



5775 COLLINS AVENUE

DRB SUBMITTAL

OCTOBER 03, 2017

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2017.10.03 A-0-00

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5775 COLLINS AVE
SITE DATA & DEVELOPMENT PROGRAM

I. GENERAL LOT INFORMATION			
ZONING CLASSIFICATION:	RM-3		
FOLIO NUMBER:	02-3211-016-0001		
PROPERTY ADDRESS:	5775 COLLINS AVENUE		
FEMA ZONE:	FLOOD ZONE AE		
	REQUIRED / ALLOWED	REQUIRED / ALLOWED	PROVIDED
LOT AREA:	7000 S.F. MIN		63,638 SF / 1.46 ACRES
LOT WIDTH:	50 FT MIN		225'-0"
LOT DEPTH:			282'-10" (AT MID POINT)
FLOOR AREA RATIO:	3		
MAXIMUM ALLOWABLE AREA:	190,914 SF MAX.		190,763 SF
DENSITY:	150 DU/ACRE MAX. = 219 DU		89 DU
II. SETBACKS & YARD REQUIREMENTS			
	REQUIRED / ALLOWED	REQUIRED / ALLOWED	PROVIDED
SUBTERRANEAN SETBACK:			
FRONT	20'-0"	20'-0"	20'-1"
SIDE	11'-3"	11'-3"	18'-1"
5 FEET, OR 90% OF LOT WIDTH, WHICHEVER IS GREATER			
REAR	50'-0"	50'-0"	55'-6"
PEDESTAL SETBACK:			
FRONT	20'-0"	20'-0"	39'-0" TO CANOPY 66'-9 1/2" TO BLDG.
SIDE	18'-0"	18'-0"	38'-10" (SOUTH) 33'-8" (NORTH)
SUM OF THE SIDE YARDS SHALL BE GREATER THAN LOT WIDTH, 71 FEET OR 8% OF LOT WIDTH WHICHEVER IS GREATER			
REAR	56'-6"	56'-6"	112'-10 1/2"
20% OF LOT DEPTH, 50 FEET FROM THE BULKHEAD LINE WHICHEVER IS GREATER			
TOWER SETBACK:			
FRONT	50'-0"	50'-0"	90'-9 1/2"
30 FEET + 1 FT FOR EVERY FT INCREASE IN HEIGHT ABOVE 50 FT. TO A MAX. OF 50 FT. THEN SHALL REMAIN CONSTANT			
SIDE	33'-0"	33'-0"	43'-5" (SOUTH) 38'-6 1/2" (NORTH)
THE REQUIRED PEDESTAL SETBACK PLUS 0.10 OF THE BUILDING HEIGHT SHALL BE THE MINIMUM SETBACK OF THE BUILDING. THE TOTAL SETBACK SHALL NOT EXCEED 50'-0".			
REAR	75'-0"	75'-0"	112'-10 1/2"
20% OF LOT DEPTH, 75 FEET FROM THE BULKHEAD LINE WHICHEVER IS GREATER			

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ZONING & PROJECT DATA

2017.10.03

A-0-04

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III. OCEANFRONT OVERLAY REQUIREMENTS			
OCEANFRONT OVERLAY	ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS. THESE REGULATIONS APPLY TO BUILDINGS AND STRUCTURES LOCATED WEST OF THE BULKHEAD LINE.		
LOT COVERAGE:	50 % OF THE REQUIRED REAR YARD SETBACK		
REAR YARD SETBACK:	50'-0" FOR GRADE AND SUBTERRANEAN LEVELS MEASURED FROM THE BULKHEAD LINE	56'-6" PROVIDED	
SIDE SETBACK:	15'-0"		
MAXIMUM HEIGHT:	30'-0" ABOVE GRADE		
IV. PARKING REQUIREMENTS			
	REQUIRED	PROVIDED	
RESIDENTIAL:			
1.5 PARKING SPACES PER 550-999 SF UNITS			
1.75 PARKING SPACES PER 1000-1200 SF UNITS			
2 PARKING SPACES PER UNITS ABOVE 1200 SF	2 x 89 DU = 178 PS		
GUEST:			
10% OF TOTAL PARKING SPACES	18 PS		
ACCESSIBLE:			
151-200 PS	6 PS	6 PS	
TOTAL PARKING REQUIRED:	196 PS	196 PS	
BICYCLE PARKING:			
4 PER PROJECT OR 1 PER 10 UNITS	9		9
V. LOADING ANALYSIS			
RESIDENTIAL	REQUIRED	PROVIDED	
OVER 50 UNITS BUT LESS THAN 100 UNITS:	2 LOADING BERTHS	2 (10' x 20') BERTHS	
VI. F.A.R. SCHEDULE			
LEVEL	AREA	# OF LEVELS	TOTAL
GARAGE LVL -1	519 SF	1	519 SF
GARAGE LVL -2	452 SF	1	452 SF
LEVEL - GROUND	10,723 SF	1	10,723 SF
LEVEL - 3	11,315 SF	1	11,315 SF
STAIR MEZZANINE	405 SF	1	405 SF
TYPICAL LEVELS 4-18	11,315 SF	14	158,410 SF
LEVEL 19 - PENTHOUSE LEVEL	8,560 SF	1	8,560 SF
LEVEL 20 - MECHANICAL LVL 1	234 SF	1	234 SF
LEVEL 21 - MECHANICAL LVL 2	145 SF	1	145 SF
ROOF LVL	0 SF	1	0 SF
GRAND TOTAL	190,914 SF (ALLOWED)		190,763 SF

EXISTING MARLBOROUGH HOUSE BUILDING (FAR)				
LEVEL	AREA	# OF LEVELS	TOTAL	
GROUND	10,044 SF	1	10,044 SF	
TYPICAL LOWER LEVELS - 2-13	10,044 SF	12	120,528 SF	
GRAND TOTAL			130,572 SF	
UNIT MATRIX				
UNIT	BED / BATH	SQ. FT.	QTY.	TOTAL S.F.
UNIT A	3 BED / 3.5 BATH	2106 SF	15	31,590 SF
UNIT B	2 BED / 3.0 BATH	1742 SF	15	26,130 SF
UNIT C	3 BED / 3.5 BATH	2125 SF	15	31,875 SF
UNIT D	2 BED / 2.5 BATH	1340 SF	14	18,760 SF
UNIT E	2 BED / 2.5 BATH	1274 SF	14	17,836 SF
UNIT F	2 BED / 2.5 BATH	1337 SF	14	18,718 SF
PH A	4 BED / 5.5 BATH	3724 SF	1	3,724 SF
PH B	4 BED / 5.5 BATH	3625 SF	1	3,625 SF
TOTAL	30 BED / 40 BATH		89	152,258 SF



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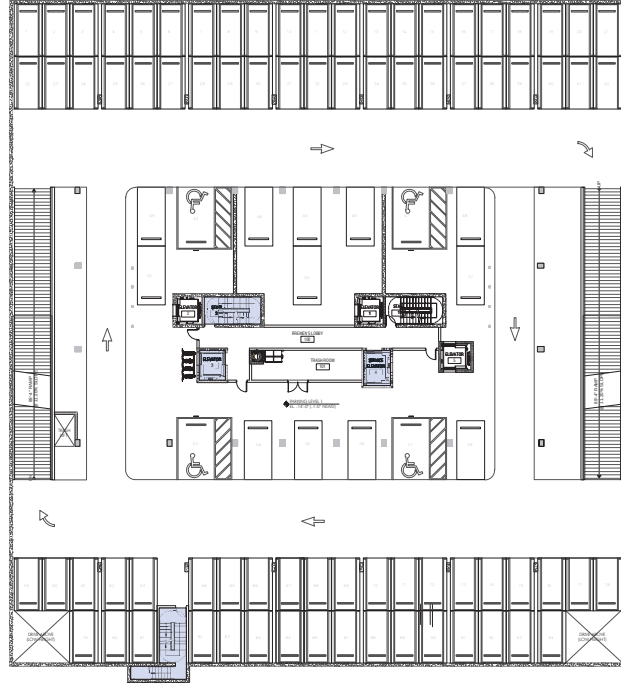
AERIAL PLAN

2017.10.03 A0-08

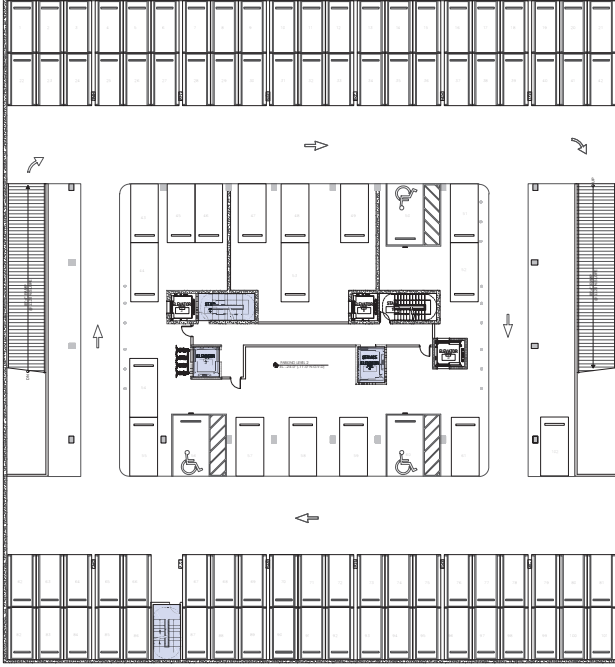
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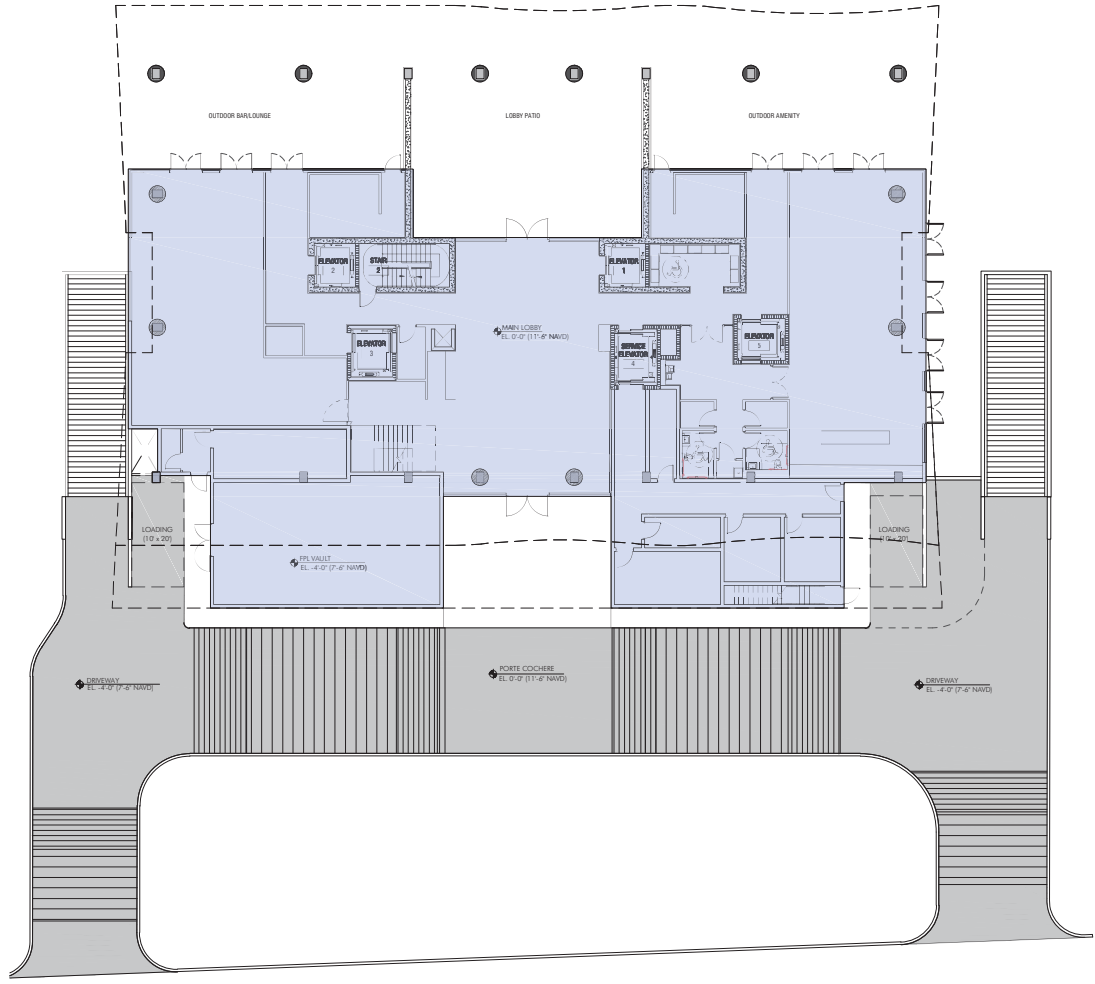
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GARAGE LEVEL - 1
519 SF



GARAGE LEVEL - 2
452 SF



GROUND LEVEL
10,723 SF

2017.10.03 A-0-10

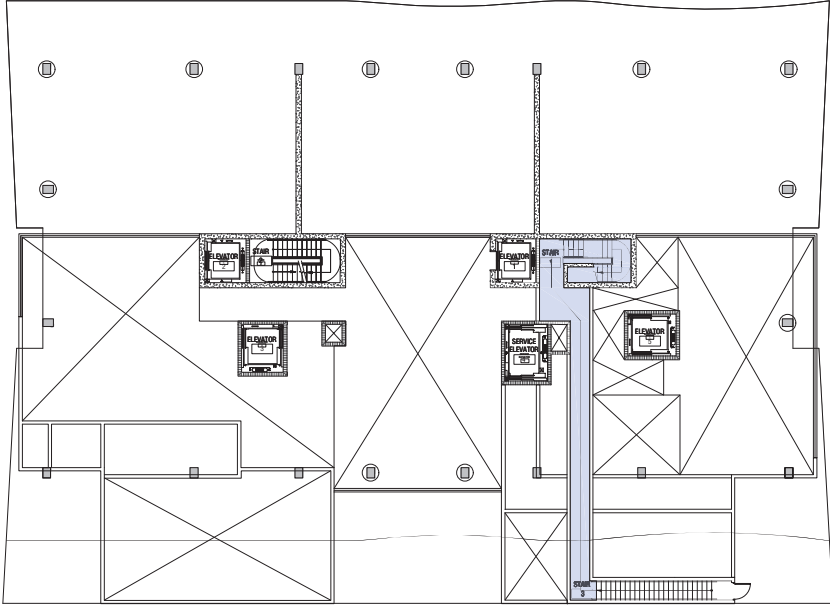
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FAR DIAGRAMS

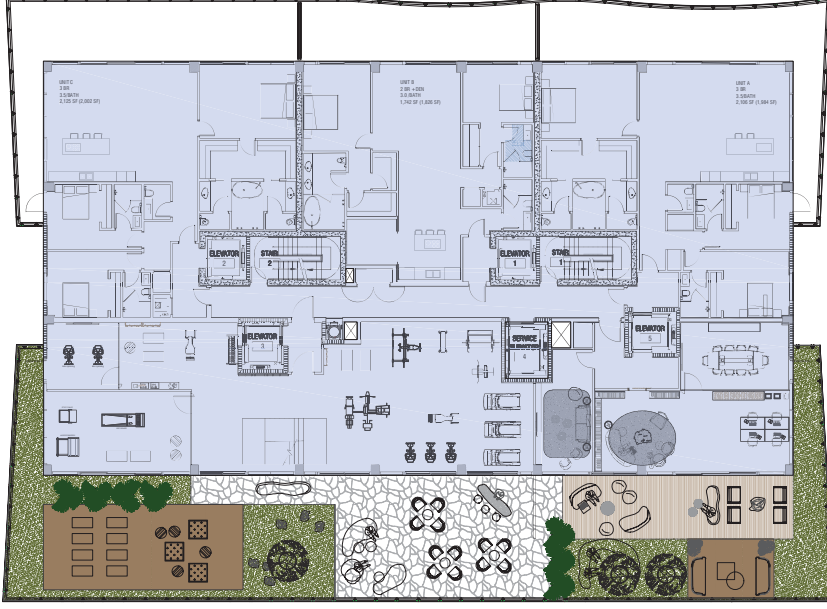
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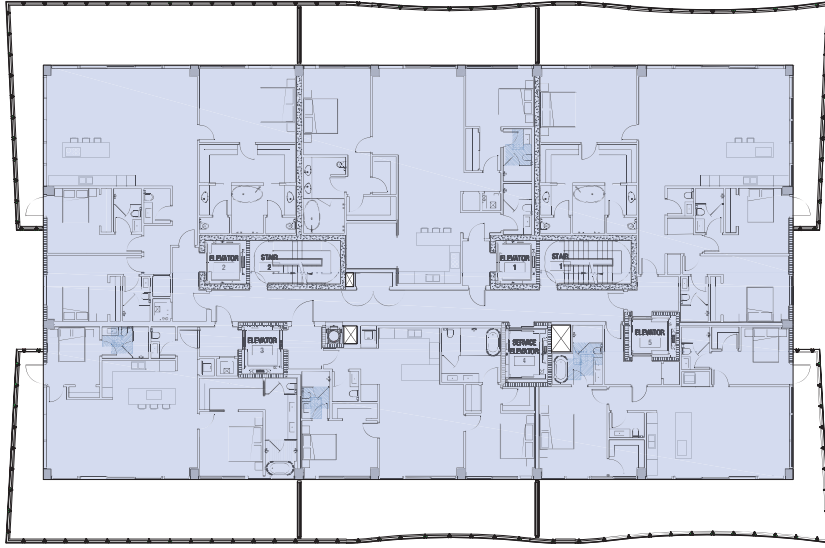
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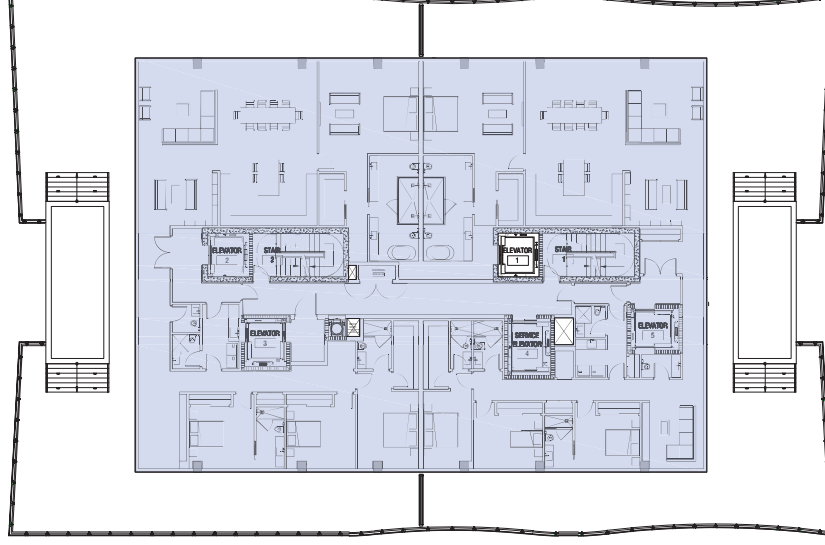
MEZZANINE LEVEL
405 SF



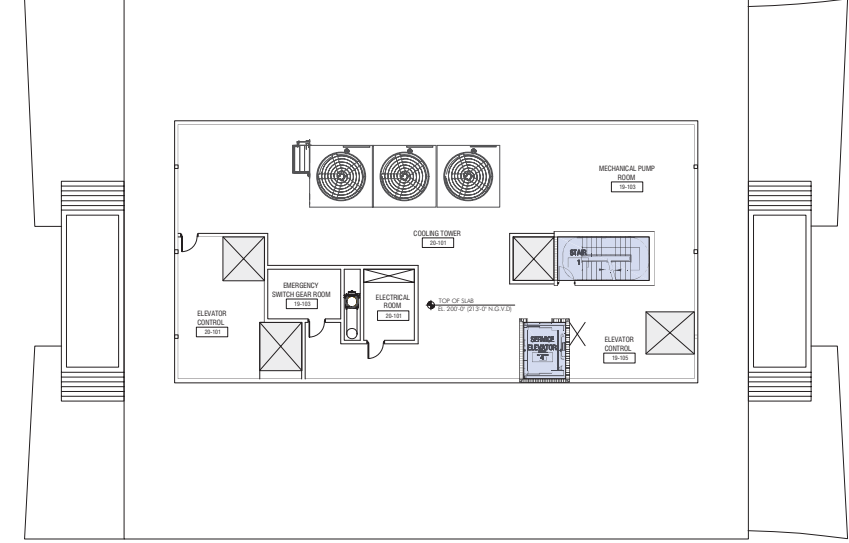
TOWER LEVEL - 3
11,315 SF



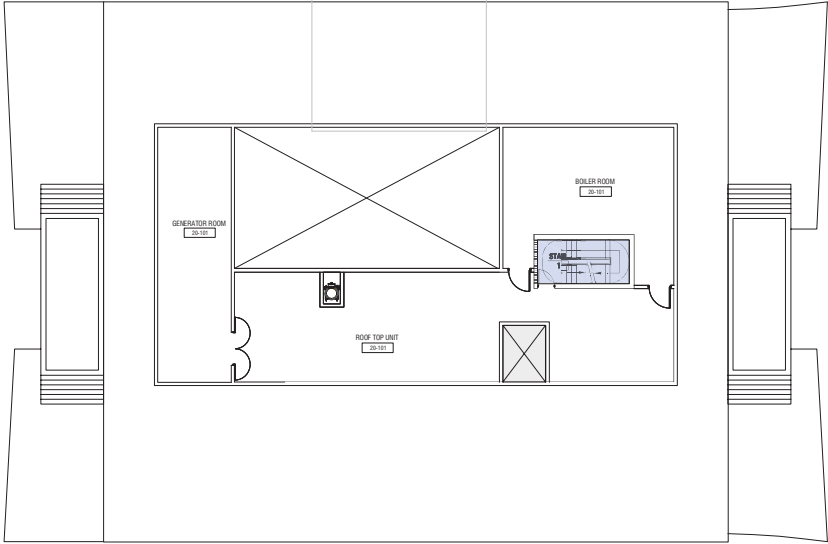
TYPICAL TOWER LEVELS 04-18
11,315 SF



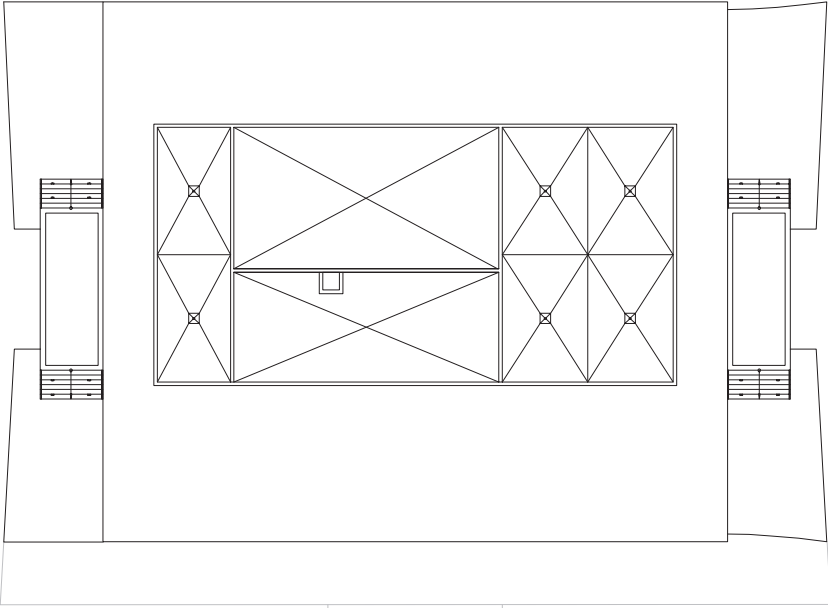
PENTHOUSE LEVEL
8,560 SF



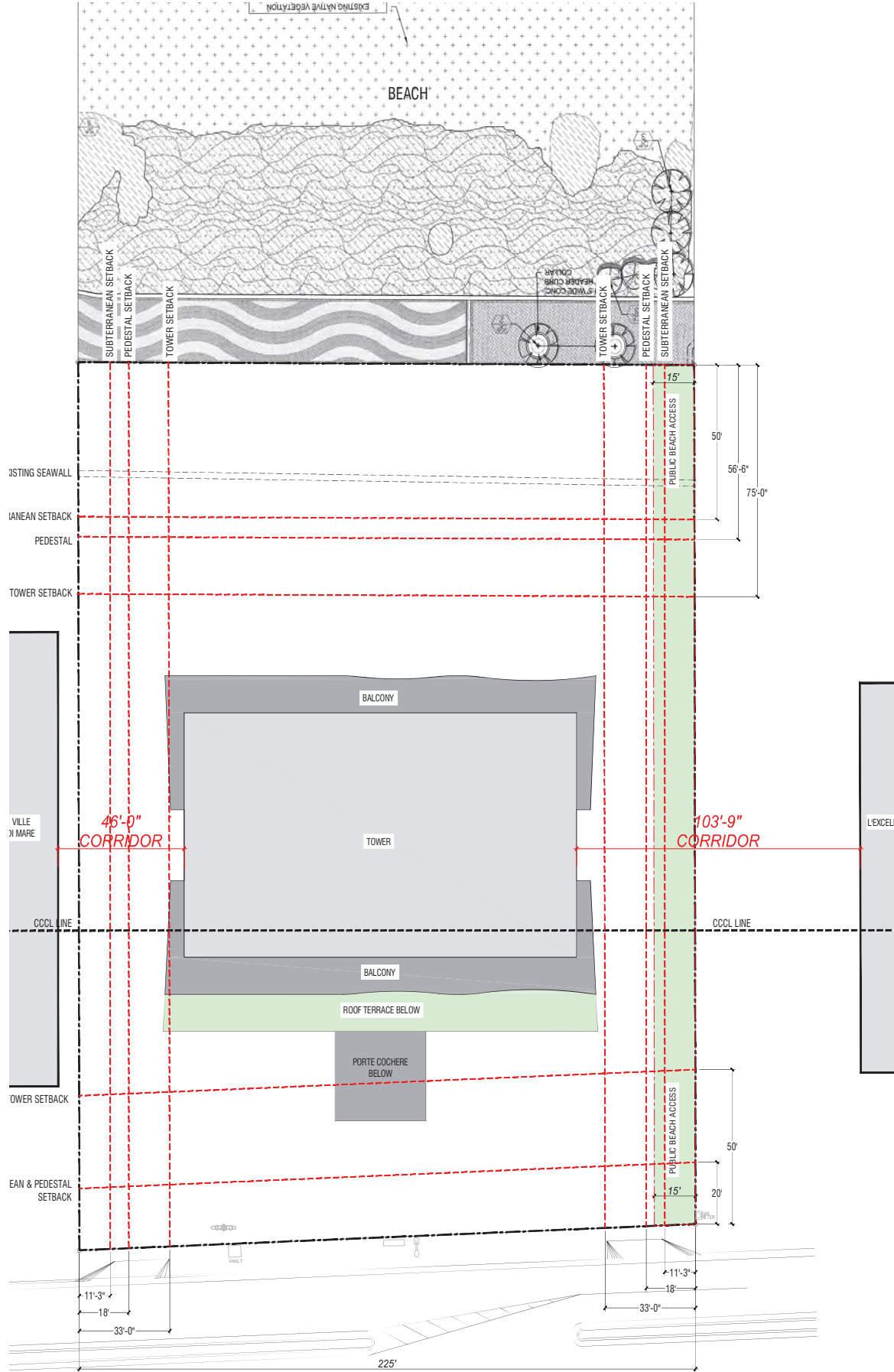
MECHANICAL LEVEL - 1
234 SF

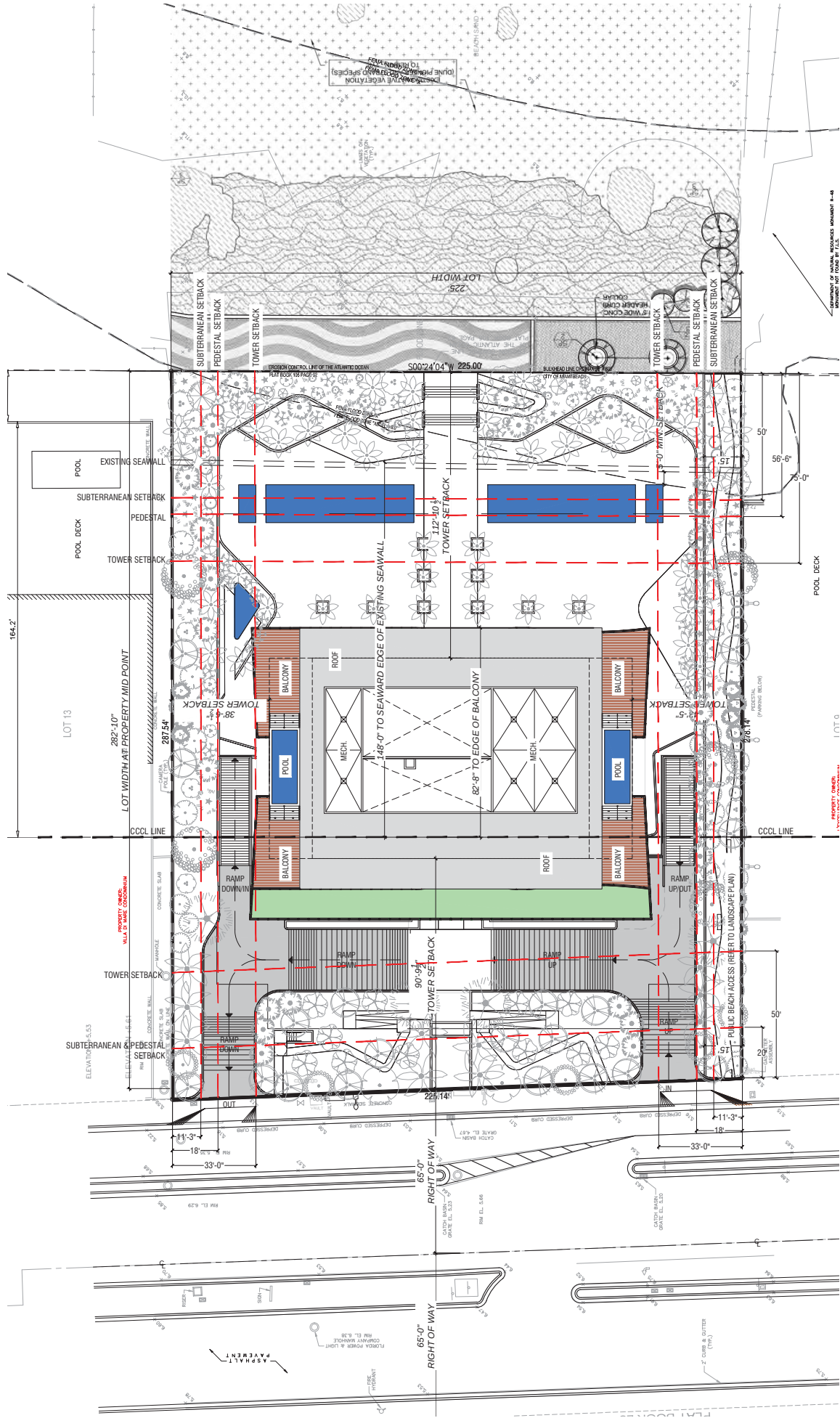


MECHANICAL LEVEL - 2
145 SF



ROOF LEVEL
0 SF





2017.10.03 A-1-00

SITE PLAN

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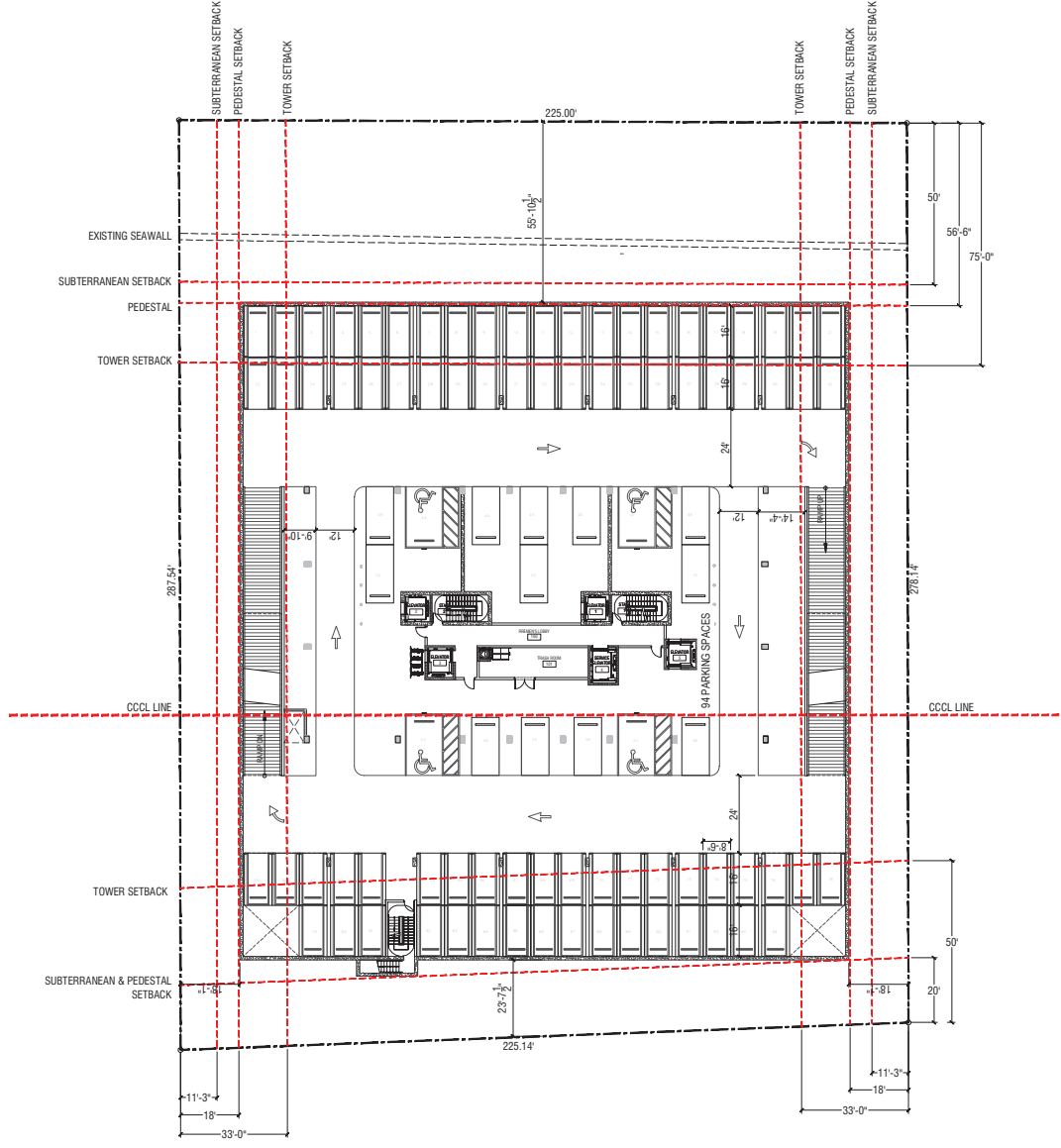
MULTIPLAN

0 5 10 20



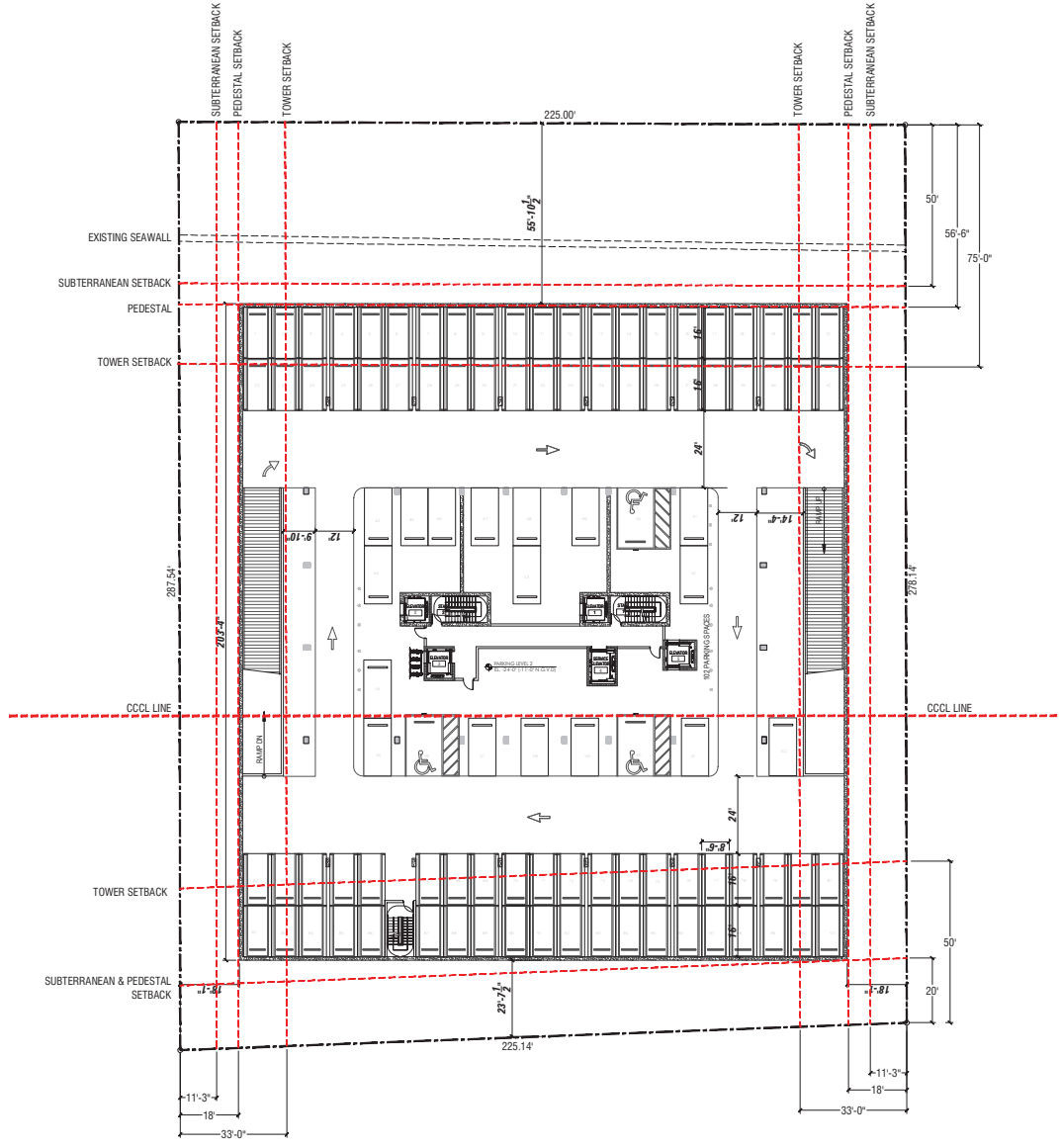
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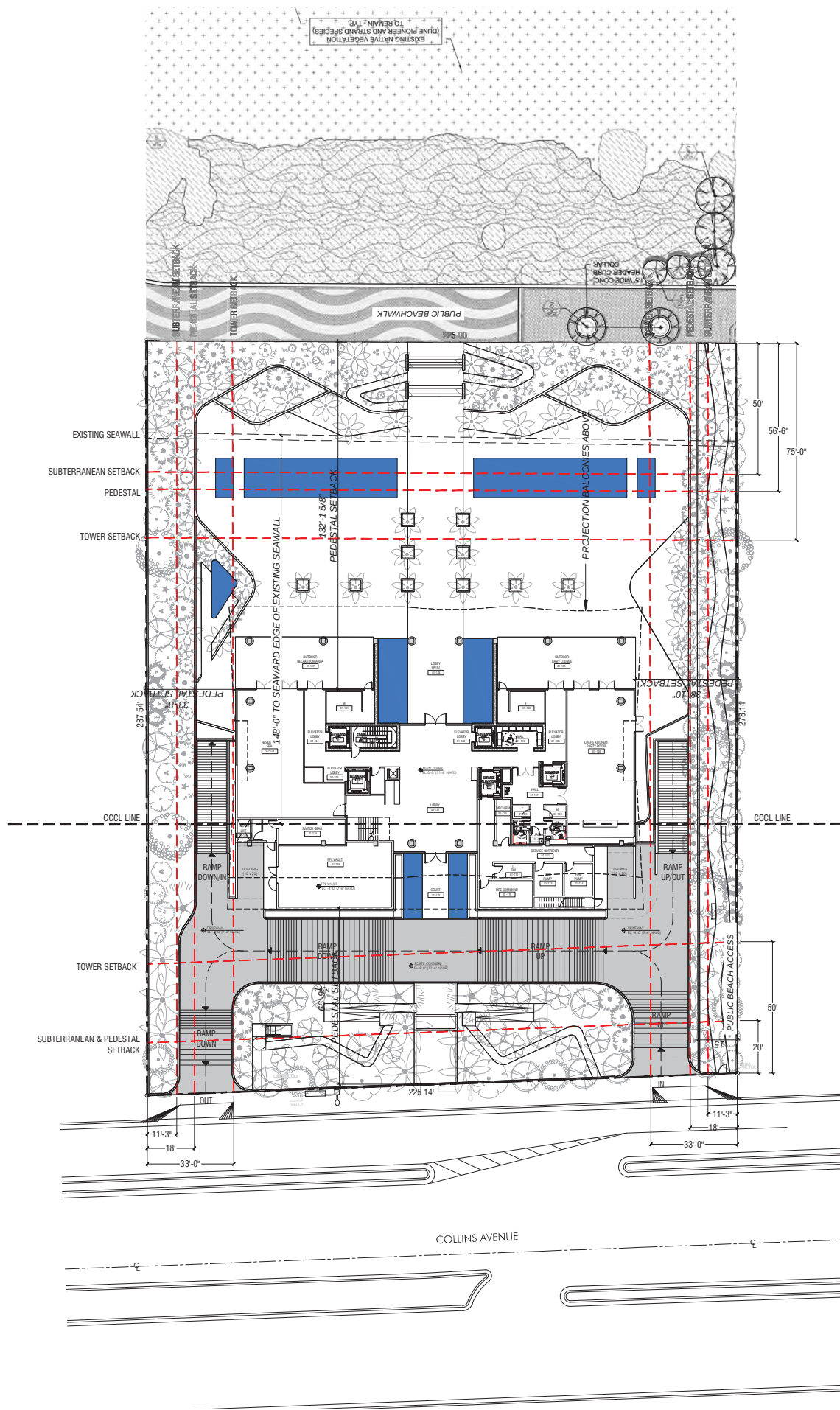
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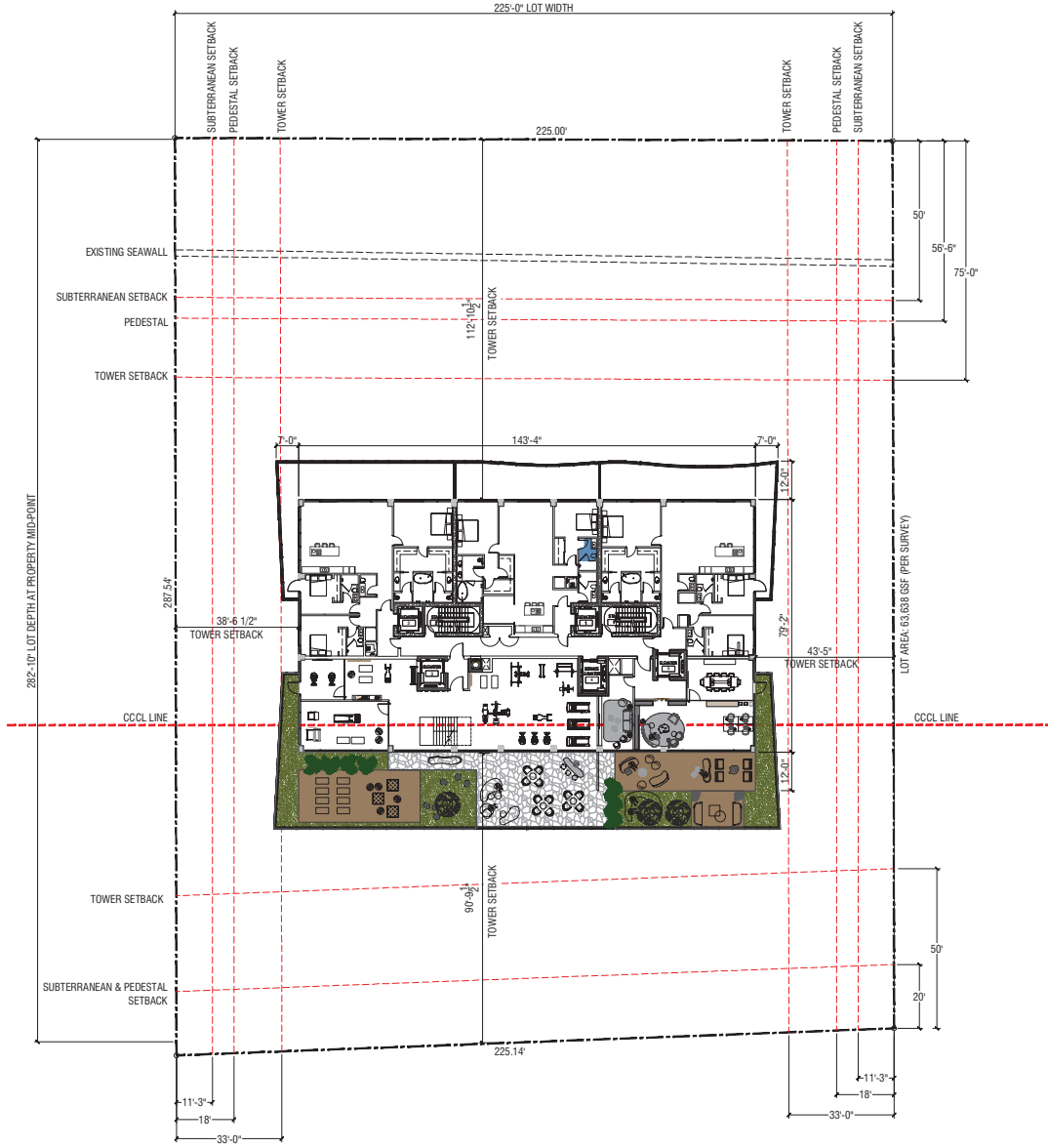




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2017.10.03 A-1-04

TYPICAL OVERALL PLAN_LEVEL_3

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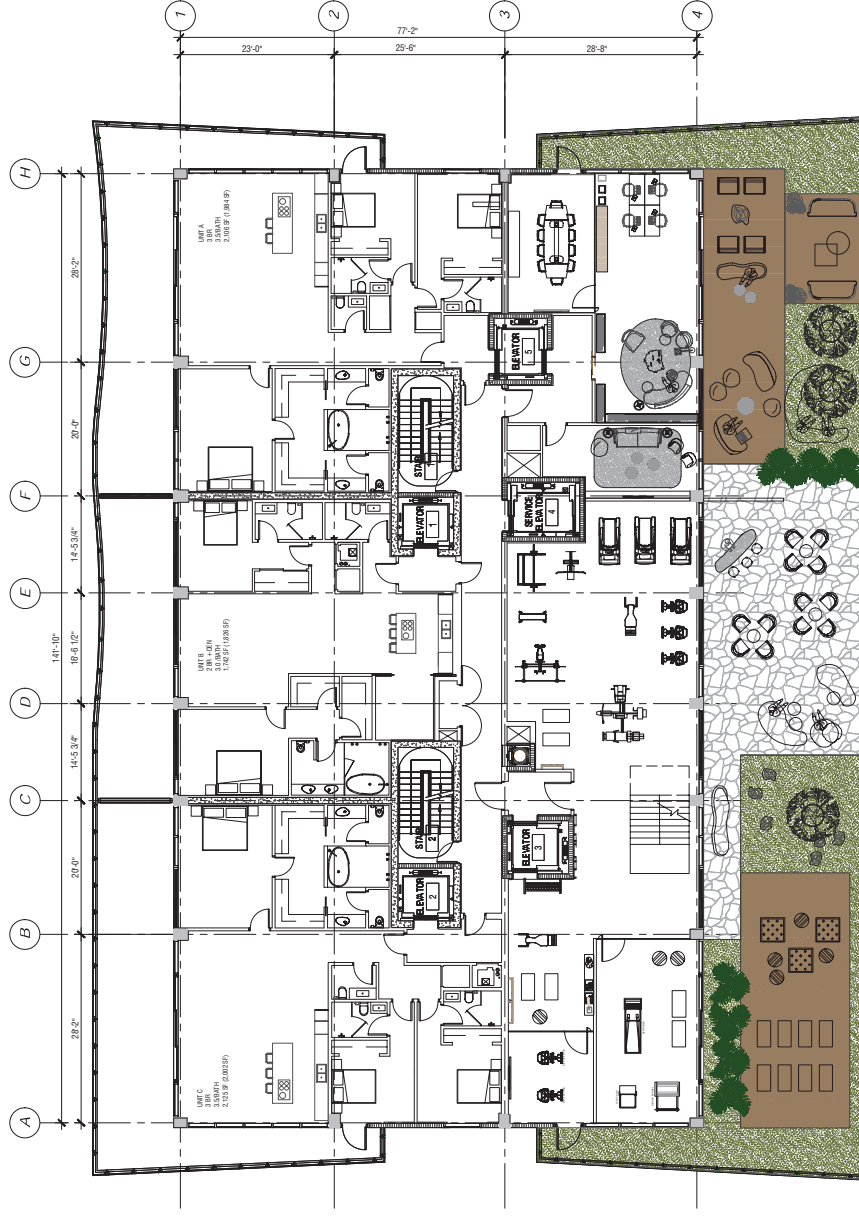
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0 5 30

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2017.10.03 A-1-05

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TYPICAL PLAN ENLARGED_LEVE3_3

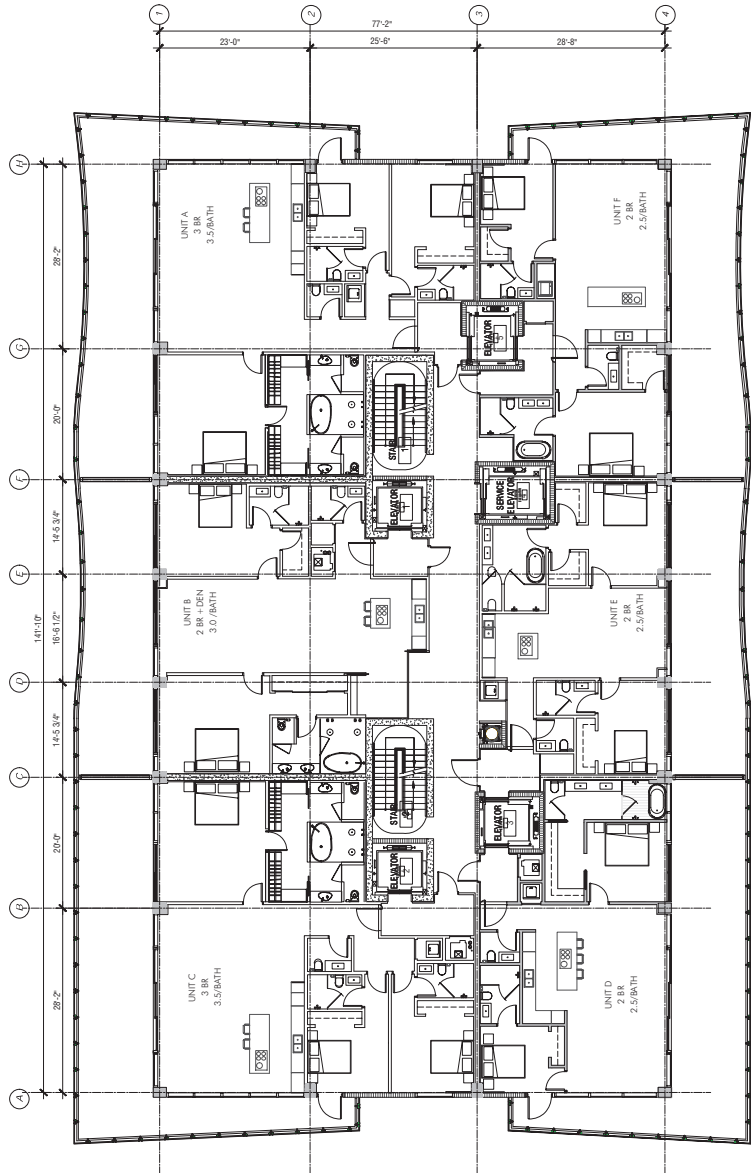


0 5 15

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TYPICAL PLAN ENLARGED _LEVELS_ 4-18

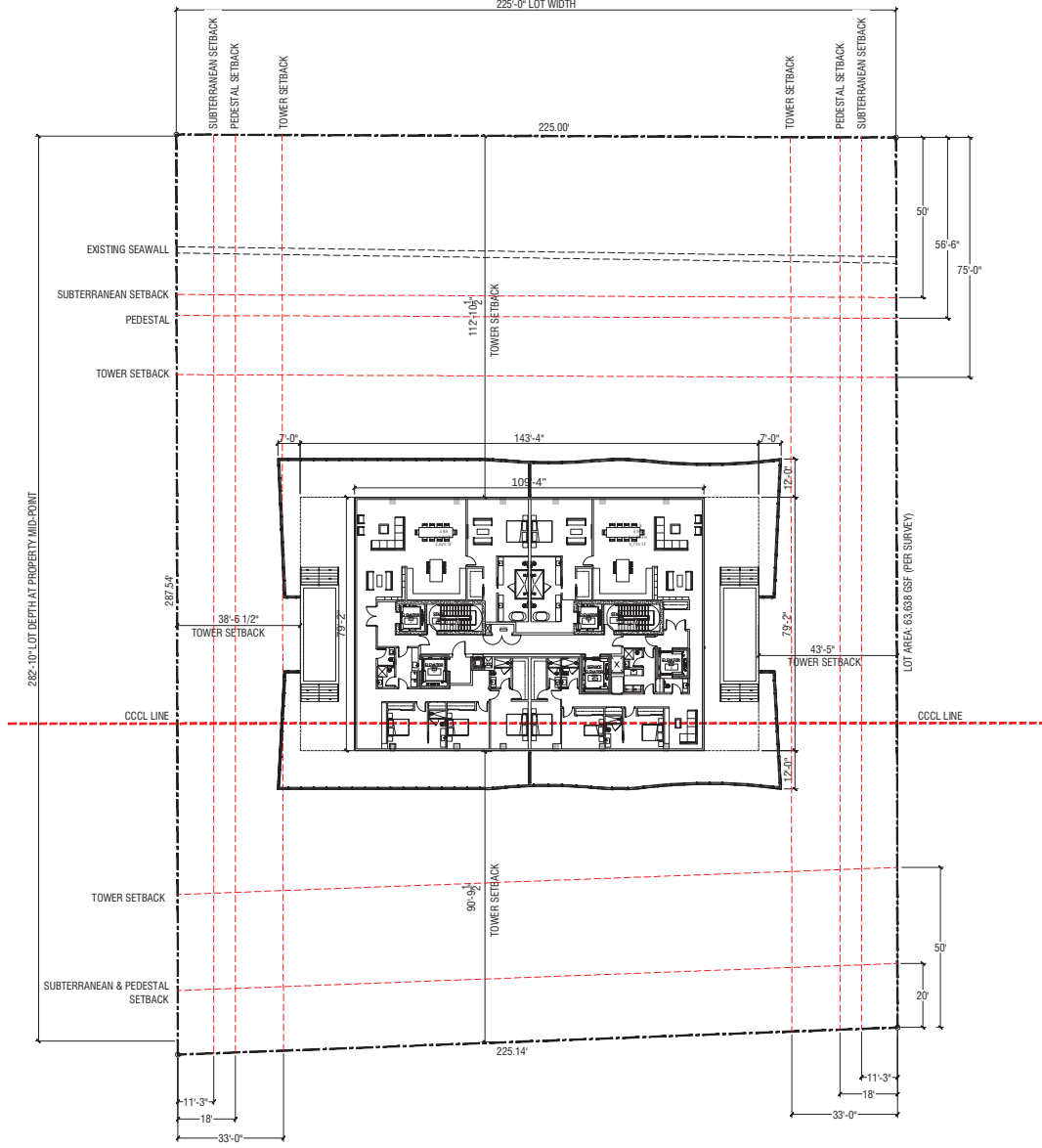


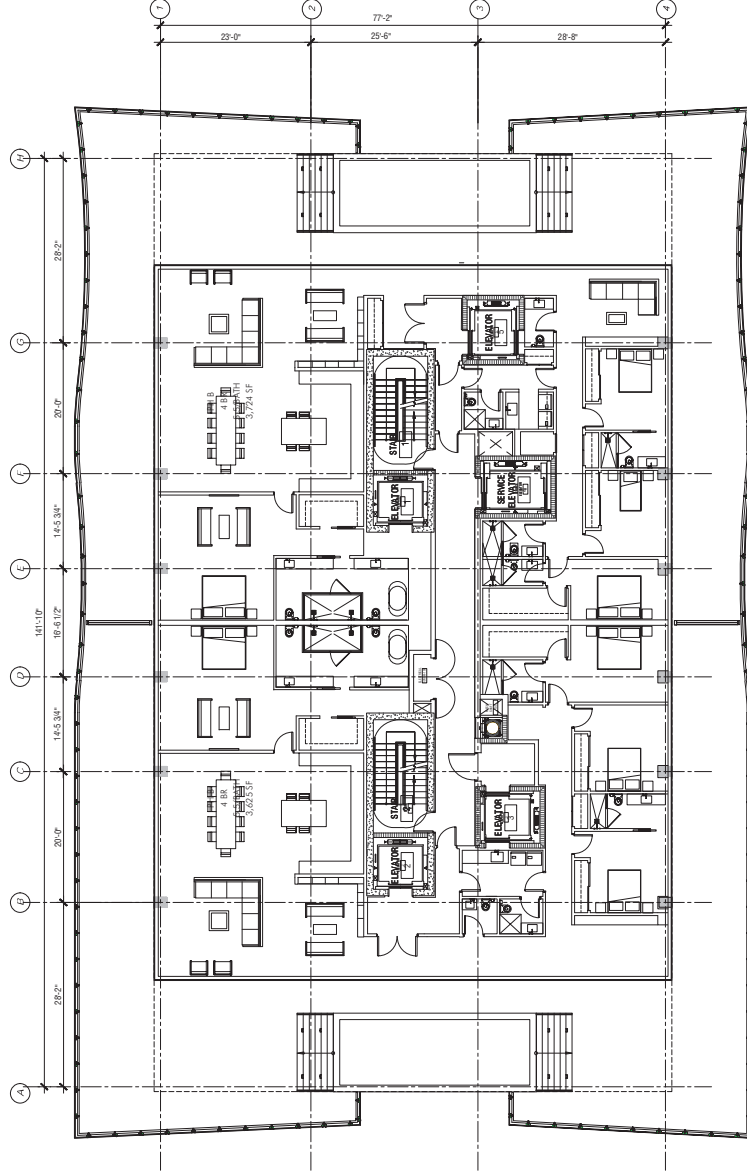
0 5 15

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PENTHOUSES ENLARGED_A + B

2017.10.03

A-1-09

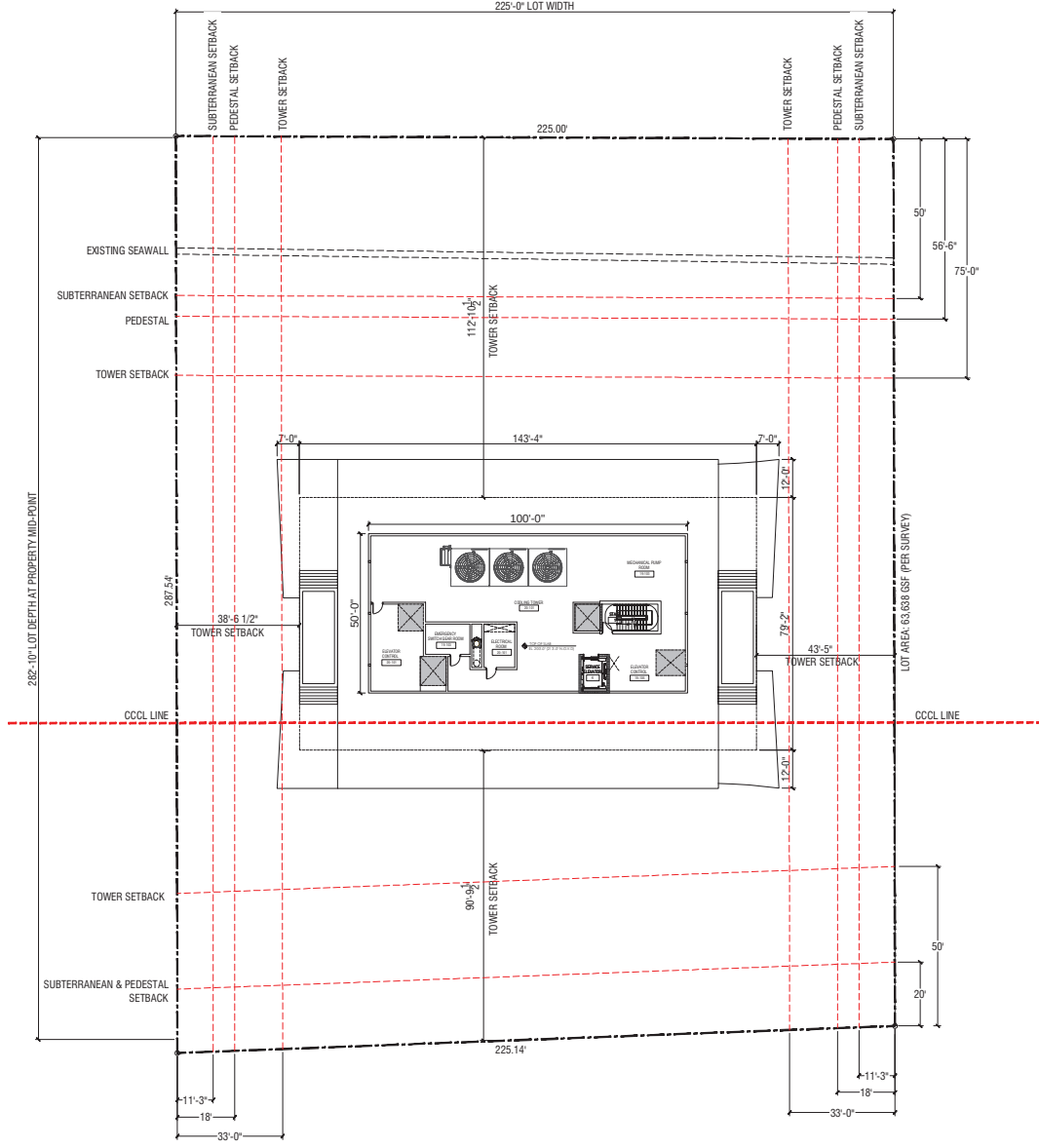
MULTIPLAN

0 5 15



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2017.10.03 A-1-10

MECHANICAL LEVEL ENLARGED - EL.213.0' NGVD

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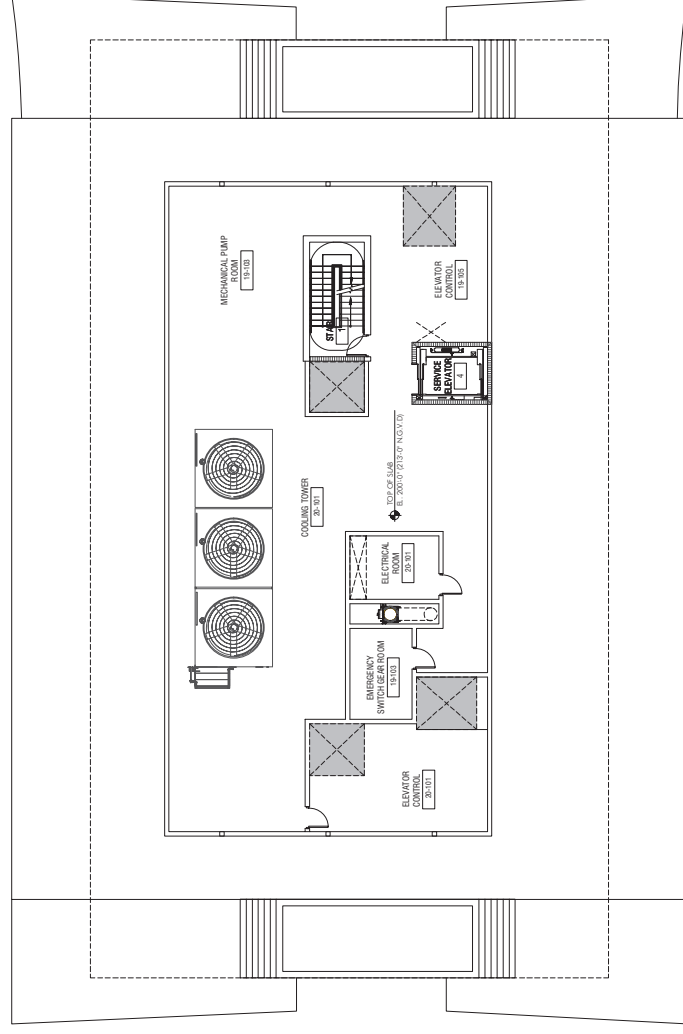
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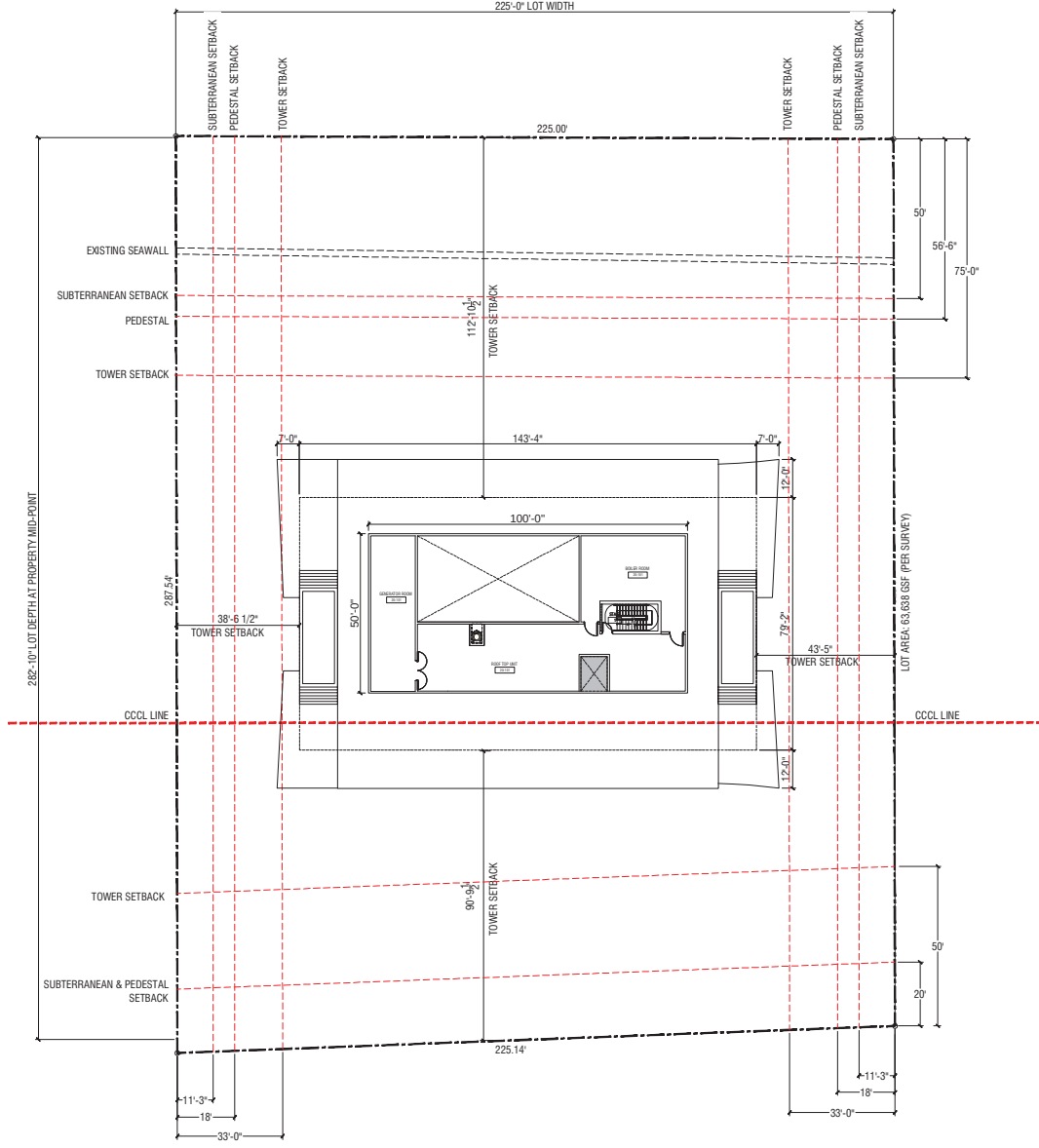
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0 5 15

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2017.10.03 A-1-12

ROOF PLAN ENLARGED EL. 223.0' NGVD

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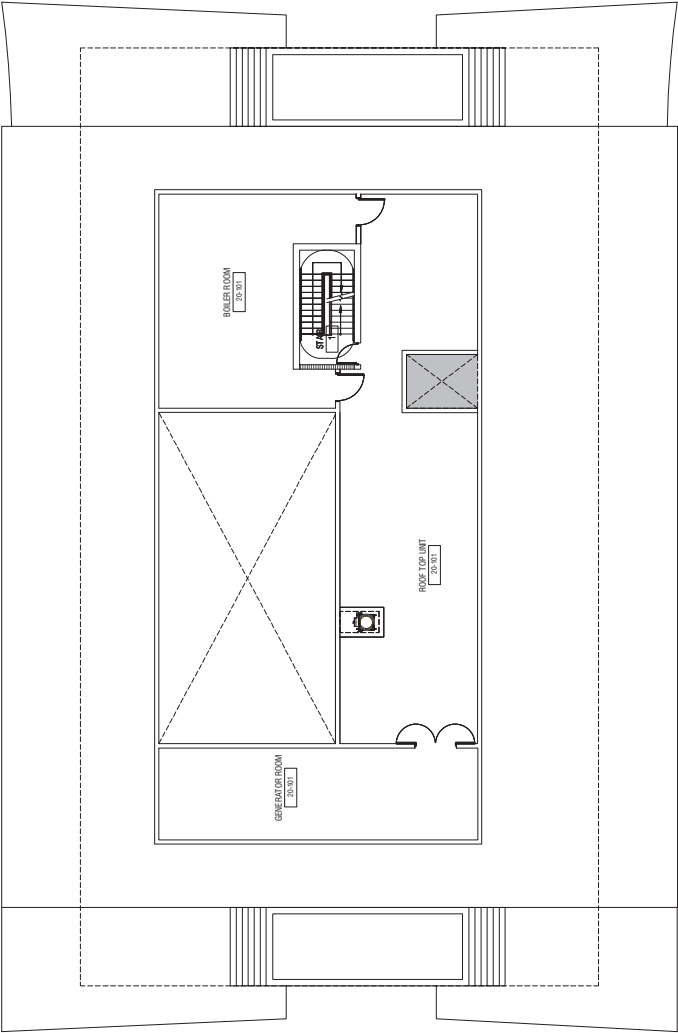
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0 5 15

MULTIPLAN



2017.10.03 A-1-14

ROOF PLAN ENLARGED EL. 223.0' NGVD

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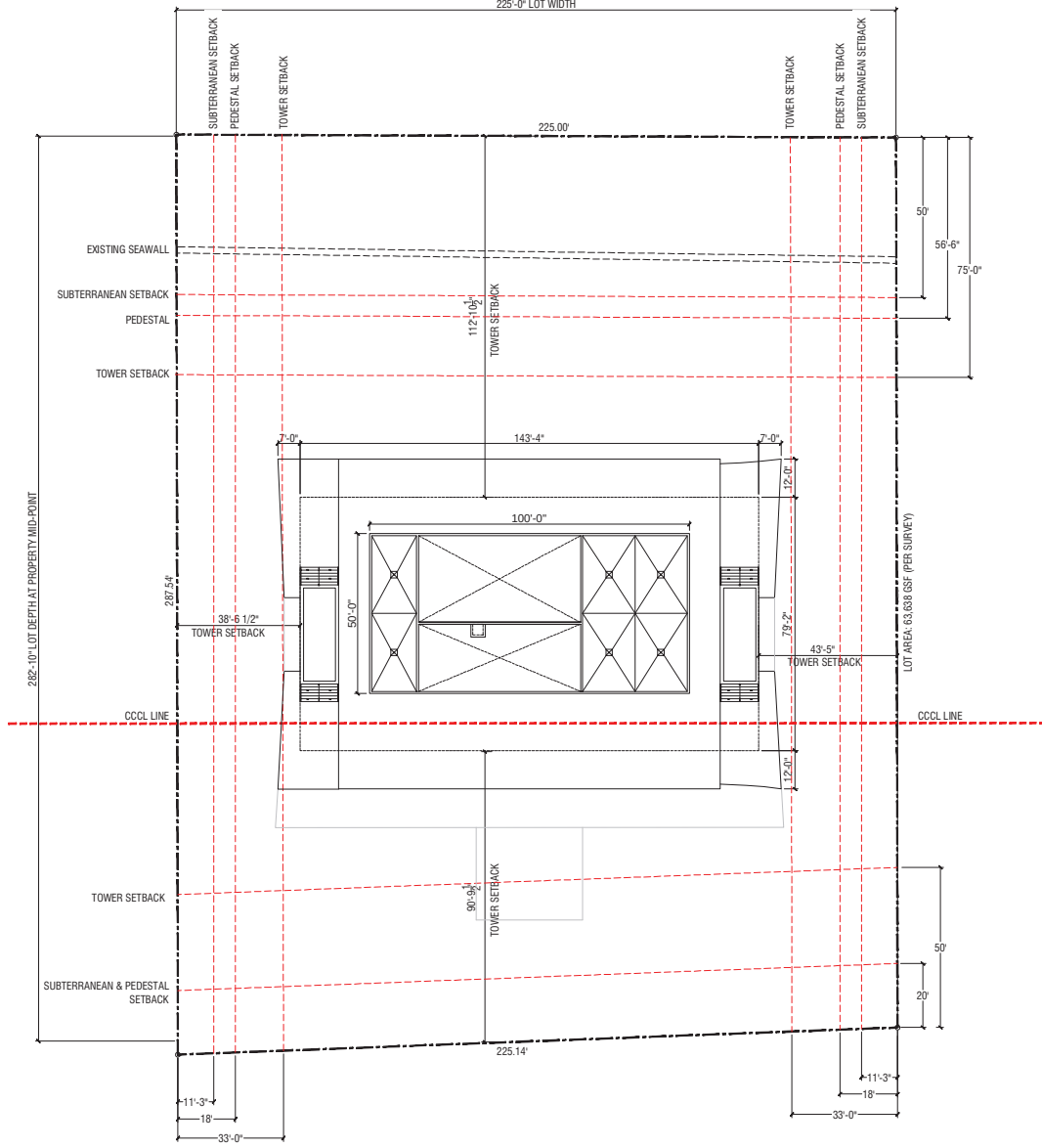
MULTIPLAN

0 5 15



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2017.10.03 A-1-15

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ROOF PLAN OVERALL EL. 233.0' NGVD



0 5 15

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