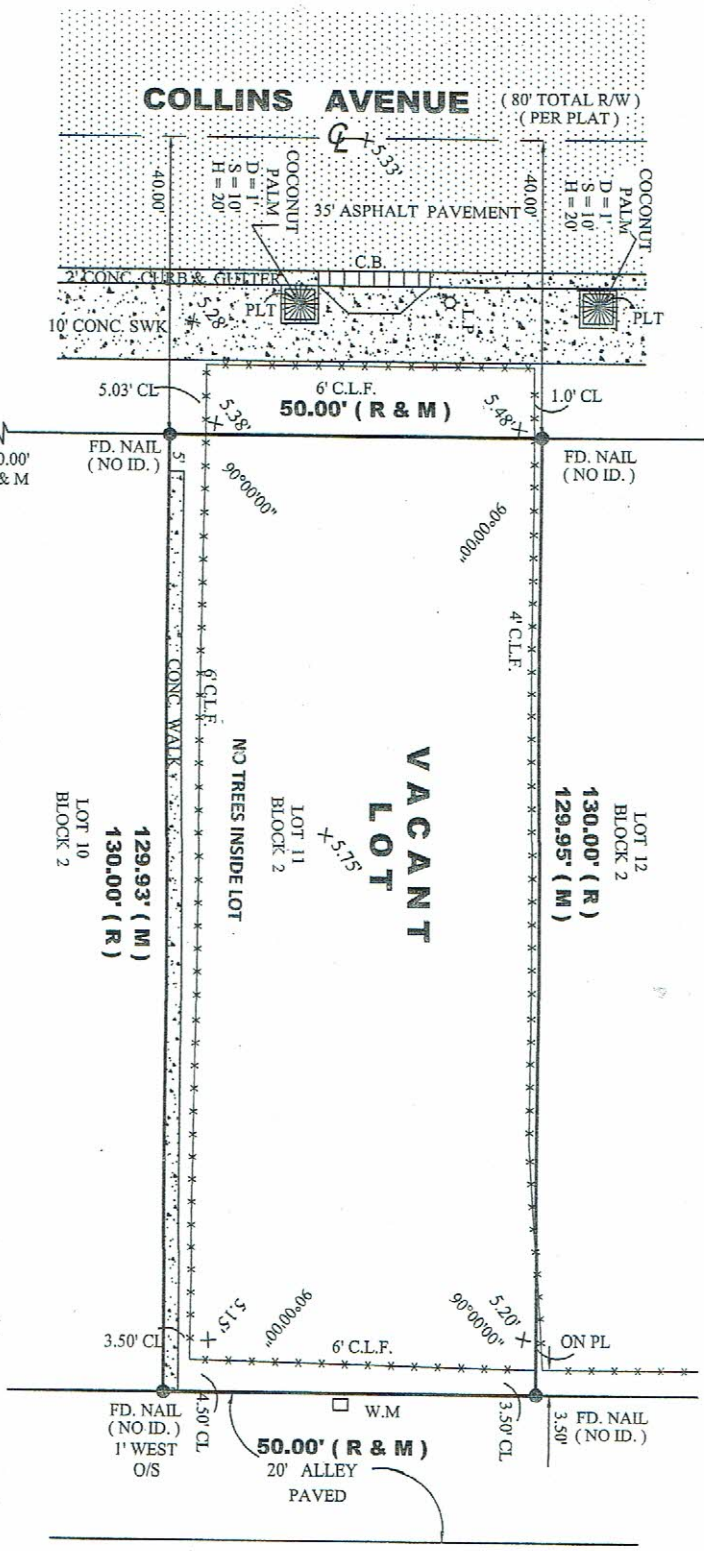
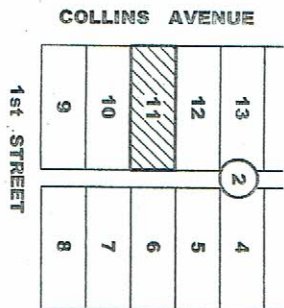


LOCATION SKETCH
SCALE: NTS



Property Address: 121 Collins Ave., Miami Beach, FL 33139.

Legal Description: lot 11, Block 2, OCEAN BEACH FLORIDA SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 2, Page 38, of the Public Records of Miami-Dade County, Florida.



REVISED: 8/1/17

NOT VALID UNLESS EMBOSSED WITH SURVEYOR'S SEAL

ABBREVIATIONS:

SWK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, DUE=DRAINAGE UTILITY EASEMENT, P=IRON PIPE, F=FOUND, AC=AIR CONDITIONER PAD, PC=PROPERTY CORNER, D=DRILLED HOLE, WF=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, RB=REBAR, U=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DWELLER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENG=ENGINEERING, COMP=COMPUTER, ASPH=ASPHALT, MON=MONUMENT, DISC=DISC, S=SET, FEE=FINISH FLOOR ELEVATION, O/S=OFFSET, PIP=PIPE, P=POWER POLE, OHP=OVERHEAD POWER LINE, WM=WATER METER, MOD FENCE=MODERN FENCE, MASONRY WALL=MASONRY WALL, CONCRETE=CONCRETE, CBM# D-116 ELEV. 5.03' TYPE OF SURVEY: BOUNDARY SURVEY

ELEVATION BASED ON LOC. # 4231 NE

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB. PAGE

I HEREBY CERTIFY That the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.

There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

ADIS N. NINEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

BLANCO SURVEYORS INC.

Engineers • Land Surveyors • Planners • LB # 0007059

565 NORTH SHORE DRIVE
MIAMI BEACH, FL 33141

(305) 865-1200 Email: blanco.surveyors@ymail.com Fax: (305) 865-7810

FLUDD ZONE: AE SCALE: 1" = 20' DATE: 9/10/16
PANEL: 0319 COMMUNITY # 120651 DATE: 9/11/09 BASE: 8'
SUFFIX: L JOB No 16-753



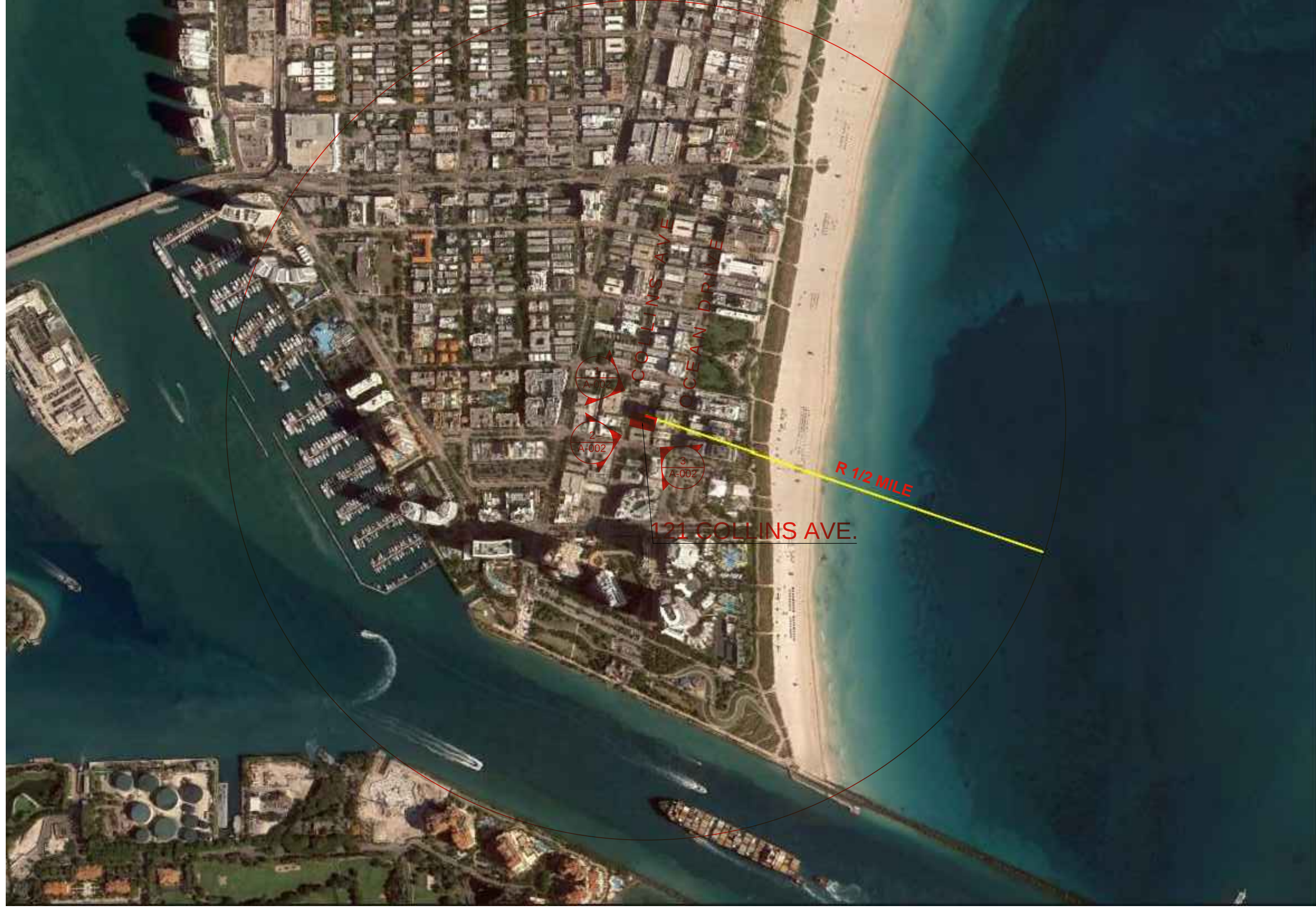
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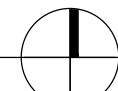
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3



LOCATION MAP
SCALE: N.T.S.



ASTA PARKING
121 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139

△ DATE REVISION

DWG. TITLE

SITE PICTURES
LOCATION

SCALE

N.T.S.

PROJECT NO.

2016-24

DATE

08-03-17

SHEET NUMBER

A-002

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1



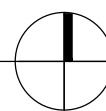
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3



LOCATION MAP
SCALE: N.T.S.



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MIAMI BEACH, FLORIDA 33139

DATE REVISION

DWG. TITLE

CONTEXT PICTURES
CORNER TO CORNER

SCALE

N.T.S.

PROJECT NO.

2016-24

DATE

08-03-17

SHEET NUMBER

A-003



BEILINSON
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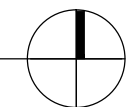
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2



LOCATION MAP
SCALE: N.T.S.

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ASTA PARKING
121 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33139

△ DATE
REVISION

DWG. TITLE

CONTEXT PICTURES ACROSS THE STREET

SCALE

N.T.S.

PROJECT NO.

2016-24

DATE _____

08-03-17

SHEET NUMBER

A-005