

KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED	
1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 5,7 - Proposed
SCALE: 3/64" = 1'-0"



FIFTH AND SEVENTH FLOOR PLAN - PROPOSED

FLAMINGO
1420 BAY ROAD, MIAMI BEACH



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One Biscayne Tower Suite 1670
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Jonathan Cardello Lic. # AR93391

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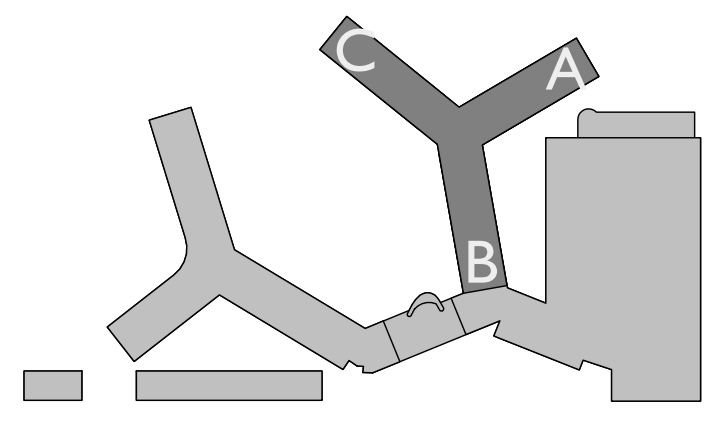
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




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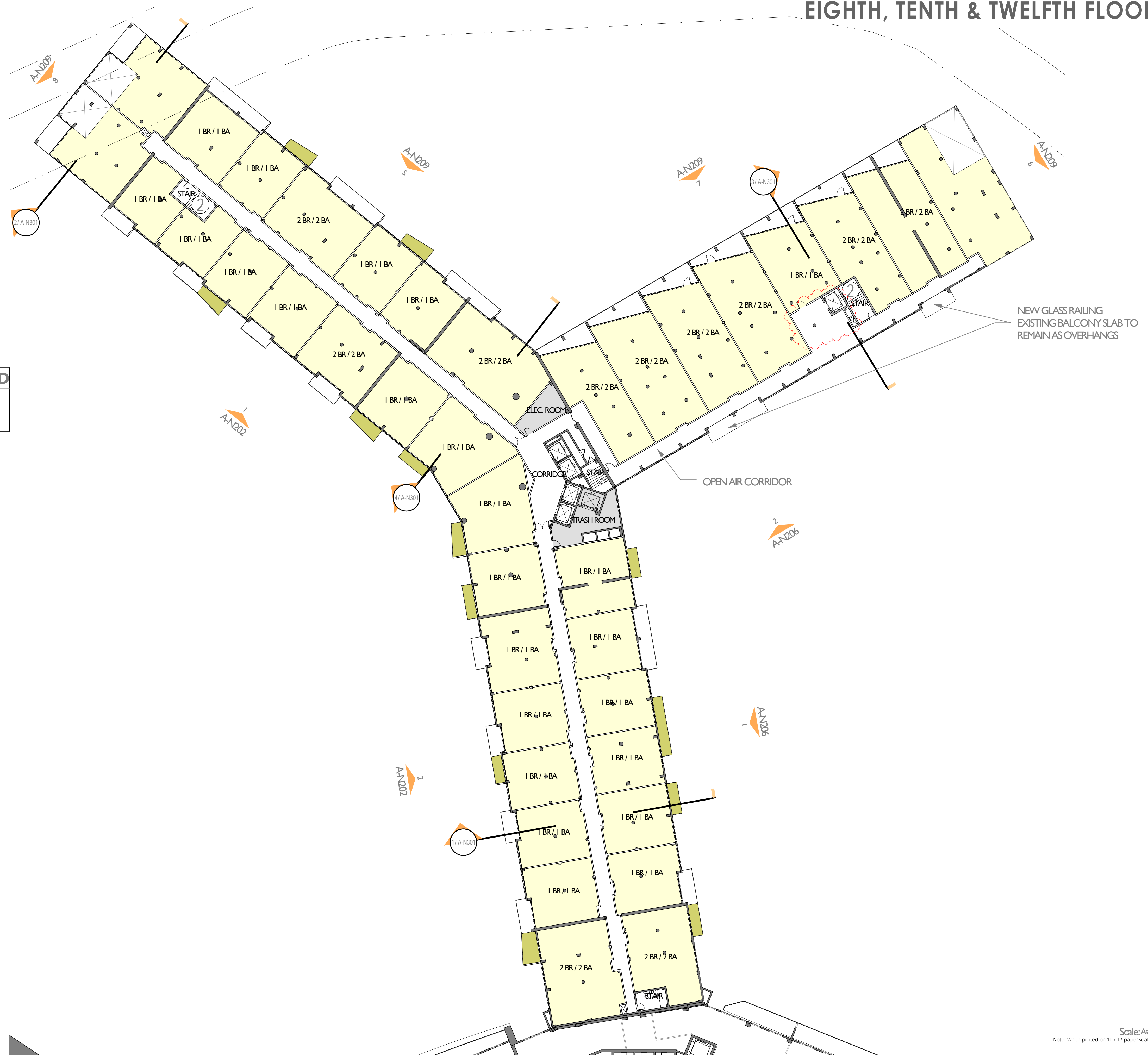
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- | | |
|---|--|
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|  | BACK OF HOUSE AREAS |
|  | EXISTING STRUCTURE, WALLS, AND PARTITION |
|  | PROPOSED STRUCTURE, WALLS, AND PARTITION |
|  | PROPOSED BALCONY SLABS |

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 8,10,12 - Proposed
SCALE: 3/64" = 1'-0"



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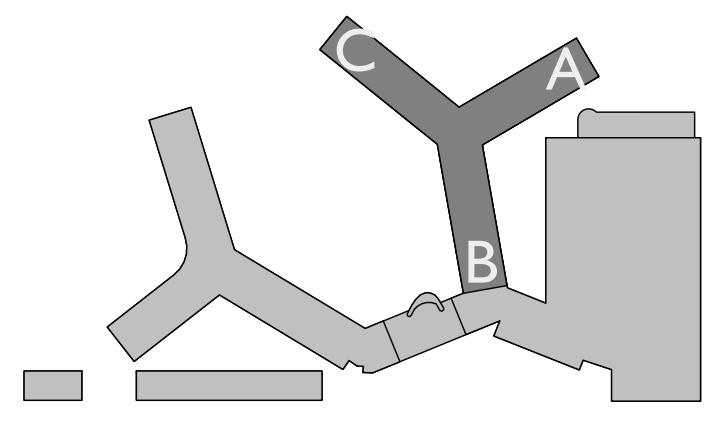
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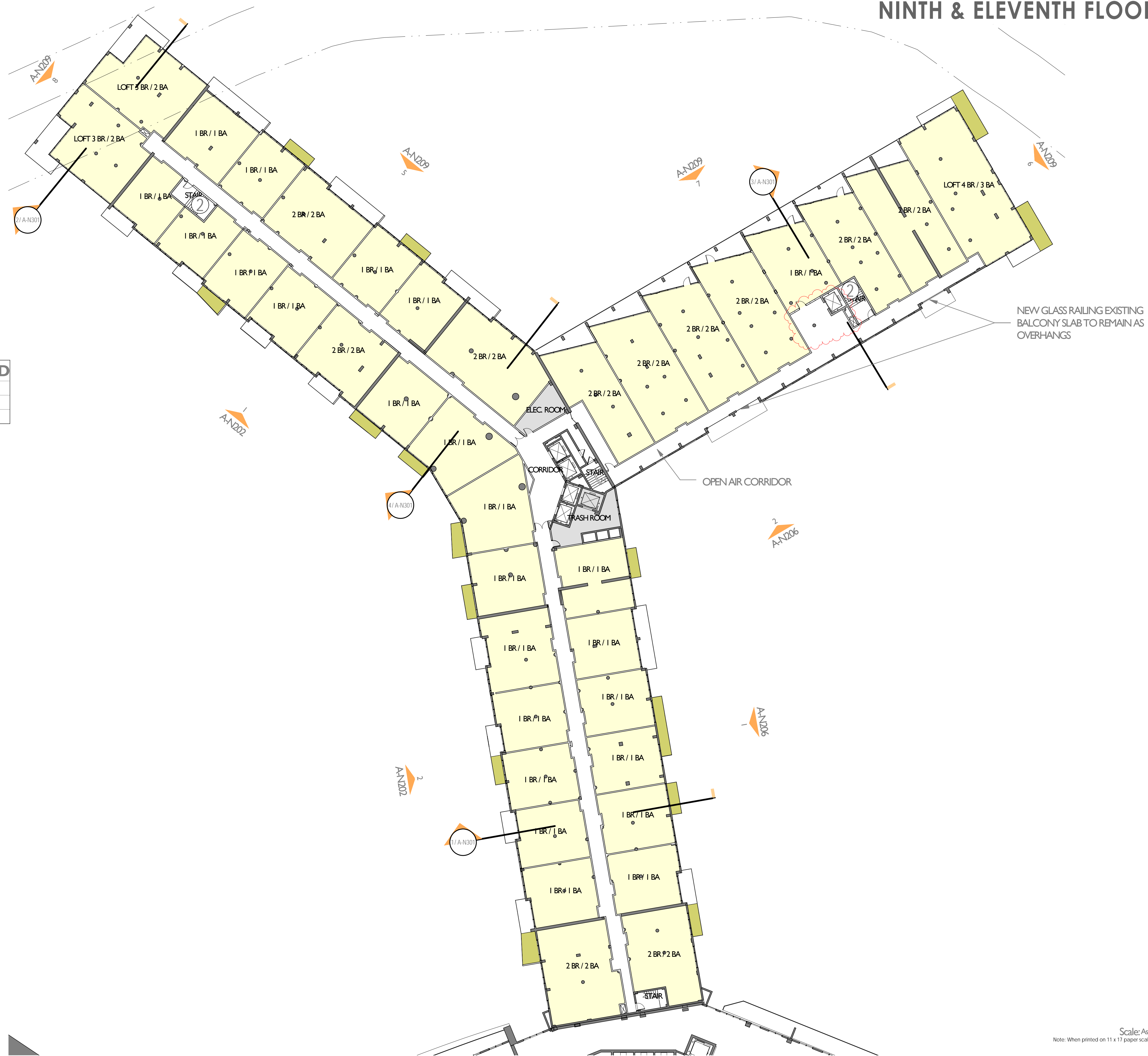
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 PROPOSED STRUCTURE, WALLS, AND PARTITION
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North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 9, II - Proposed
SCALE: 3/64" = 1'-0"



NEW GLASS RAILING EXISTING
— BALCONY SLAB TO REMAIN AS
OVERHANGS

— OPEN AIR CORRIDOR

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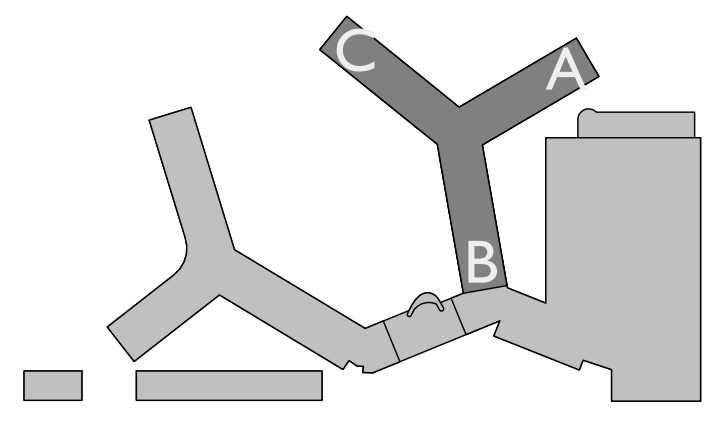
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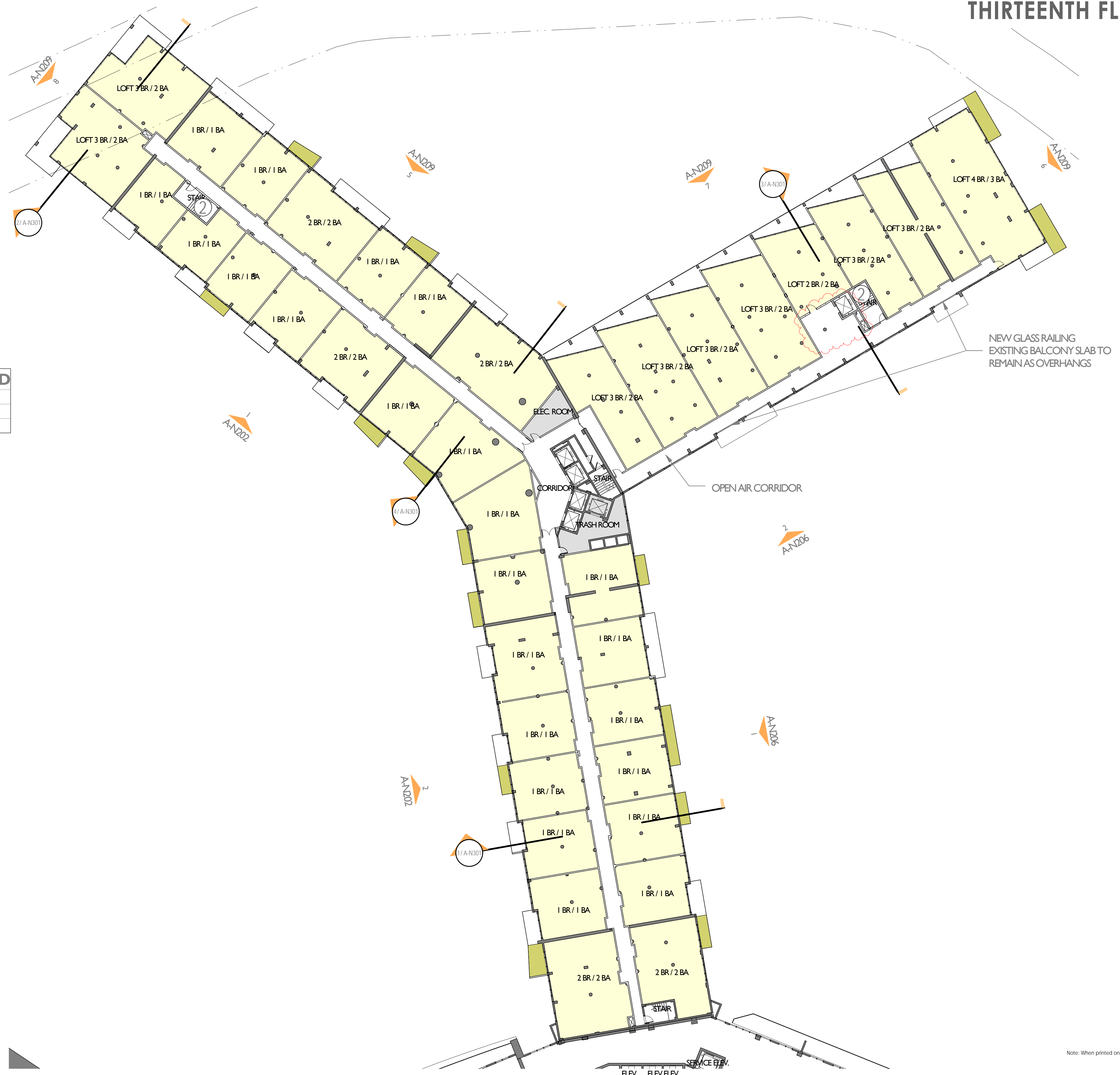
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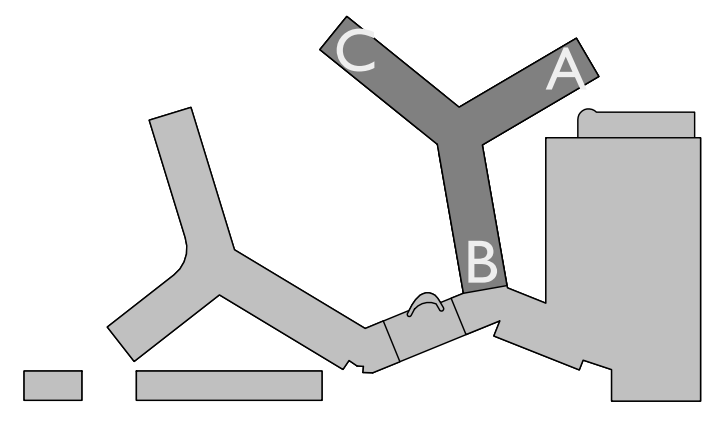
North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 13 - Proposed
SCALE: 3/64" = 1'-0"



Scale: As indicated
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North Tower Sheet Notes - PROPOSED	
1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level I4 - Proposed
SCALE: 3/64" = 1'-0"



FOURTEENTH FLOOR PLAN - PROPOSED

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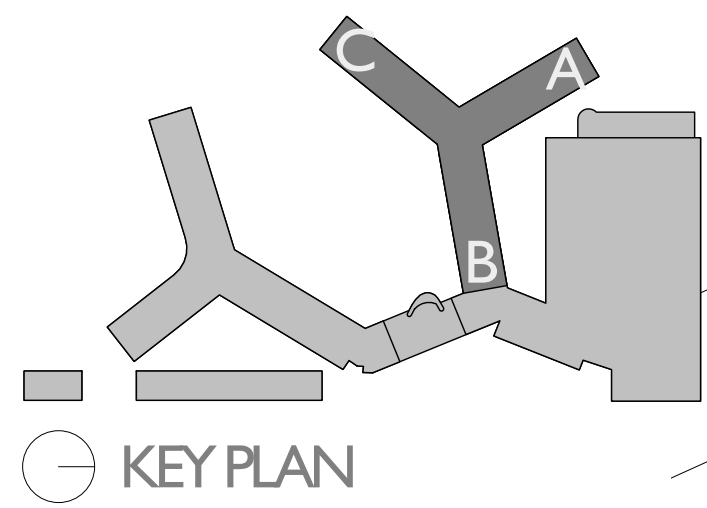
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ROOF PLAN - PROPOSED

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North Tower - ROOF LEVEL
SCALE: 3/64" = 1'-0"

4 North Tower - ROOF LEVEL 4
SCALE: 3/64" = 1'-0"

3 North Tower - ROOF LEVEL 3
SCALE: 3/64" = 1'-0"

2 North Tower - ROOF LEVEL 2
SCALE: 3/64" = 1'-0"

Scale: 3/64" = 1'-0"
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NORTH TOWER BUILDING ELEVATIONS

A-N201	SOUTH ELEVATIONS - EXISTING
A-N202	NORTH & EAST ELEVATION - PROPOSED
A-N203	NORTH & WEST ELEVATION - EXISTING
A-N204	SOUTH & WEST ELEVATION - PROPOSED
A-N205	NORTH ELEVATION - EXISTING
A-N206	NORTH ELEVATION - PROPOSED
A-N207	WING A & C END ELEVATIONS EXISTING
A-N208	WING A & C END ELEVATIONS - PROPOSED
A-N209	KEY ELEVATIONS & MATERIALS LEGEND



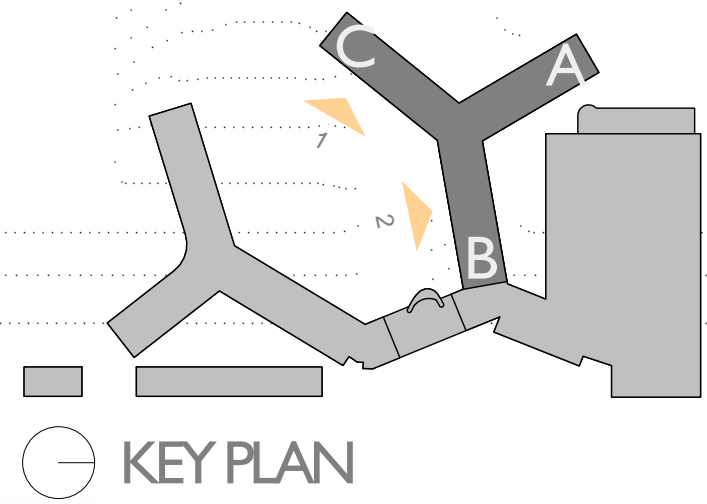
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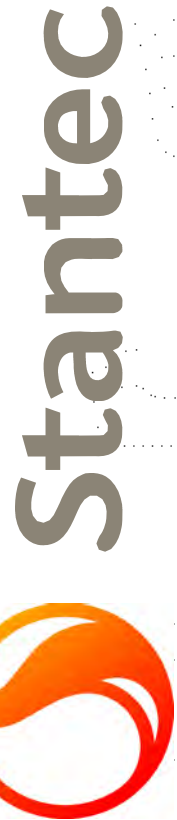
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NORTH & EAST ELEVATION - PROPOSED

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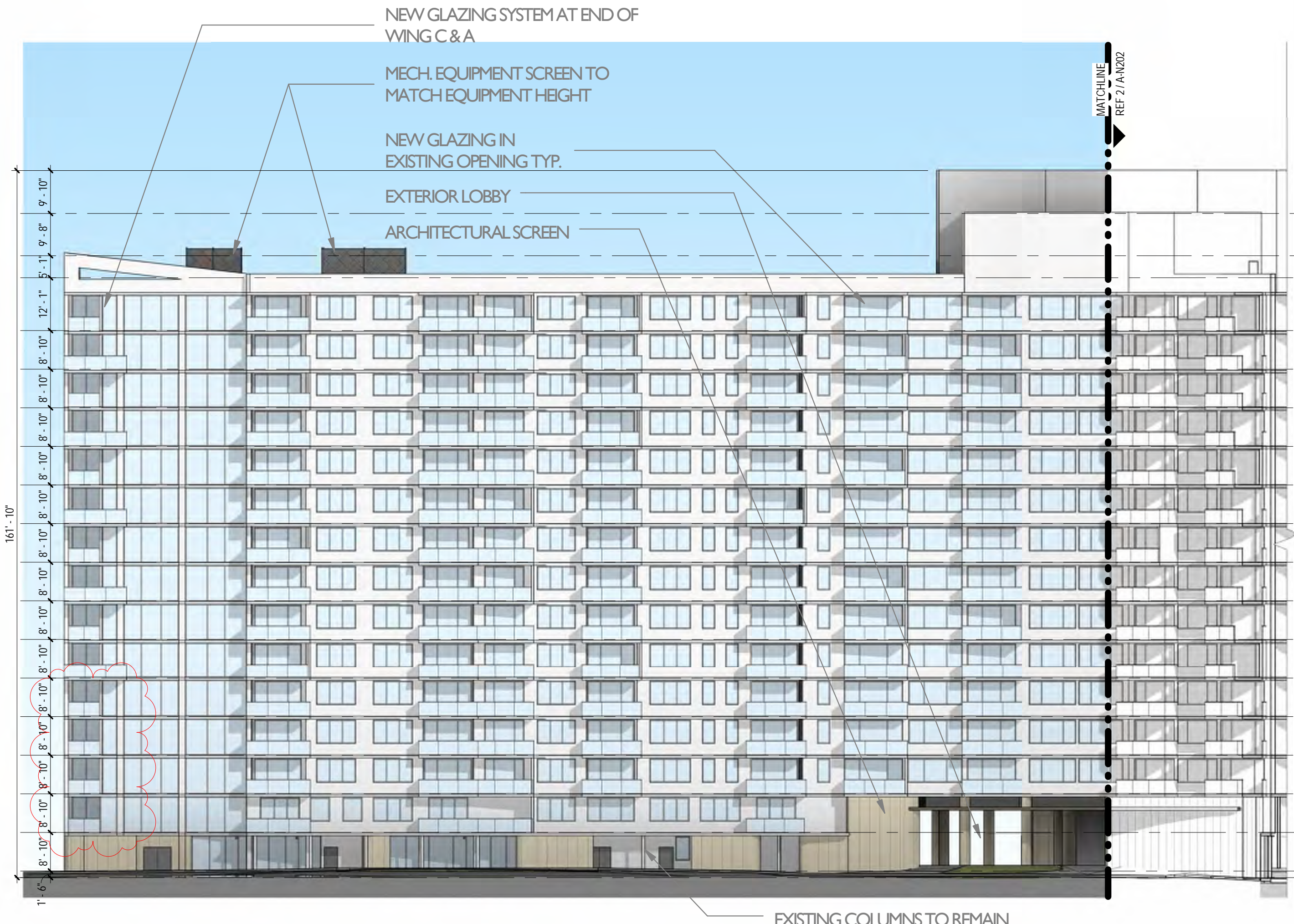
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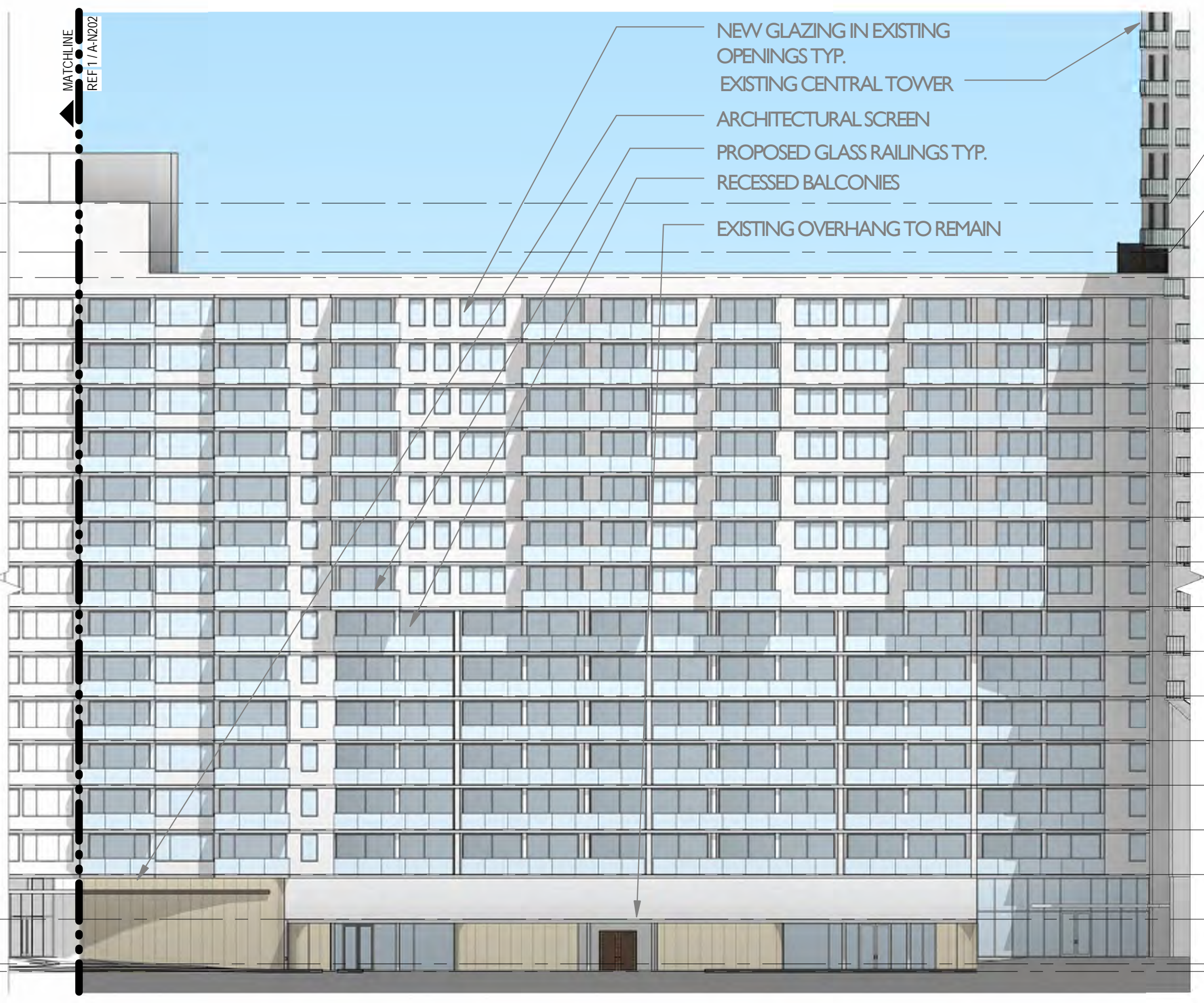
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1 North Tower - C Wing South Elevation
SCALE: 1" = 20'-0"



2 North Tower - B Wing South Elevation
SCALE: 1" = 20'-0"

- North Tower - TANK ROOM 157' - 5 1/2"
- North Tower - ELEVATOR MECH RM 147' - 9 1/2"
- North Tower - ROOF LEVEL 142' - 9"
- North Tower - LEVEL 14 130' - 8"
- North Tower - LEVEL 13 121' - 10"
- North Tower - LEVEL 12 113' - 0"
- North Tower - LEVEL 11 104' - 2"
- North Tower - LEVEL 10 95' - 4"
- North Tower - LEVEL 9 86' - 6"
- North Tower - LEVEL 8 77' - 8"
- North Tower - LEVEL 7 68' - 10"
- North Tower - LEVEL 6 60' - 0"
- North Tower - LEVEL 5 51' - 2"
- North Tower - LEVEL 4 42' - 4"
- North Tower - LEVEL 3 33' - 6"
- North Tower - LEVEL 2 24' - 8"
- North Tower - MEZZANINE LEVEL 15' - 10"
- North Tower - LOBBY LEVEL 7' - 0"
- North Tower - LEVEL 1 5' - 6"

GENERAL NOTE
ALL ELEVATIONS & SECTIONS
ARE NOTED AS NGVD

Scale: 1" = 20'-0"
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