

02-4203-014-0190

APPLICABLE CODES:

Florida Building Code, Existing - 2010
Florida Building Code, Residential - 2010
Florida Fire Prevention Code - 2010 Edition

LENOX MANOR RE-SUB PB 7-15 LOT 9 BLK 120 LOT SIZE 62.500 X
160 OR 19557-1415 03 2001 1 COC 26451-4223 06 2008 1

RM-1

OCCUPANCY: RM-1 RESIDENTIAL MULTIFAMILY LOW DENSITY
HISTORIC PRESERVATION DISTRICT: FLAMINGO
TOTAL SITE AREA: 10,000 SF (LOT SIZE: 62.5' X 60')

THE ADDITION OF A 3 STORY DUPLEX INCLUDING A POOL/POOL DECK AT ROOF LEVEL TO BE LOCATED AT THE REAR OF THE PROPERTY. THE DEMOLITION OF THE EXISTING STEPS AT THE REAR OF THE EXISTING BUILDING TO BE REPLACED BY NEW CONCRETE STEPS, CONCRETE WALKWAY AND LANDSCAPE BETWEEN BUILDINGS. THE PROPOSED DUPLEX WILL BE OF AN ART DECO/CONTEMPORARY STYLE DESIGN, AND A CONCRETE AND GLASS TYPE CONSTRUCTION.

MAIN BUILDING:	ALLOWED:	PROVIDED:
FRONT	20'-0" FROM PL/10' FROM EXIST.	73'-3" FROM PL/10' FROM EXIST.
REAR	16'-0"	5'-0"
NORTH SIDE	7'-6"	6'-0"
SOUTH SIDE	7'-6"	7'-6"

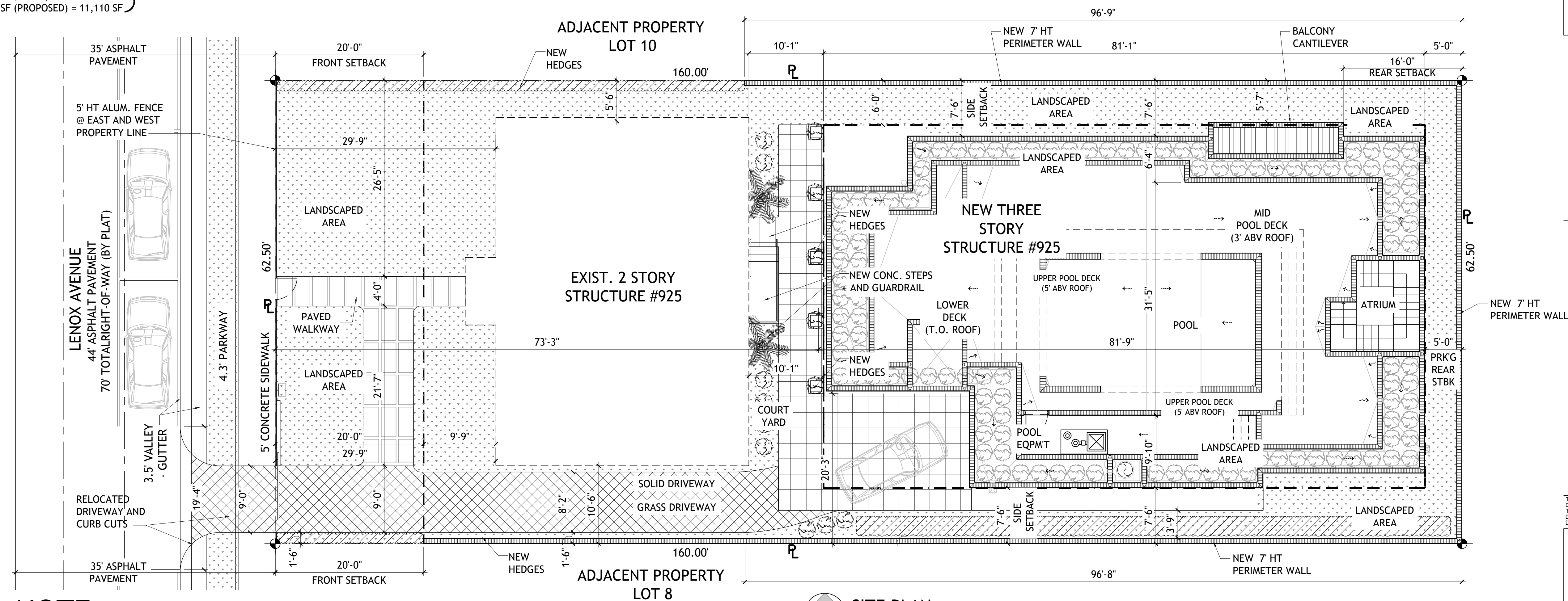
FRONT	20'-0"	20'+
REAR	5'-0"	5'-0"
NORTH SIDE	5'-0"	7'-6"
SOUTH SIDE	5'-0"	7'-10"

	ALLOWED:	PROVIDED:
# OF STORIES:	3 STORIES	3 STORIES + POOL TERRACE
BUILDING HEIGHT:	35 ABV GRADE	34'-11" TOP OF ROOF

LOT AREA:	ALLOWED:	PROVIDED:
UNIT SIZE:	5,600 SF	10,000 SF
	550 SF	2,000+ SF
MAXIMUM FLOOR AREA:	1.25 OF 10,000 SF = 12,500 SF	$\left(3,295 \text{ SF (EXIST.)} \right.$ $\left. + 7,815 \text{ SF (PROPOSED)} = 11,110 \text{ SF} \right)$

FLOOD ZONE: AE
BASE FLOOD ELEVATION: 8' NGVD

EXISTING UNITS:	3 UNITS
PROPOSED:	2 UNITS
TOTAL	5 UNITS



NOTE:
PREVIOUSLY APPROVED BY THE BOARD



HISTORIC PRESERVATION BOARD FINAL SUBMITTAL 04.25.2016

DRAWN BY:

REVISIONS:

AA0003569
ANTHONY LEON
0016752

3
DESIGN
ARCHITECTURE

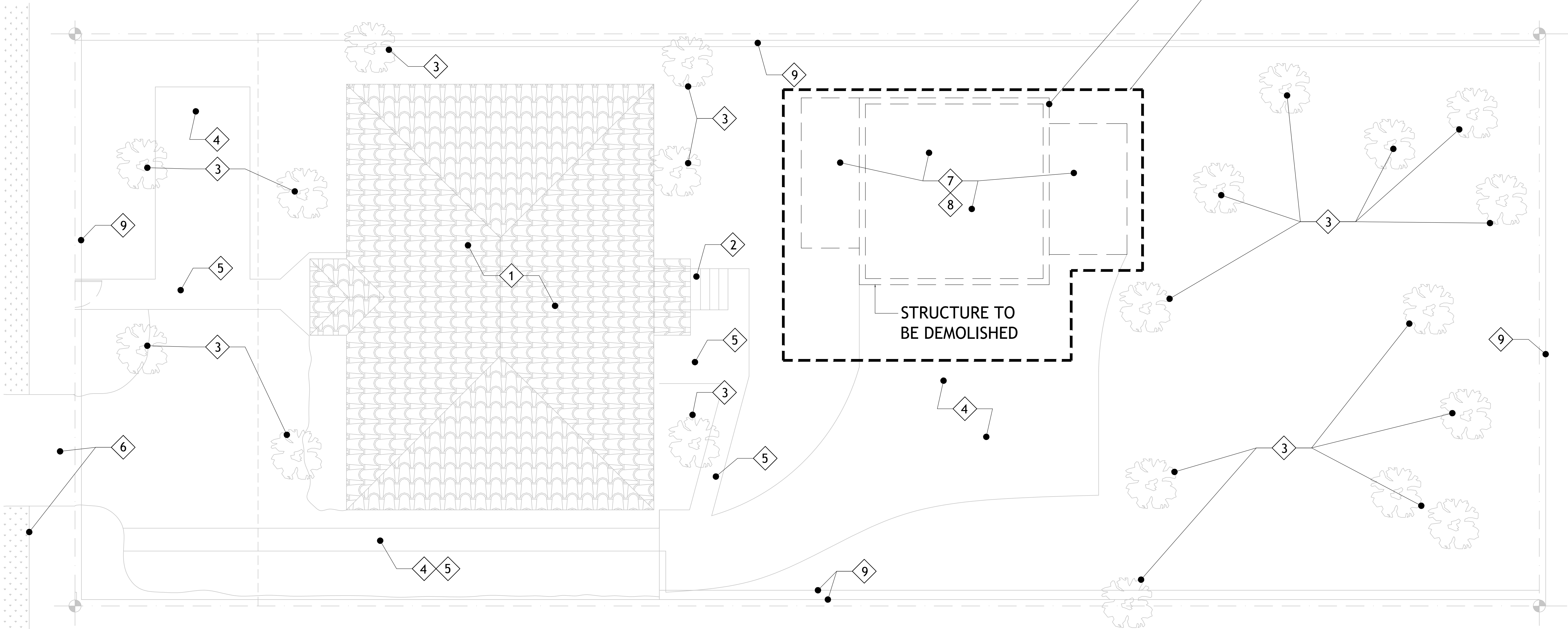
4300 Biscayne Blvd. #G-04, Miami, FL 33137
P: 305.438.9377 | F: 305.438.9379

NEW CONSTRUCTION
FOR
925 LENOX
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSTRUED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

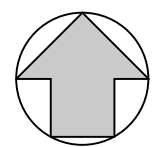
HPB-1.0

SITE PLAN, GENERAL
NOTES & PROJECT DATA



AREA OF WORK PER THIS SUBMITTAL
04/25/2016

STRUCTURE TO BE DEMOLISHED



EXISTING & DEMOLITION PLAN

SCALE 3/16" = 1'-0

NOTE: ALL DEMOLITION/RELOCATION ARE SHOWN IN DASHED LINES.

HISTORIC BUILDING RESTORATION PLAN:

- 1- EXISTING ROOFING TO REMAIN AS IS.
- 2- EXISTING REAR STEPS, LANDING AND GUARDRAIL TO BE DEMOLISHED AND REPLACED.
- 3- ALL EXISTING LANDSCAPE TO BE RELOCATED OR REMOVED. REFER TO LANDSCAPE PLANS.
- 4- REMOVE ALL EXISTING PAVED AND CONCRETE DRIVEWAYS.
- 5- REMOVE ALL EXISTING PAVED AND CONCRETE WALKWAYS.
- 6- REMOVE EXISTING SWALE, CURB AND DRIVE.
- 7- DEMOLISH EXISTING STORAGE STRUCTURES.
- 8- CAP ALL EXISTING PLUMBING AND SANITARY PIPES, ELECTRICAL WIRING, SWITCHES AND OUTLETS.
- 9- REMOVE PERIMETER WOOD AND METAL FENCE

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ARCHITECTURE

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EXISTING &
DEMOLITION PLAN



VIEW 1



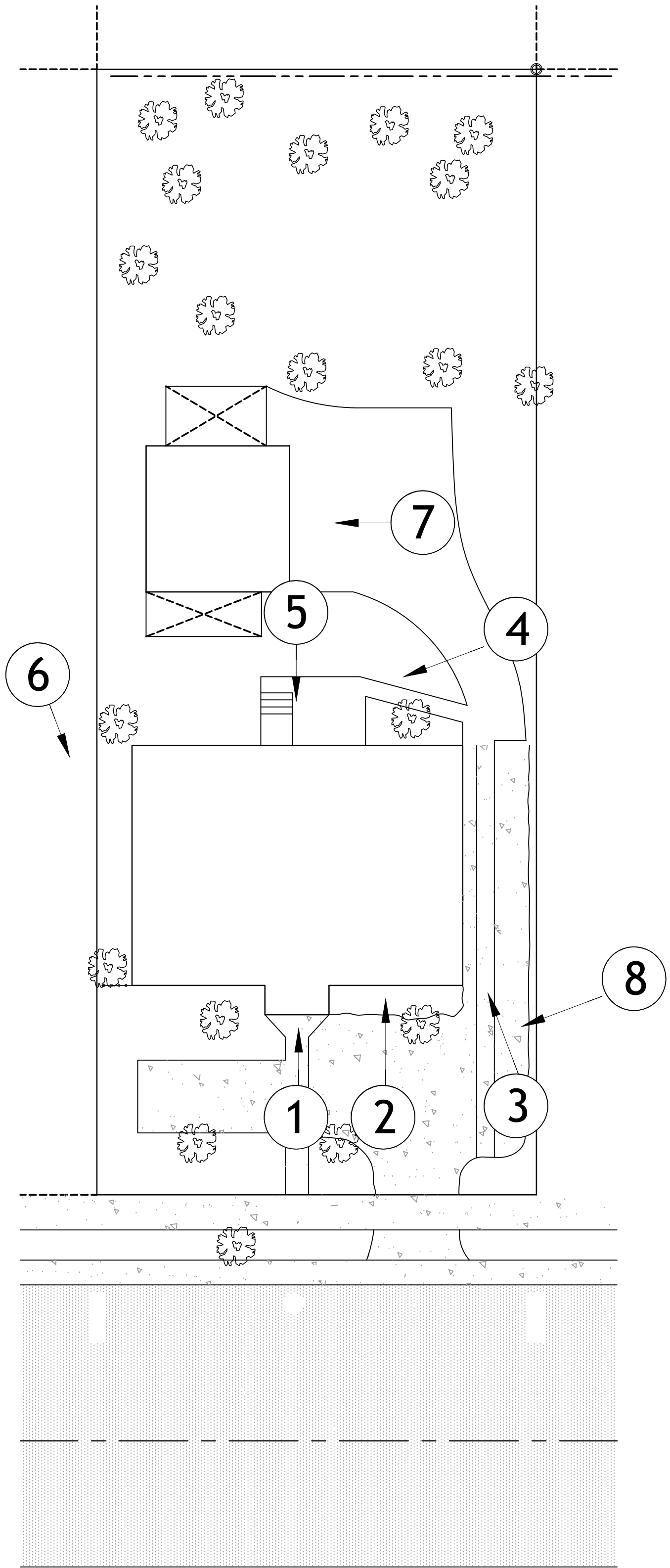
VIEW 1



VIEW 2



VIEW 3



 CURRENT AERIAL VIEW
N.T.S.

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EXISTING PROPERTY
PHOTOS



VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8

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EXISTING PROPERTY
PHOTOS