

SKETCH OF SURVEY

PREPARED BY:

GUNTER GROUP, INC.

LAND SURVEYING - LAND PLANNING

FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507

9350 S.W. 22nd TERRACE

MIAMI, FLORIDA 33165

(305) 220-0073

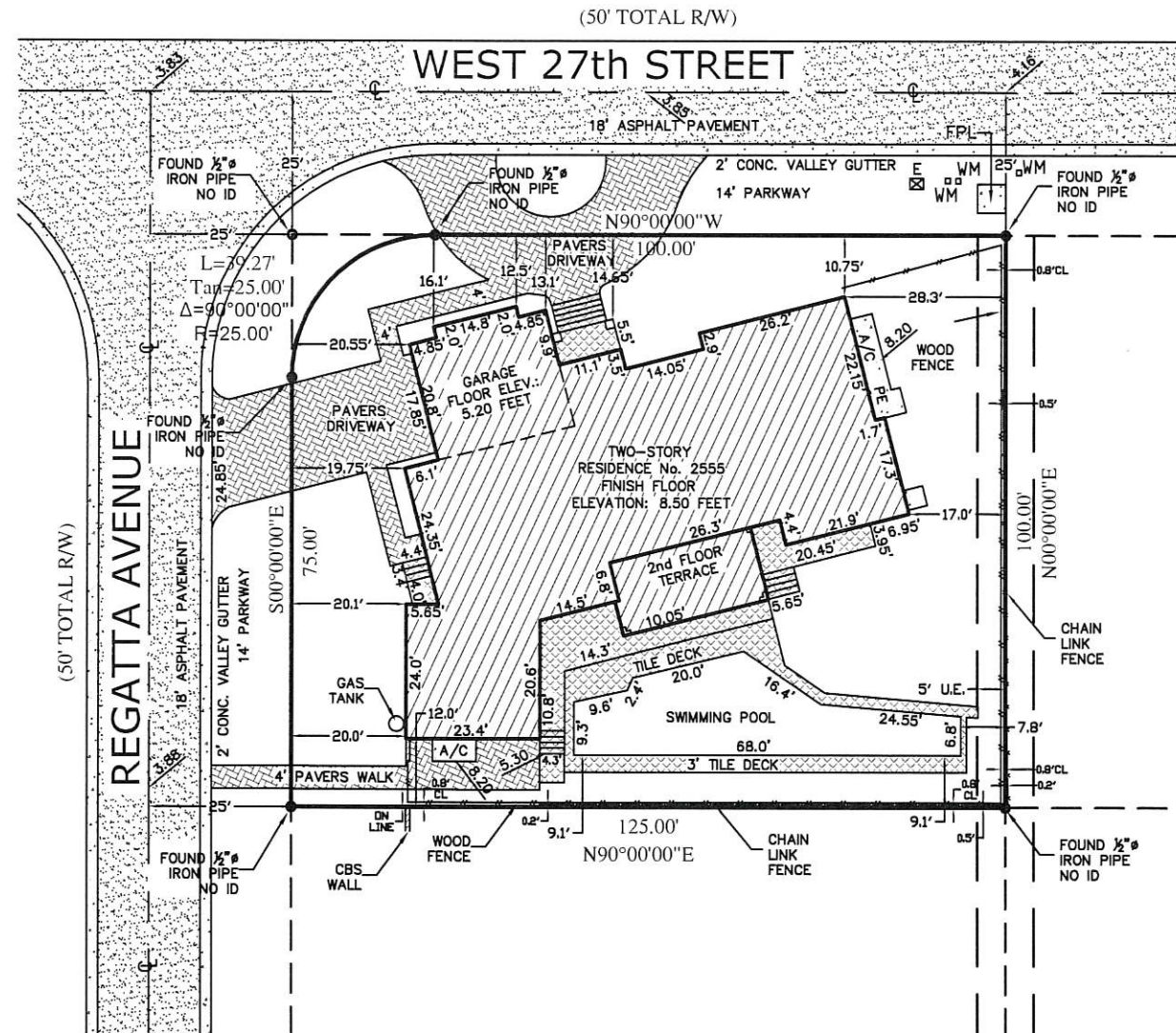
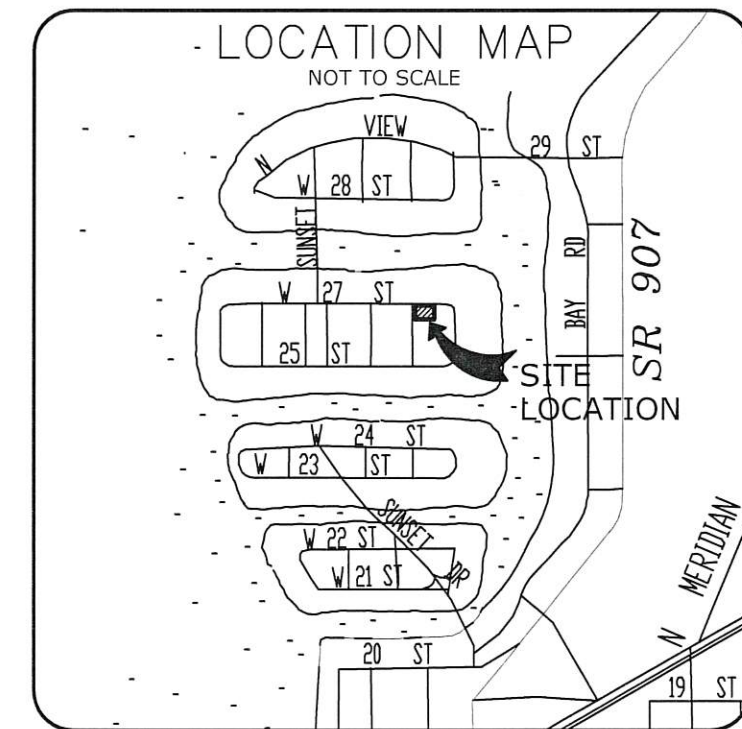


LEGEND:

CL - CENTER LINE
WM - WATER METER
0.00 - EXISTING ELEVATION

ABBREVIATIONS:

R/W RIGHT OF WAY
(Meas) MEASURED
(R) RECORD
FPL FLORIDA POWER & LIGHT
CONC. CONCRETE
I.D. IDENTIFICATION
U.E. UTILITY EASEMENT



PROPERTY ADDRESS:

2555 Regatta Avenue Miami Beach, Florida 33140.

LEGAL DESCRIPTION:

Lot 4 in Block 2C of 3rd REVISED PLAT OF SUNSET ISLANDS; according to the Plat thereof as recorded in Plat Book 40 at Page 8 of the Public Records of Miami-Dade County, Florida.

FOR:

Mr. and Mrs. Hechtkopf.

SURVEYOR'S NOTES:

- 1) This survey was conducted for the purpose of a "Topographic Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Minimum Technical Standards requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) Bearings shown hereon are based on an assumed meridian of N90°00'00"W along the Northerly boundary line of the subject property.
- 4) The North arrow direction shown herein is based on an assumed Meridian.
- 5) In some cases graphic representation have exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 6) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 7) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any affecting the property; search of Public Records not performed by this office.
- 8) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 9) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 10) Elevations shown referred to N.G.V. Datum 1929, City of Miami Beach benchmark No. CMB S2-01-R, elevation 2.22 feet (N.A.V.D. 1988) = 3.77 feet (N.G.V.D. 1929), located at Southeast corner of FPL electric transformer pad located at the parkway of Sunset Drive and West 25th Street, Sunset Island No. 2.
- 11) According to the National Flood Insurance Program the subject property falls in Community No. 120651, Panel No. 0317, Suffix "L", Date of FIRM 09-11-2009, Flood Zone "AE", Base Flood Elevation: 8.00 feet.
- 12) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 13) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 14) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

I hereby certify to Mr. and Mrs. Hechtkopf, that the Sketch of Topographic Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Minimum Technical Standards set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

Up-Date Final: 05-09-2017
Final As-Built: 11-21-2016
Revised Pool set-backs: 03-02-2016
Foundation: 06-19-2015
Up-Date: 06-11-2015
Up-Date: 06-01-2015
Date: 05-22-2015
Job No.: 15-30067
Sketch No. 27426

By: Rolando Ortiz LS 4312
Professional Land Surveyor
& Mapper, State of Florida.