



5775 COLLINS AVENUE

REVISED DRB SUBMITTAL

JULY 17, 2017

SHEET INDEX

A-0-00	COVER SHEET	A2-00A	NORTH ELEVATION
A-0-01	SURVEY	A2-01	SOUTH ELEVATION RENDERED A2-01A SOUTH ELEVATION
A-0-02	SURVEY	A2-02	EAST ELEVATION RENDERED
A-0-03	TREE SURVEY	A2-02A	EAST ELEVATION
A0-01	ZONING & PROJECT DATA	A2-03	WEST ELEVATION RENDERED
A0-02	SITE PHOTOS	A2-03A	WEST ELEVATION
A0-03	PROJECT LOCATION / PROXIMITIES	A2-04	ENLARGED ELEVATION
A0-04	AERIAL PLAN	A3-00	CROSS SECTION
A0-05A	FAR DIAGRAMS	A3-01	LONGITUDINAL SECTION
A0-05B	FAR DIAGRAMS	A3-02	DETAIL
A0-05C	FAR DIAGRAMS	A4-00	RENDERING
A0-05D	FAR DIAGRAMS	A4-01	RENDERING
A0-05E	FAR DIAGRAMS	A4-02	RENDERING
A0-06	DIAGRAM	A4-03	RENDERING
A0-07	DIAGRAM	A4-04	RENDERING
A0-08	DIAGRAM	A5-00	SUN STUDY DIAGRAM
A0-09	DIAGRAM	L1.01	RENDERED GROUND FLOOR PLAN
A0-10	SITEPLAN	L1.02	HARDSCAPE PLAN
A1-00	GARAGE LEVEL-1	L1.03	DIMENSION PLAN
A1-01	GARAGE LEVEL-2	L1.04	MATERIALS PLAN
A1-02	GROUND LEVEL	L1.05	TREE DISPOSITION PLAN
A1-03A	TYPICAL OVERALL LEVEL 3	L1.06	TREE MITIGATION PLAN
A1-03B	TYPICAL ENLARGED LEVELS 3	L1.07	TREE PLANTING PLAN
A1-04A	TYPICAL OVERALL LEVELS 4-18	L1.08	SHRUBS & GROUNDCOVER PLAN
A1-04B	TYPICAL ENLARGED LEVELS 4-18	L1.09	LIGHTING PLAN
A1-05A	PENTHOUSES OVERALL	L3.01	SECTIONS
A1-05B	PENTHOUSES ENLARGED	L3.02	SECTIONS
A1-06A	MECHANICAL LEVEL OVERALL	L3.03	SECTIONS
A1-06B	MECHANICAL LEVEL ENLARGED	L3.04	SECTIONS
A1-07A	MECHANICAL LEVEL OVERALL	L3.05	SECTIONS
A1-07B	MECHANICAL LEVEL ENLARGED	L3.06	SECTIONS
A1-08A	ROOF PLAN OVERALL	L5.01	DETAILS
A1-08B	ROOF PLAN ENLARGED		
A2-00	NORTH ELEVATION RENDERED		

5775 COLLINS AVE

SITE DATA & DEVELOPMENT PROGRAM

I. GENERAL LOT INFORMATION		
ZONING CLASSIFICATION:	RM-3	
FOLIO NUMBER:	02-3211-016-0001	
PROPERTY ADDRESS:	5775 COLLINS AVENUE	
FEMA ZONE:	FLOOD ZONE AE	
	REQUIRED / ALLOWED	PROVIDED
LOT AREA:	7000 S.F. MIN	63,638 SF / 1.46 ACRES
LOT WIDTH:	50 FT MIN	225'-0"
LOT DEPTH:		282'-10" (AT MID POINT)
FLOOR AREA RATIO:	3	
MAXIMUM ALLOWABLE AREA:	190,914 SF MAX.	190,662 SF
DENSITY:	150 DU/ACRE MAX. = 219 DU	89 DU

II. SETBACKS & YARD REQUIREMENTS		
	REQUIRED / ALLOWED	PROVIDED
SUBTERRANEAN SETBACK: FRONT	20'-0"	20'-1"
SIDE	5 FEET, OR 5%OF LOT WIDTH, WHICHEVER IS GREATER	18'-1"
REAR	50'-0"	55'-6"
PEDESTAL SETBACK: FRONT	20'-0"	68'-10 ¹ / ₄ "
SIDE	SUM OF THE SIDE YARDS SHALL EQUAL 16% OF LOT WIDTH - 7.5 FEET OR 8% OF LOT WIDTH WHICHEVER IS GREATER	31'-10" (SOUTH) 31'-11" (NORTH))
REAR	20% OF LOT DEPTH, 50 FEET FROM THE BULKHEAD LINE WHICHEVER IS GREATER	112'-3"
TOWER SETBACK: FRONT	20 FEET +1 FT FOR EVERY FT INCREASEIN HEIGHT ABOVE 50 FT, TO A MAX. OF 50 FT, THEN SHALL REMAIN CONSTANT	93'-3 ¹ / ₂ "
SIDE	THE REQUIRED PEDESTAL SETBACK PLUS 0.10 OF THE HEIGHT OF THE TOWER PORTION OF THE BUILDING. THE TOTAL SETBACK SHALL NOT EXCEED 50'-0".	38'-2" (SOUTH) 38'-5 ³ / ₄ " (NORTH)
REAR	20% OF LOT DEPTH,75 FEET MIN. FROM THE BULKHEAD LINE WHICHEVER IS GREATER	112'-10 ¹ / ₂ "

III. OCEANFRONT OVERLAY REQUIREMENTS

OCEANFRONT OVERLAY

ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS. THESE REGULATIONS APPLY TO BUILDINGS AND STRUCTURES LOCATED WEST OF THE BULKHEAD LINE.

LOT COVERAGE:

50 % OF THE REQUIRED REAR YARD SETBACK

REAR YARD SETBACK:

50'-0" FOR GRADE AND SUBTERRANEAN LEVELS
MEASURED FROM THE BULKHEAD LINE

56'-6" PROVIDED

SIDE SETBACK:

15'-0"

MAXIMUM HEIGHT:

30'-0" ABOVE GRADE

IV. PARKING REQUIREMENTS

REQUIRED

PROVIDED

RESIDENTIAL:

1.5 PARKING SPACES PER 550-999 SF UNITS

1.75 PARKING SPACES PER 1000-1200 SF UNITS

2 PARKING SPACES PER UNITS ABOVE 1200 SF

2 x 89 DU = 178 PS

GUEST:

10% OF TOTAL PARKING SPACES

18 PS

ACCESSIBLE:

151-200 PS

6 PS

TOTAL PARKING REQUIRED:

196 PS

196 PS

BICYCLE PARKING:

4 PER PROJECT OR 1 PER 10 UNITS

9

V. LOADING ANALYSIS

REQUIRED

PROVIDED

RESIDENTIAL

OVER 50 UNITS BUT
LESS THAN 100 UNITS:

2 LOADING BERTHS

2 (10' x 20') BERTHS

VI. F.A.R SCHEDULE

LEVEL

AREA

OF LEVELS

TOTAL

GARAGE LVL -1

519 SF

1

519 SF

GARAGE LVL- 2

452 SF

1

452 SF

LEVEL - GROUND

9,958 SF

1

9,958 SF

LEVEL - 3

11,353 SF

1

11,353 SF

STAIR MEZZANINE

381 SF

1

381 SF

TYPICAL LEVELS 4-18

11,353 SF

14

158,942 SF

LEVEL 19 - PENTHOUSE LEVEL

8,678 SF

1

8,678 SF

LEVEL 20 - MECHANICAL LVL 1

234 SF

1

234 SF

LEVEL 21 - MECHANICAL LVL 2

145 SF

1

145 SF

ROOF LVL

0 SF

1

0 SF

GRAND TOTAL 190,914 SF (ALLOWED)

190,662 SF

EXISTING MARLBOROUGH HOUSE BUILDING (FAR)				
LEVEL	AREA	# OF LEVELS	TOTAL	
GROUND	10,044 SF	1	10,044 SF	
TYPICAL LOWER LEVELS - 2-13	10,044 SF	12	120,528 SF	
GRAND TOTAL			130,572 SF	

UNIT MATRIX				
UNIT	BED / BATH	SQ. FT.	QTY.	TOTAL S.F.
UNIT A	3 BED / 3.5 BATH	1984 SF	15	29,760 SF
UNIT B	2 BED / 3.0 BATH	1826 SF	15	27,390 SF
UNIT C	3 BED / 3.5 BATH	2002 SF	15	30,030 SF
UNIT D	2 BED / 2.5 BATH	1340 SF	14	18,760 SF
UNIT E	2 BED / 2.5 BATH	1434 SF	14	20,076 SF
UNIT F	2 BED / 2.5 BATH	1337 SF	14	18,718 SF
PH A	4 BED / 5.5 BATH	3,785 SF	1	3,785 SF
PH B	4 BED / 5.5 BATH	3,674SF	1	3,674SF
TOTAL	30 BED / 40 BATH		89	152,193 SF



5775 COLLINS AVE

AERIAL PLAN

2017.07.17 A0-04



GARAGE LEVEL - 1
519 SF



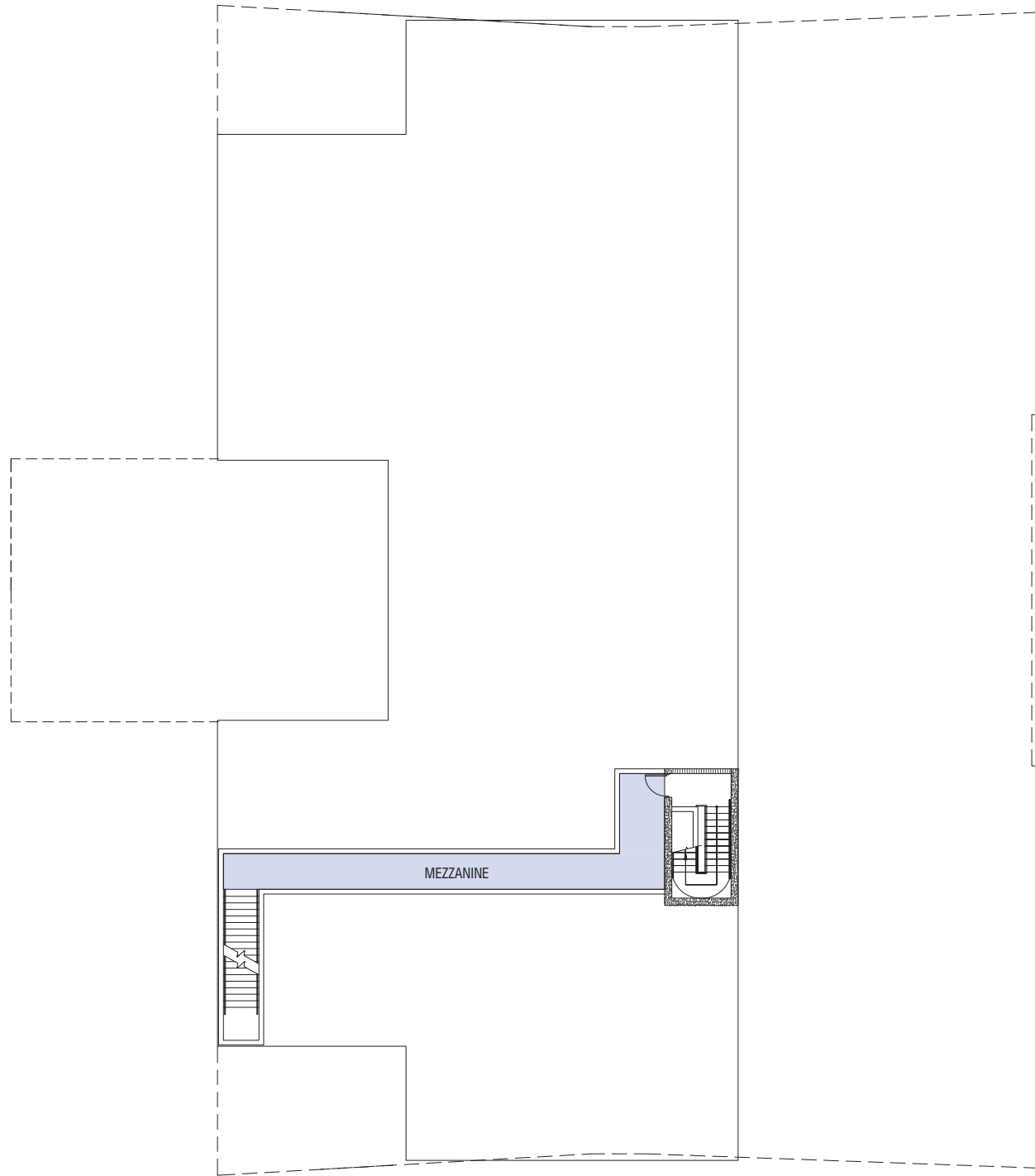
GARAGE LEVEL - 2
452 SF



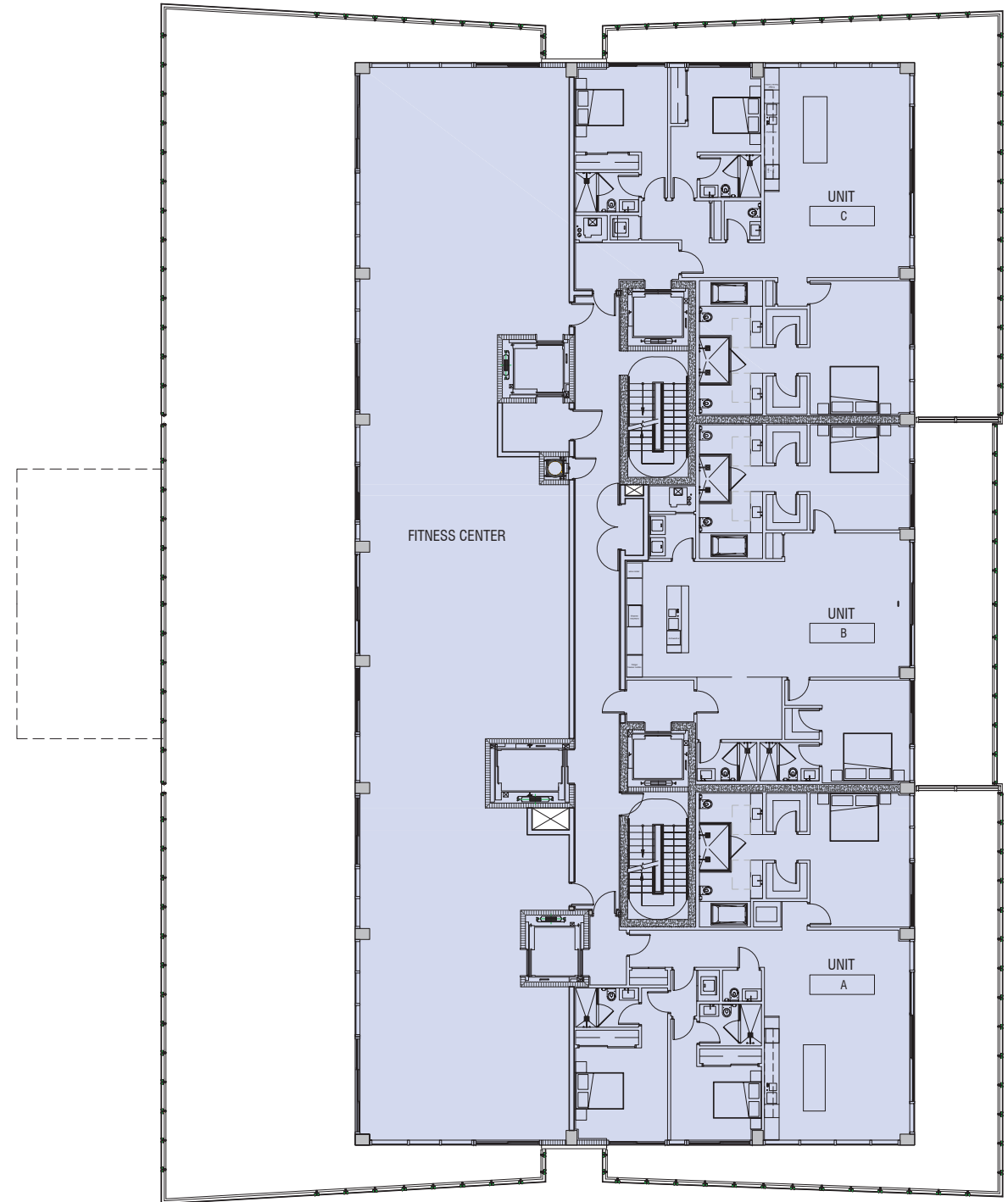
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FAR DIAGRAMS

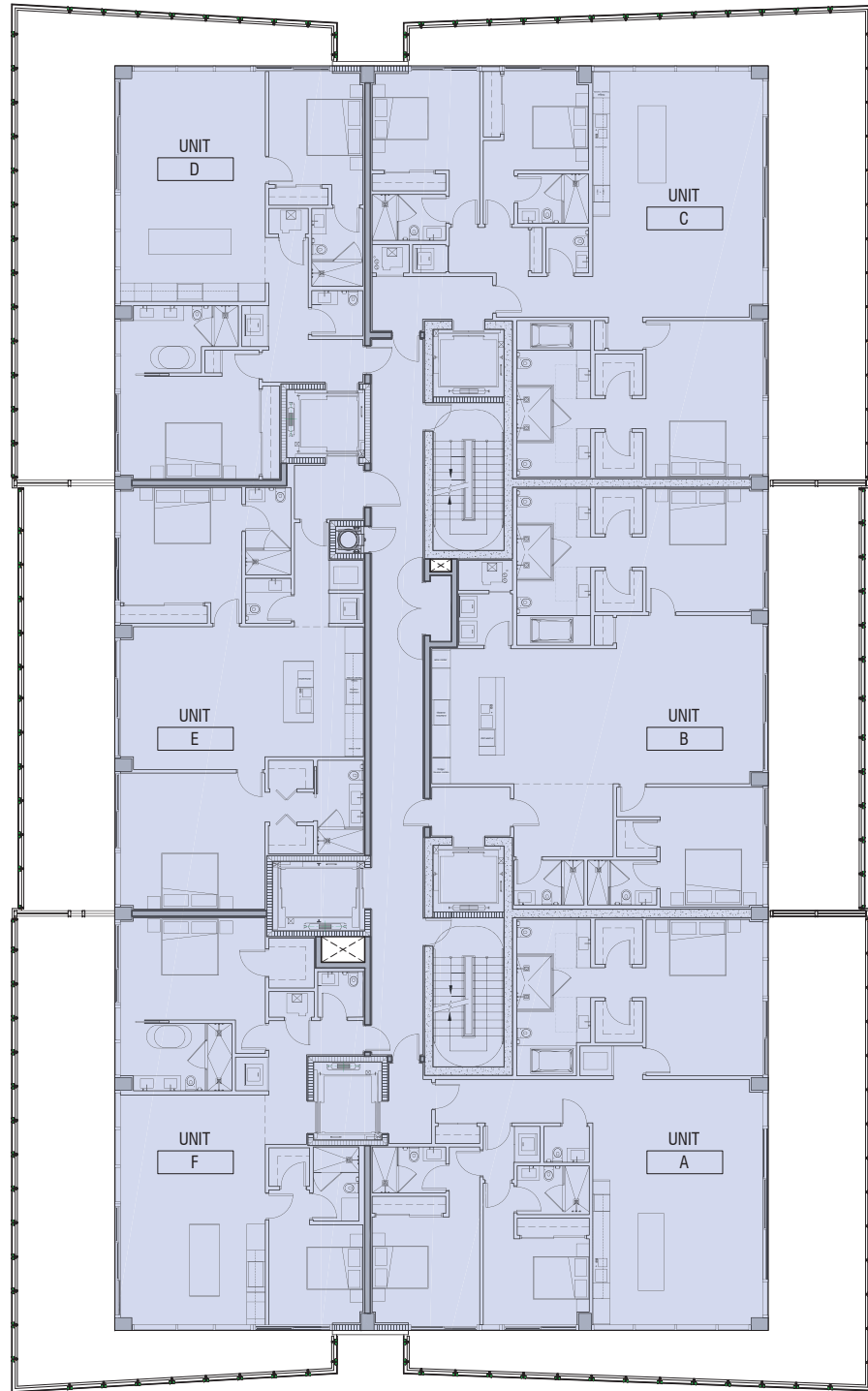
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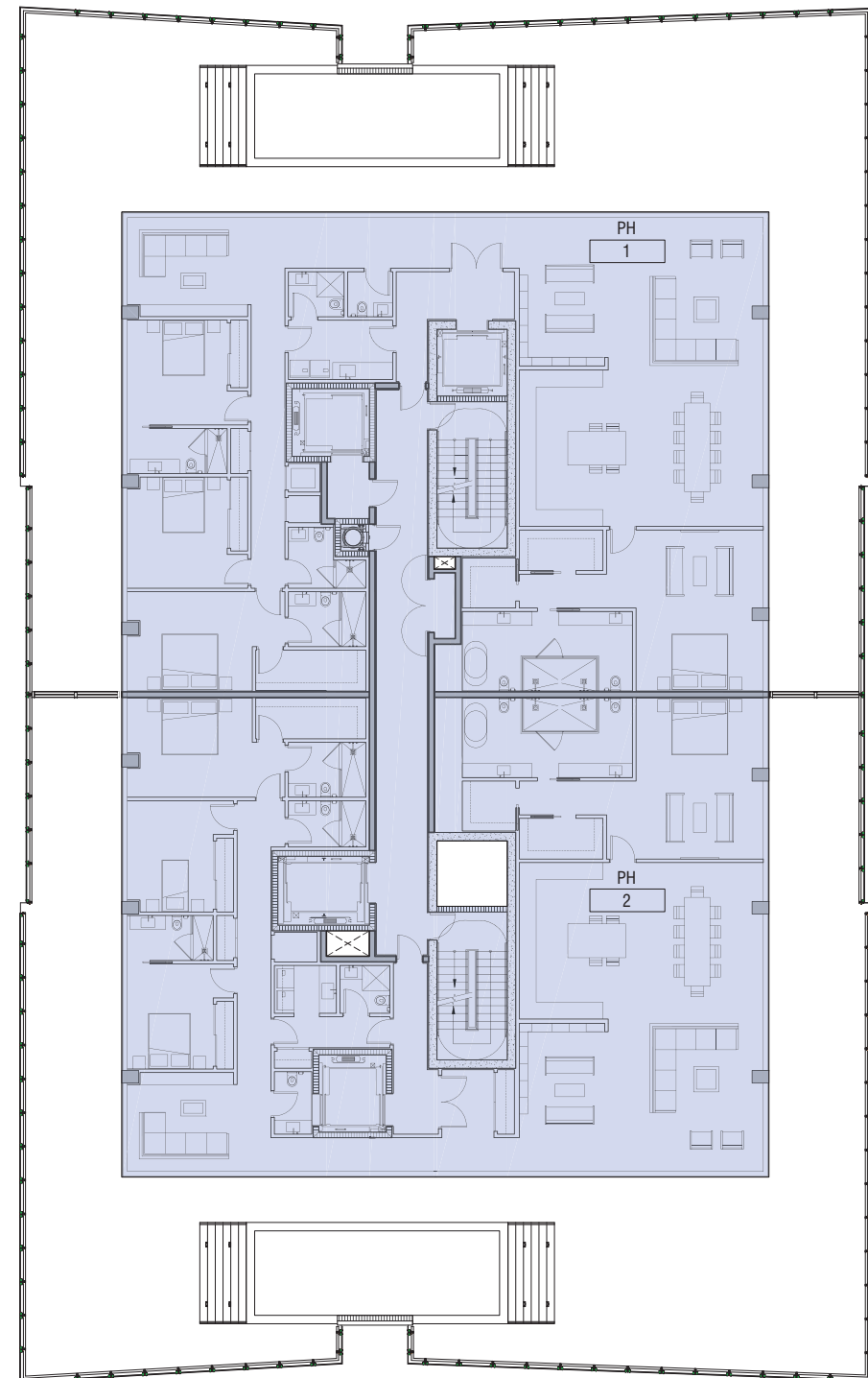
MEZZANINE LEVEL
381 SF



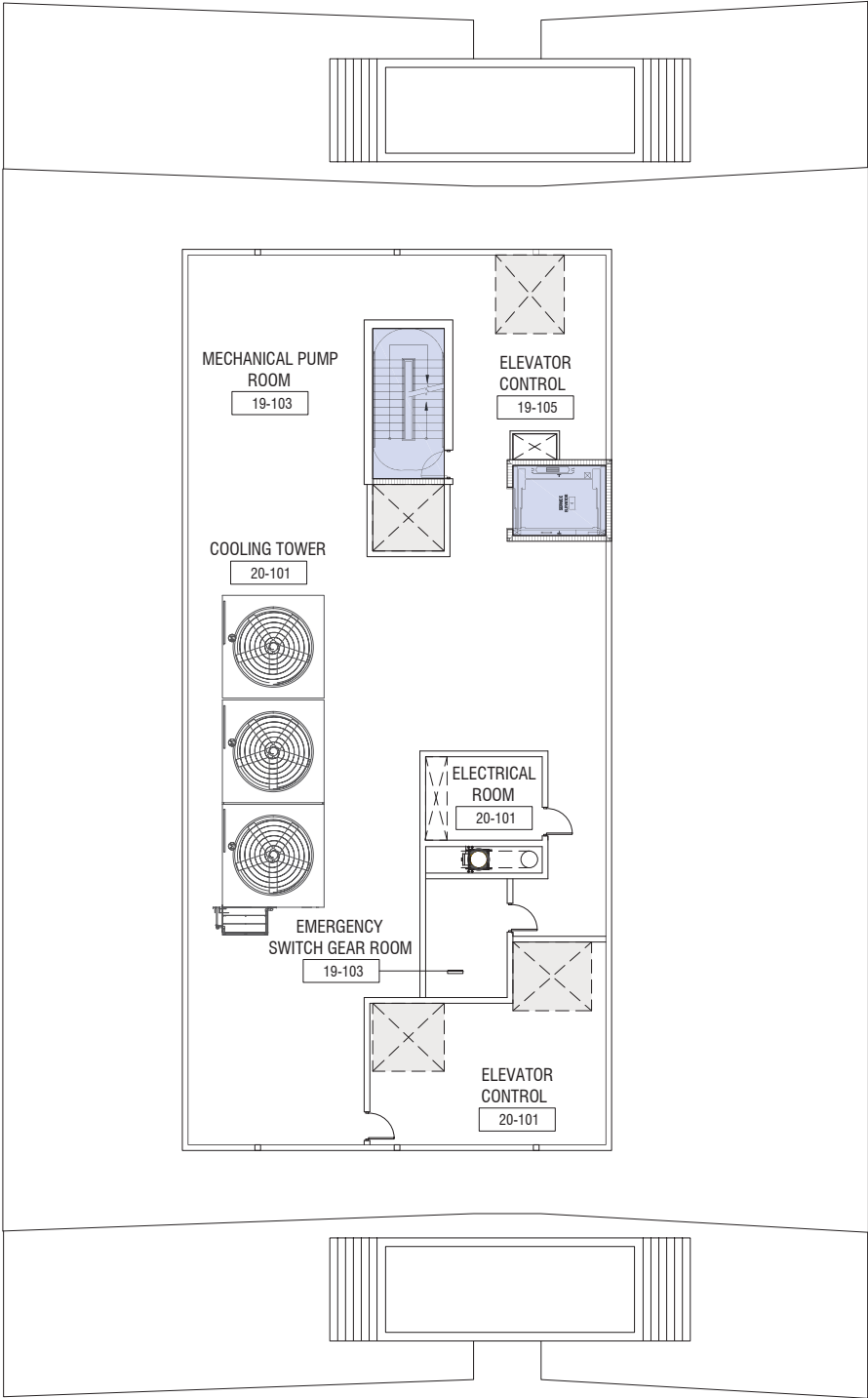
TOWER LEVEL 3
11,353 SF



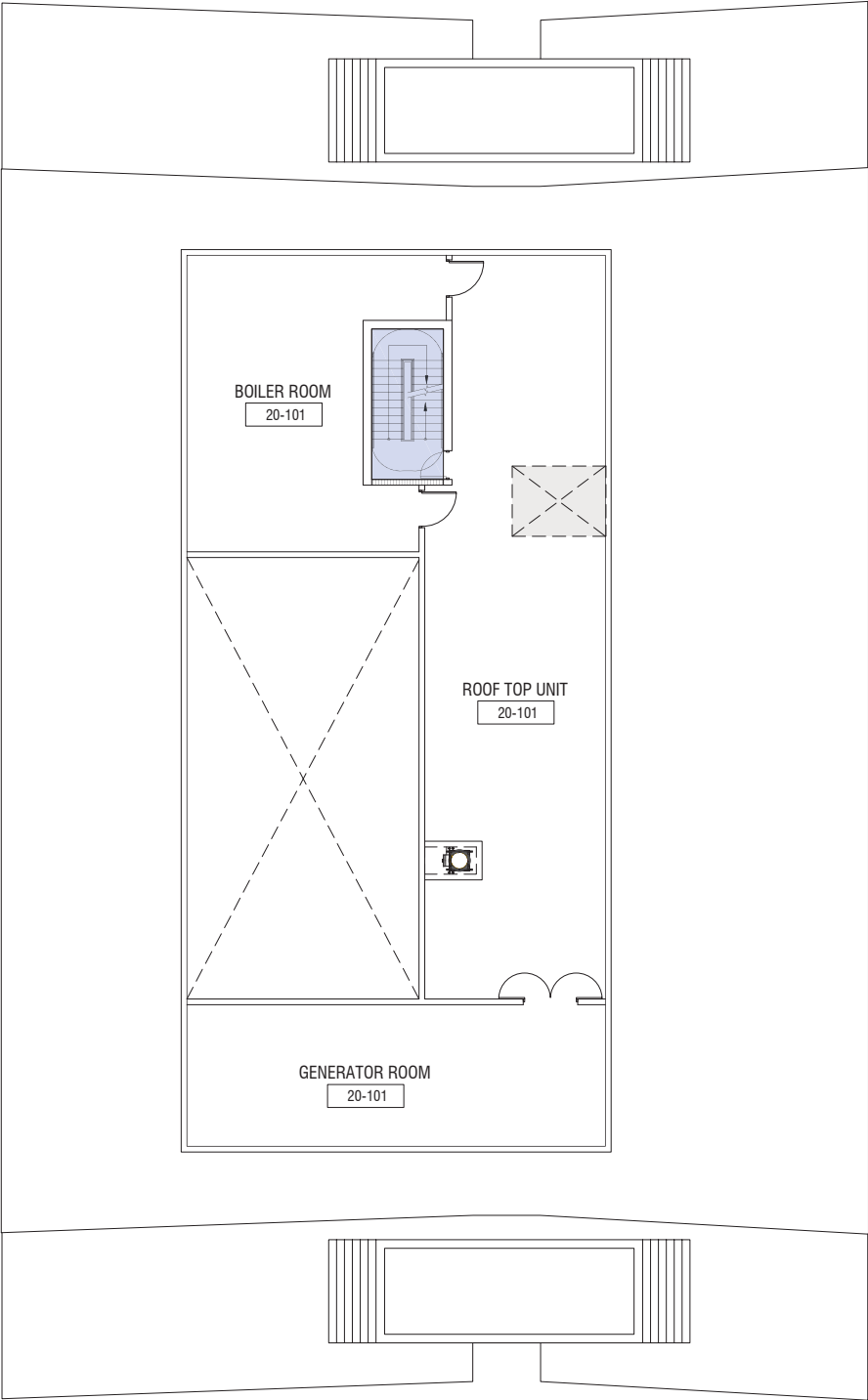
TYPICAL TOWER LEVELS 04-18
11,353 SF



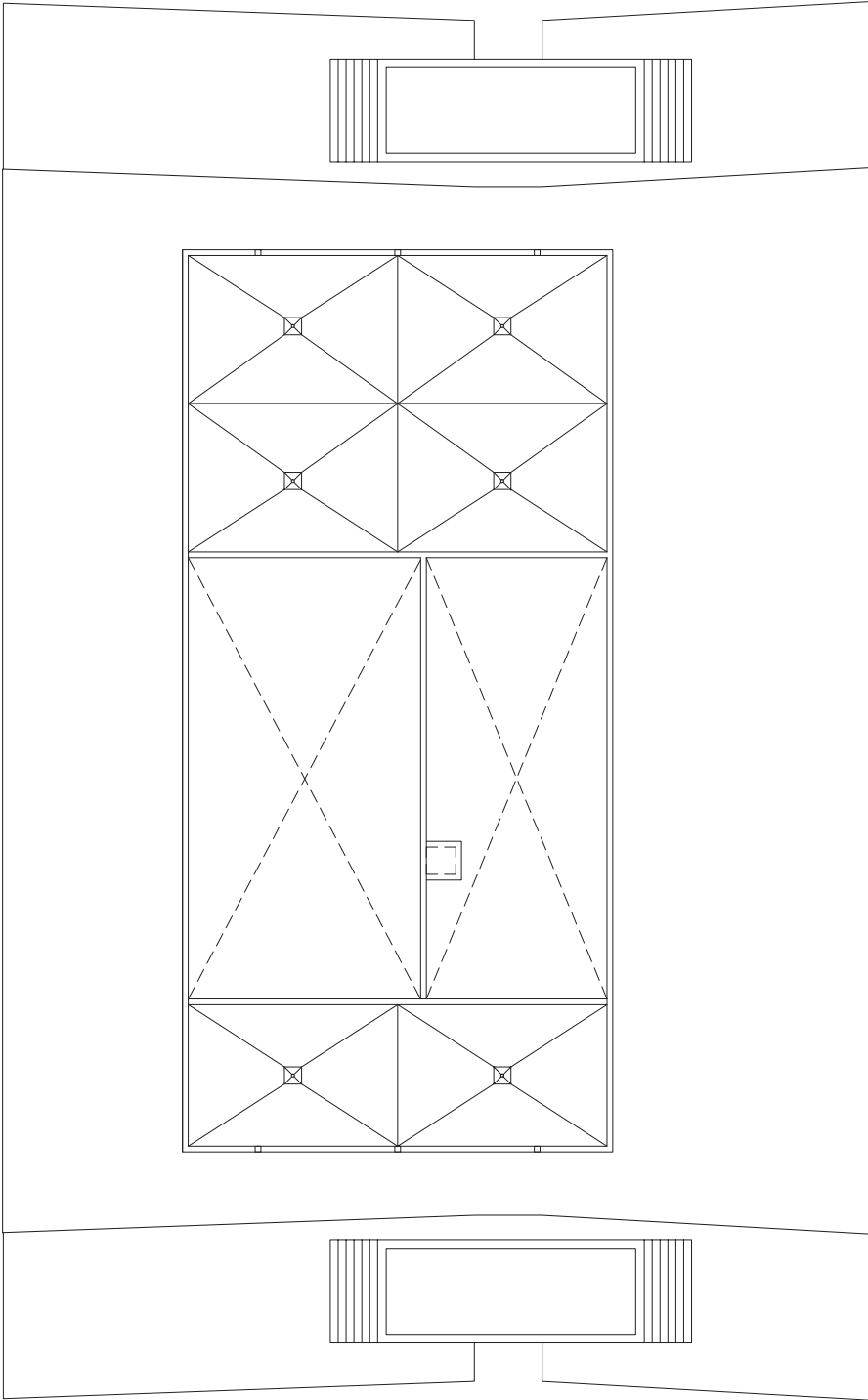
PENTHOUSE LEVEL
8,678 SF



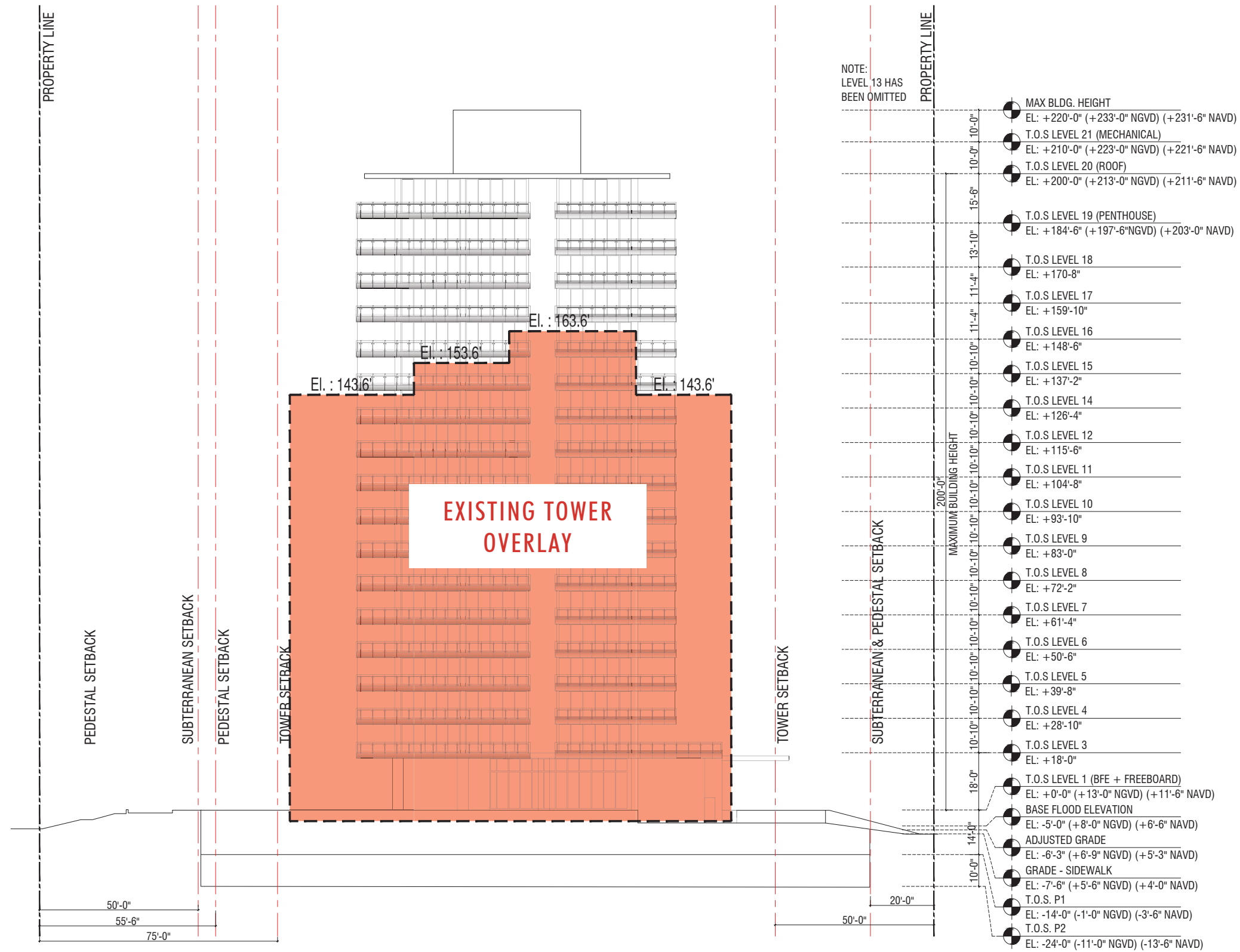
MECHANICAL LEVEL 1
234 SF

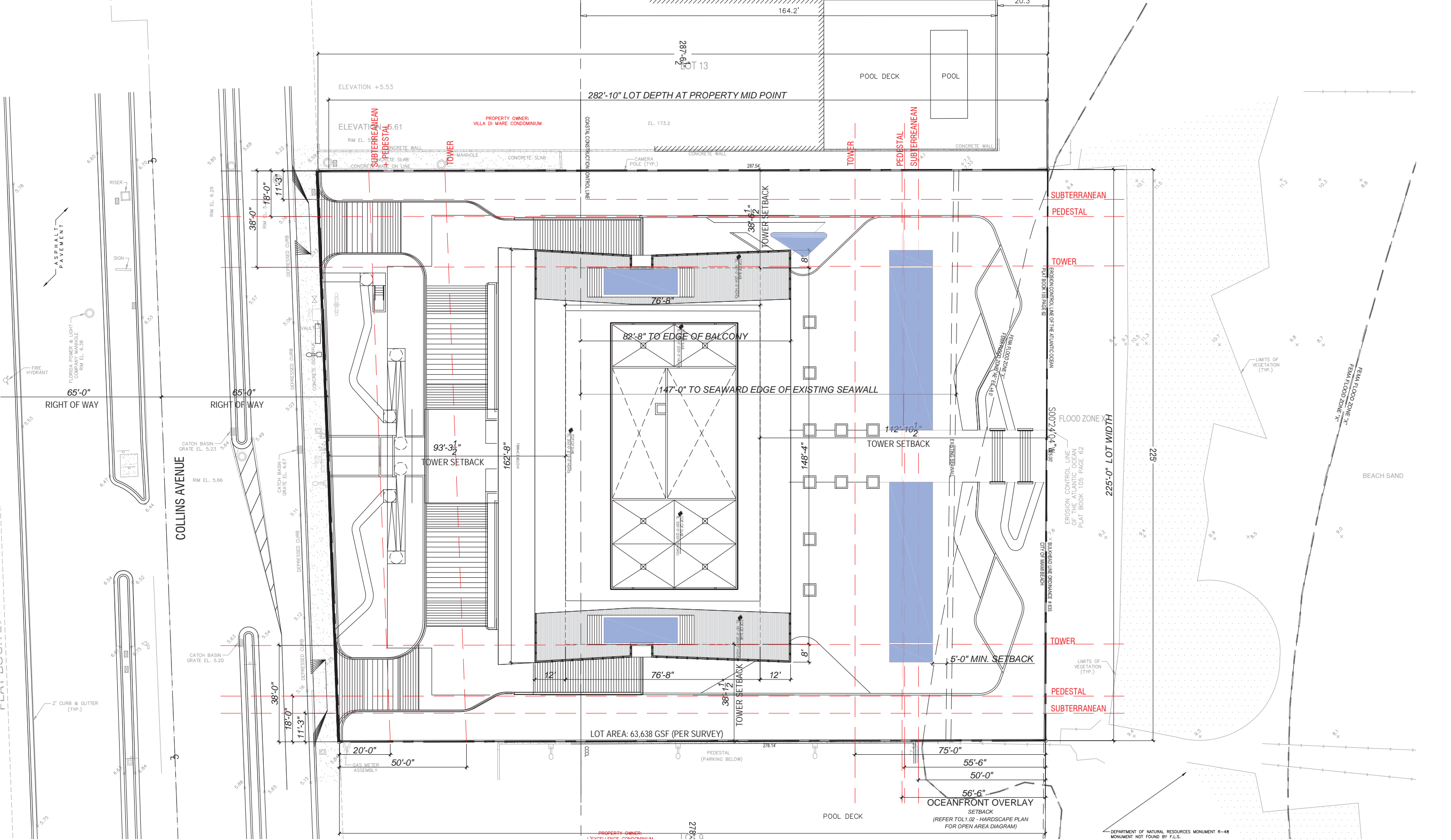


MECHANICAL LEVEL 2
145 SF



ROOF LEVEL
0 SF



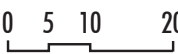


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SITE PLAN

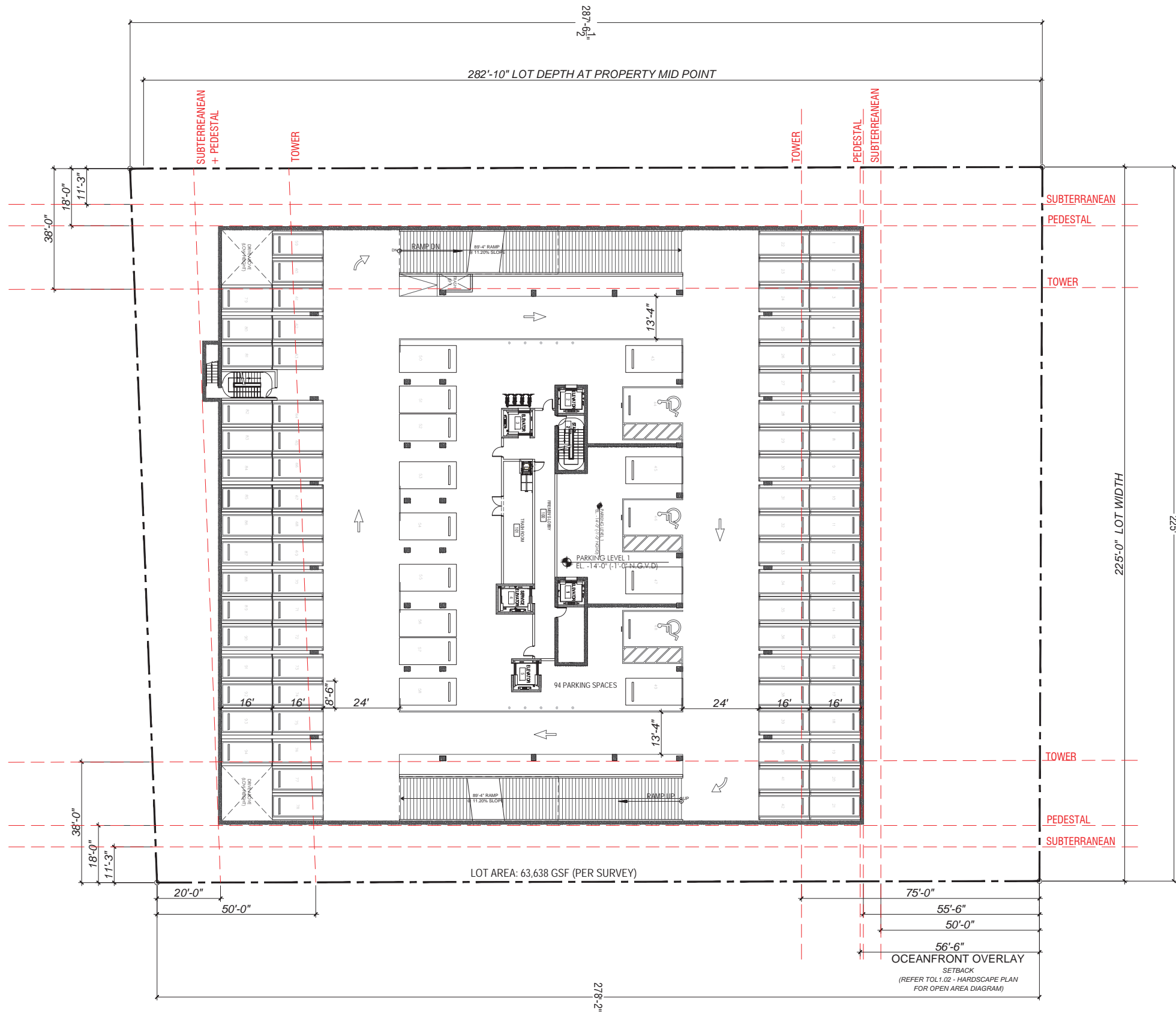
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MULTIPLAN



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GARAGE_01 - EL. -1.0' NGVD

2017.07.17 A1-00

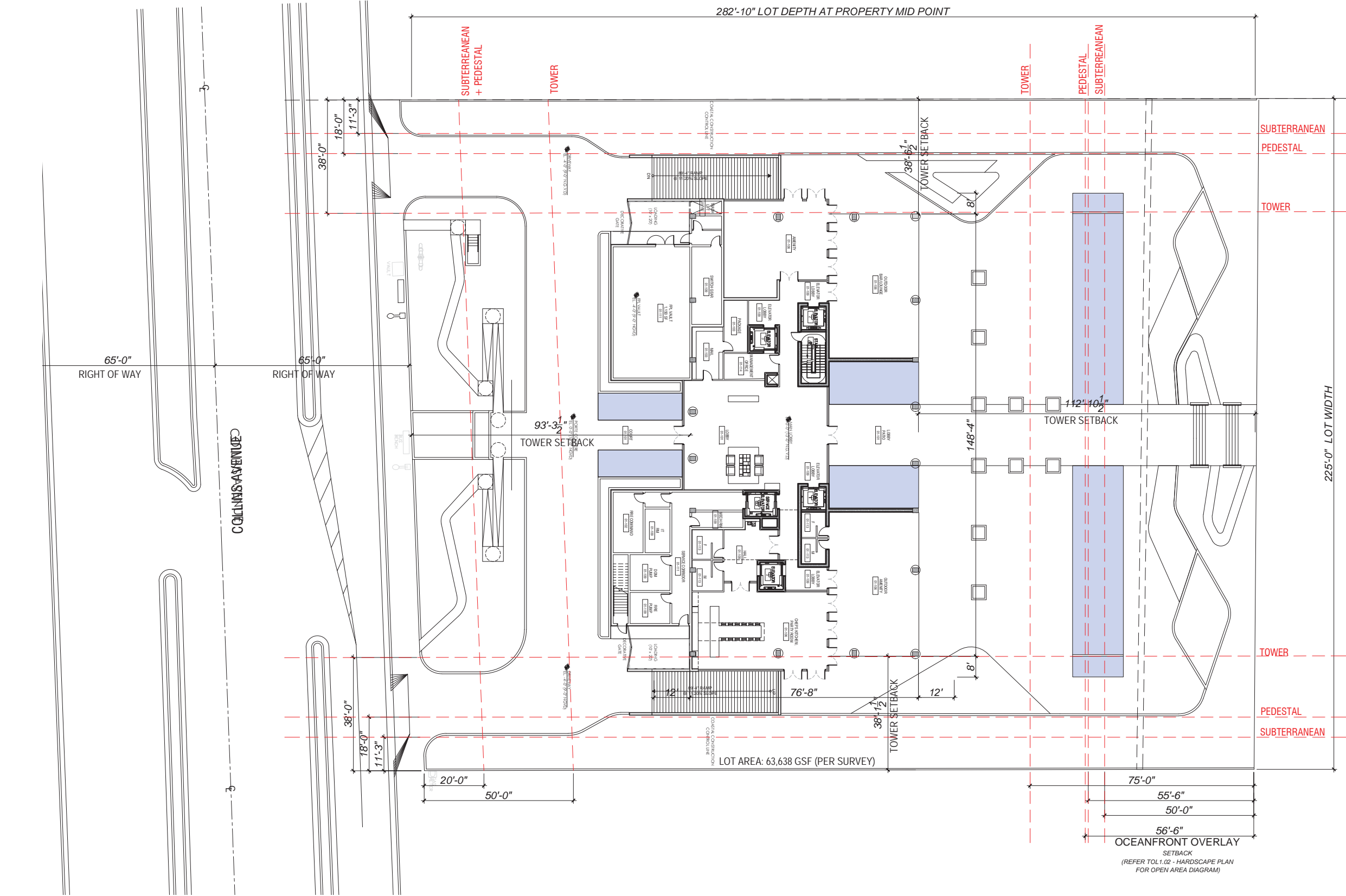
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0 5 30



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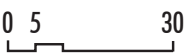


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GROUND - EL. 13.0' NGVD

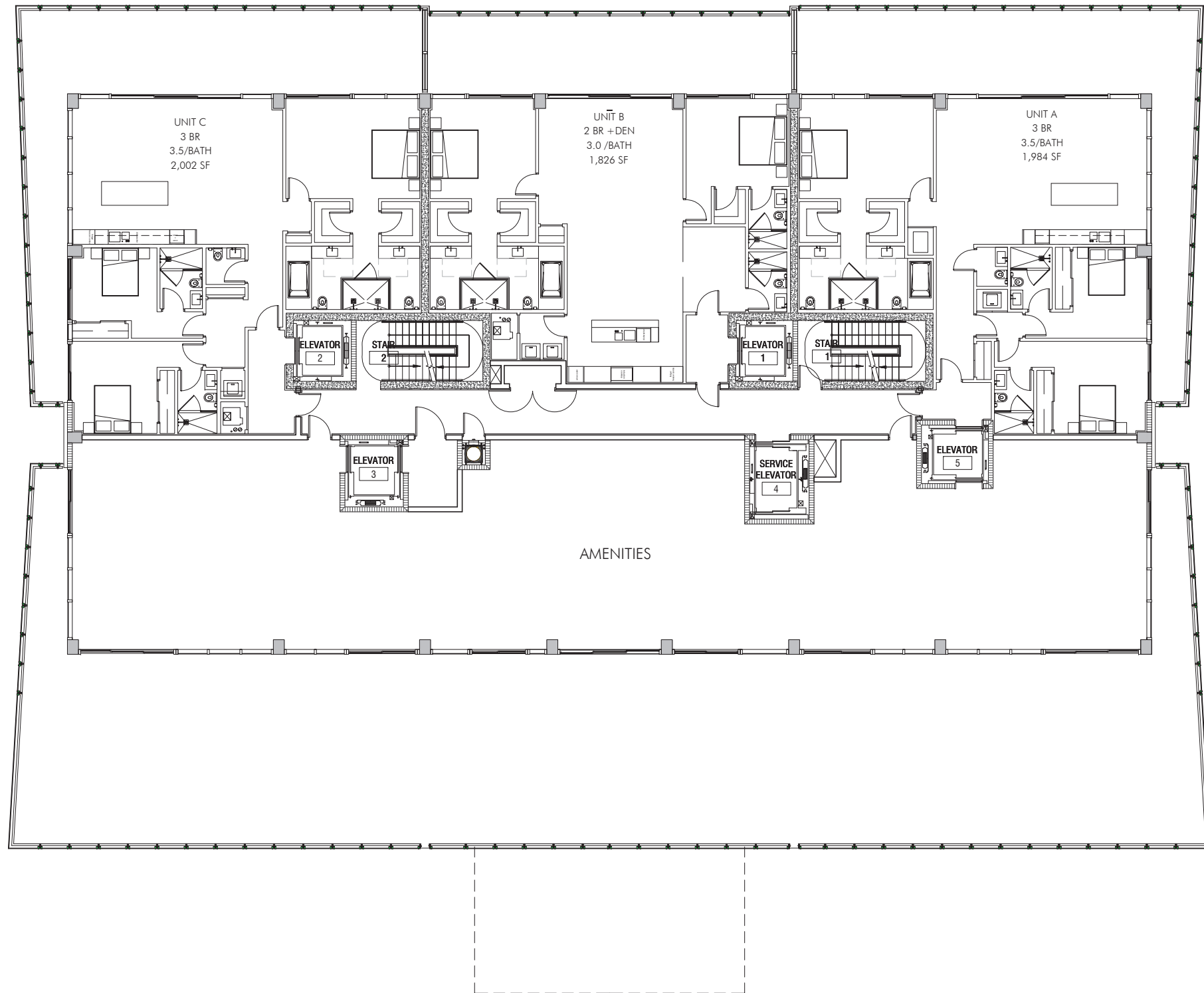
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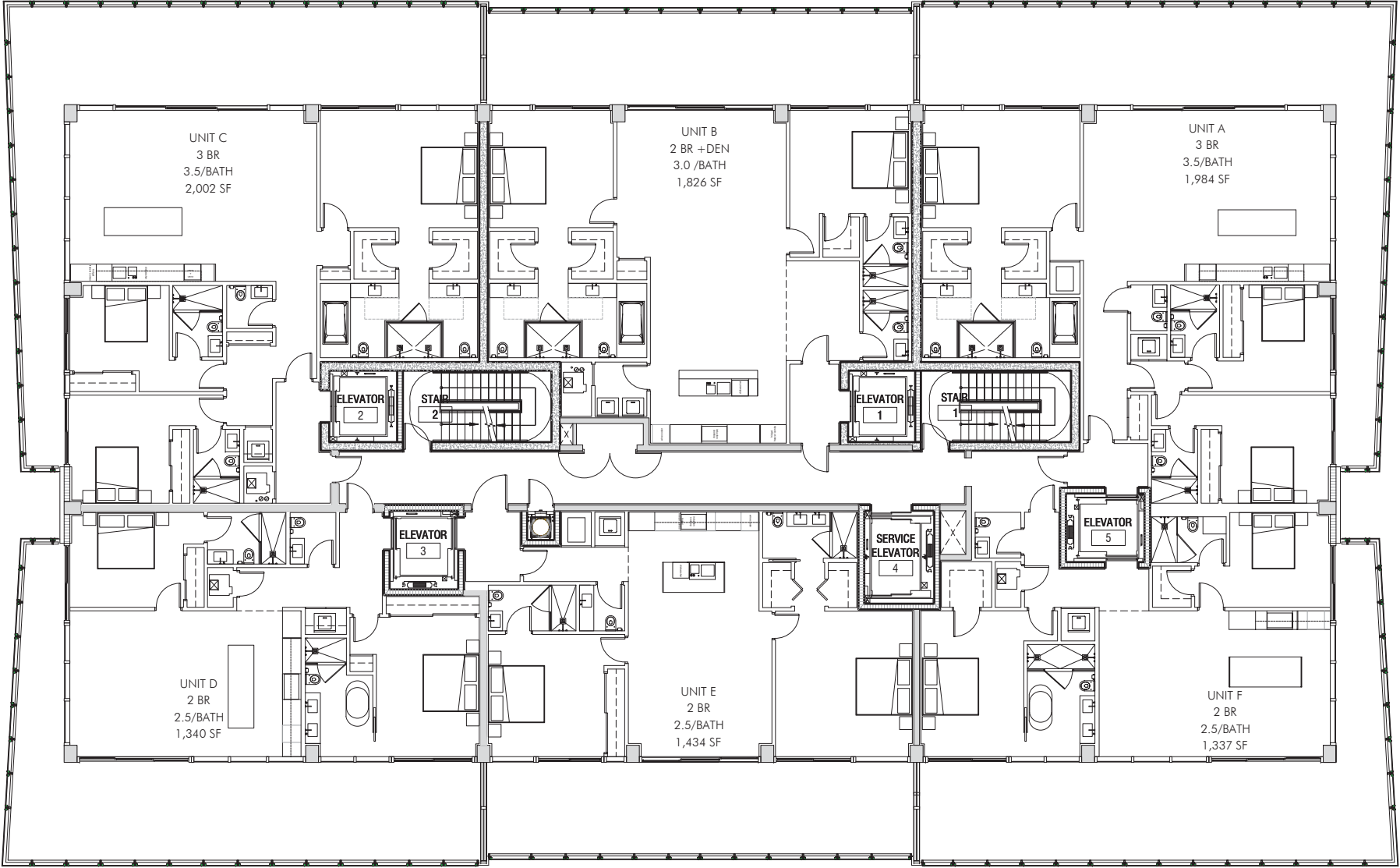
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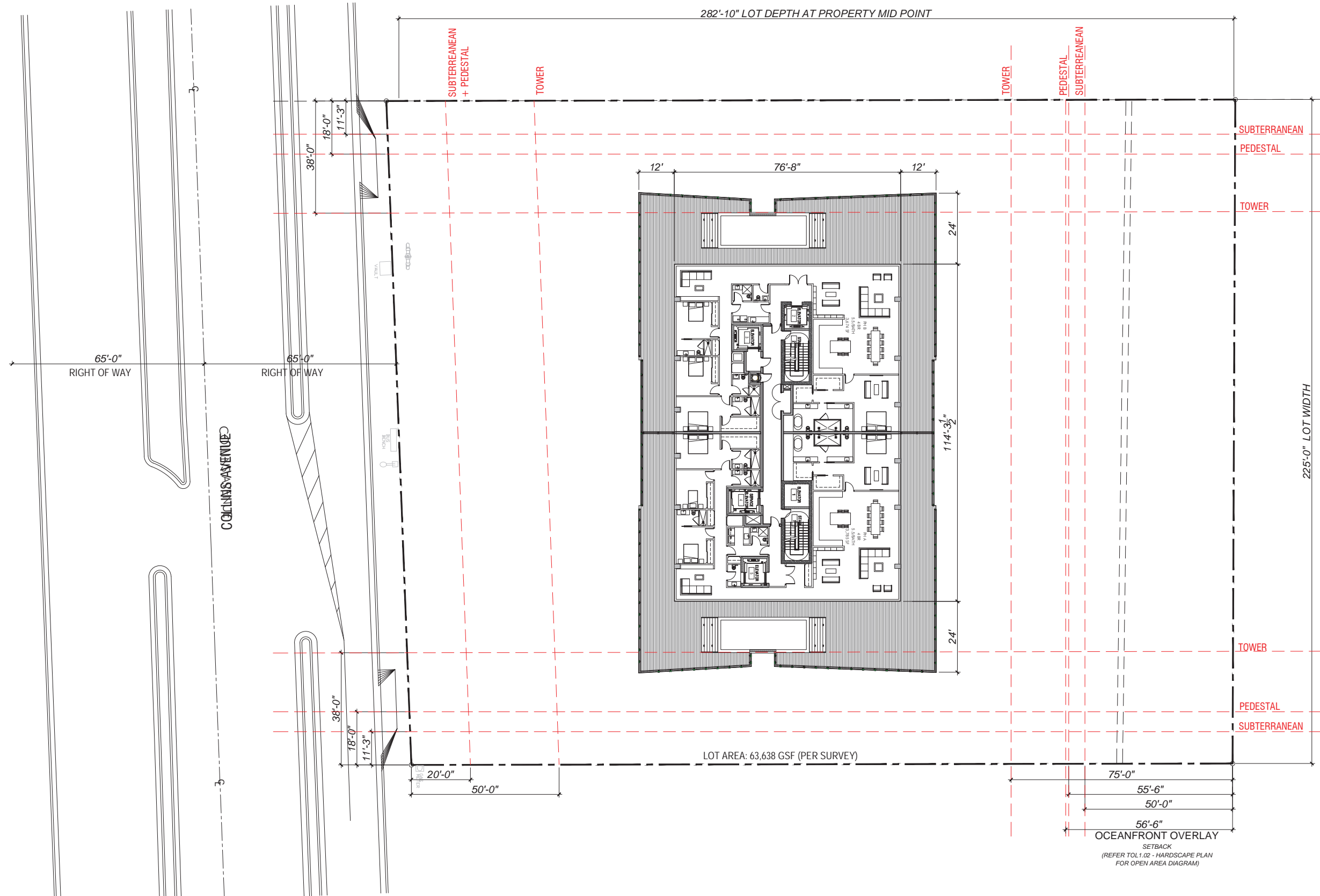


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TYPICAL OVERALL PLAN_PENTHOUSES_A + B

2017.07.17 A1-05A

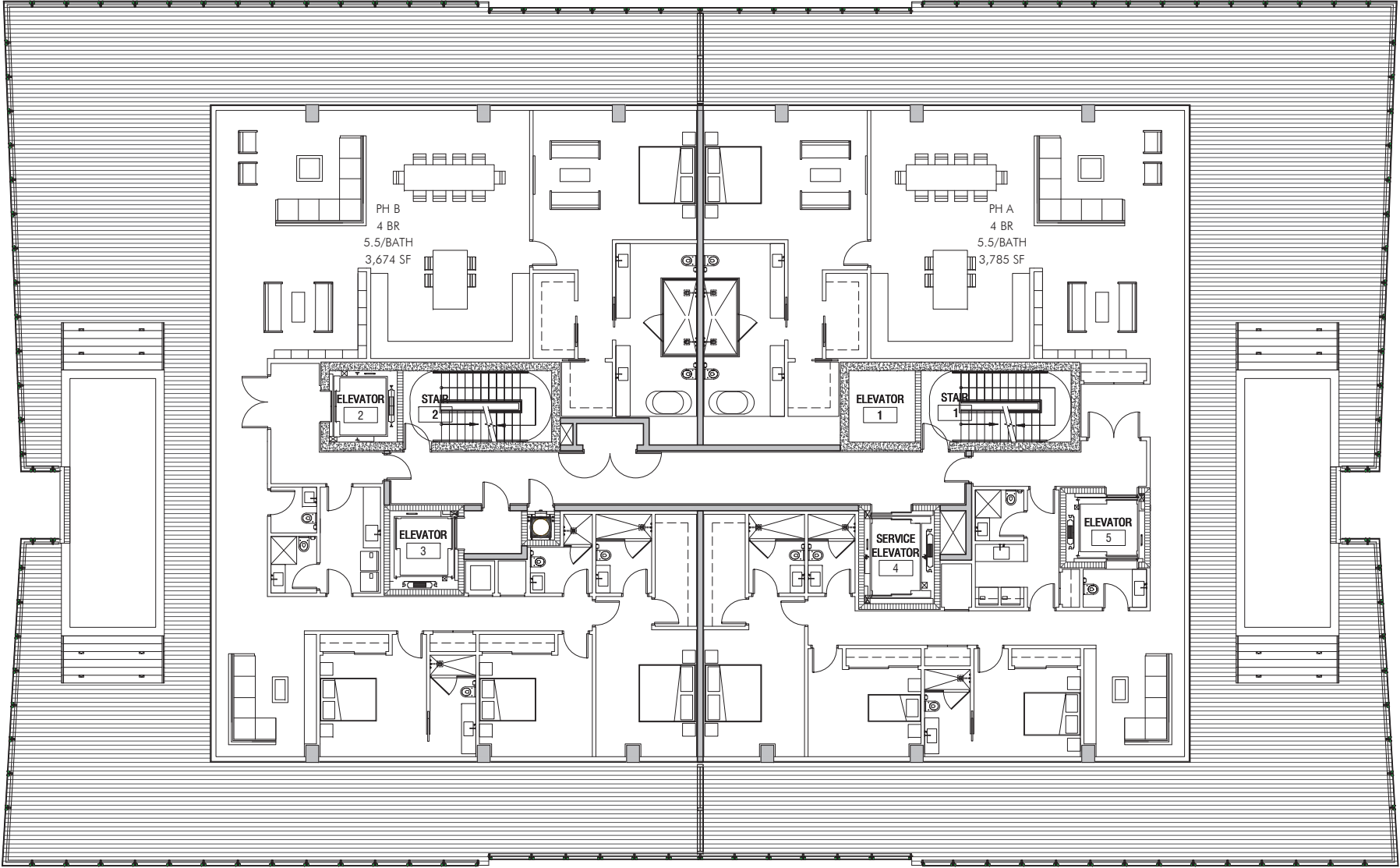
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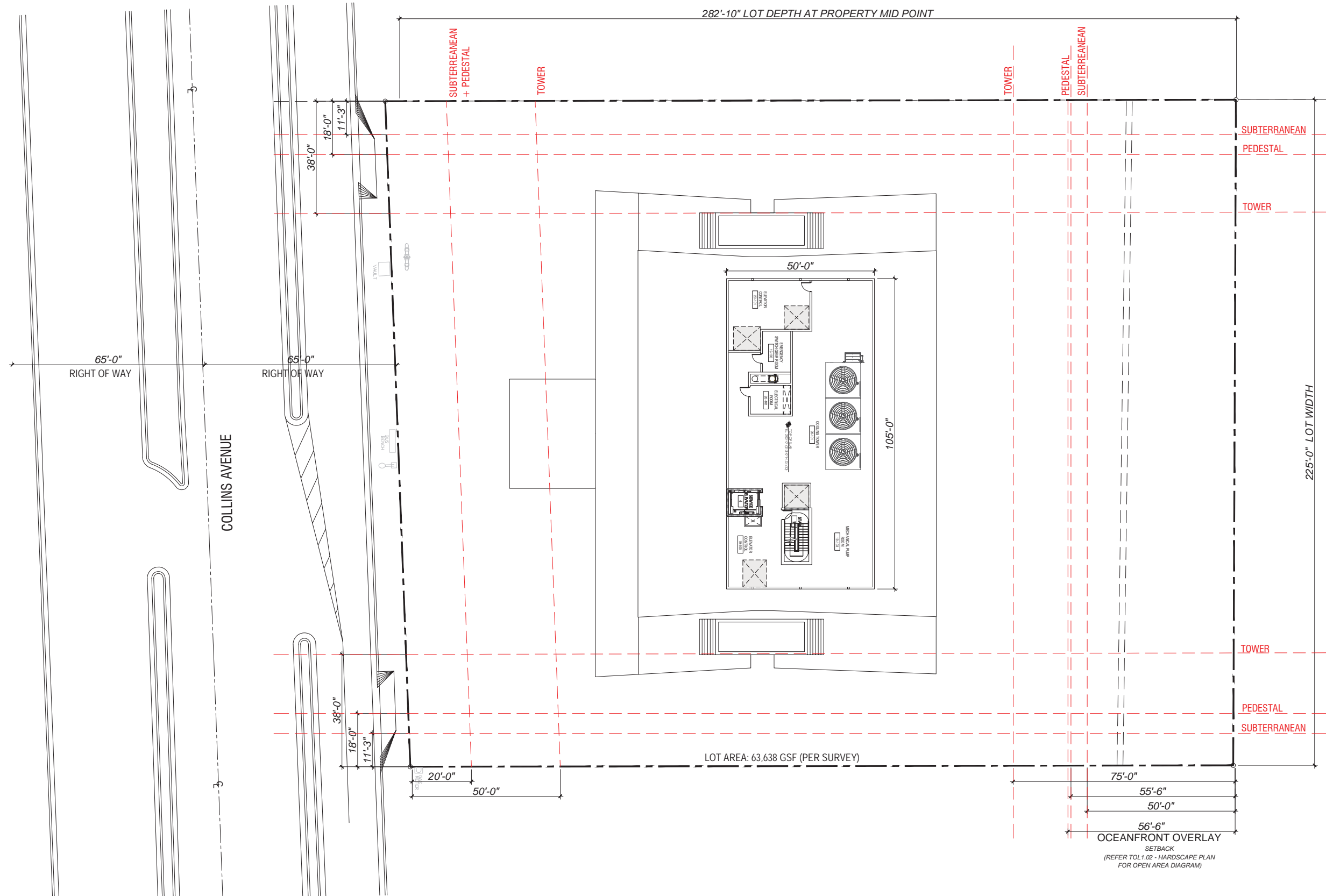
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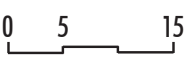


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MECHANICAL LEVEL ENLARGED - EL.213.0' NGVD

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