

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OF LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
- CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (I.I.O.N.).
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
- ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
- ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACT/MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (I.I.O.N.).
- STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS. TO LOCATED OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, ETC.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI-301 ETC. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-347 RECOMMENDED PRACTICE FOR CONCRETE FORM.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY. SIZE AND QUANTITY OF REBARS ARE PER STRUCTURAL DRAWINGS AND SCHEDULES.
- NO BEAMS SHALL BE FORMED/POURED PRIOR TO TRUSS SHOP DRAWINGS INSTALLATION.
- WINDOW / DOOR MANUFACTURER TO VERIFY ALL OPENINGS ON SITE PRIOR TO APPROVAL.
- ARCHITECT / INTERIOR DESIGN ENGINEER'S VISITS TO THE SITE DURING CONSTRUCTION SHALL BE SCHEDULED WITH CONTRACTOR BEFORE COMMENCING WORK AND DURING CONSTRUCTION SHALL BE COORDINATED WITHIN 48 HOURS IN ADVANCE PRIOR TO INSPECTION.
- VERIFY ALL DIMENSIONS ON DRAWINGS AND CONDITIONS AT JOB SITE PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OR OWNER REPRESENTATIVE OF ANY DISCREPANCIES AND SECURE AN INTERPRETATION OR DECISION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER DESIGNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE" EXISTING 2014. NOTE: ALL LOCAL CODES SHALL PREVAIL.
- THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS. THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL, APPROVAL BY OTHERS.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER, FOLLOWED BY A CHANGE ORDER.
- THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
- DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ ARCHITECT/ ENGINEER.
- THE ARCHITECT / INTERIOR DESIGNER / OWNER HAVE THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB.
- CONTRACTOR SHALL DELIVER THE ANNOTATED JOB RECORD SET TO THE OWNER UPON COMPLETION OF THE WORK, AS A CONDITION OF ACCEPTANCE.
- CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FORM MEALS CONSUMED ON PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN THE LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING ANY CONCRETE BEAM IF INTERFERING WITH A/C DUCT OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.

FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY U.L. #U465
 NO. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL "X" GYPSUM BOARD APPLIED VERTICALLY, ATTACHED WITH 1" LONG NO. 4 SDR WALL SCREWS TO EACH SIDE. (SCREENS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY U.L. #L558
 METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD, CEMENT-COATED OR RING SHANKED NAILS 6" O.C. W/ BUTT & JOINTS STAGGERED. PAPER TAPE EMBEDDED OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. #U465
 1-HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE "X" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY WALLED WITH 1/4" COOLER NAILS 7" O.C. WITH END JOINTS ON WALING MEMBERS. PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION, PROVIDE TWO ROWS BLOCKING AT 4' O.C.

TYPICAL NON-BEARING PARTITION
 NO. 25 G.C. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- RECONSTRUCT SWALES / SOD ALONG THE ENTIRE PROPERTY.
- MILL AND RESURFACE 2 INCH ABOVE USING 5/8" TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET BLVD 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND: BEGINNING AT THE NORTHEASTLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 80.1 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST 29 STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12 FOR A DISTANCE OF 288.75 FEET MORE OR LESS TO THE NORTH-WESTERLY CORNER OF SAID LOT 10; THENCE NORTH-EASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

SITE NOTES

- ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
- CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
- LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
- NOTE: CROSS HATCHED AREAS DENOTES TRUSS BESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
- ALL AREA MARKED "SOD" TO BE SODDED PER LANDSCAPING PLANS.
- TERMITE PROTECTION: ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT - PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENTS:
 "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENTS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2014 AND PER MIAMI-DADE COUNTY H.S.S. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
- APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 321.1. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
- SPOT ELEVATIONS. THE SPOT ELEVATIONS SHOWN ARE EXISTING. FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS.
- DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.

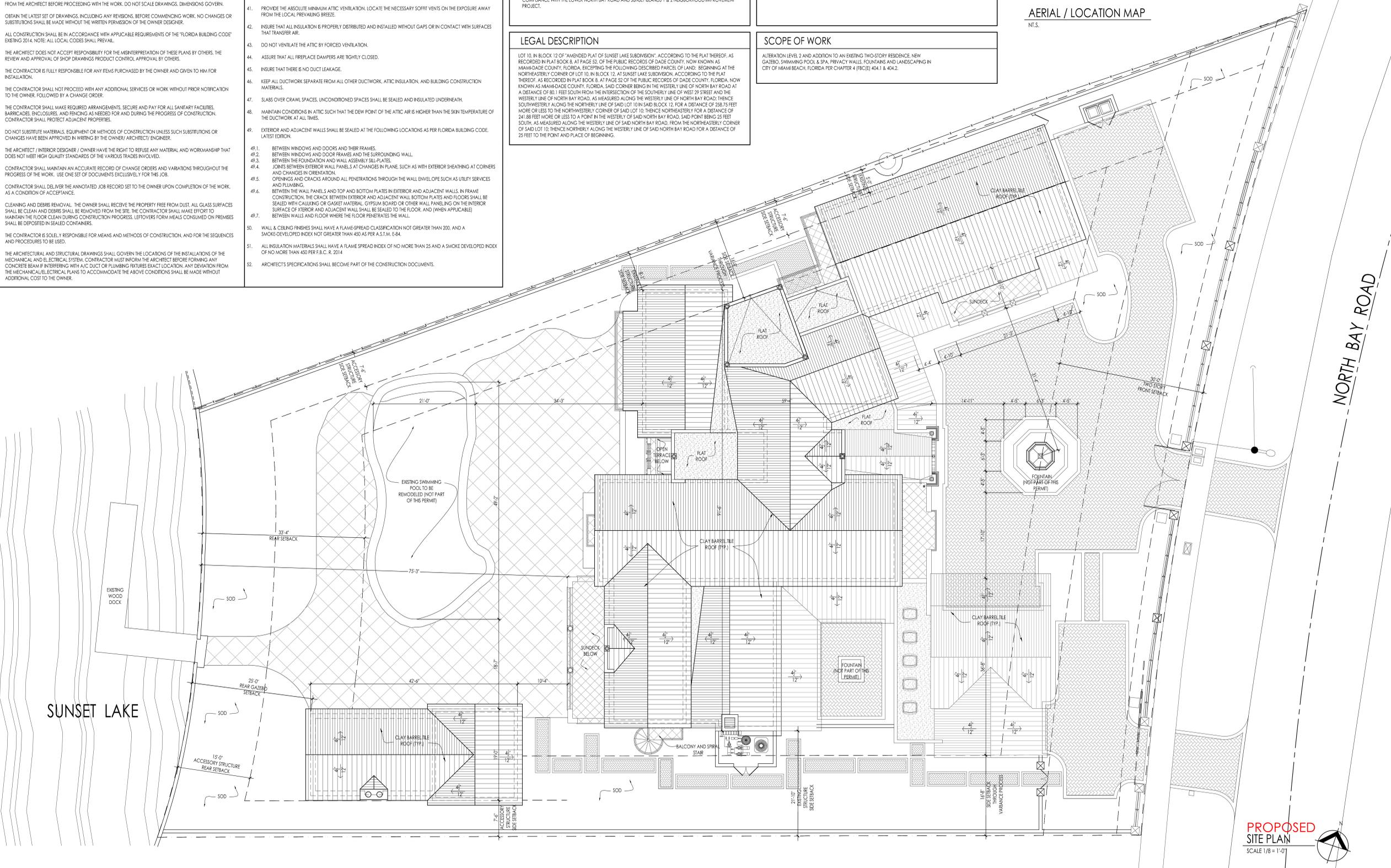


AERIAL / LOCATION MAP

NT.S.

SCOPE OF WORK

ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SWIMMING POOL & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBC) 404.1 & 404.2.



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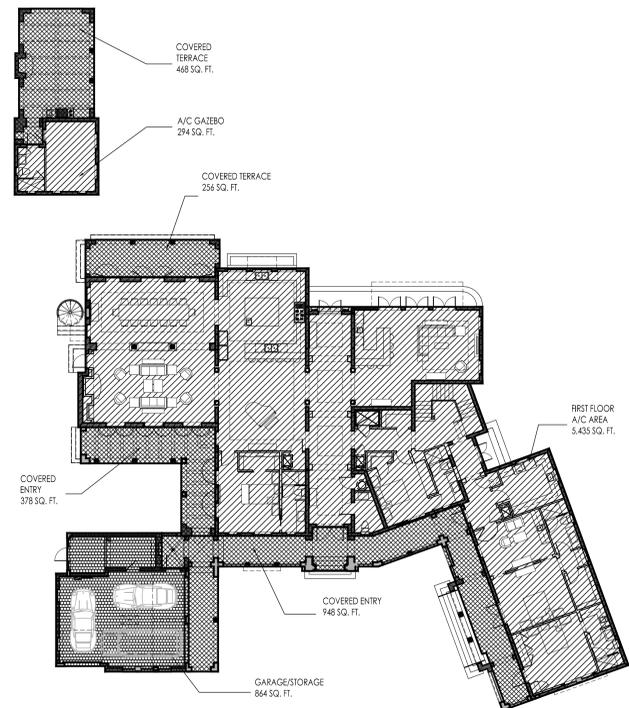
NEW RESIDENCE FOR:
MS. DELPHINE DRAY
 2740 NORTH BAY ROAD
 MIAMI BEACH, FLORIDA

date	revisions
05-01-2017	

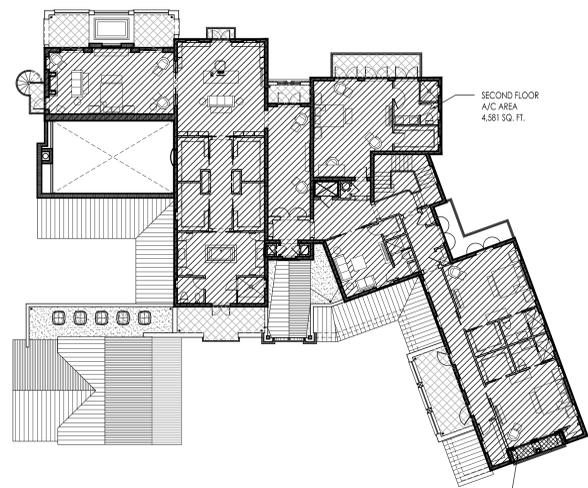
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 project no. 1716

PROPOSED SITE PLAN
 SCALE 1/8" = 1'-0"

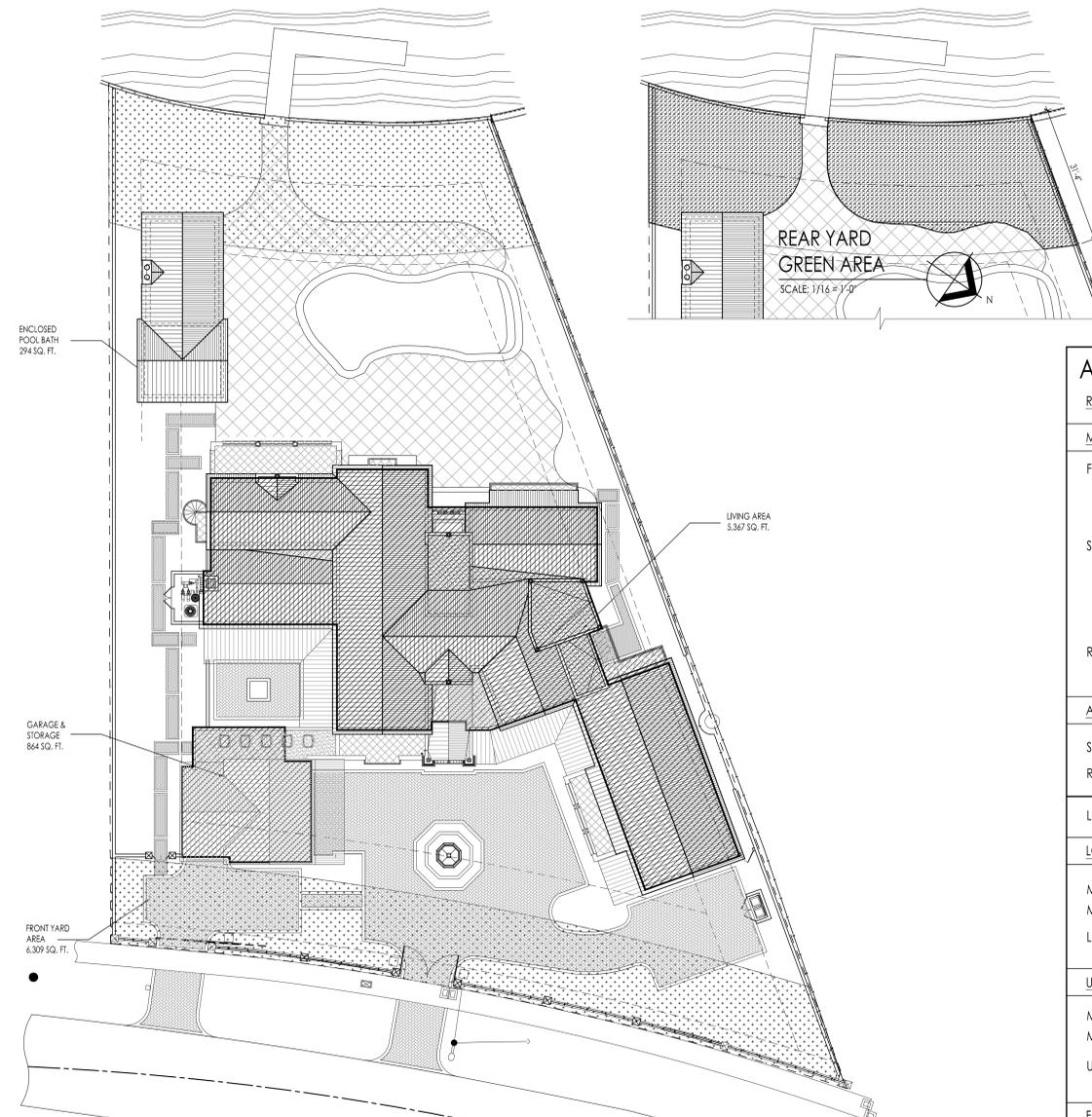




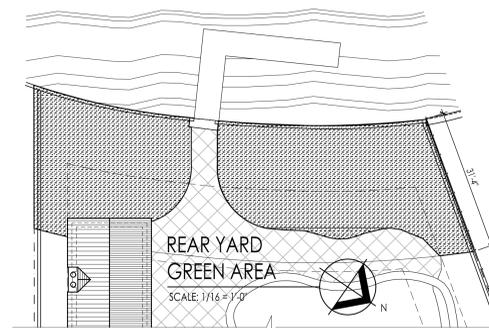
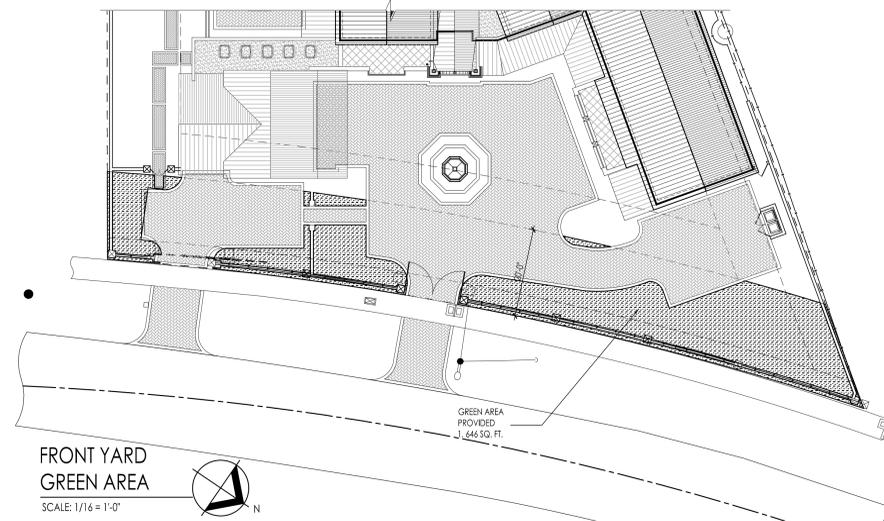
FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



SITE PLAN
SCALE: 1/16" = 1'-0"



AREA COMPUTATIONS FOR MIAMI BEACH

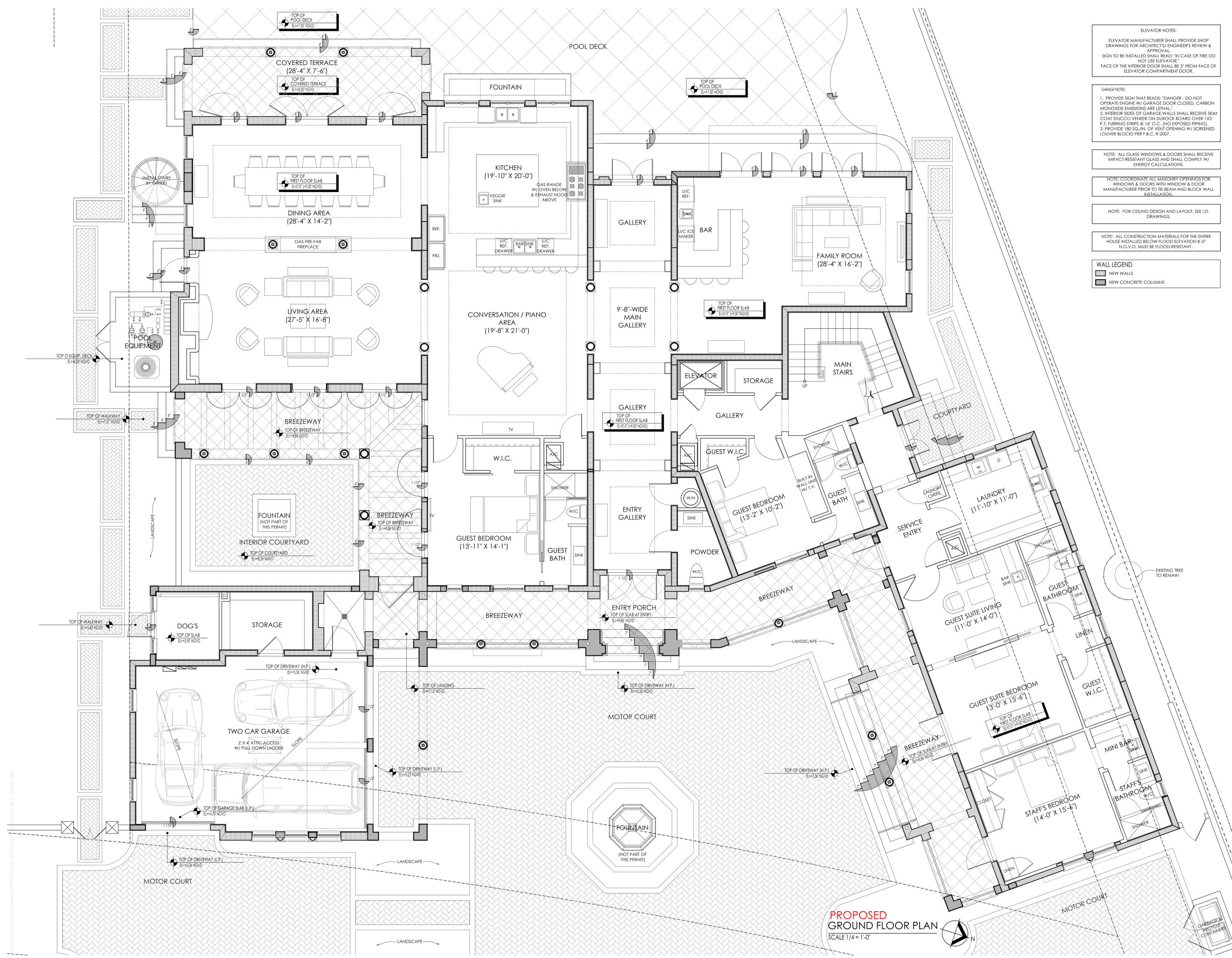
RS-2 SINGLE FAMILY RESIDENTIAL			
MAIN BUILDING SETBACKS:	ALLOWED	PROVIDED	
FRONT SETBACK			
ONE STORY	20'-0"	21'-4"	-NEW
TWO STORY	30'-0"	31'-9.5"	-EXISTING
SIDE SETBACK			
SUM 25% LOT WIDTH (165.5*0.25=41.38')	41'-4.5"	5'-0"	-EXISTING
ONE SIDE MINIMUM (7'-6" MIN. OR 10% LOT WIDTH (165.5*0.10=16.55'))	16'-8"	16'-8"	-VARIANCE.
REAR SETBACK (MIN. 20' & MAX. 50')			
15% LOT DEPTH (209*0.15=33.34')	31'-4"	75'-3.5"	-NEW
ACCESSORY SETBACKS:	ALLOWED	PROVIDED	
SIDE SETBACK	7'-6"	7'-6"	-EXISTING
REAR SETBACK	15'-0"	35'-2.5"	-EXISTING
LOT AREA =		26,184 SQ. FT.	
LOT COVERAGE:			
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=		7,855 SQ. FT.	
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=		9,164 SQ. FT.	
LOT COVERAGE PROVIDED=		7,181 SQ. FT. (27.4%)	
UNIT SIZE (FAR):			
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=		13,092 SQ. FT.	
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=		18,329 SQ. FT.	
UNIT SIZE PROVIDED=		10,744 SQ. FT. (41.0%)	
FRONT YARD:	3,407 SQ. FT.		
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0" FROM PROPERTY LINE)=		1,192 SQ. FT.	
FRONT YARD GREEN AREA PROVIDED:		1,646 SQ. FT.	
REAR YARD:	2,980 SQ. FT.		
MINIMUM REAR YARD GREEN AREA REQUIRED (70% OF AREA 31'-4" FROM PROPERTY LINE)=		2,086 SQ. FT.	
REAR YARD GREEN AREA PROVIDED:		2,220 SQ. FT.	
RESIDENCE SQUARE FOOTAGE:			
FIRST FLOOR A/C:		5,435 SQ. FT.	
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581 SQ. FT.	
POOL BATH ENCLOSED AREA		294 SQ. FT.	
TOTAL A/C AREA:		10,310 SQ. FT.	
FIRST FLOOR COVERED TERRACES:		2,050 SQ. FT.	
SECOND FLOOR COVERED TERRACES:		0 SQ. FT.	
TOTAL COVERED TERRACES AREA:		2,050 SQ. FT.	
GARAGE / STORAGE AREA:		864 SQ. FT.	
		TOTAL GROSS AREA:	13,224 SQ. FT.

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- ELEVATOR NOTES:**
 ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS/ENGINEERS REVIEW & APPROVAL.
 SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR."
 FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- GARAGE NOTES:**
 1. PROVIDE SIGN THAT READS: "DANGER - DO NOT OPERATE ENGINE W/ GARAGE DOOR CLOSED. CARBON MONOXIDE EMISSIONS ARE LETHAL."
 2. INTERIOR SIDES OF GARAGE WALLS SHALL RECEIVE SKIM COAT STUCCO VENEER ON DUROCK BOARD OVER 1X3 P.T. FURRING STRIPS @ 16" O.C. (NO EXPOSED PIPING).
 3. PROVIDE 180 SQ./IN. OF VENT OPENING W/ SCREENED LOUVER BLOCKS PER F.B.C. R-2007.
- NOTE:** ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND SHALL COMPLY W/ ENERGY CALCULATIONS.
- NOTE:** COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE:** FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE:** ALL CONSTRUCTION MATERIALS FOR THE ENTIRE HOUSE INSTALLED BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT.
- WALL LEGEND**
 [Pattern] NEW WALLS
 [Pattern] NEW CONCRETE COLUMNS

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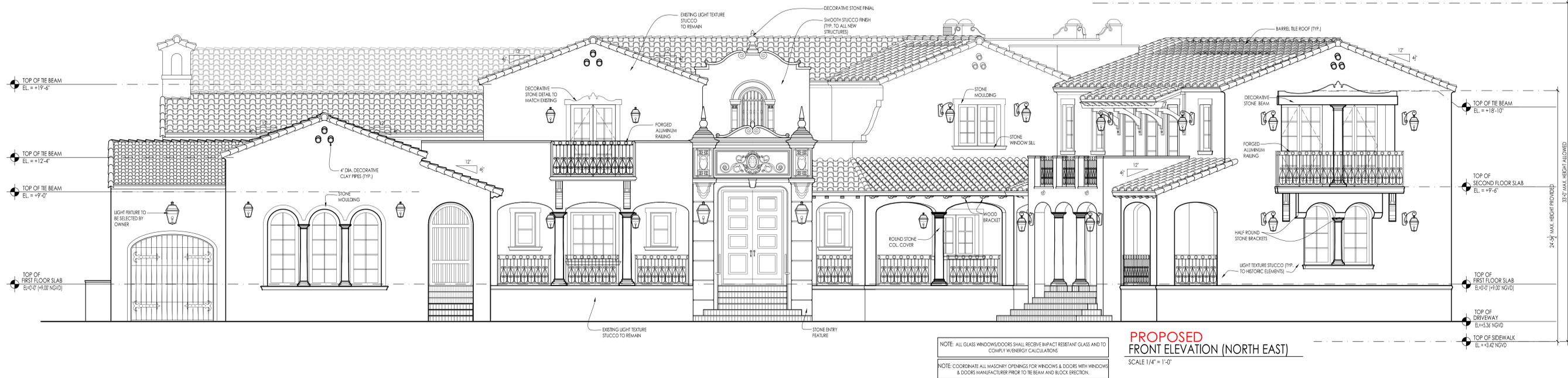
PROPOSED
GROUND FLOOR PLAN
 SCALE 1/4" = 1'-0"



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NOTE: ALL GLASS WINDOWS/DOORS SHALL RECEIVE IMPACT RESISTANT GLASS AND TO COMPLY W/ENERGY CALCULATIONS
 NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOWS & DOORS MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

PROPOSED FRONT ELEVATION (NORTH EAST)
 SCALE 1/4" = 1'-0"



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PROPOSED REAR ELEVATION (SOUTH WEST)
 SCALE 1/4" = 1'-0"

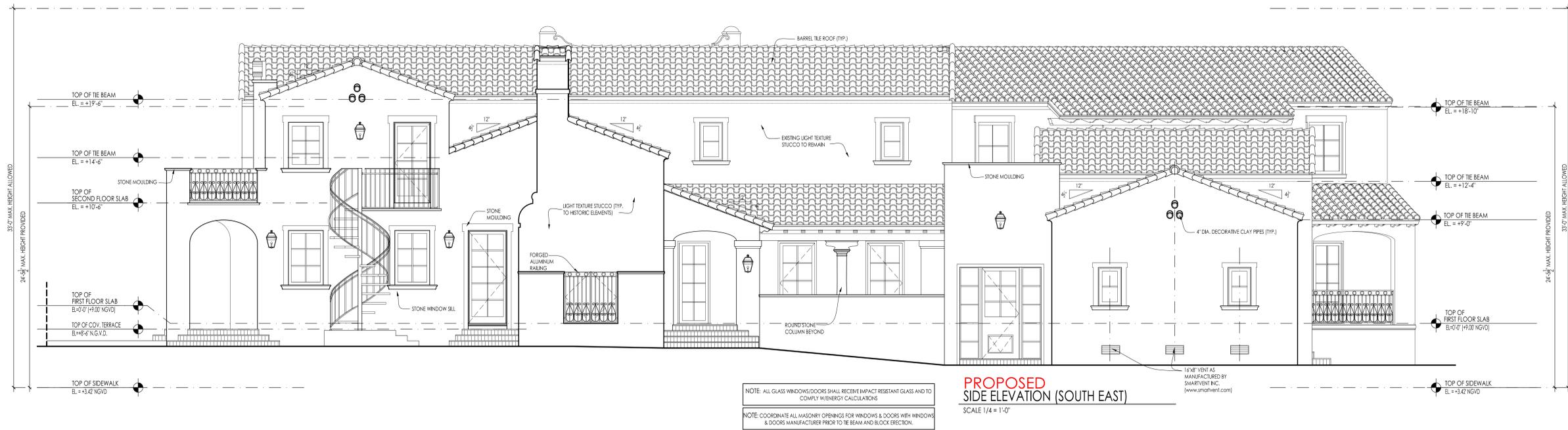
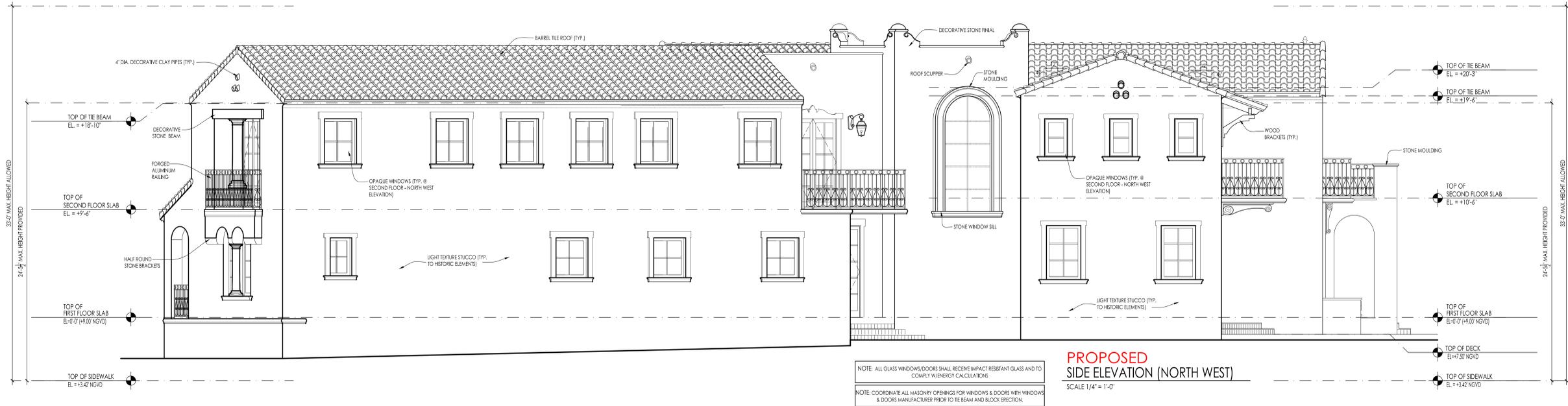
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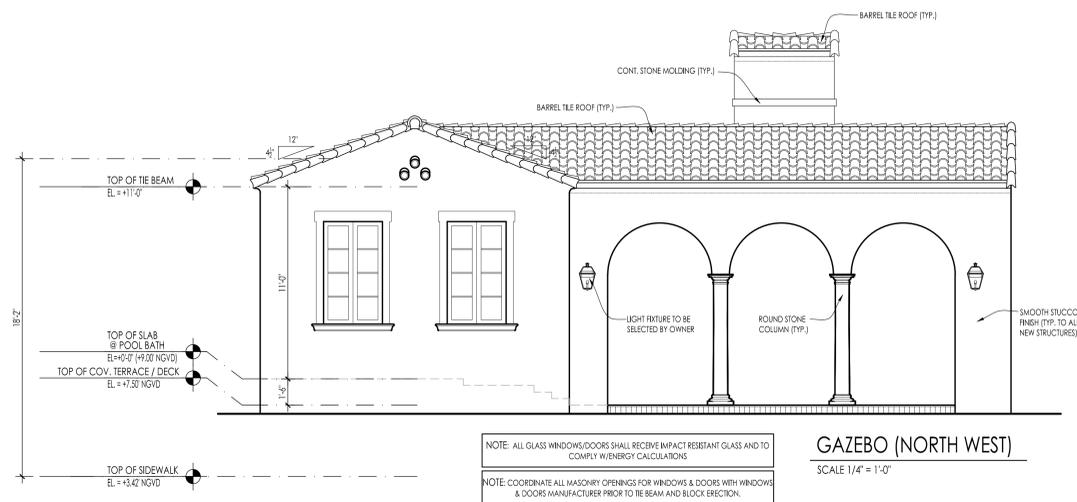
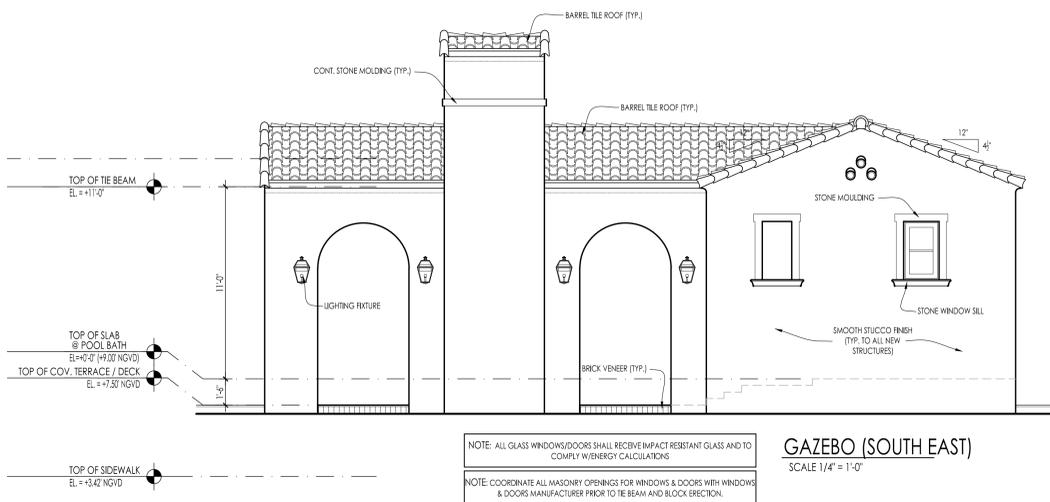
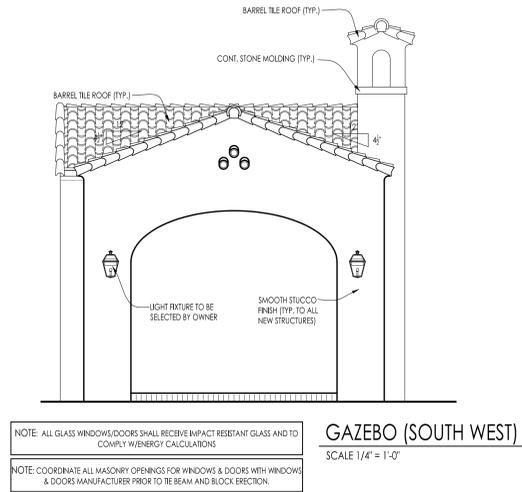
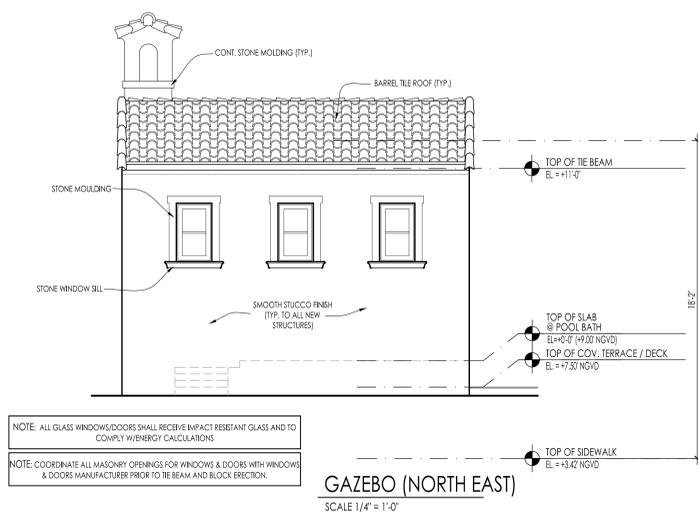
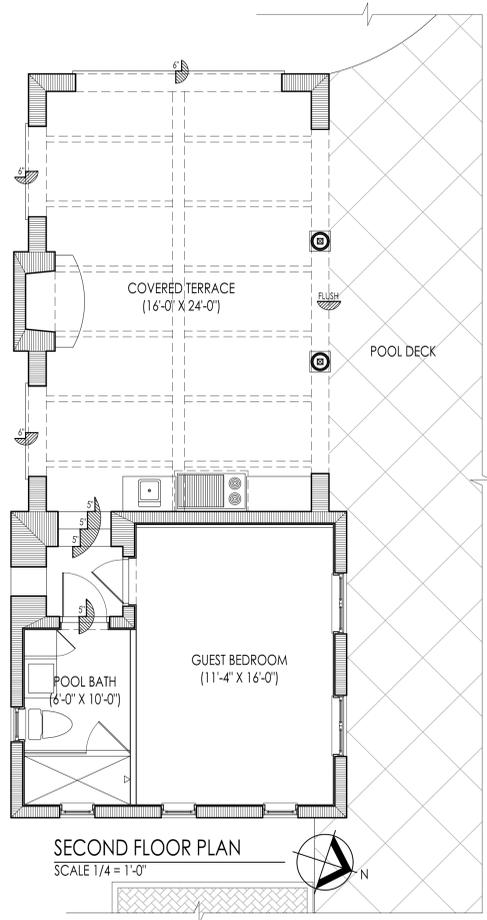
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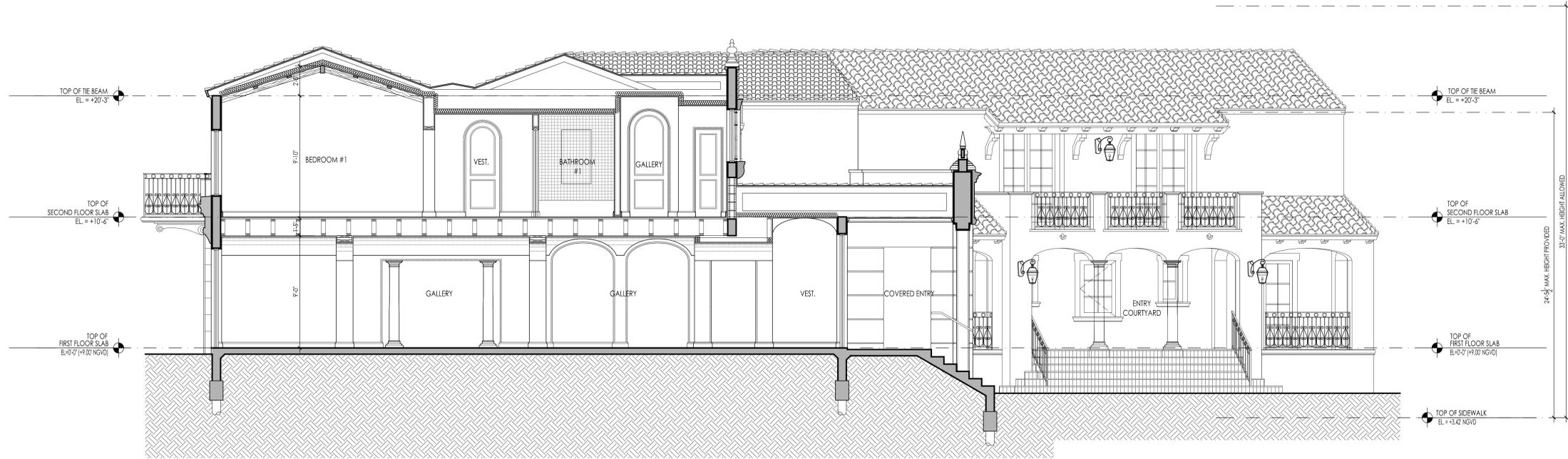
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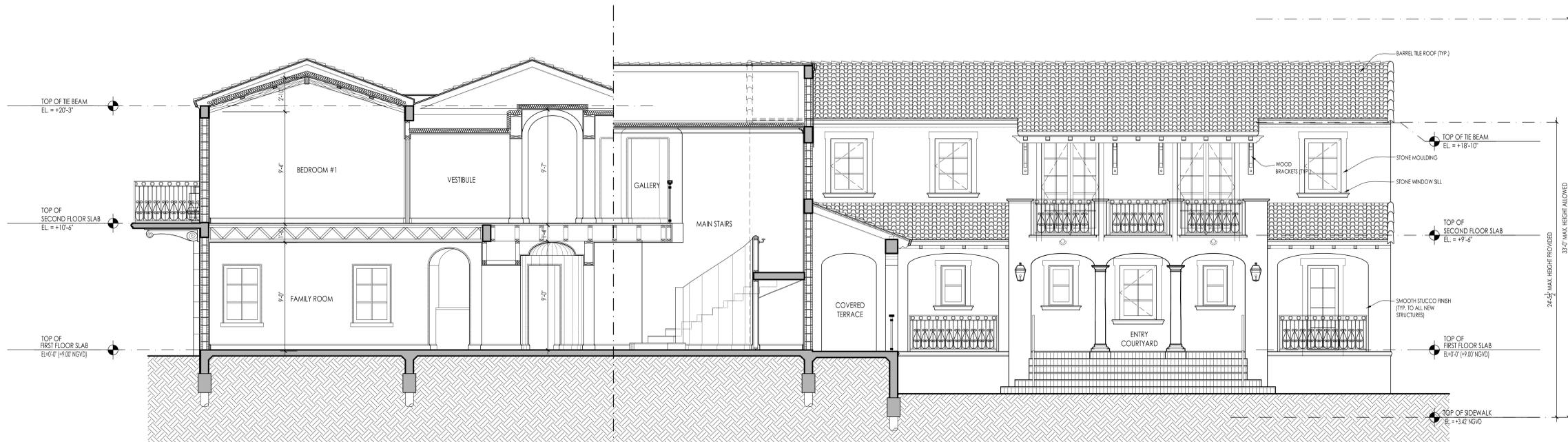
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NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOORS MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

NOTE: ALL GLASS WINDOWS/DOORS SHALL RECEIVE IMPACT RESISTANT GLASS AND TO COMPLY W/ENERGY CALCULATIONS

CROSS SECTION "C"
SCALE 1/4" = 1'-0"



NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOORS MANUFACTURER PRIOR TO THE BEAM AND BLOCK ERECTION.

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CROSS SECTION "D"
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