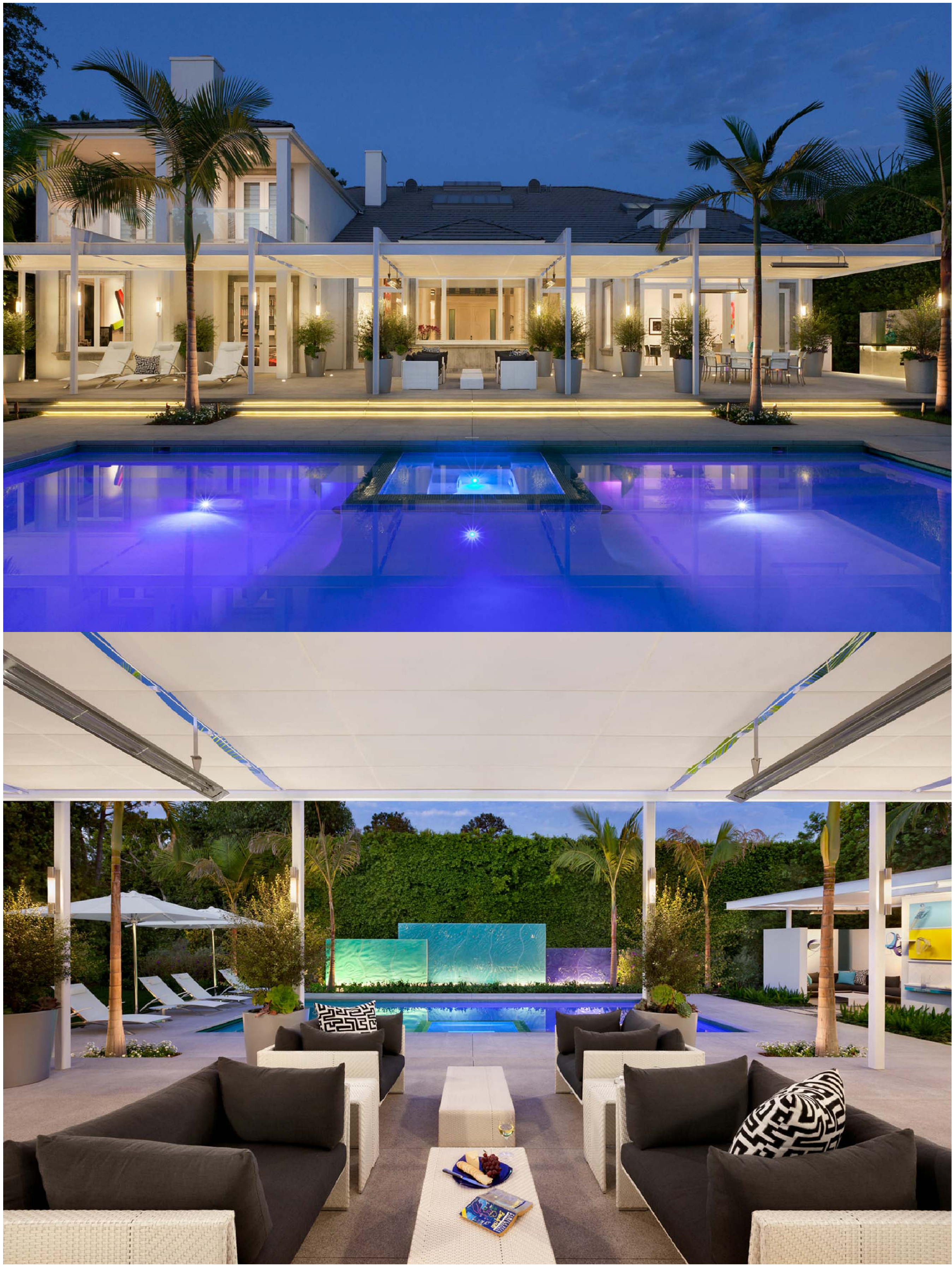
7 PERGOLA DETAIL
SCALE: 3" = 1' - 0"

SCALE: 3" = 1' - 0'



4 PERGOLA SECTION

SCALE: $1/4" = 1' - 0"$



EXAMPLE PHOTOGRAPHS OF PROPOSED PERGOLA SYSTEM

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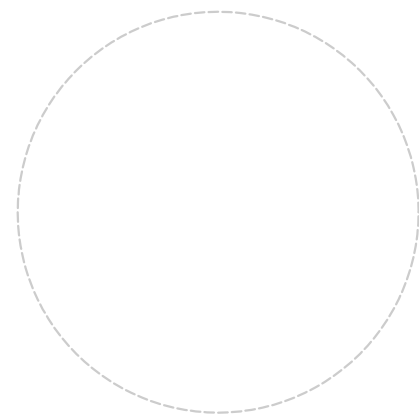
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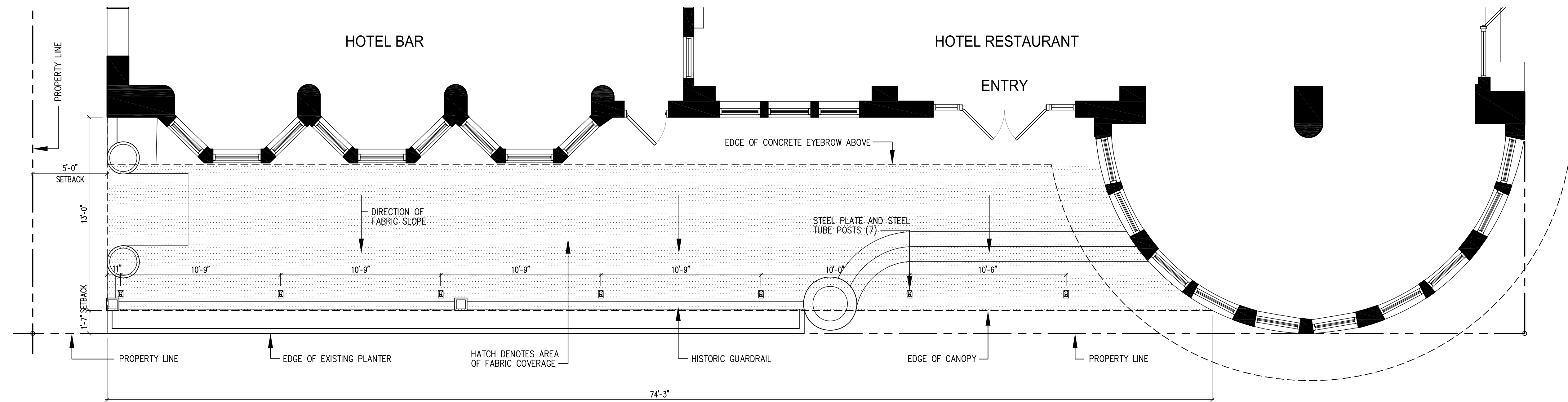
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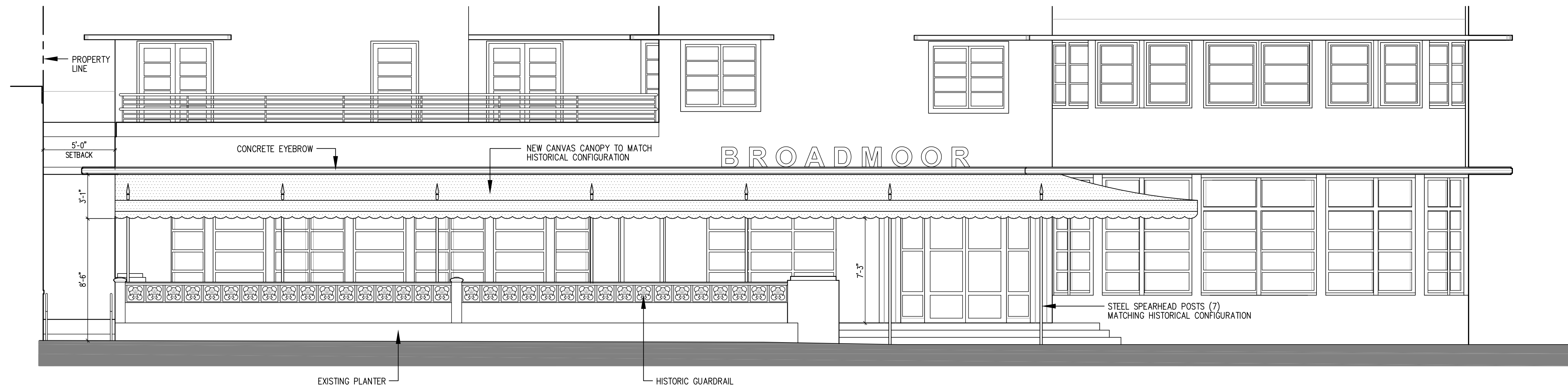
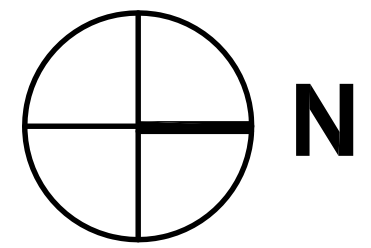
7450 OCEAN
TERRACE EXAMPLE
PERGOLA PHOTOS

HP-109



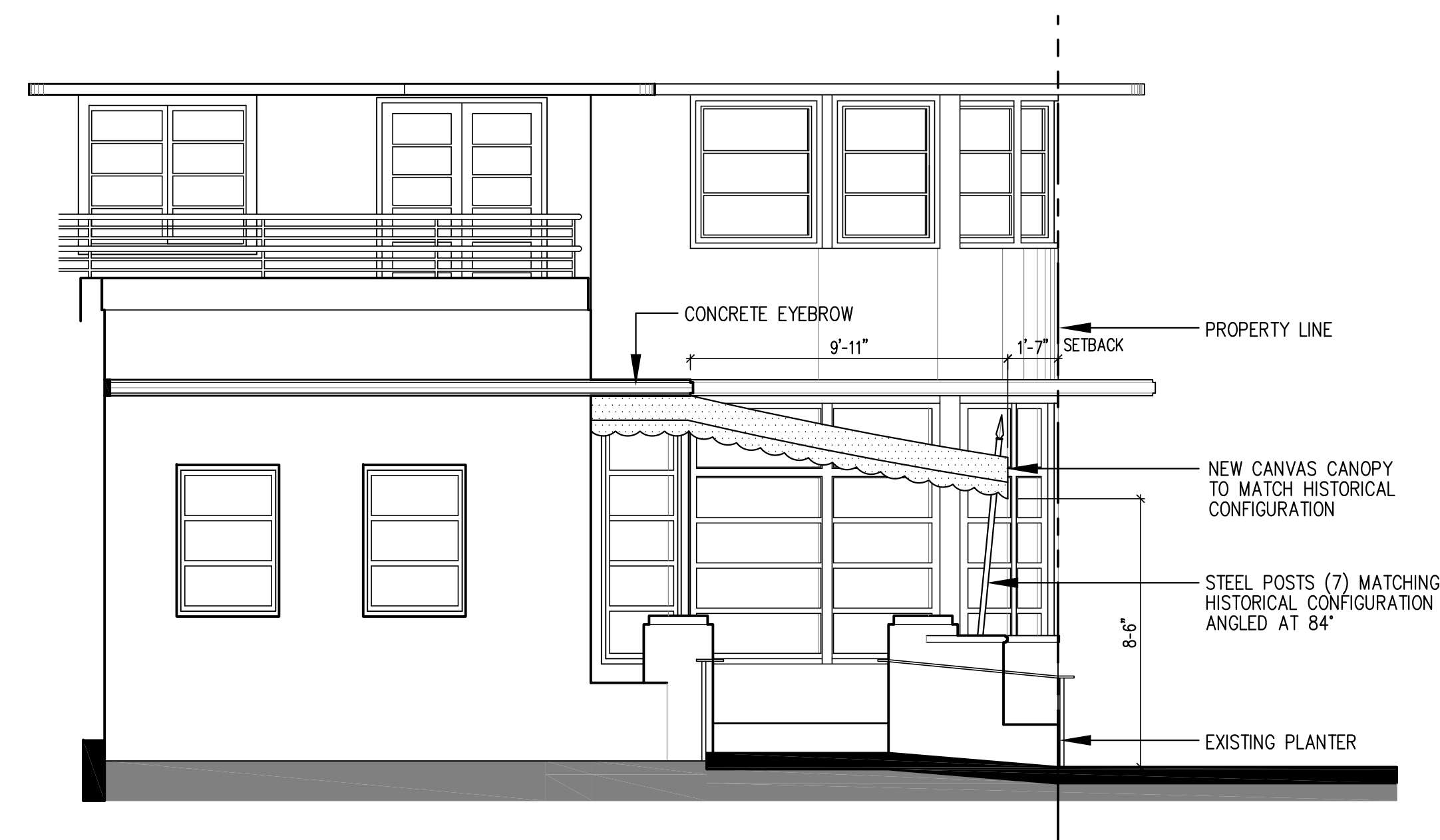
1 7450 GROUND FLOOR FRONT CANOPY PLAN

SCALE: 1/4" = 1' - 0"

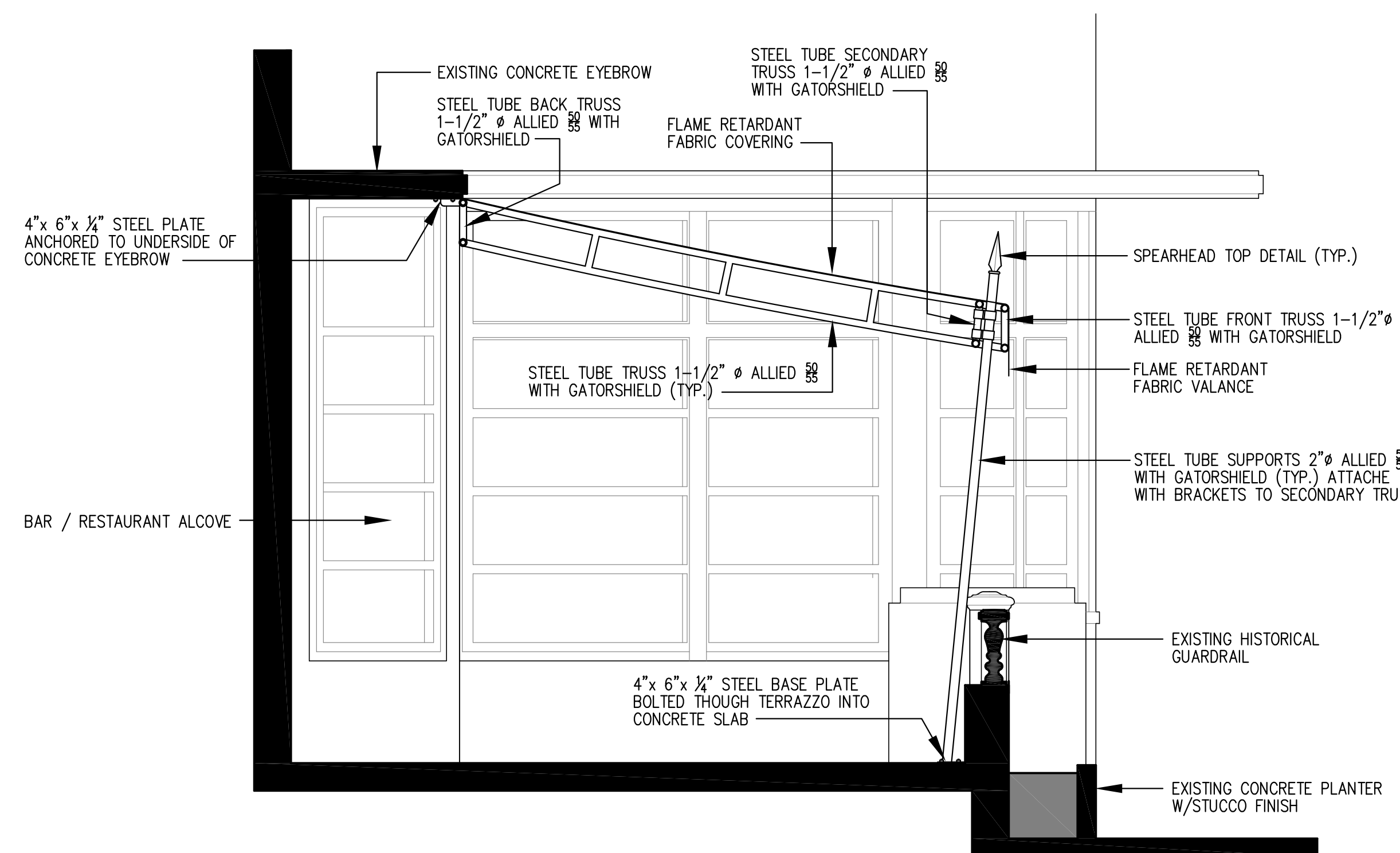


2 7450 GROUND FLOOR FRONT CANOPY EAST ELEVATION

SCALE: 1/4" = 1' - 0"



3 7450 GROUND FLOOR FRONT CANOPY SOUTH ELEVATION SCALE: 1/4" = 1' - 0"



4 7450 GROUND FLOOR FRONT CANOPY SECTION SCALE

SCALE: $1/2" = 1' - 0"$



7450 OCEAN TERRACE CURRENT PHOTOS - NORTH ELEVATION

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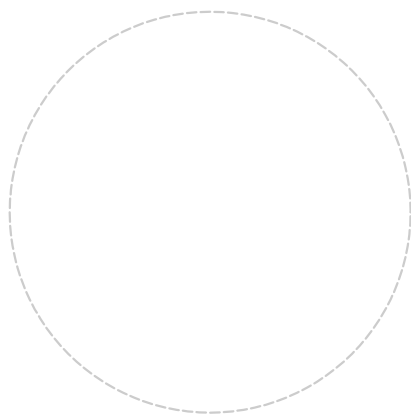
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PHOTOS

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**7450 OCEAN
TERRACE
DEMOLITION-NORTH**

HP-112

ELEVATION DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WINDOW AND WINDOW FRAME
- 2 REMOVE EXISTING DOOR AND DOOR FRAME
- 3 REMOVE EXISTING METAL GRILL WORK
- 4 REMOVE EXISTING NON-HISTORICAL SCREEN WALL
- 5 REMOVE EXISTING NON-HISTORICAL LIGHT FIXTURE
- 6 REMOVE EXISTING BRICK FINISH
- 7 REMOVE ALL EXISTING EXPOSED PIPES, DOWN SPOUTS AND ELECTRICAL CONDUITS
- 8 REMOVE ALL EXPOSED DUCTS AND MECHANICAL EQUIPMENT
- 9 REMOVE EXISTING WALL FINISH
- 10 REMOVE EXISTING METAL GATE
- 11 REMOVE EXISTING CANVAS AWNING AND ITS SUPPORT STRUCTURE
- 12 REMOVE ALL EXPOSED EXTERIOR AIR CONDITIONING UNITS
- 13 REMOVE EXISTING NON-HISTORICAL RAILING
- 14 REMOVE EXISTING NON-HISTORICAL DECORATIVE BLOCK
- 15 REMOVE EXISTING NON-HISTORICAL GLASS BLOCK
- 16 REMOVE EXISTING SIGN
- 17 REMOVE EXISTING NON-HISTORICAL WINDOW
- 18 REMOVE EXISTING NON-HISTORICAL RAMP
- 19 REMOVE EXISTING STOREFRONT
- 20 REMOVE EXISTING ELEVATOR PENTHOUSE
- 21 REMOVE EXISTING COLUMNS
- 22 REMOVE EXISTING SHUTTERS AND ASSOCIATED EQUIPMENT
- 23 REMOVE EXISTING BALCONY WALL
- 24 DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- 25 REMOVE EXISTING BUILDING WALL AS SHOWN
- 26 REMOVE EXISTING NON-HISTORICAL ORNAMENTATION
- 27 REMOVE EXISTING NON-HISTORICAL DECORATIVE PILASTERS
- 28 REMOVE EXISTING METAL FENCE
- 29 REMOVE EXISTING KNEE WALL
- 30 REMOVE EXISTING EXTERIOR MECHANICAL CHASE
- 31 REMOVE EXISTING STAIR ENCLOSURE
- 32 REMOVE EXISTING METAL STAIR, SUPPORTS AND RAILINGS
- 33 DEMOLISH SECTION OF BUILDING IN ITS ENTIRETY AS SHOWN
- 34 REMOVE EXISTING STONE FASCIA
- 35 REMOVE EXISTING GLASS BLOCK
- 36 REMOVE EXISTING EYEBROW OR SECTION OF EXISTING EYEBROW AS SHOWN

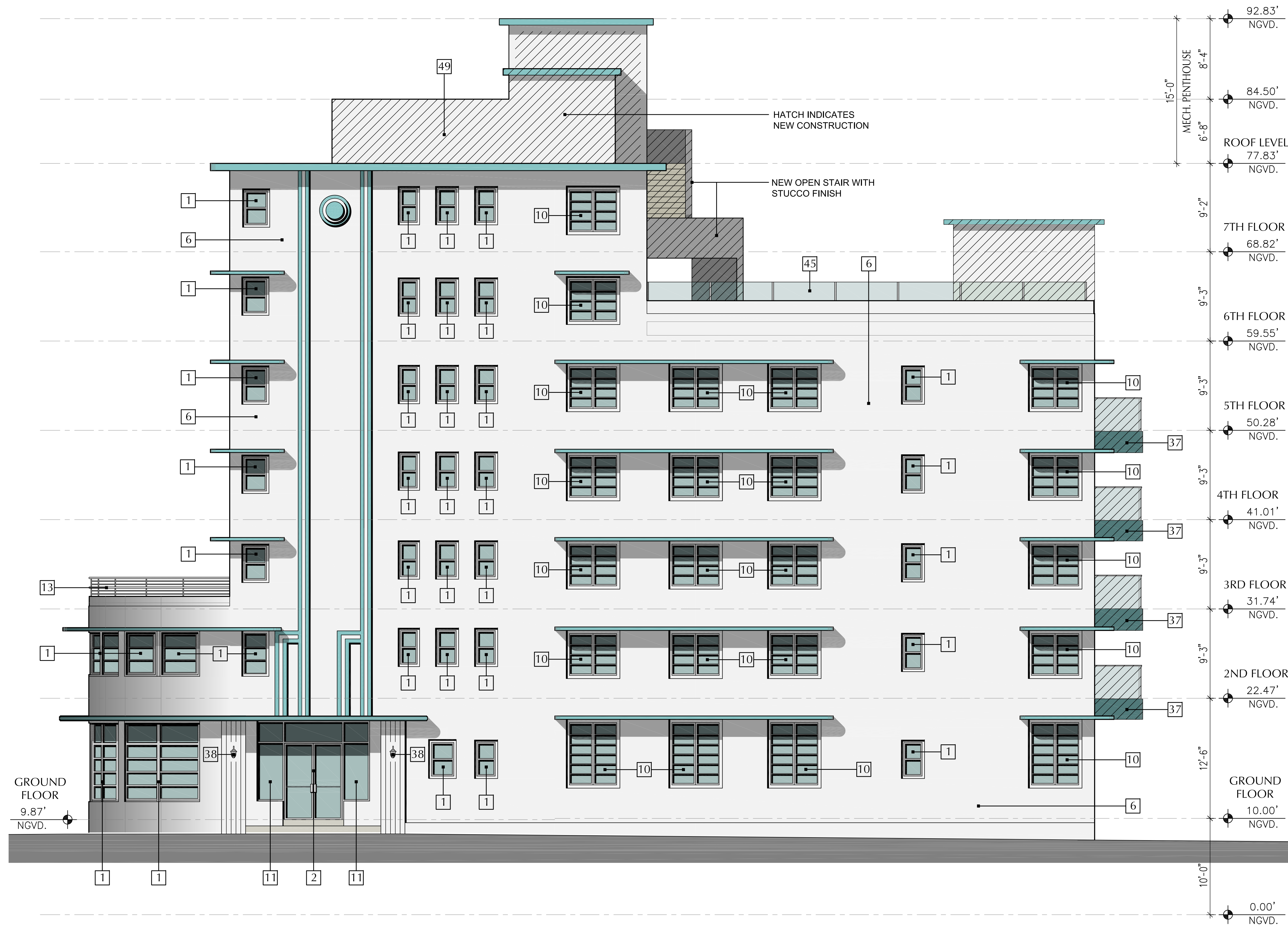


7450 OCEAN TERRACE NORTH ELEVATION DEMOLITION

SCALE: 3/16" = 1' - 0"

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7450 OCEAN TERRACE PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1' - 0"

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FINAL BUILDING COLORS WILL BE SELECTED IN CONJUNCTION WITH PLANNING STAFF AND APPROVED ADMINISTRATIVELY.

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- 20 NEW NON-OPERABLE ALUMINUM DOOR WITH SPANDREL GLASS
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- 27 REMOVE PAINT AND RESTORE EXISTING BRICK FASCIA
- 28 NEW IMPACT RESISTANT SINGLE LEAF CASEMENT WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
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- 36 EXISTING STRUCTURAL COLUMNS TO REMAIN
- 37 NEW BALCONY WITH 42" HIGH IMPACT RESISTANT CLEAR GLASS RAILING
- 38 NEW WALL MOUNTED LIGHT FIXTURE
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7450 OCEAN
TERRACE
PROPOSED-NORTH

HP-113



7450 OCEAN TERRACE CURRENT PHOTOS - WEST ELEVATION

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PHOTOS**

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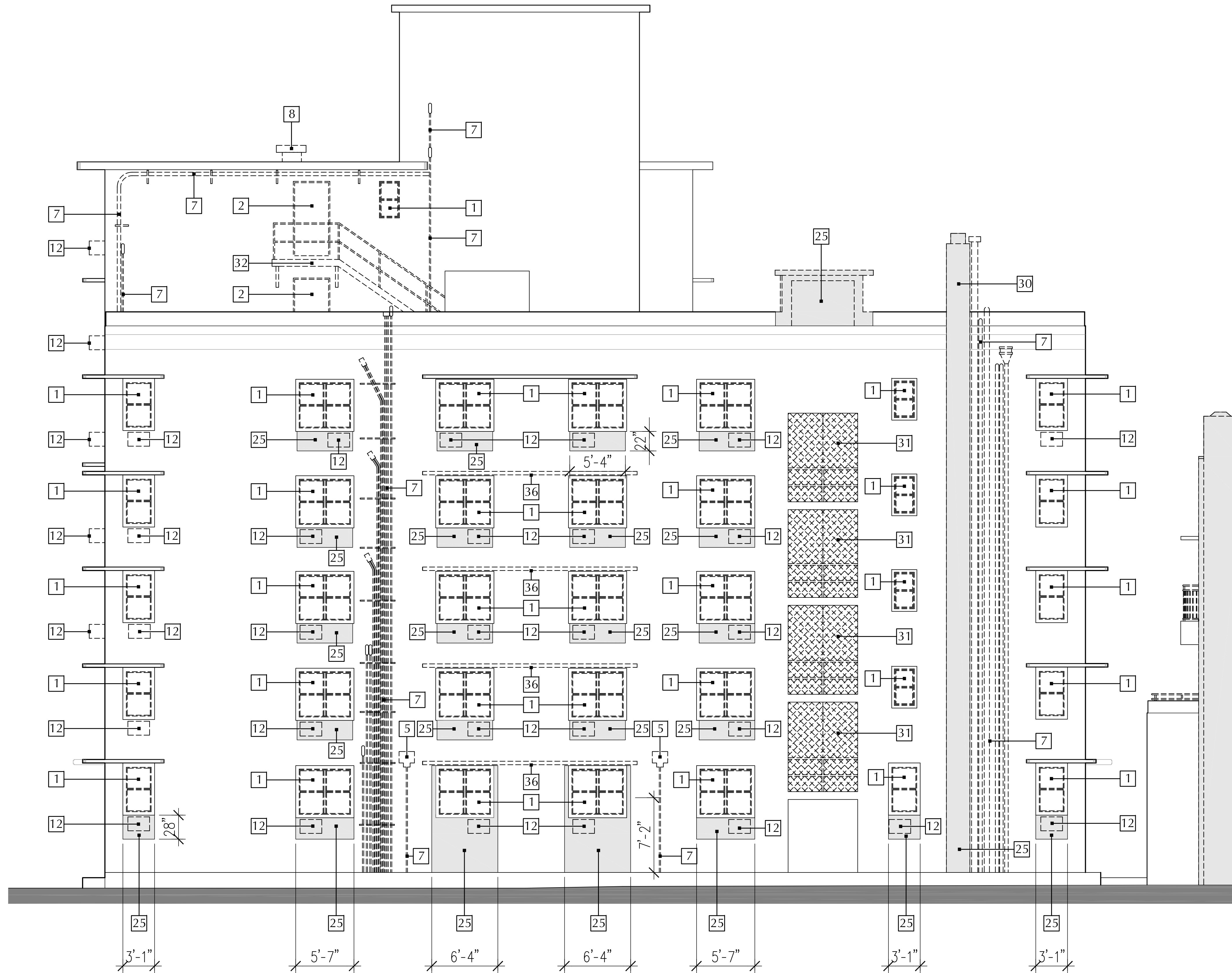
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**7450 OCEAN
TERRACE
DEMOLITION-WEST**

HP-115

ELEVATION DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WINDOW AND WINDOW FRAME
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- 35 REMOVE EXISTING GLASS BLOCK
- 36 REMOVE EXISTING EYEBROW OR SECTION OF EXISTING EYEBROW AS SHOWN

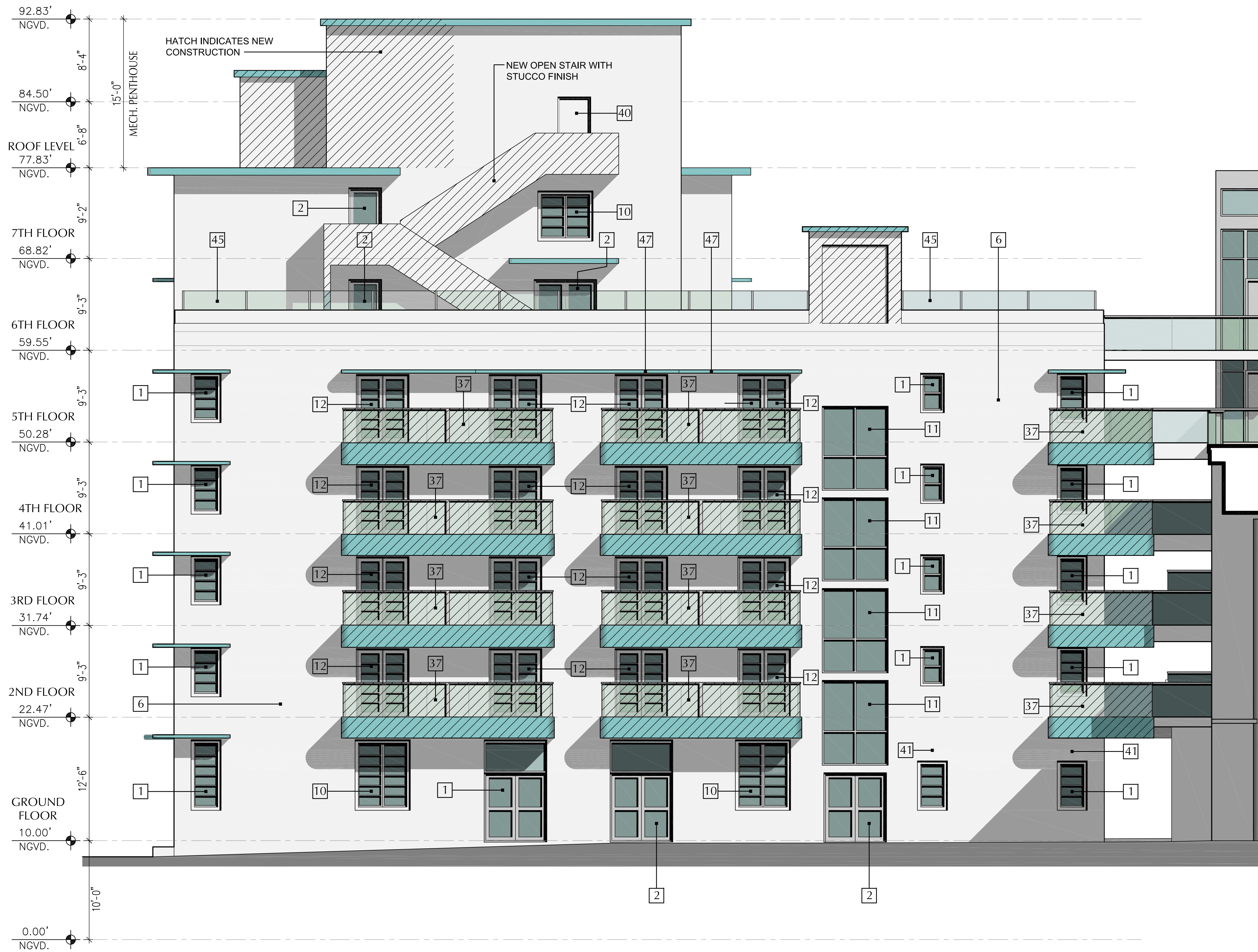


7450 OCEAN TERRACE WEST ELEVATION DEMOLITION

SCALE: $3/16" = 1' - 0"$

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7450 OCEAN TERRACE PROPOSED WEST ELEVATION

SCALE: 3/16" = 1' - 0"

RESTORATION NOTE: GRAPHIC DEPICTION OF BUILDING COLORS ARE NOT THE FINAL SELECTION.
FINAL BUILDING COLORS WILL BE SELECTED IN CONJUNCTION WITH PLANNING STAFF AND APPROVED ADMINISTRATIVELY.

PROPOSED ELEVATION KEYNOTES

- 1 NEW IMPACT RESISTANT FIXED WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 2 NEW IMPACT RESISTANT STOREFRONT DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 3 RE-BUILD EXTERIOR WALL TO MATCH HISTORICAL CONFIGURATION
- 4 RESTORE OR RE-CONSTRUCT HISTORICAL GLASS BLOCK
- 5 NEW SIGN TO MATCH HISTORICAL LOCATION
- 6 REPAIR AND RE-PAINT EXISTING STUCCO FINISH
- 7 RE-BUILD FASCIA WITH NEW BRICKS TO MATCH HISTORICAL SIZE AND PATTERN
- 8 RE-BUILD HISTORICAL STEPS AND DECK
- 9 REPAIR EXISTING HISTORICAL ALUMINUM FASCIA
- 10 NEW IMPACT RESISTANT CASEMENT WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 11 NEW IMPACT RESISTANT STOREFRONT WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 12 NEW IMPACT RESISTANT FRENCH DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 13 NEW ALUMINUM RAILING TO MATCH HISTORICAL CONFIGURATION
- 14 REPAIR / REPLACE HISTORICAL STONE FASCIA
- 15 NEW PLANTER WITH STUCCO FINISH IN HISTORICAL CONFIGURATION
- 16 RESTORE OR REPRODUCE HISTORIC TERRAZZO FLOORING
- 17 NEW CANVAS CANOPY TO MATCH HISTORICAL CONFIGURATION
- 18 NEW 3' HIGH LOW WALL AND PLANTER WITH STUCCO FINISH
- 19 NEW WALL WITH STUCCO FINISH TO MATCH EXISTING
- 20 NEW NON-OPERABLE ALUMINUM DOOR WITH SPANDREL GLASS
- 21 NEW IMPACT RESISTANT FIXED WINDOW WITH SPANDREL GLASS AND ANODIZED ALUMINUM FRAMING
- 22 EXISTING BEAM WITH NEW STUCCO FINISH TO MATCH EXISTING
- 23 NEW RE-BUILT BALCONY WITH STUCCO FINISH TO MATCH SOUTH BALCONY IN HEIGHT AND CONFIGURATION
- 24 EXISTING STRUCTURAL COLUMN TO REMAIN
- 25 NEW BALCONY BEYOND
- 26 NEW CONCRETE EYEBROW BEYOND TO MATCH EXISTING
- 27 REMOVE PAINT AND RESTORE EXISTING BRICK FASCIA
- 28 NEW IMPACT RESISTANT SINGLE LEAF CASEMENT WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 29 NEW CANVAS AWNING
- 30 NEW SCORED STUCCO FASCIA
- 31 NEW SIGN LOCATION
- 32 REPAIR EXISTING TRIM MOLDING AND RE-BUILD ANY MISSING SECTIONS
- 33 NEW CMU KNEE-WALL WITH STUCCO FINISH
- 34 RECESSED ENTRANCE
- 35 REPAIR EXISTING EYE-BROW AND RE-BUILD IF NECESSARY
- 36 EXISTING STRUCTURAL COLUMNS TO REMAIN
- 37 NEW BALCONY WITH 42" HIGH IMPACT RESISTANT CLEAR GLASS RAILING
- 38 NEW WALL MOUNTED LIGHT FIXTURE
- 39 NEW ACCESSIBLE RAMP
- 40 NEW IMPACT RESISTANT METAL DOOR
- 41 FILL-IN EXISTING OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT
- 42 NEW CMU EXTERIOR WALL WITH STUCCO FINISH
- 43 NEW CONCRETE EYEBROW TO MATCH HISTORICAL CONFIGURATION
- 44 NEW IMPACT RESISTANT CLEAR GLASS GUARDRAIL
- 45 NEW IMPACT RESISTANT CLEAR GLASS WINDBREAKER ON ALUMINUM FRAME
- 46 NEW CLEAR GLASS AND ALUMINUM FRAME ELEVATOR TOWER
- 47 EXTEND EXISTING EYEBROW MATCHING EXISTING PROFILE
- 48 REPAIR EXISTING HISTORICAL GUARD RAIL AND RE-BUILD IF NECESSARY
- 49 NEW MECHANICAL SCREEN WALL WITH STUCCO FIN. TO MATCH EXISTING
- 50 NEW ALUMINUM PERGOLA WITH RETRACTABLE FABRIC ABOVE

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Miami Beach, FL 33141

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Richard J. Heisenbottle
AR-0010865

Date
11/10/2017

Scale
AS SHOWN

Sheet Name

**7450 OCEAN
TERRACE
PROPOSED-WEST**

HP-116

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7450 OCEAN TERRACE CURRENT PHOTOS - SOUTH ELEVATION

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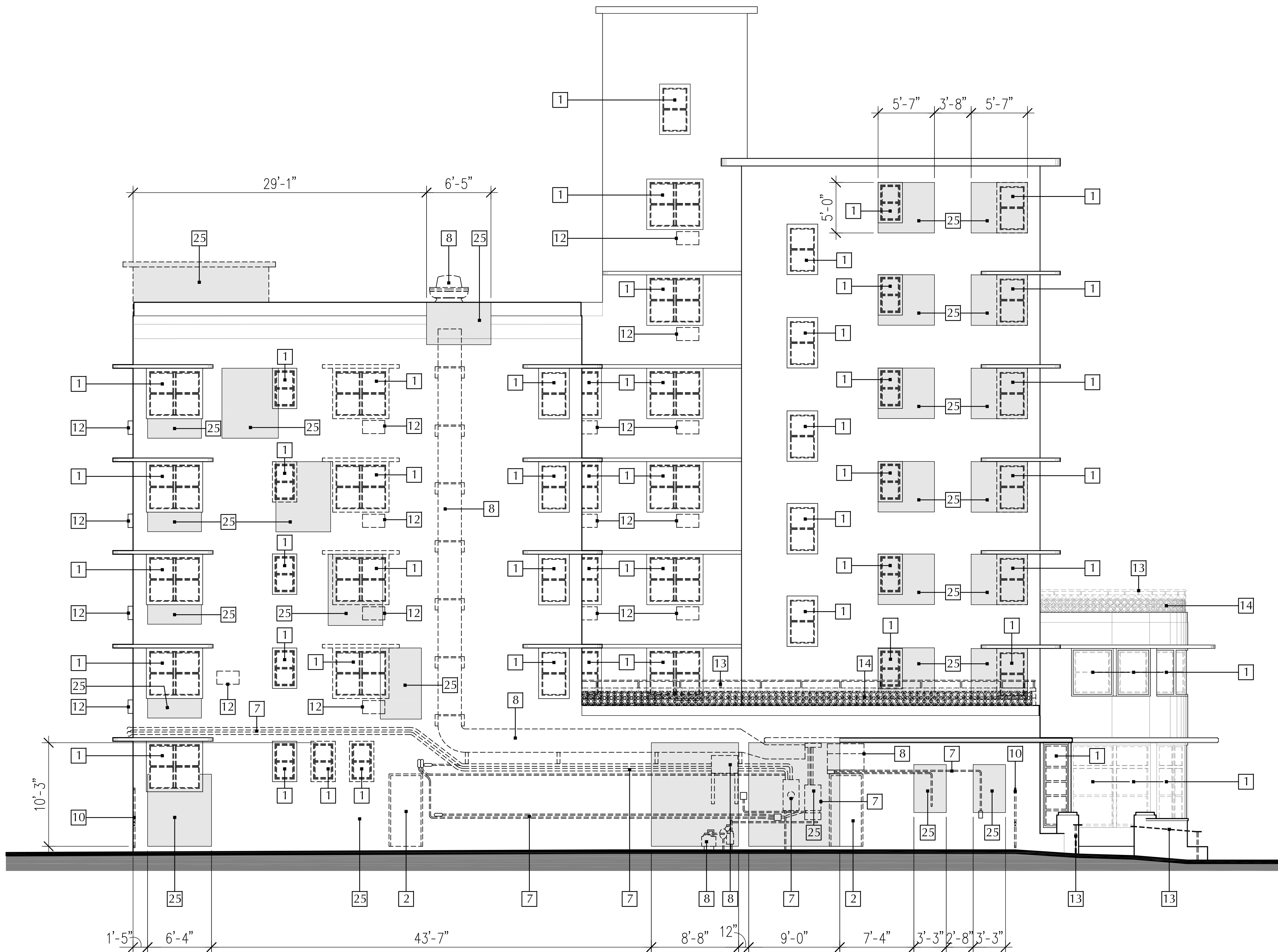
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**7450 OCEAN
TERRACE
DEMOLITION-SOUTH**

HP-118

ELEVATION DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WINDOW AND WINDOW FRAME
- 2 REMOVE EXISTING DOOR AND DOOR FRAME
- 3 REMOVE EXISTING METAL GRILL WORK
- 4 REMOVE EXISTING NON-HISTORICAL SCREEN WALL
- 5 REMOVE EXISTING NON-HISTORICAL LIGHT FIXTURE
- 6 REMOVE EXISTING BRICK FINISH
- 7 REMOVE ALL EXISTING EXPOSED PIPES, DOWN SPOUTS AND ELECTRICAL CONDUITS
- 8 REMOVE ALL EXPOSED DUCTS AND MECHANICAL EQUIPMENT
- 9 REMOVE EXISTING WALL FINISH
- 10 REMOVE EXISTING METAL GATE
- 11 REMOVE EXISTING CANVAS AWNING AND ITS SUPPORT STRUCTURE
- 12 REMOVE ALL EXPOSED EXTERIOR AIR CONDITIONING UNITS
- 13 REMOVE EXISTING NON-HISTORICAL RAILING
- 14 REMOVE EXISTING NON-HISTORICAL DECORATIVE BLOCK
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- 16 REMOVE EXISTING SIGN
- 17 REMOVE EXISTING NON-HISTORICAL WINDOW
- 18 REMOVE EXISTING NON-HISTORICAL RAMP
- 19 REMOVE EXISTING STOREFRONT
- 20 REMOVE EXISTING ELEVATOR PENTHOUSE
- 21 REMOVE EXISTING COLUMNS
- 22 REMOVE EXISTING SHUTTERS AND ASSOCIATED EQUIPMENT
- 23 REMOVE EXISTING BALCONY WALL
- 24 DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- 25 REMOVE EXISTING BUILDING WALL AS SHOWN
- 26 REMOVE EXISTING NON-HISTORICAL ORNAMENTATION
- 27 REMOVE EXISTING NON-HISTORICAL DECORATIVE PILASTERS
- 28 REMOVE EXISTING METAL FENCE
- 29 REMOVE EXISTING KNEE WALL
- 30 REMOVE EXISTING EXTERIOR MECHANICAL CHASE
- 31 REMOVE EXISTING STAIR ENCLOSURE
- 32 REMOVE EXISTING METAL STAIR, SUPPORTS AND RAILINGS
- 33 DEMOLISH SECTION OF BUILDING IN ITS ENTIRETY AS SHOWN
- 34 REMOVE EXISTING STONE FASCIA
- 35 REMOVE EXISTING GLASS BLOCK
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7450 OCEAN TERRACE SOUTH ELEVATION DEMOLITION

SCALE: $3/16" = 1' - 0"$

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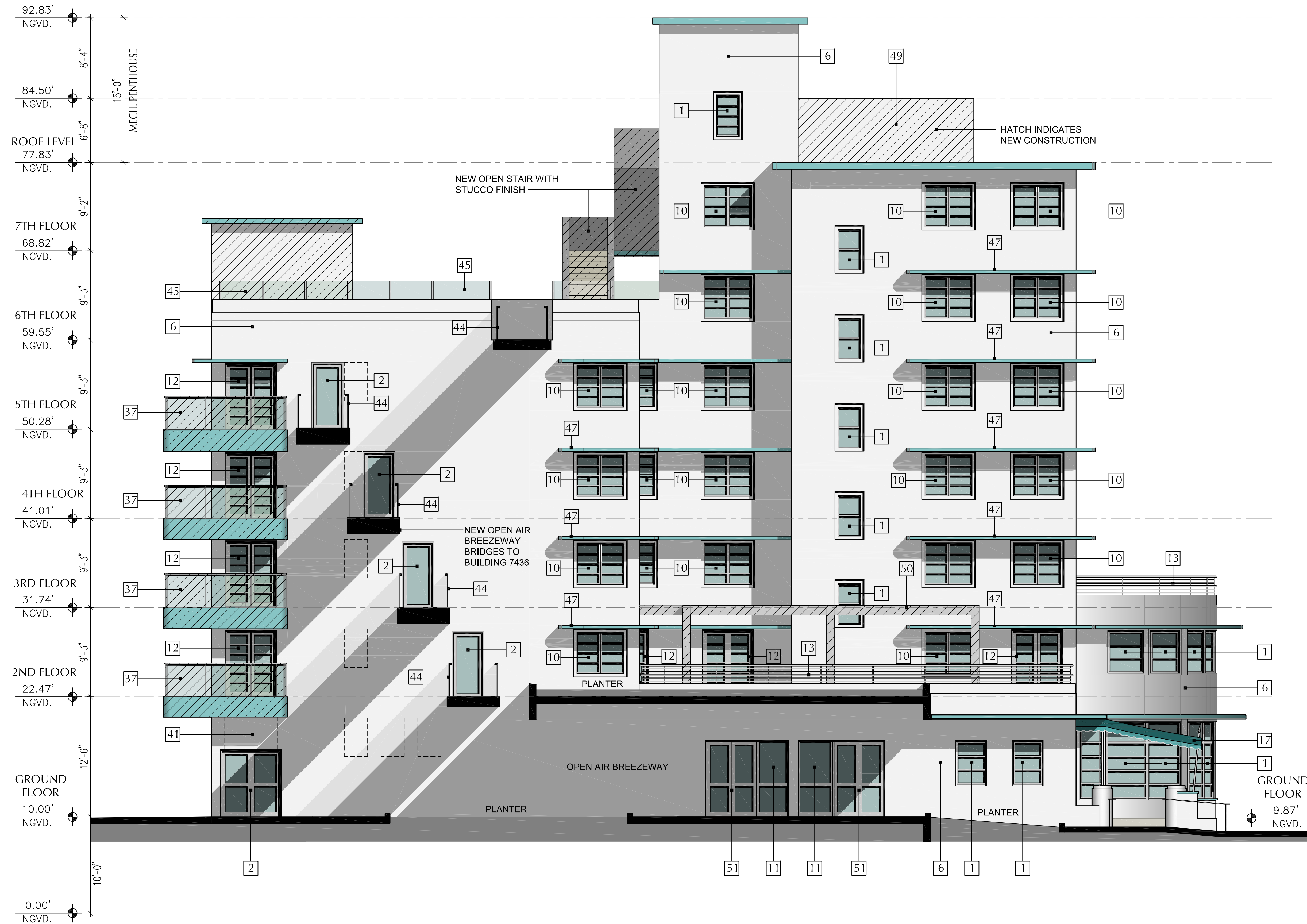
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HP-119

- 1 NEW IMPACT RESISTANT FIXED WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
- 2 NEW IMPACT RESISTANT STOREFRONT DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
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- 46 NEW CLEAR GLASS AND ALUMINUM FRAME ELEVATOR TOWER
- 47 EXTEND EXISTING EYEBROW MATCHING EXISTING PROFILE
- 48 REPAIR EXISTING HISTORICAL GUARD RAIL AND RE-BUILD IF NECESSARY
- 49 NEW MECHANICAL SCREEN WALL WITH STUCCO FIN. TO MATCH EXISTING
- 50 NEW ALUMINUM PERGOLA WITH RETRACTABLE FABRIC ABOVE
- 51 NEW IMPACT RESISTANT STOREFRONT SLIDING DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING



SCALE: 3/16" = 1' - 0"

RESTORATION NOTE: GRAPHIC DEPICTION OF BUILDING COLORS ARE NOT THE FINAL SELECTION.
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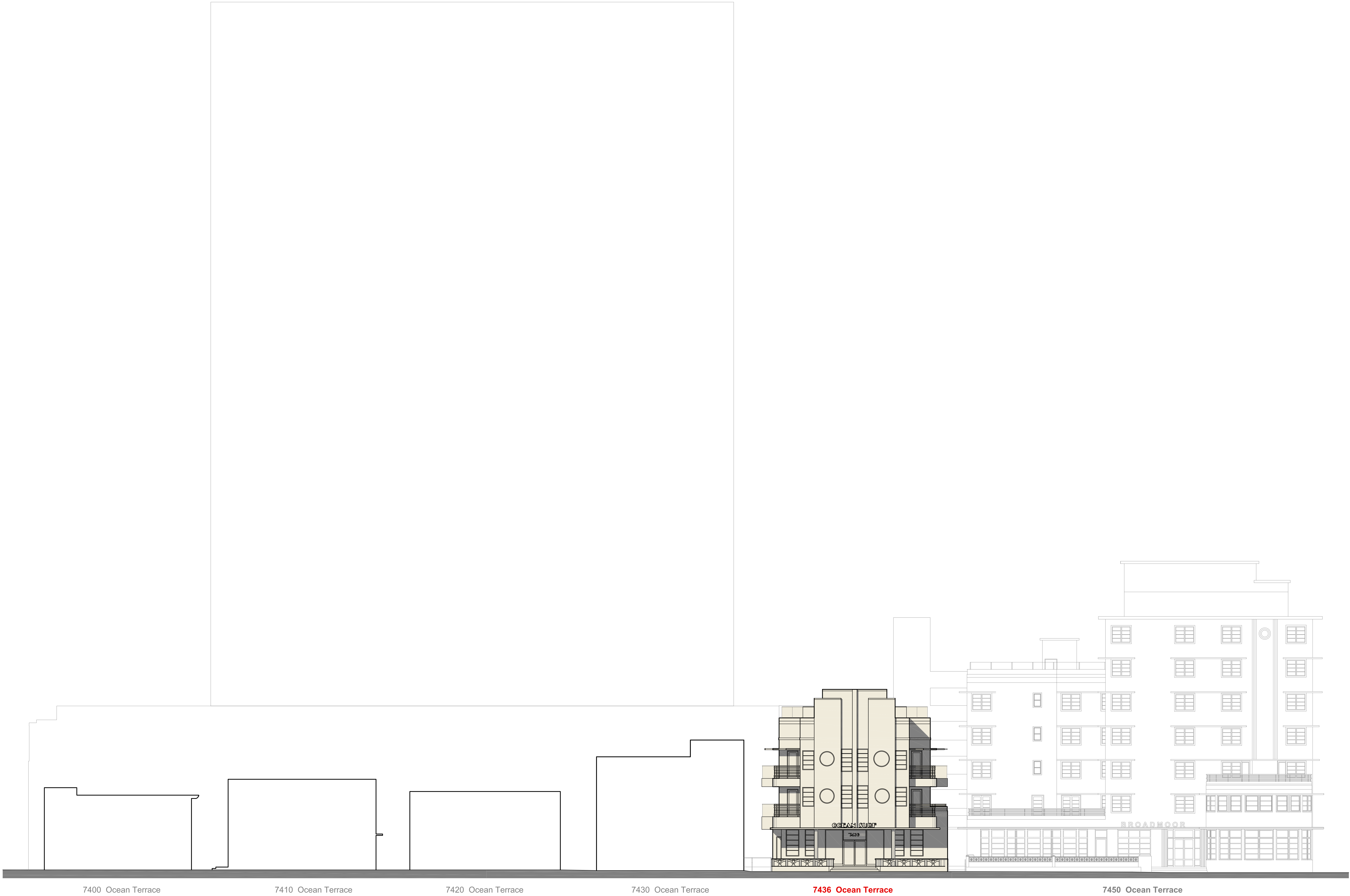
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OCEAN TERRACE OUTLINE - 7436

HP-120



PROPOSED OCEAN TERRACE ELEVATIONS - BUILDING 7436

SCALE: $3/32" = 1' - 0"$

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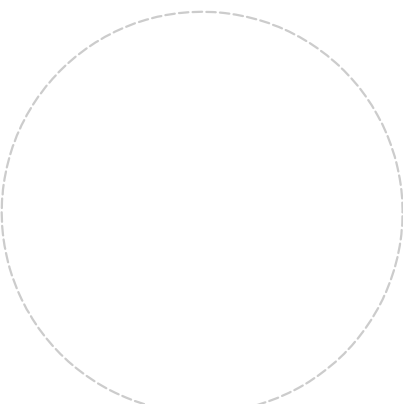
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Sheet Name

7436 OCEAN
TERRACE HISTORIC
PHOTOS

HP-121

the Ocean Surf

MIAMI
BEACH
• FLORIDA •

the Ocean Surf

IN THE EXCLUSIVE NORTH BEACH SECTION

the Ocean Surf

MIAMI
BEACH
• FLORIDA •

the Ocean Surf

DIRECTLY ON THE OCEAN AT 74TH STREET

the Ocean Surf

MIAMI
BEACH
• FLORIDA •

the Ocean Surf

DIRECTLY ON THE OCEAN AT 74TH STREET



7436 OCEAN TERRACE HISTORIC PHOTOS - THE OCEAN SURF HOTEL



7436 OCEAN TERRACE CURRENT PHOTOS - EAST ELEVATION

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**7436 OCEAN
TERRACE CURRENT
PHOTOS**

HP-122

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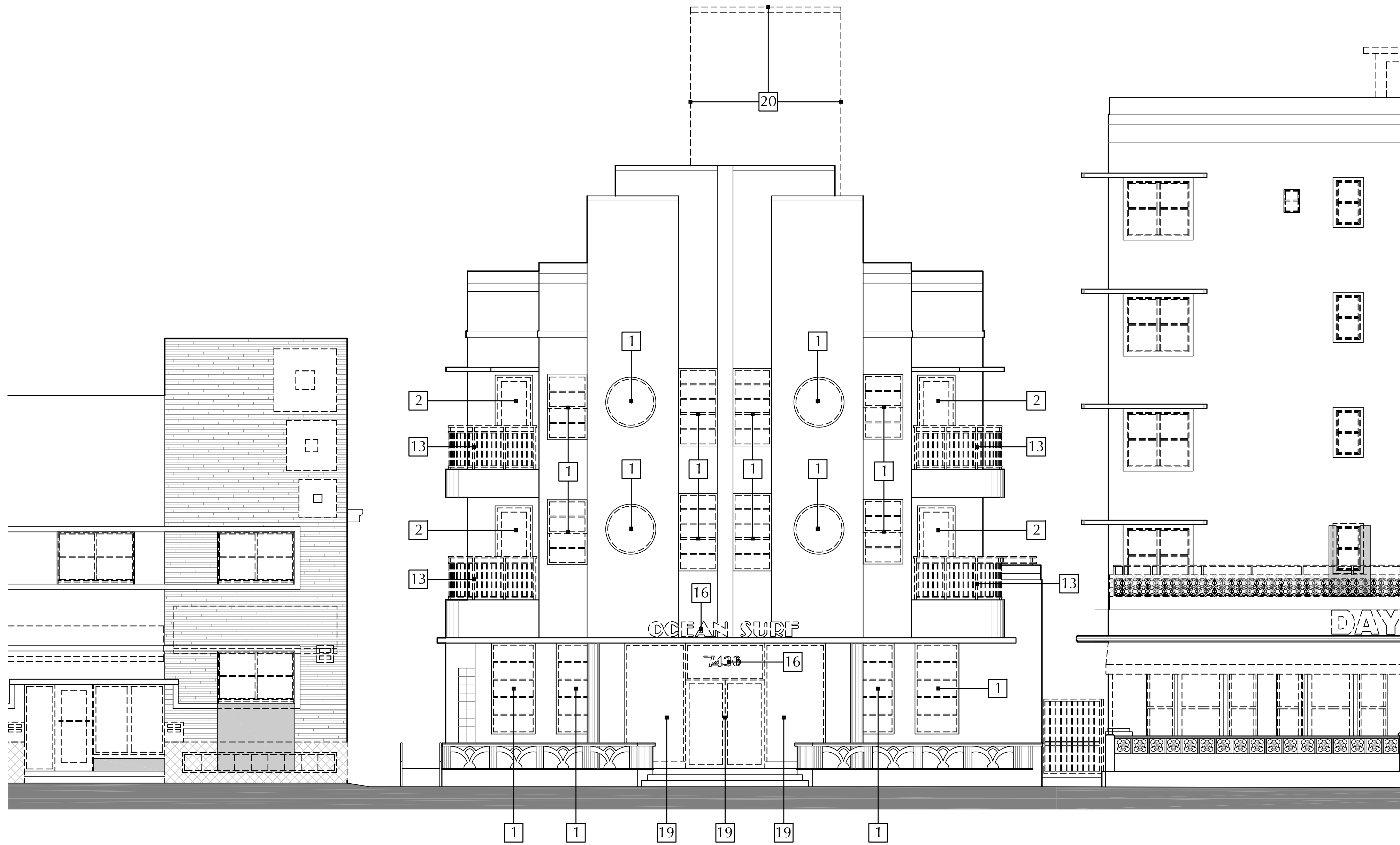
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**7436 OCEAN
TERRACE
DEMOLITION-EAST**

HP-123

ELEVATION DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WINDOW AND WINDOW FRAME
- 2 REMOVE EXISTING DOOR AND DOOR FRAME
- 3 REMOVE EXISTING METAL GRILL WORK
- 4 REMOVE EXISTING NON-HISTORICAL SCREEN WALL
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- 32 REMOVE EXISTING METAL STAIR, SUPPORTS AND RAILINGS
- 33 DEMOLISH SECTION OF BUILDING IN ITS ENTIRETY AS SHOWN
- 34 REMOVE EXISTING STONE FASCIA
- 35 REMOVE EXISTING GLASS BLOCK
- 36 REMOVE EXISTING EYEBROW OR SECTION OF EXISTING EYEBROW AS SHOWN



7436 OCEAN TERRACE EAST ELEVATION DEMOLITION

SCALE: $3/16" = 1' - 0"$

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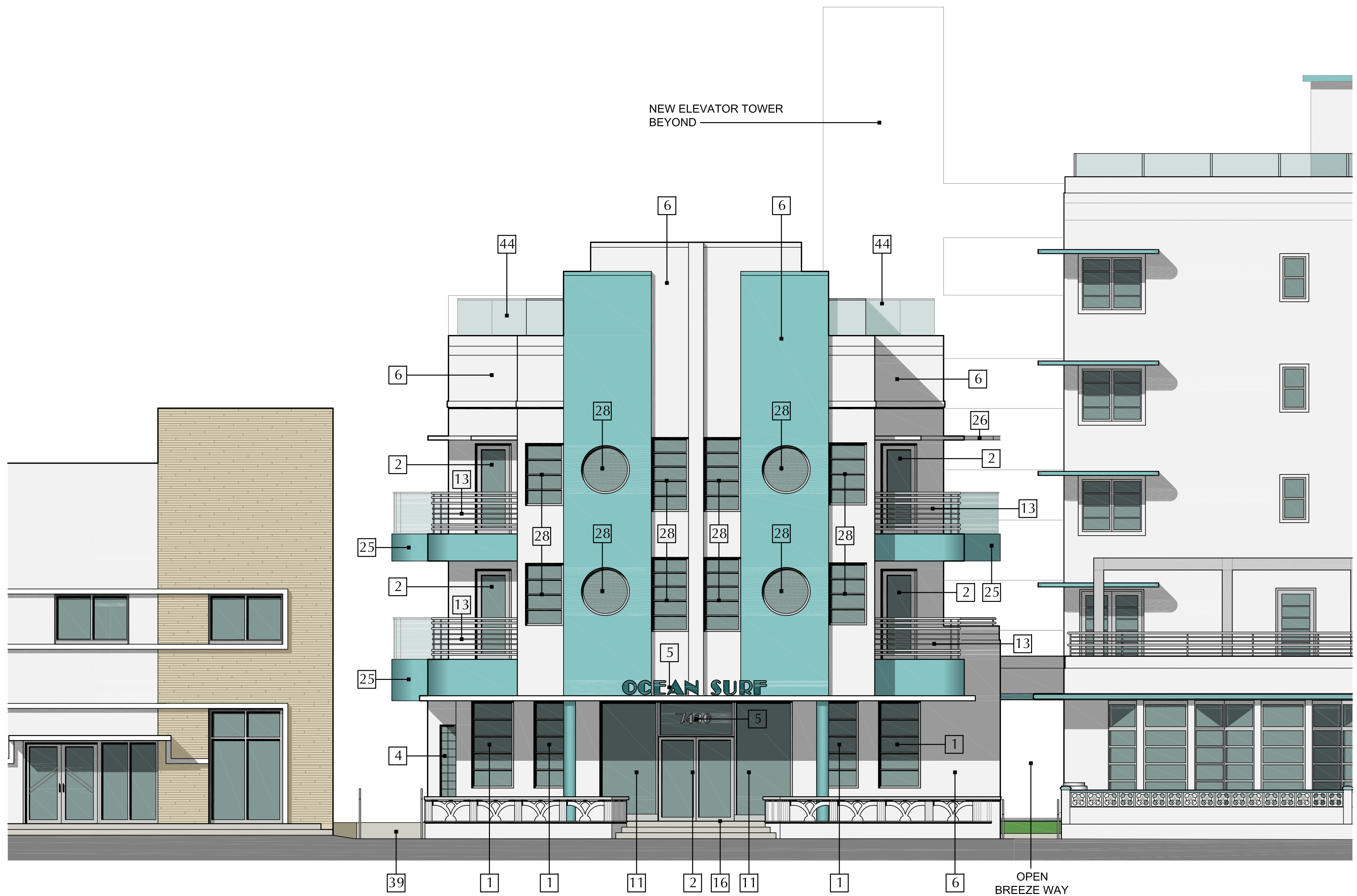
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**7436 OCEAN
TERRACE
PROPOSED-EAST**

HP-124

PROPOSED ELEVATION KEYNOTES

- 1 NEW IMPACT RESISTANT FIXED WINDOWS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 2 NEW IMPACT RESISTANT STOREFRONT DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING
 - 3 RE-BUILD EXTERIOR WALL TO MATCH HISTORICAL CONFIGURATION
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 - 39 NEW ACCESSIBLE RAMP
 - 40 NEW IMPACT RESISTANT METAL DOOR
 - 41 FILL-IN EXISTING OPENING WITH CMU FINISH W/STUCCO TO MATCH ADJACENT
 - 42 NEW CMU EXTERIOR WALL WITH STUCCO FINISH
 - 43 NEW CONCRETE EYEBROW TO MATCH HISTORICAL CONFIGURATION
 - 44 NEW IMPACT RESISTANT CLEAR GLASS GUARDRAIL
 - 45 NEW IMPACT RESISTANT CLEAR GLASS WINDBREAKER ON ALUMINUM FRAME
 - 46 NEW CLEAR GLASS AND ALUMINUM FRAME ELEVATOR TOWER
 - 47 EXTEND EXISTING EYEBROW MATCHING EXISTING PROFILE
 - 48 REPAIR EXISTING HISTORICAL GUARD RAIL AND RE-BUILD IF NECESSARY
 - 49 NEW MECHANICAL SCREEN WALL WITH STUCCO FIN. TO MATCH EXISTING
 - 50 NEW ALUMINUM PERGOLA WITH RETRACTABLE FABRIC ABOVE
 - 51 NEW IMPACT RESISTANT STOREFRONT SLIDING DOORS WITH CLEAR GLASS AND ANODIZED ALUMINUM FRAMING



7436 OCEAN TERRACE PROPOSED EAST ELEVATION

SCALE: 3/16" = 1' - 0"

RESTORATION NOTE: GRAPHIC DEPICTION OF BUILDING COLORS ARE NOT THE FINAL SELECTION.
FINAL BUILDING COLORS WILL BE SELECTED IN CONJUNCTION WITH PLANNING STAFF AND APPROVED ADMINISTRATIVELY.



7436 OCEAN TERRACE CURRENT PHOTOS - WEST ELEVATION

OCEAN TERRACE
7400 Ocean Terrace
Miami Beach, FL 33141

A mixed used project by
Ocean Terrace
Holdings

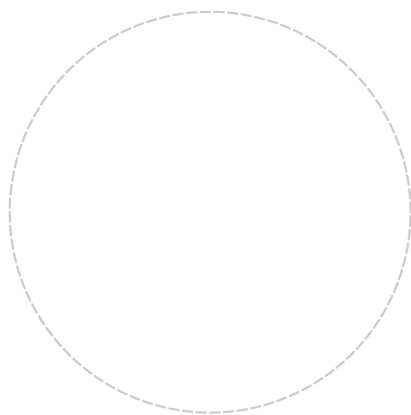
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Preservation Architect

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Richard J. Heisenbottle
AR-0010865

Date
11/10/2017

Scale
AS SHOWN

Sheet Name

7436 OCEAN
TERRACE CURRENT
PHOTOS

HP-125

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**A mixed used project by
Ocean Terrace
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Preservation Architect

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Architects

Richard J. Heisenbottle
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ate

1/10/2017

sale

AS SHOWN

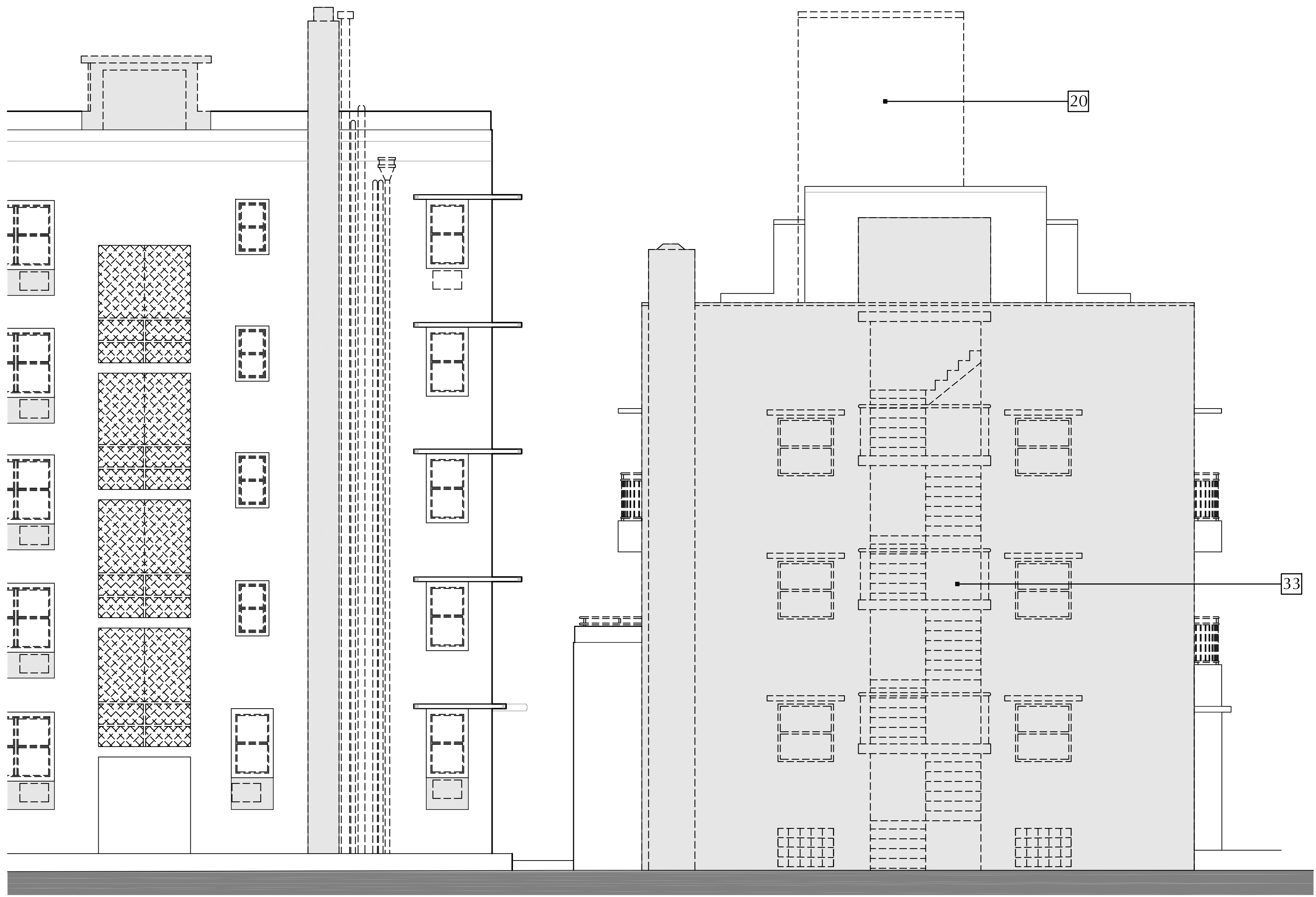
Sheet Name

**7436 OCEAN
TERRACE
DEMOLITION-WEST**

HP-126

ELEVATION DEMOLITION KEYNOTES

- 1 REMOVE EXISTING WINDOW AND WINDOW FRAME
- 2 REMOVE EXISTING DOOR AND DOOR FRAME
- 3 REMOVE EXISTING METAL GRILL WORK
- 4 REMOVE EXISTING NON-HISTORICAL SCREEN WALL
- 5 REMOVE EXISTING NON-HISTORICAL LIGHT FIXTURE
- 6 REMOVE EXISTING BRICK FINISH
- 7 REMOVE ALL EXISTING EXPOSED PIPES, DOWN SPOUTS AND ELECTRICAL CONDUITS
- 8 REMOVE ALL EXPOSED DUCTS AND MECHANICAL EQUIPMENT
- 9 REMOVE EXISTING WALL FINISH
- 10 REMOVE EXISTING METAL GATE
- 11 REMOVE EXISTING CANVAS AWNING AND ITS SUPPORT STRUCTURE
- 12 REMOVE ALL EXPOSED EXTERIOR AIR CONDITIONING UNITS
- 13 REMOVE EXISTING NON-HISTORICAL RAILING
- 14 REMOVE EXISTING NON-HISTORICAL DECORATIVE BLOCK
- 15 REMOVE EXISTING NON-HISTORICAL GLASS BLOCK
- 16 REMOVE EXISTING SIGN
- 17 REMOVE EXISTING NON-HISTORICAL WINDOW
- 18 REMOVE EXISTING NON-HISTORICAL RAMP
- 19 REMOVE EXISTING STOREFRONT
- 20 REMOVE EXISTING ELEVATOR PENTHOUSE
- 21 REMOVE EXISTING COLUMNS
- 22 REMOVE EXISTING SHUTTERS AND ASSOCIATED EQUIPMENT
- 23 REMOVE EXISTING BALCONY WALL
- 24 DEMOLISH BUILDING OR SECTION OF BUILDING IN ITS ENTIRETY
- 25 REMOVE EXISTING BUILDING WALL AS SHOWN
- 26 REMOVE EXISTING NON-HISTORICAL ORNAMENTATION
- 27 REMOVE EXISTING NON-HISTORICAL DECORATIVE PILASTERS
- 28 REMOVE EXISTING METAL FENCE
- 29 REMOVE EXISTING KNEE WALL
- 30 REMOVE EXISTING EXTERIOR MECHANICAL CHASE
- 31 REMOVE EXISTING STAIR ENCLOSURE
- 32 REMOVE EXISTING METAL STAIR, SUPPORTS AND RAILINGS
- 33 DEMOLISH SECTION OF BUILDING IN ITS ENTIRETY AS SHOWN
- 34 REMOVE EXISTING STONE FASCIA
- 35 REMOVE EXISTING GLASS BLOCK
- 36 REMOVE EXISTING EYEBROW OR SECTION OF EXISTING EYEBROW AS SHOWN



7436 OCEAN TERRACE WEST ELEVATION DEMOLITION

SCALE: $3/16" = 1' - 0"$

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