

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
2. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.U.).
3. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
4. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
5. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (U.O.U.).
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FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY ULL 446B:
No. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL 1/2" GYPSUM BOARD APPLIED VERTICALLY ATTACHED WITH 1-1/2" LONG NO. 6 DRYWALL SCREWS TO EACH SIDE (SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY ULL 532:
METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE 1/2" GYPSUM WALLBOARD, GYPSUM COATED OR RING SHANKED NAILS 6" O.C. @ BUTT & SIDE JOINTS STAGGERED, PAPER TAPE SPREAD OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY ULL 446B:
1-HOUR FIRE RATED 2 1/4" OR 2 1/8" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE 1/2" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COOPER NAILS 12" O.C. WITH END JOINTS ON WALLING MEMBERS, PROVIDE 2 1/4" OR 2 1/8" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION, PROVIDE TWO ROUS BLOCKING AT 40" O.C.

TYPICAL NON-BEARING PARTITION:
No. 25 Ga. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- 1- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- 2- RECONSTRUCT SIDEWALKS/ SOD ALONG THE ENTIRE PROPERTY.
- 3- MILL AND RESURFACE 2 INCH ABOVE USING 5-111 TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- 4 - ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET ISLANDS 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 93, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND: BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 93 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 801 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12, FOR A DISTANCE OF 188.9 FEET MORE OR LESS TO THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHEASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

NOTE NOTES

1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2. CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
3. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
4. NOTE: CROSS HATCHED AREAS DENOTES TRUSS RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
5. ALL AREA MARKED 'SOD' TO BE SODDED PER LANDSCAPING PLANS.
6. TERMITE PROTECTION ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

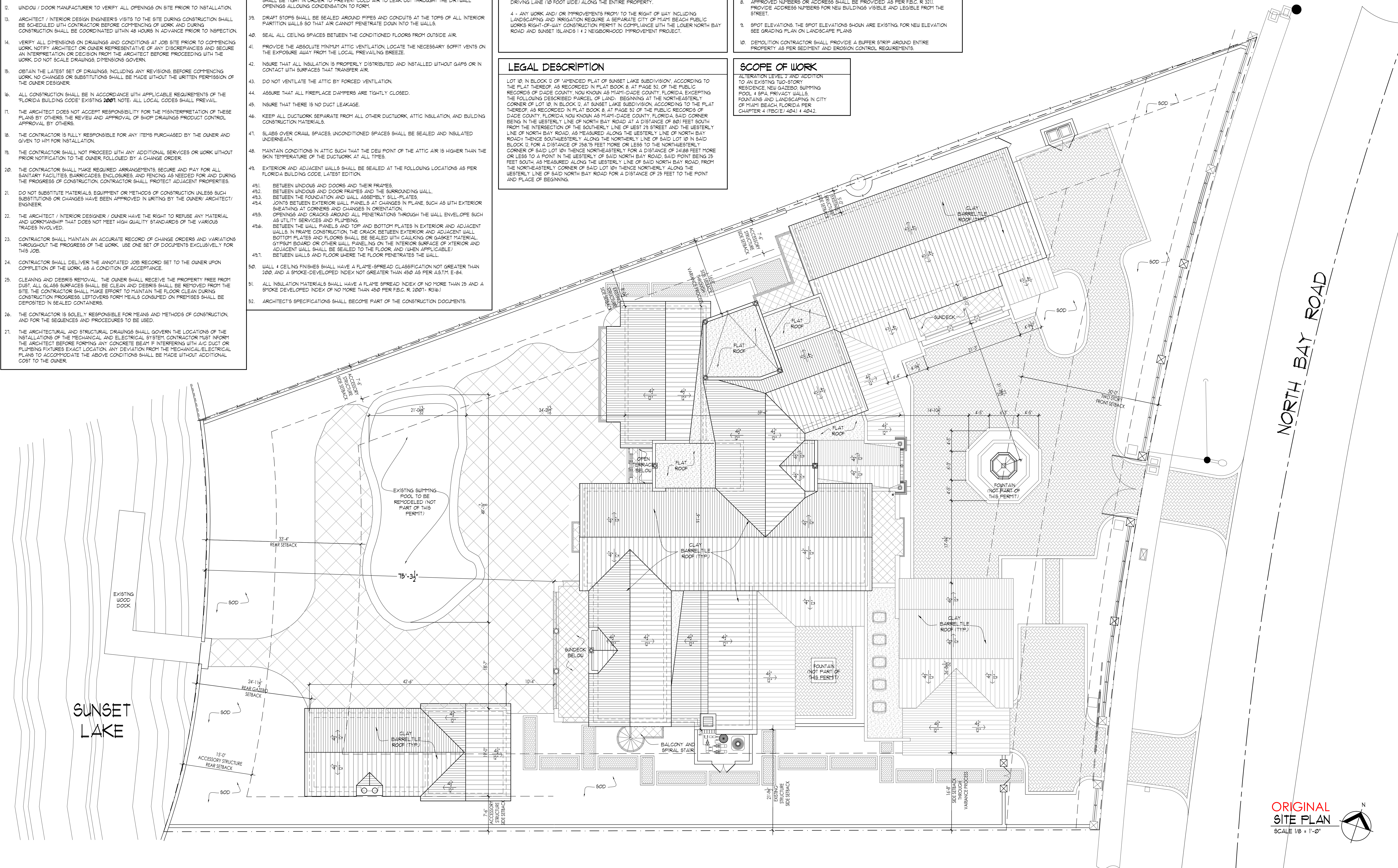
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
7. CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2001 AND PER MIAMI-DADE COUNTY LABS. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
8. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 3211. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
9. SPOT ELEVATIONS, THE SPOT ELEVATIONS SHOWN ARE EXISTING FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS.
10. DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.

SCOPE OF WORK

ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SUMMING POOL, & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBCS) 404.1 & 404.2.

ATTIC ROOF VENTILATION CALCULATIONS

MAIN BUILDING ROOF	
ROOF AREA	4,311 @ 1/50' = 30 SQ. FT. VENTILATION REQUIRED
PERIMETER	311'-10" x 15' = 38 SQ. FT. VENTILATION PROVIDED
GARAGE BUILDING ROOF	
ROOF AREA	623 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER	45'-0" x 15' = 5 SQ. FT. VENTILATION PROVIDED
GAZEBO BUILDING ROOF	
ROOF AREA	151 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER	63'-0" x 15' = 8 SQ. FT. VENTILATION PROVIDED



RESIDENCE REMODELING FOR:

Ms. DELPHINE DRAY
2740 NORTH BAY ROAD

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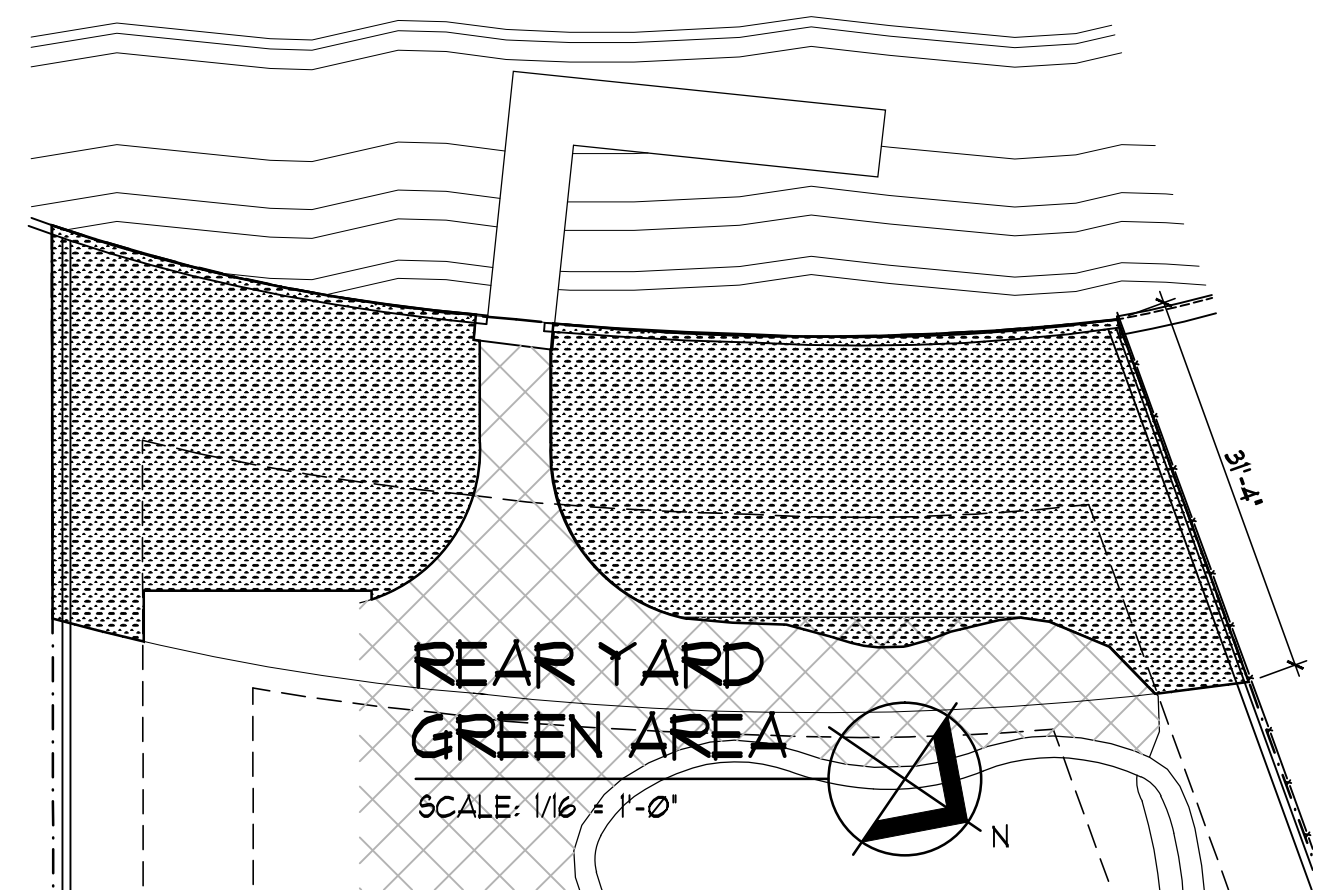
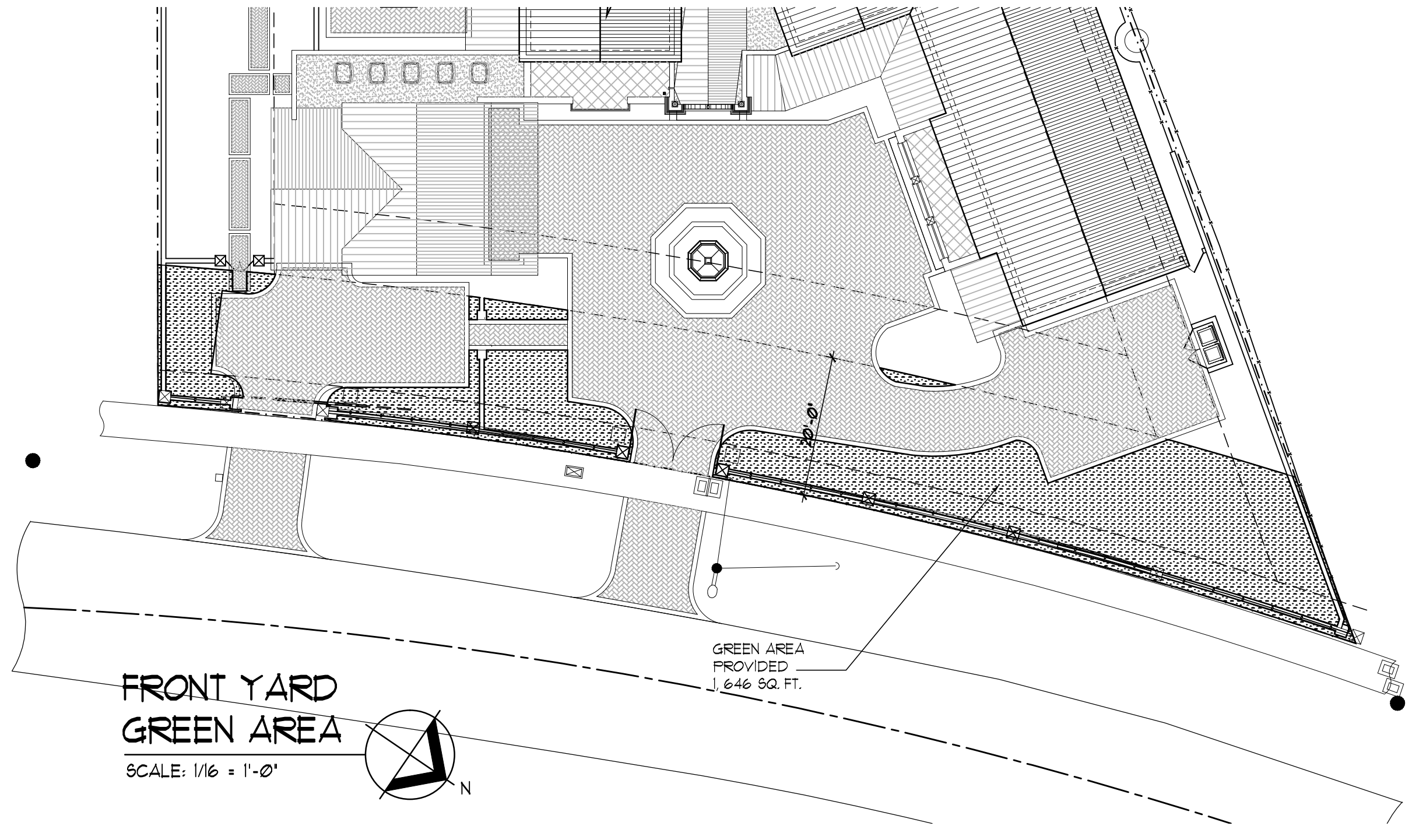
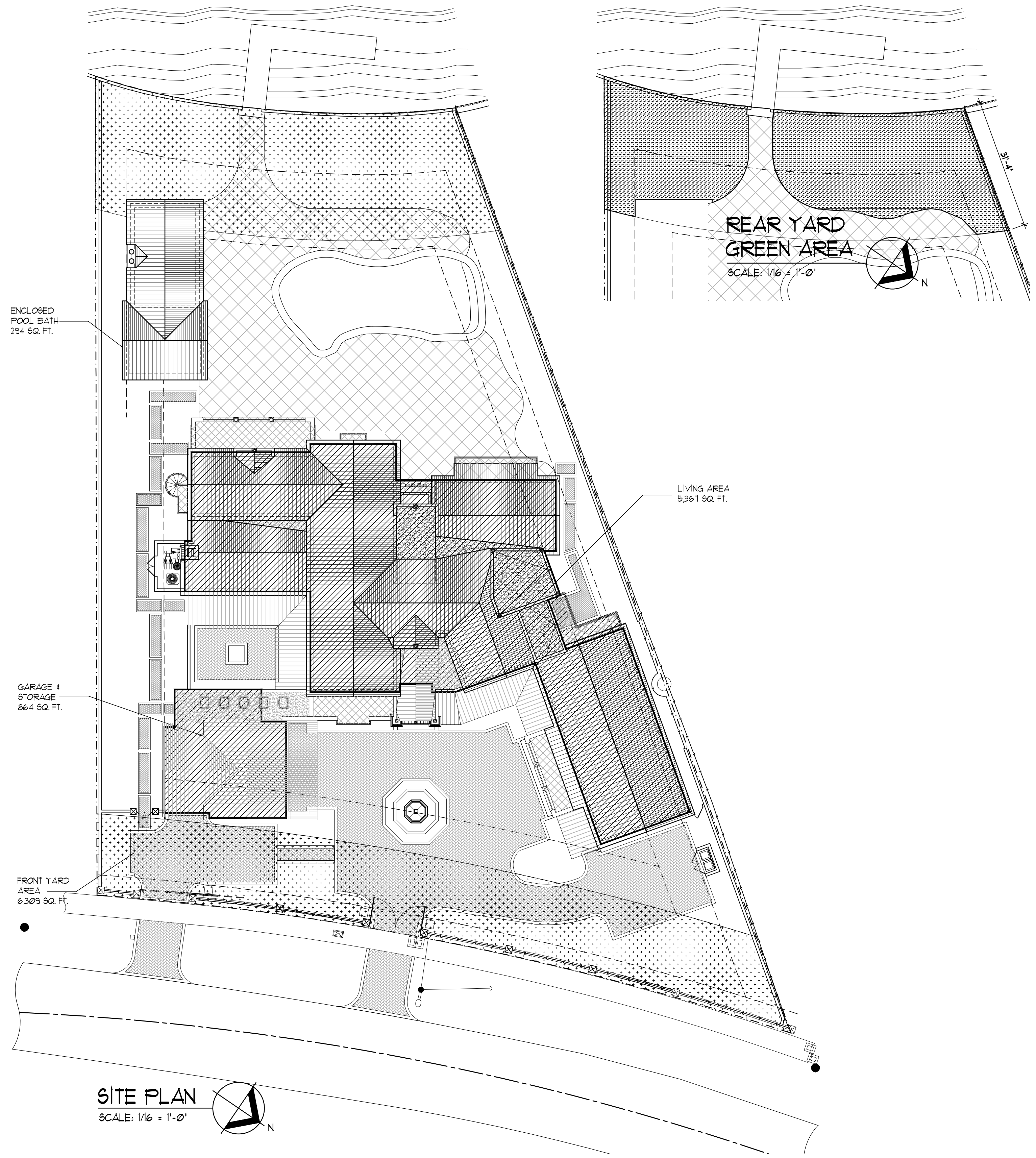
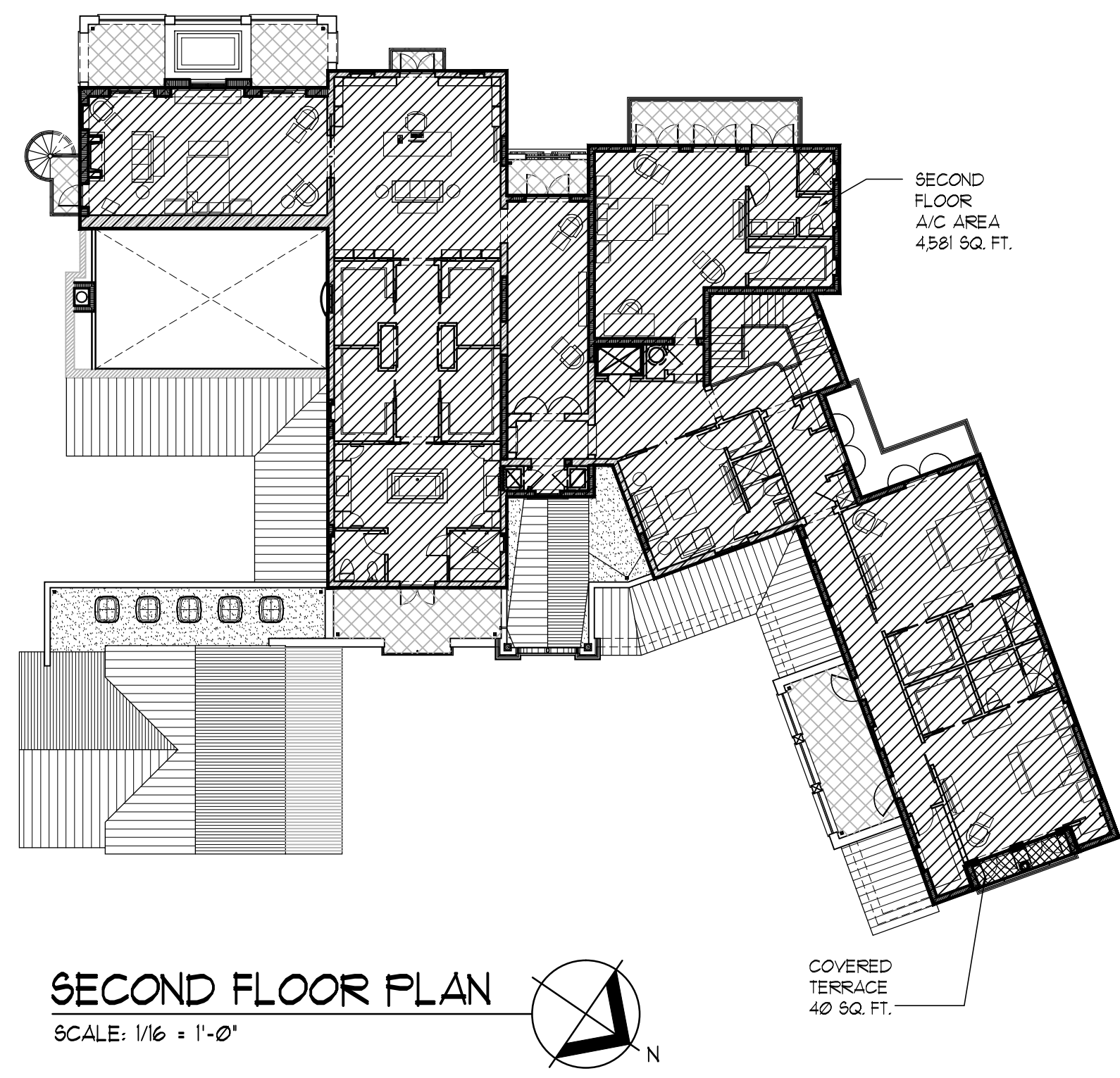
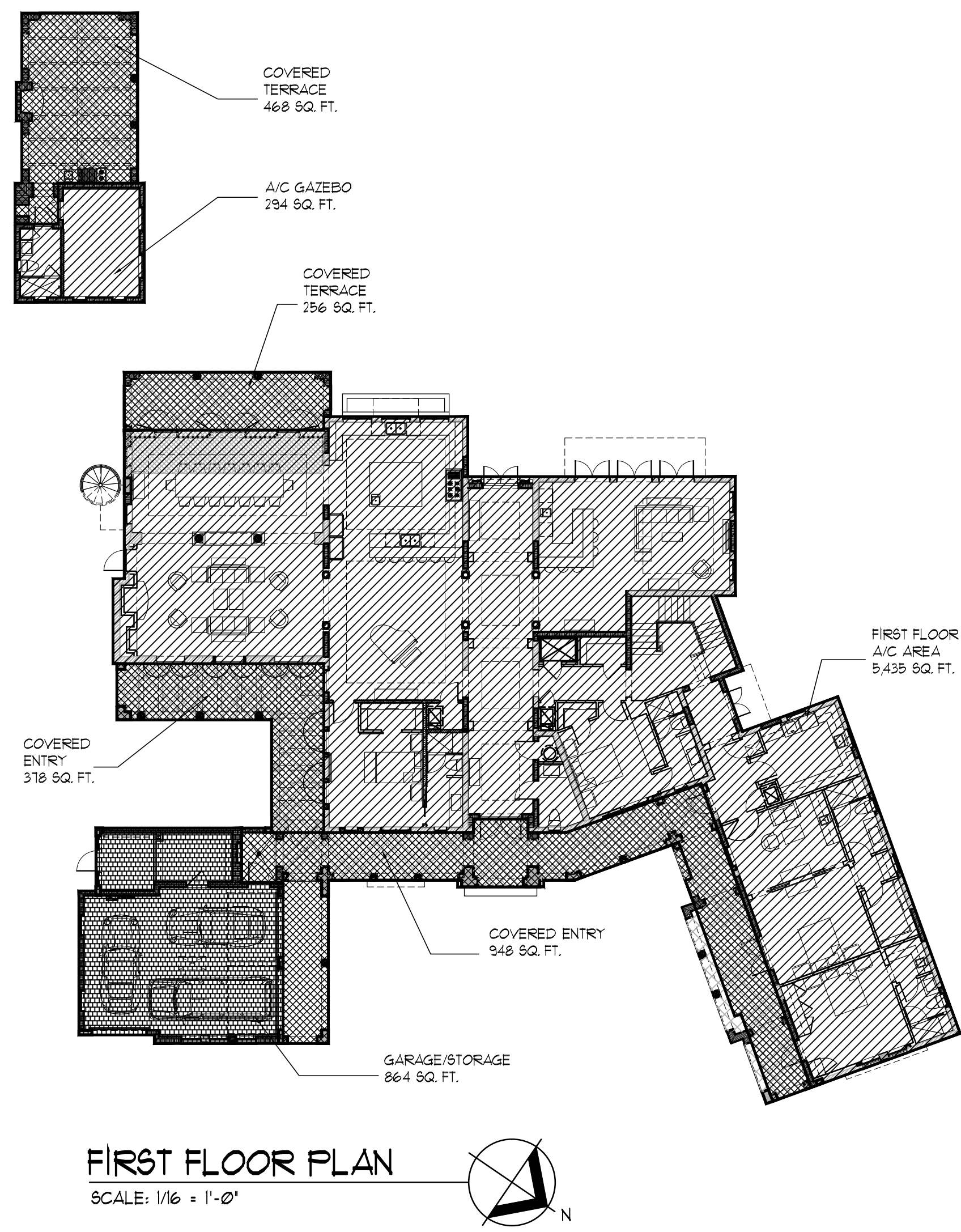
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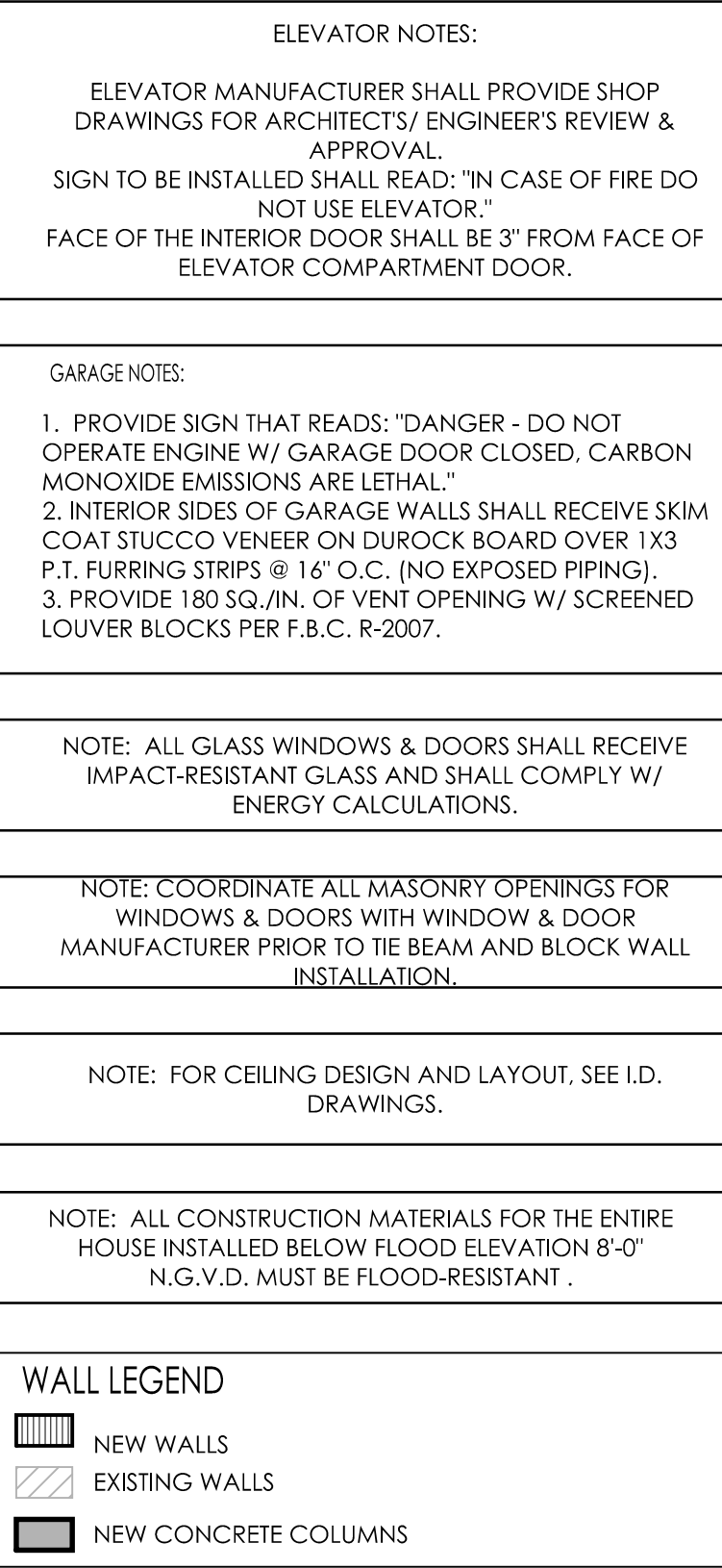
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AREA COMPUTATIONS FOR MIAMI BEACH			
RS-2 SINGLE FAMILY RESIDENTIAL			
MAIN BUILDING SETBACKS:		ALLOWED	PROVIDED
FRONT SETBACK			
ONE STORY		20'-0"	21'-4" -NEW
TWO STORY		30'-0"	31'-9.5" -EXISTING
SIDE SETBACK			
SUM 25% LOT WIDTH (165.5'x0.25=41.38')		41'-4.5"	5'-0" -EXISTING
ONE SIDE MINIMUM (1'-6" MIN. OR 10% LOT WIDTH (165.5'x0.10=16.55'))		16'-8"	8'-0" -EXISTING
REAR SETBACK (MIN. 20' & MAX. 50') 15% LOT DEPTH (209'x0.15=33.34')		31'-4"	75'-3.5" -NEW
ACCESSORY SETBACKS:		ALLOWED	PROVIDED
SIDE SETBACK		7'-6"	7'-6" -EXISTING
REAR SETBACK		15'-0"	35'-2.5" -EXISTING
LOT AREA =			26,184 SQ. FT.
LOT COVERAGE:			
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=			7,855 SQ. FT.
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=			9,164 SQ. FT.
LOT COVERAGE PROVIDED =			7,181 SQ. FT. (27.4 %)
UNIT SIZE (FAR):			
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=			13,092 SQ. FT.
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=			18,329 SQ. FT.
UNIT SIZE PROVIDED =			10,144 SQ. FT. (41.0 %)
FRONT YARD: 3,401 SQ. FT.			
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0' FROM PROPERTY LINE)=			1,192 SQ. FT.
FRONT YARD GREEN AREA PROVIDED:			1,646 SQ. FT.
REAR YARD: 2,980 SQ. FT.			
MINIMUM REAR YARD GREEN AREA REQUIRED (10% OF AREA 31'-4' FROM PROPERTY LINE)=			2,086 SQ. FT.
REAR YARD GREEN AREA PROVIDED:			2,220 SQ. FT.
RESIDENCE SQUARE FOOTAGE:			
FIRST FLOOR A/C:		5,435	SQ. FT.
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581	SQ. FT.
POOL BATH ENCLOSED AREA		294	SQ. FT.
TOTAL A/C AREA :		10,310	SQ. FT.
FIRST FLOOR COVERED TERRACES:		2,050	SQ. FT.
SECOND FLOOR COVERED TERRACES:		0	SQ. FT.
TOTAL COVERED TERRACES AREA:		2,050	SQ. FT.
GARAGE / STORAGE AREA:		864	SQ. FT.
TOTAL GROSS AREA:		13,224	SQ. FT.



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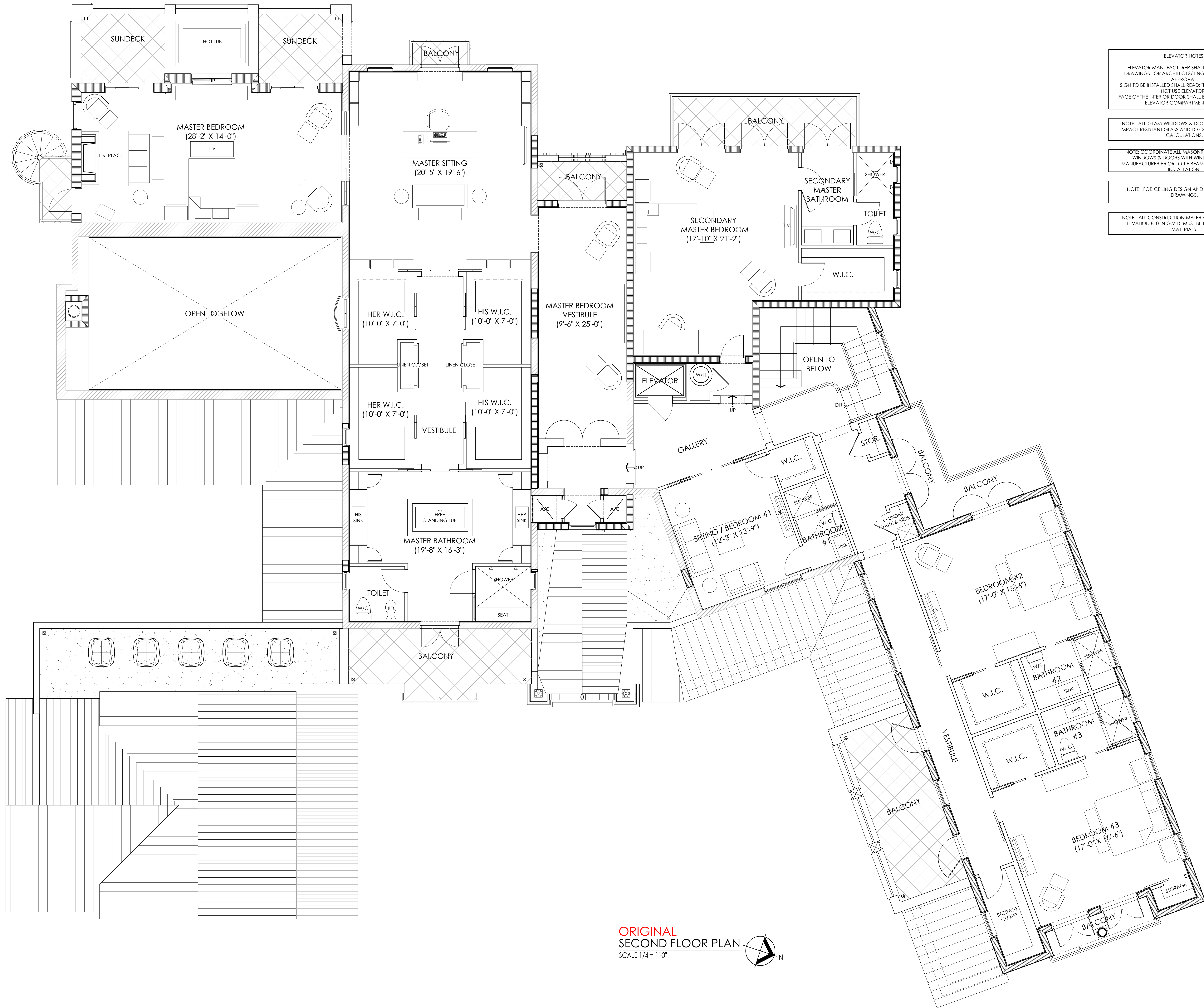
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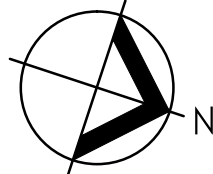
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PACHECO-MARTINEZ
& ASSOCIATES LLC.
AA26002619 . AR6412 . AR93773
4990 SW 72nd. AVE. SUITE 101 MIAMI FL. 33155
T (305) 666-2573 . F (305) 666-3871



- ELEVATOR NOTES:
ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S/ENGINEER'S REVIEW & APPROVAL.
SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR!"
FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- NOTE: ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND TO COMPLY W/ ENERGY CALCULATIONS.
- NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE: FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE: ALL CONSTRUCTION MATERIALS BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT MATERIALS.

ORIGINAL
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



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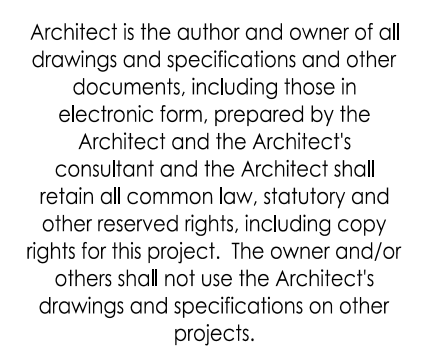
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28. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
29. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
30. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST" INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
31. ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED, BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT/ENGINEER/OWNER.
32. ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODES AND NOT SPECIFIED IN THE GENERAL NOTES AND OR SPECIFICATIONS ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
33. CONTRACTOR SHALL SUBMIT TO ARCHITECT/ENGINEER A BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
34. ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED GLASS CAT. II.
35. ALL FIXED GLASS SHALL BE 1/4" THICK, TEMPERED (U.O.U).
36. ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
37. USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
38. ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
39. DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
40. SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.
41. PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION, LOCATE THE NECESSARY SOFFIT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.
42. INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTED AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.
43. DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.
44. ASSURE THAT ALL FIREPLACE DAMPERS ARE TIGHTLY CLOSED.
45. INSURE THAT THERE IS NO DUCT LEAKAGE.
46. KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK, ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.
47. SLABS OVER CRAWL SPACES UNCONDITIONED SPACES SHALL BE SEALED AND INSULATED UNDERNEATH.
48. MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.
49. EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 491. BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.
 492. BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.
 493. BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL PLATES.
 494. JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.
 495. OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PIPING.
 496. BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL AND GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF EXTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR AND (WHEN APPLICABLE) BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.
 - 497.
50. WALL & CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION NOT GREATER THAN 200, AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER A.S.T.M. E-84.
51. ALL INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 PER F.B.C. R. 2001- R306.
52. ARCHITECT'S SPECIFICATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.

FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY U.L. 146B.
NO. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL 1/2" GYPSUM BOARD APPLIED VERTICALLY ATTACHED WITH 1-1/2" LONG NO. 6 DRYWALL SCREWS TO EACH SIDE (SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY U.L. 1512
METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE 1/2" GYPSUM WALLBOARD, GYPSUM COATED OR RING SHANKED NAILS 6" O.C. @ BUTT & SIDE JOINTS STAGGERED, PAPER TAPE SPREAD OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. 146B.
1-HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE 1/2" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COMMON NAILS 12" O.C. WITH END JOINTS ON WALLING MEMBERS. PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION. PROVIDE TWO ROUS BLOCKING AT 40" O.C.

TYPICAL NON-BEARING PARTITION
NO. 25 GA. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- 1- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- 2- RECONSTRUCT SIDEWALKS/ 500' ALONG THE ENTIRE PROPERTY.
- 3- MILL AND RESURFACE 2 INCH ABOVE USING 5-111 TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- 4 - ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET ISLANDS 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND: BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 801 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12, FOR A DISTANCE OF 188.9 FEET MORE OR LESS TO THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHEASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

NOTE NOTES

1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2. CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
3. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
4. NOTE: CROSS HATCHED AREAS DENOTES TRUSS RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
5. ALL AREA MARKED '500' TO BE SLOPED PER LANDSCAPING PLANS.
6. TERMITE PROTECTION ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

1. CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2001 AND PER MIAMI-DADE COUNTY LAWS. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
8. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 3211. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
9. SPOT ELEVATIONS, THE SPOT ELEVATIONS SHOWN ARE EXISTING FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS.
10. DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.

SCOPE OF WORK

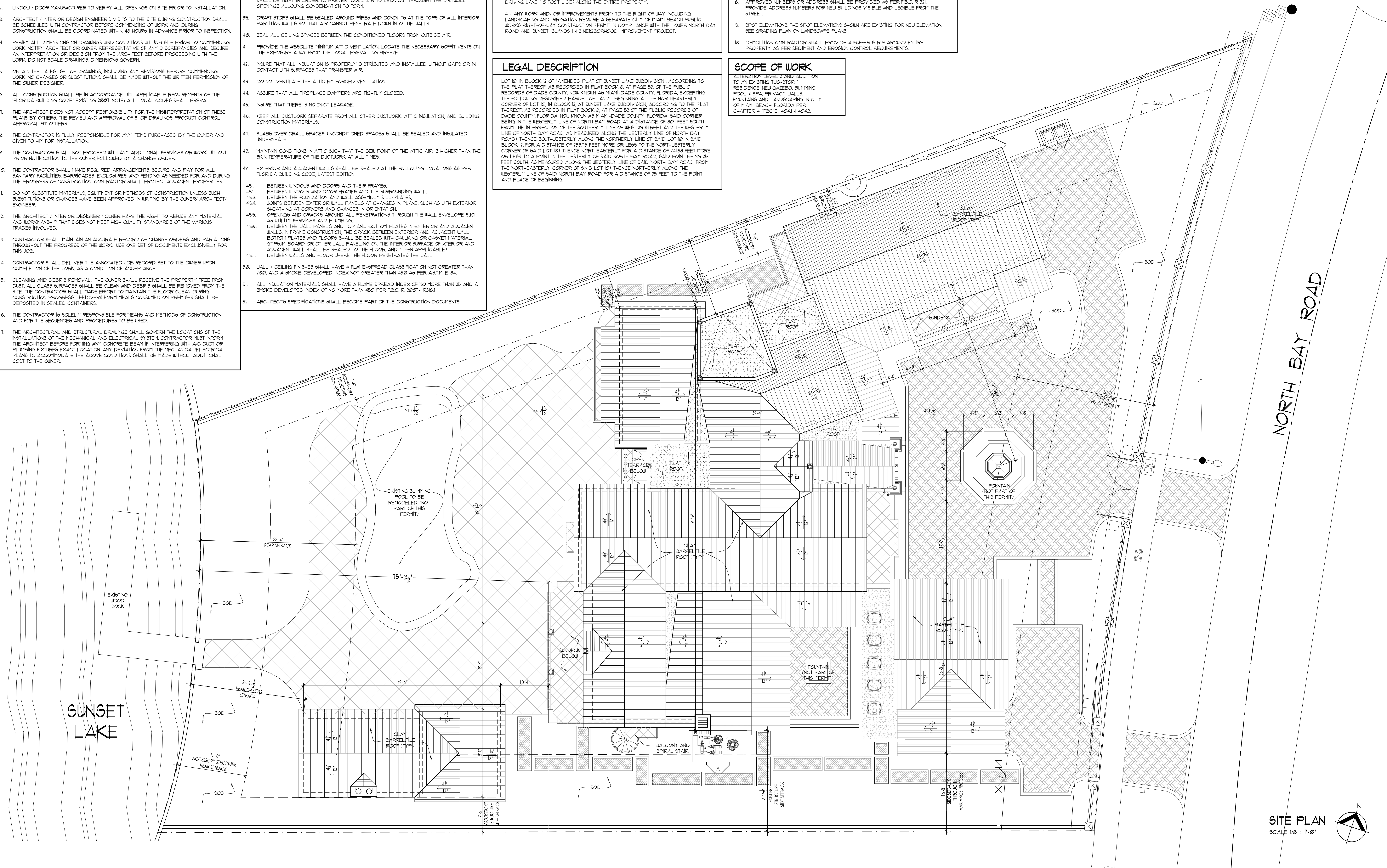
ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SUMMING POOL, & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBCS) 4041 & 4042.

ITEMS UNDER SEPARATE PERMIT

- NOTE: ALL ITEMS NOTED BELOW ARE NOT PART OF THIS PERMIT, BUT NOT LIMITED TO BUILDER SHALL COORDINATE WITH ALL TRADES REQUIRING SEPARATE PERMITS.
1. PRIVACY WALL
 2. WATERPROOFING
 3. WINDOWS & DOORS/ SKYLIGHTS
 4. DRIVEWAY
 5. SUMMING POOL
 6. FOUNTAINS
 7. RAILWORK (RAILINGS, ETC.)

ATTIC ROOF VENTILATION CALCULATIONS

MAIN BUILDING ROOF	
ROOF AREA =	4,311 @ 1/50' = 30 SQ. FT. VENTILATION REQUIRED
PERIMETER =	311'-10" x 15' = 38 SQ. FT. VENTILATION PROVIDED
GARAGE BUILDING ROOF	
ROOF AREA =	623 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	45'-0" x 15' = 5 SQ. FT. VENTILATION PROVIDED
GAZEBO BUILDING ROOF	
ROOF AREA =	151 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	63'-0" x 15' = 8 SQ. FT. VENTILATION PROVIDED



RESIDENCE REMODELING FOR:

Ms. DELPHINE DRAY
2740 NORTH BAY ROAD

revisions

date

issued

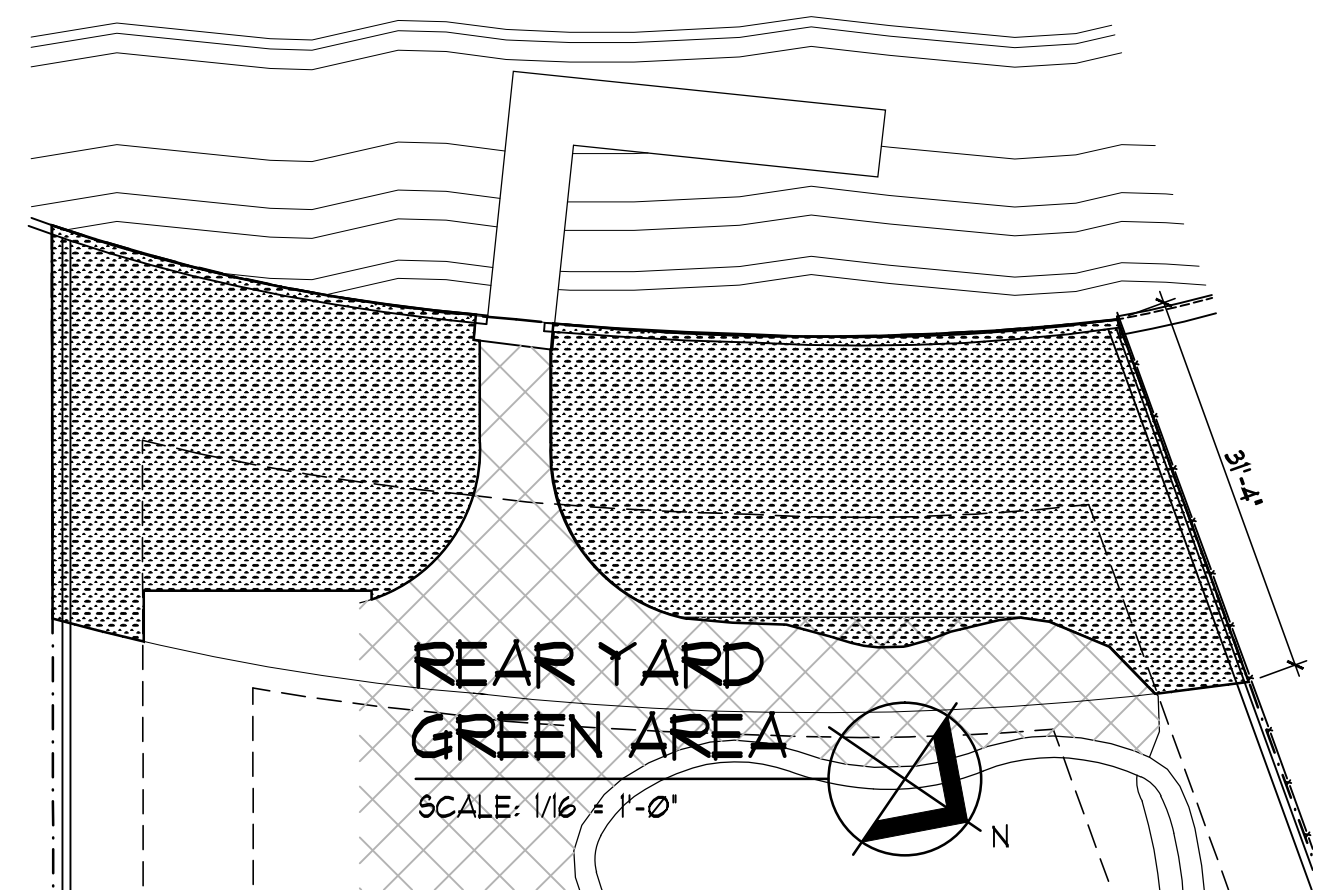
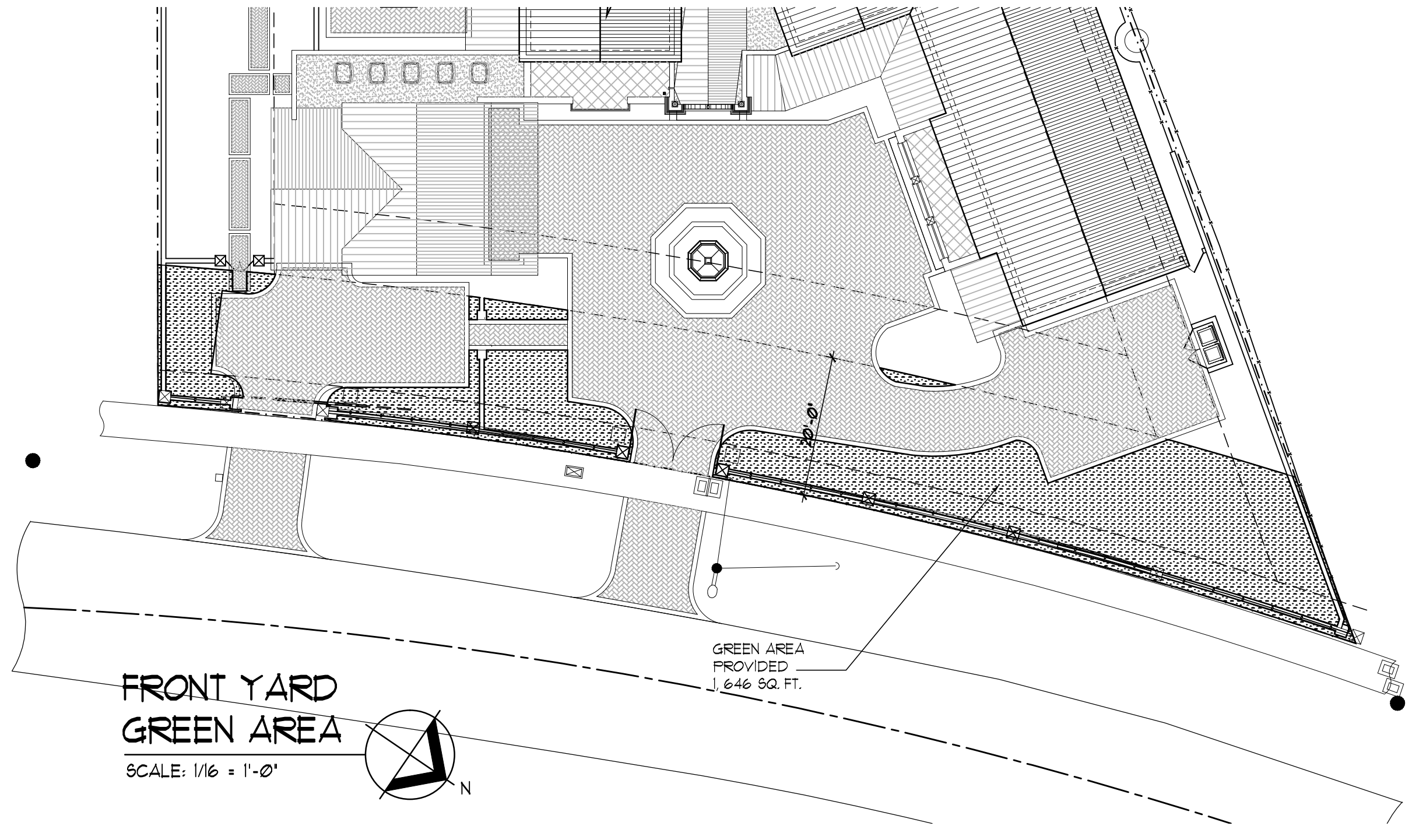
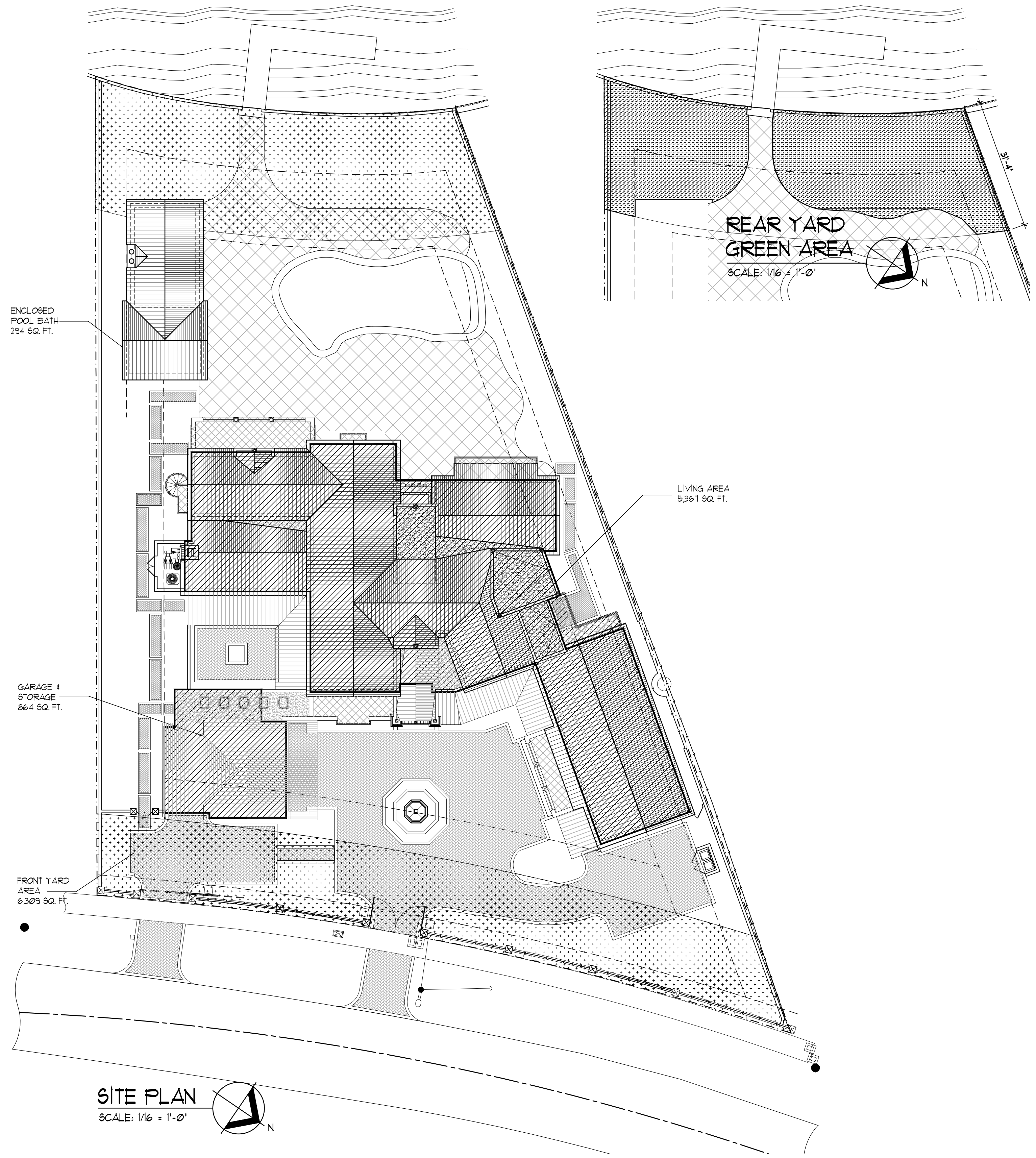
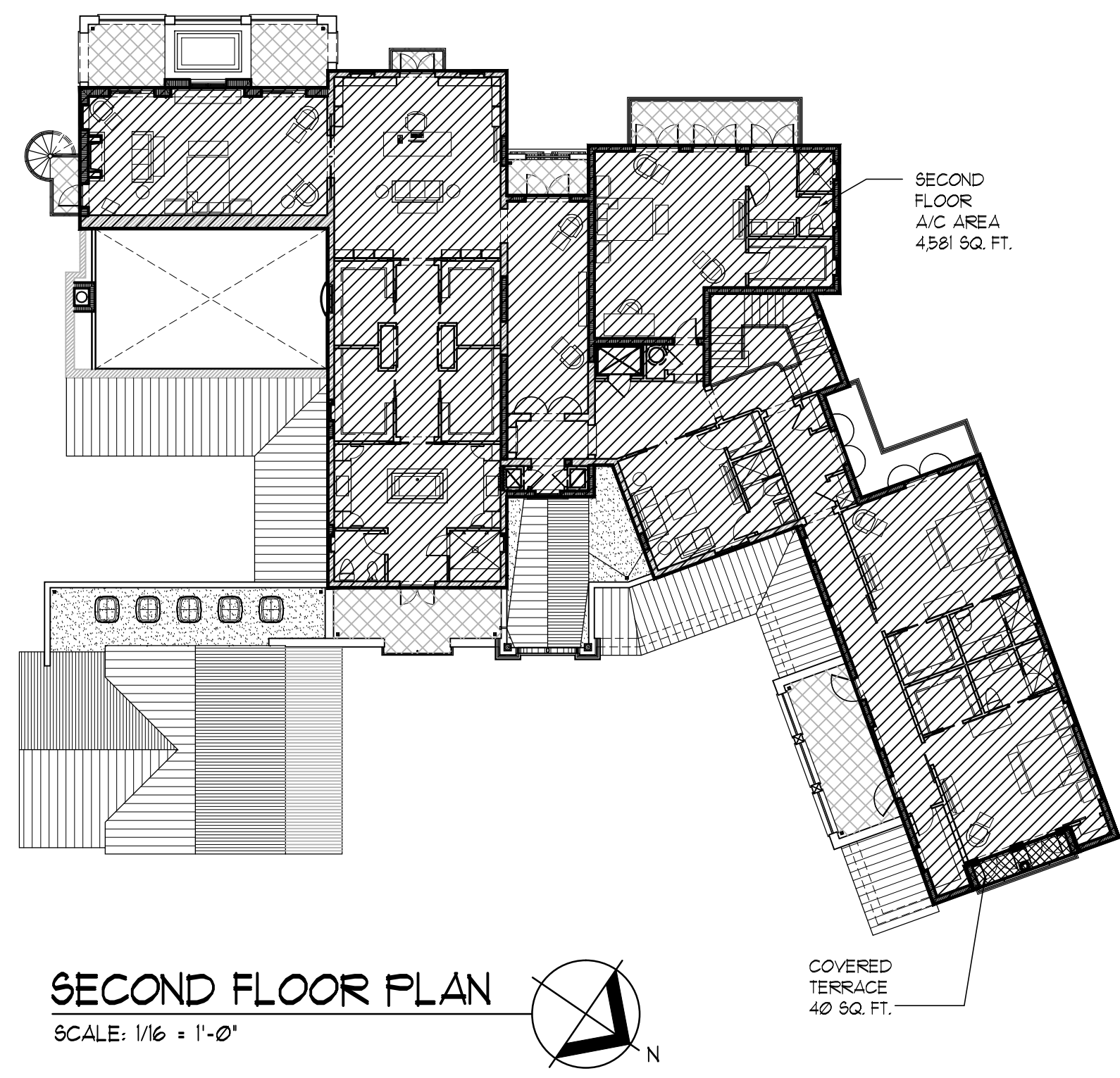
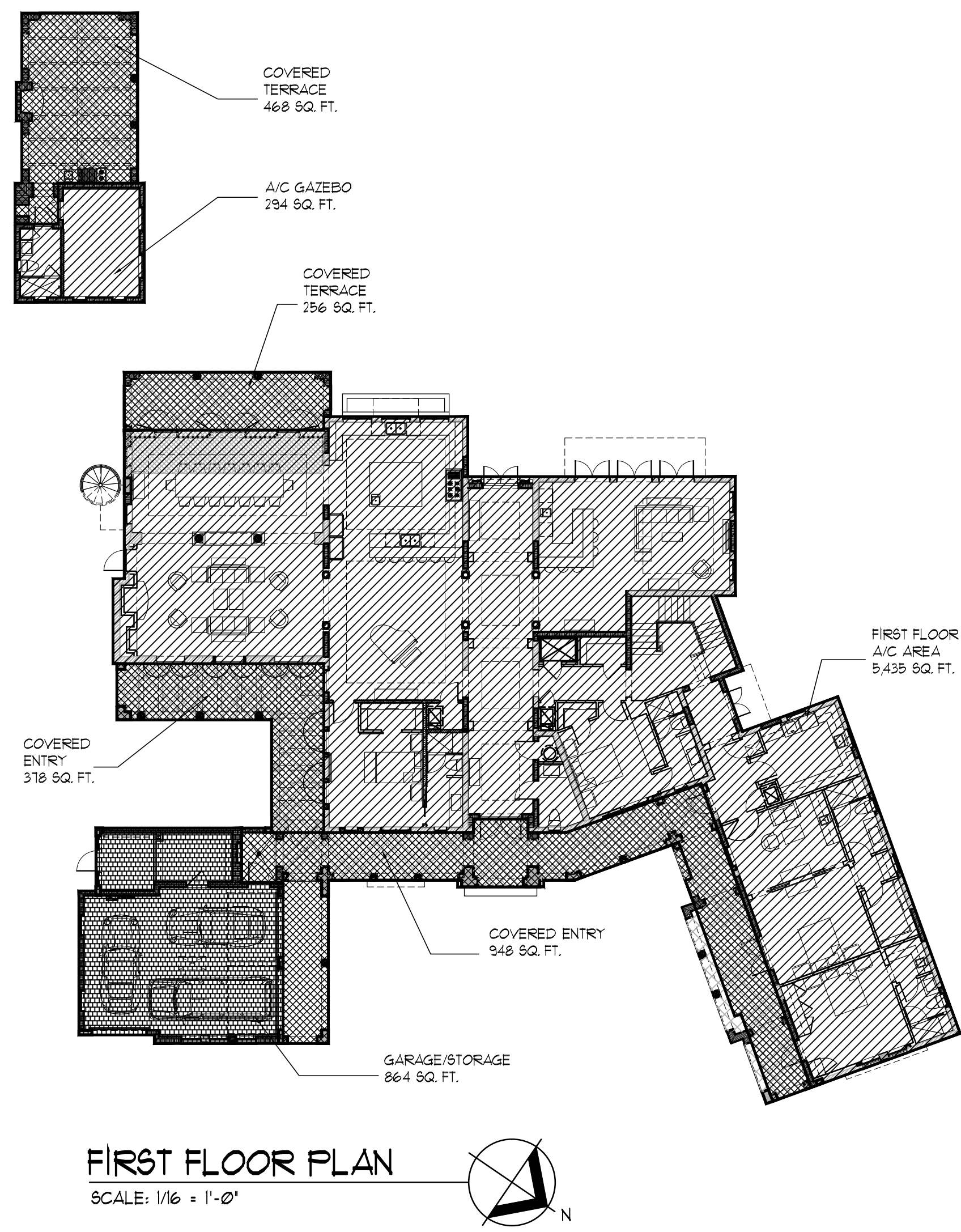
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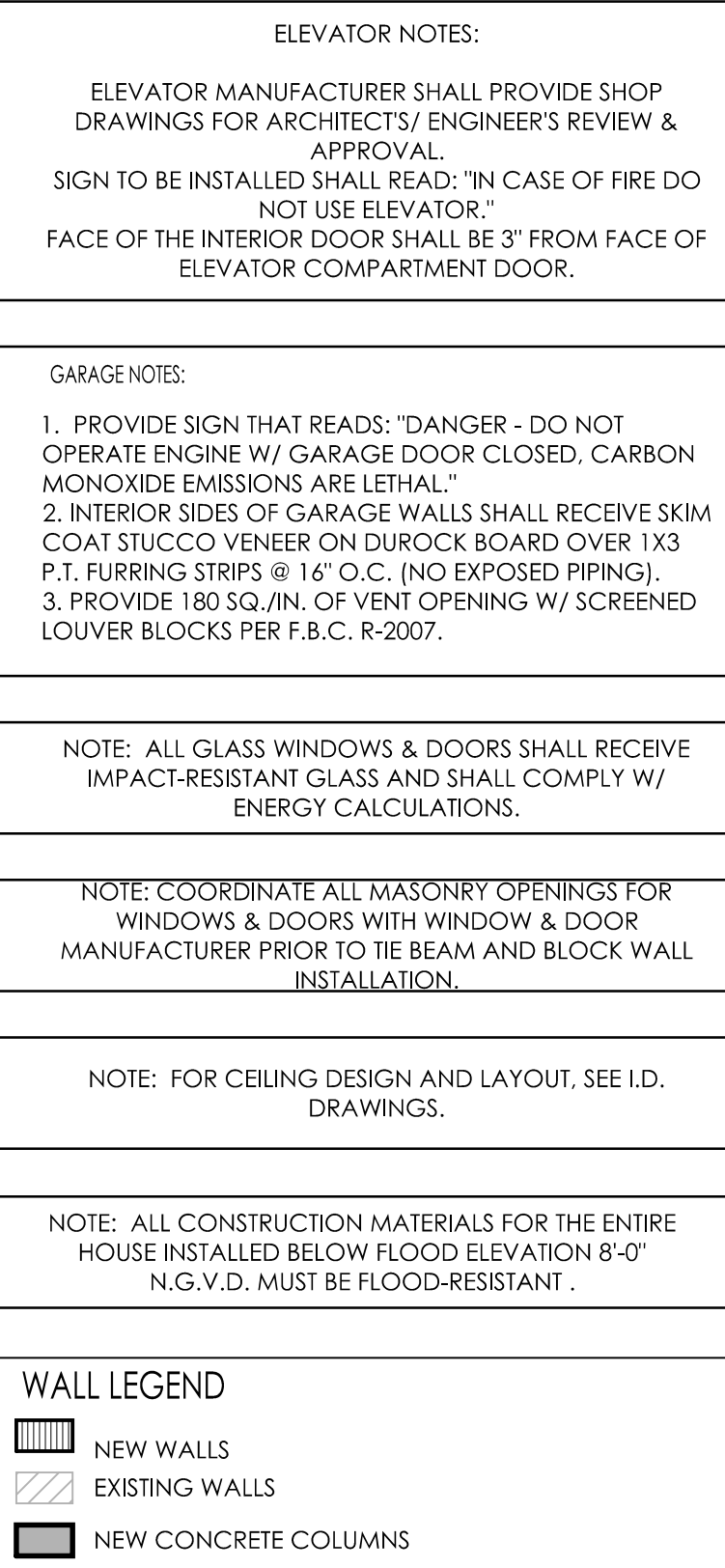
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sheet no.

SITE PLAN
SCALE 1/8" = 1'-0"



AREA COMPUTATIONS FOR MIAMI BEACH			
RS-2 SINGLE FAMILY RESIDENTIAL			
MAIN BUILDING SETBACKS:		ALLOWED	PROVIDED
FRONT SETBACK			
ONE STORY		20'-0"	21'-4" -NEW
TWO STORY		30'-0"	31'-9.5" -EXISTING
SIDE SETBACK			
SUM 25% LOT WIDTH (165.5'x0.25=41.38')		41'-4.5"	5'-0" -EXISTING
ONE SIDE MINIMUM (1'-6" MIN. OR 10% LOT WIDTH (165.5'x0.10=16.55'))		16'-8"	8'-0" -EXISTING
REAR SETBACK (MIN. 20' & MAX. 50') 15% LOT DEPTH (209'x0.15=33.34')		31'-4"	75'-3.5" -NEW
ACCESSORY SETBACKS:		ALLOWED	PROVIDED
SIDE SETBACK		7'-6"	7'-6" -EXISTING
REAR SETBACK		15'-0"	35'-2.5" -EXISTING
LOT AREA =			26,184 SQ. FT.
LOT COVERAGE:			
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=			7,855 SQ. FT.
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=			9,164 SQ. FT.
LOT COVERAGE PROVIDED =			7,181 SQ. FT. (27.4 %)
UNIT SIZE (FAR):			
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=			13,092 SQ. FT.
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=			18,329 SQ. FT.
UNIT SIZE PROVIDED =			10,144 SQ. FT. (41.0 %)
FRONT YARD: 3,401 SQ. FT.			
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0' FROM PROPERTY LINE)=			1,192 SQ. FT.
FRONT YARD GREEN AREA PROVIDED:			1,646 SQ. FT.
REAR YARD: 2,980 SQ. FT.			
MINIMUM REAR YARD GREEN AREA REQUIRED (10% OF AREA 31'-4' FROM PROPERTY LINE)=			2,086 SQ. FT.
REAR YARD GREEN AREA PROVIDED:			2,220 SQ. FT.
RESIDENCE SQUARE FOOTAGE:			
FIRST FLOOR A/C:		5,435	SQ. FT.
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581	SQ. FT.
POOL BATH ENCLOSED AREA		294	SQ. FT.
TOTAL A/C AREA :		10,310	SQ. FT.
FIRST FLOOR COVERED TERRACES:		2,050	SQ. FT.
SECOND FLOOR COVERED TERRACES:		0	SQ. FT.
TOTAL COVERED TERRACES AREA:		2,050	SQ. FT.
GARAGE / STORAGE AREA:		864	SQ. FT.
TOTAL GROSS AREA:		13,224	SQ. FT.



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MIAMI BEACH, FLORIDA

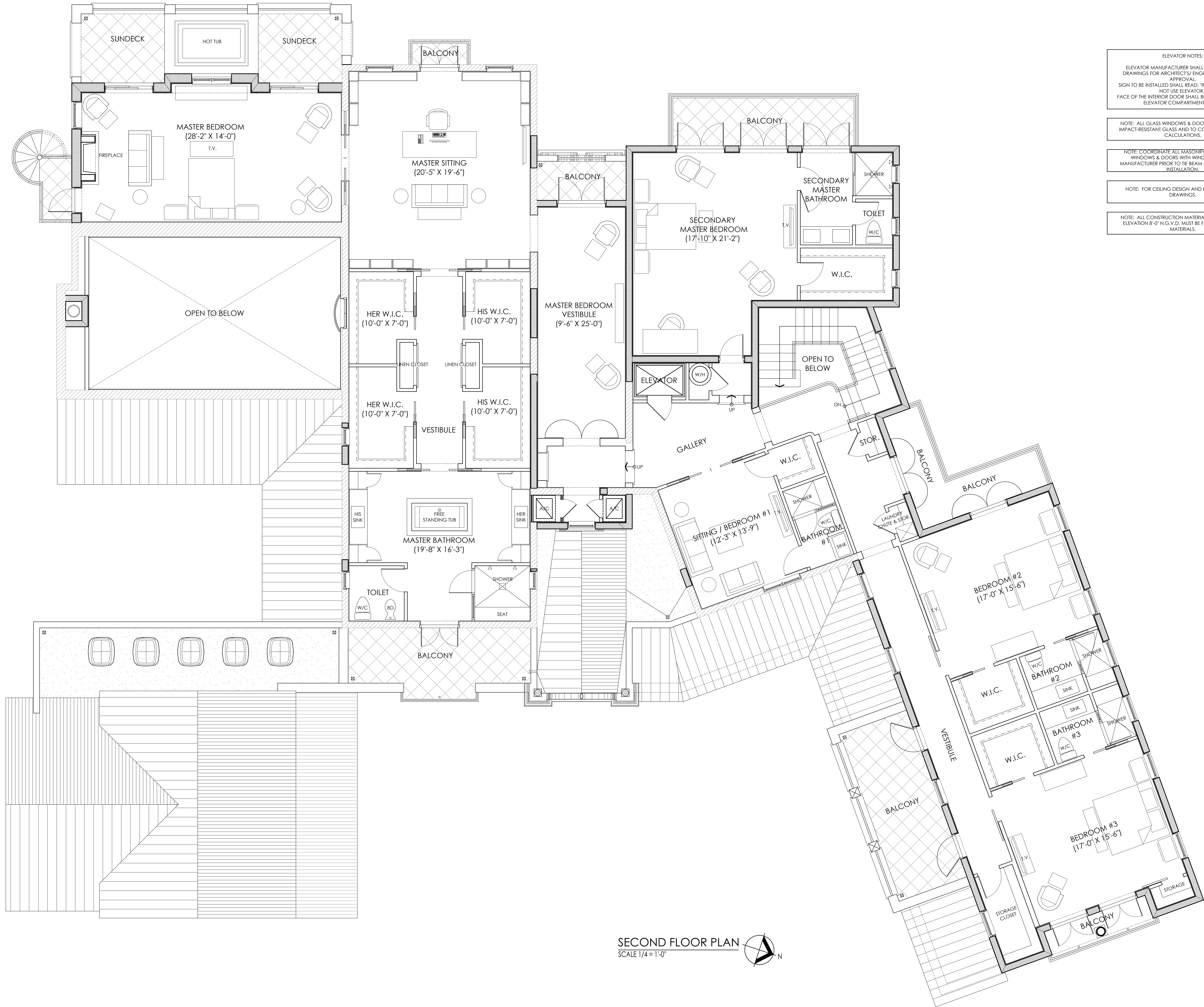
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MS. DELPHINE DRAY
2740 NORTH BAY ROAD

date _____
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PACHECO-MARTINEZ
& ASSOCIATES LLC.
 AA26002619 . AR6412 . AR93773
 4990 SW 72nd. AVE. SUITE 101 MIAM FL. 33155
 T (305) 666-2573 . F (305) 666-3871



- ELEVATOR NOTES:
ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S/ENGINEER'S REVIEW & APPROVAL.
SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR!"
FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- NOTE: ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND TO COMPLY W/ ENERGY CALCULATIONS.
- NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE: FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE: ALL CONSTRUCTION MATERIALS BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT MATERIALS.

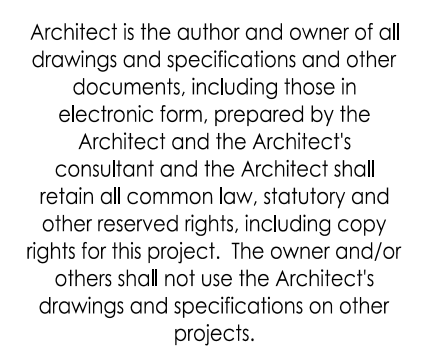
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

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MIAMI BEACH, FLORIDA

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drawn	2	
checked	3	
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sheet no.		



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Ms. DELPHINE DRAY

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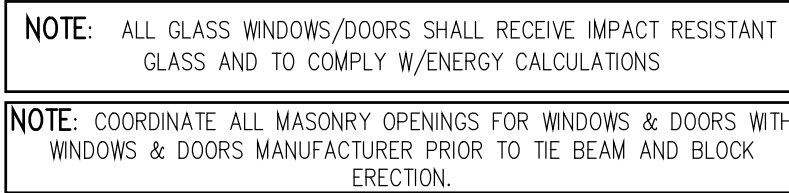
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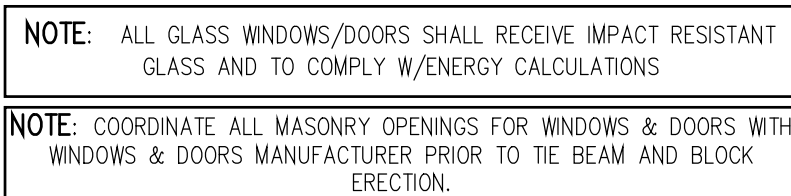
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SIDE ELEVATION (NORTH WEST)

SCALE 1/4" = 1'-0"



SIDE ELEVATION (SOUTH EAST)

SCALE 1/4" = 1'-0"