



**FLAMINGO**  
1420 BAY ROAD, MIAMI BEACH

Stantec Architecture Inc - AA26000733  
Jonathan Cardello Lic. # AR93391



Stantec Architecture Inc.  
One Biscayne Tower Suite 1670  
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08.03.2017

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NORTH TOWER

NORTH TOWER FLOOR PLANS

- A-NI01 GROUND FLOOR PLAN - DEMO
- A-NI02 GROUND FLOOR PLAN - PROPOSED
- A-NI03 MEZZANINE FLOOR PLAN - DEMO
- A-NI04 MEZZANINE FLOOR PLAN - PROPOSED
- A-NI05 SECOND AND THIRD FLOOR PLAN - DEMO
- A-NI06 SECOND FLOOR PLAN - PROPOSED
- A-NI07 THIRD FLOOR PLAN - PROPOSED
- A-NI08 FOURTH TO FOURTEENTH FLOOR PLAN - DEMO
- A-NI09 FOURTH & SIXTH FLOOR PLAN - PROPOSED
- A-NI10 FIFTH AND SEVENTH FLOOR PLAN - PROPOSED
- A-NI11 EIGHTH, TENTH & TWELFTH FLOOR PLAN - PROPOSED
- A-NI12 NINTH & ELEVENTH FLOOR PLAN - PROPOSED
- A-NI13 THIRTEENTH FLOOR PLAN - PROPOSED
- A-NI14 FOURTEENTH FLOOR PLAN - PROPOSED
- A-NI15 ROOF PLAN - EXISTING
- A-NI16 ROOF PLAN - PROPOSED



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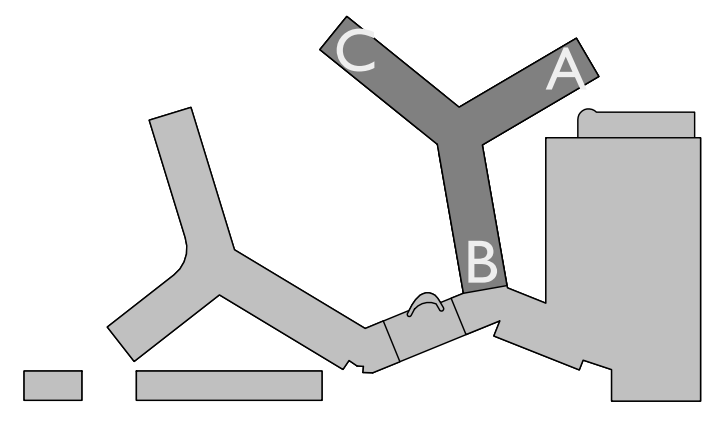
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10-06-2017

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KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED WATER FEATURES
- PROPOSED LANDSCAPE

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

NEW STAIRS TO ACCESS MEZZANINE LEVEL

PROPOSED EXTERIOR LOBBY

ARCHITECTURAL SCREENS

Level I - Proposed  
SCALE: 3/64" = 1'-0"



GROUND FLOOR PLAN - PROPOSED

PROPOSED LOBBY FOR ACCESS FROM WEST SIDE OF GARAGE

RELOCATED STAIRS

EXISTING CANOPY ABOVE TO BE REPLACED

PROPOSED RAMP TRANSITIONING FROM LOBBY SLAB TO LOWER SLAB

EXISTING PARKING GARAGE

NEW CORRIDOR TO ACCESS PACKAGE ROOM AND DOG DAYCARE

NEW CORRIDOR LINKING NORTH TOWER LOBBY TO CENTRAL TOWER

PROPOSED RAMP TRANSITIONING FROM NORTH TOWER SLAB ELEVATION TO CENTER TOWER SLAB ELEVATION

Scale: As indicated  
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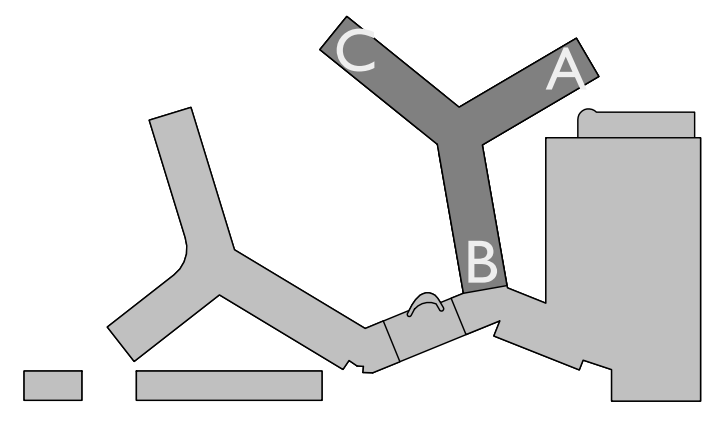
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A-N102

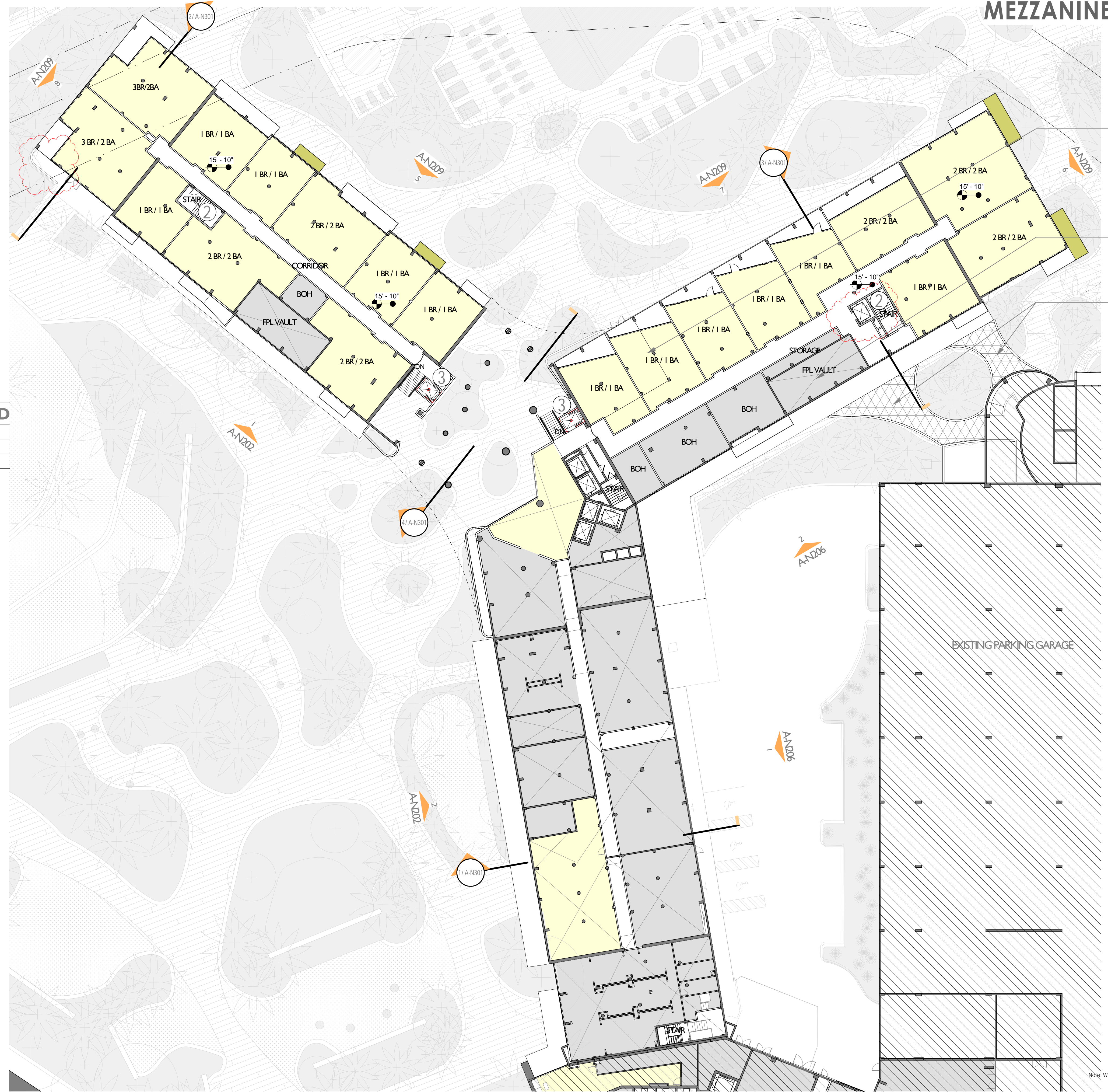




KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED	
1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level



MEZZANINE FLOOR PLAN - PROPOSED

- SLAB FROM EXISTING CAFE SHOP CUT AND RAISED TO ALIGN WITH MEZZANINE SLAB
- EXISTING FPL VAULTS TO REMAIN
- PROPOSED TRELLIS EXTENDING TO EXISTING CANOPY

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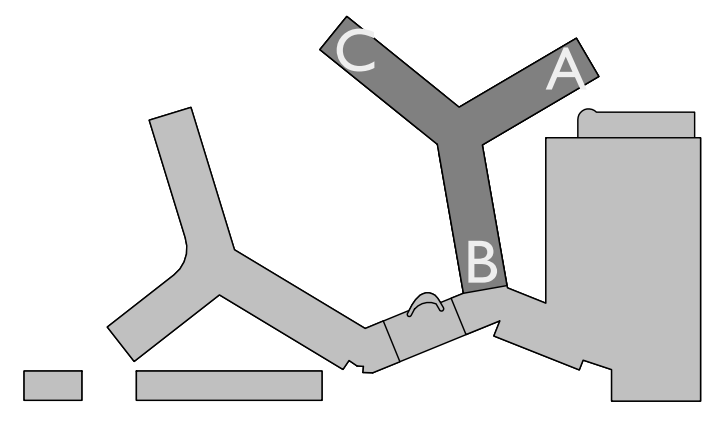
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A-N104

Mezzanine Level - Proposed  
SCALE: 3/64" = 1'-0"

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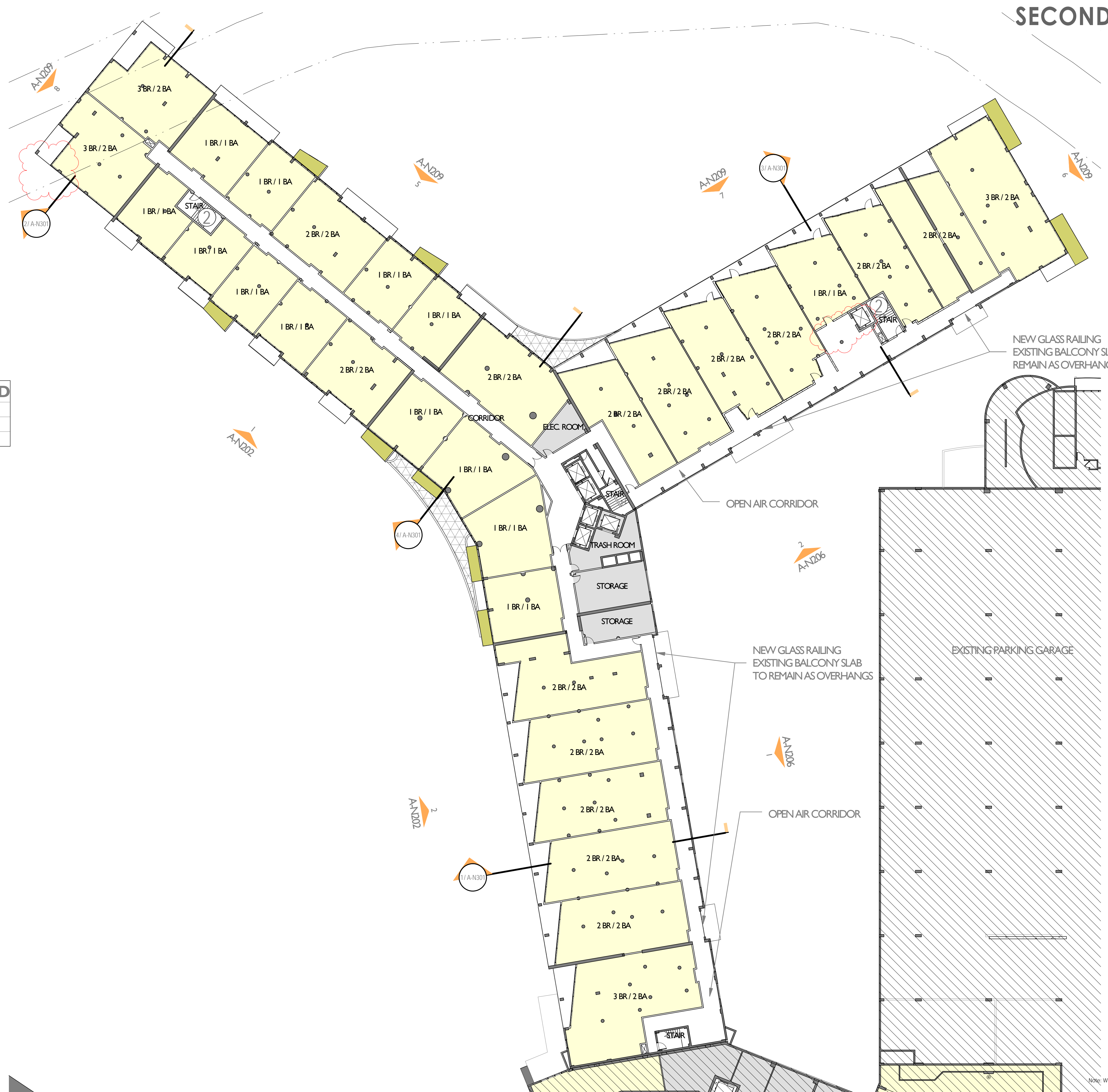
# KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

## North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 2 - Proposed  
SCALE: 3/64" = 1'-0"



## SECOND FLOOR PLAN - PROPOSED

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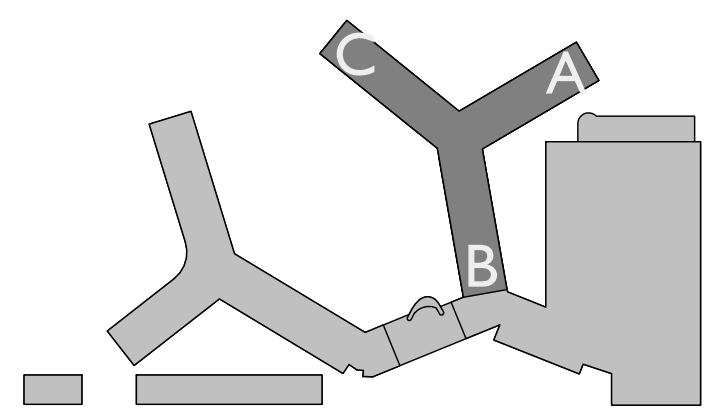
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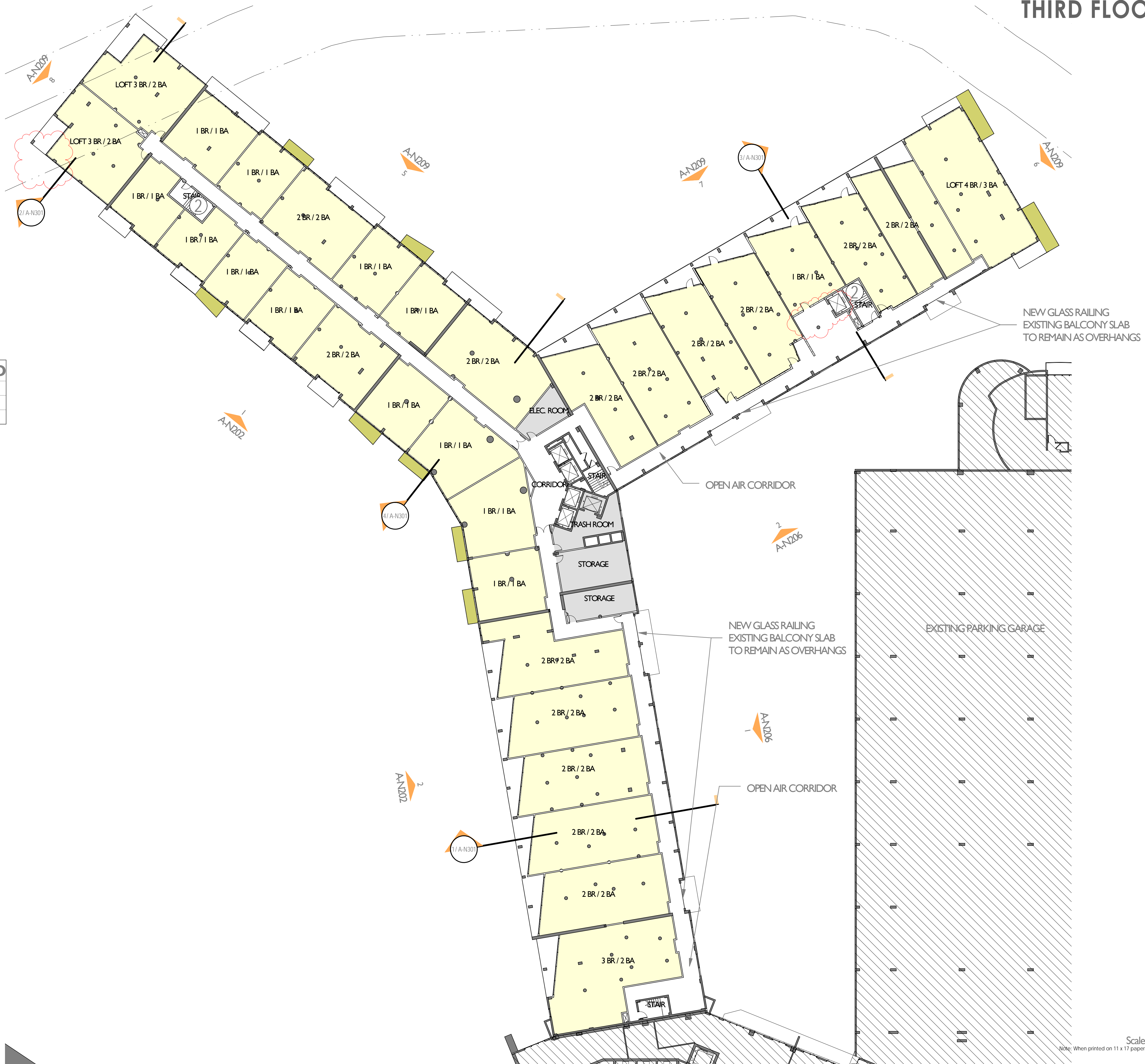
# KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

## North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 3 - Proposed  
SCALE: 3/64" = 1'-0"



## THIRD FLOOR PLAN - PROPOSED

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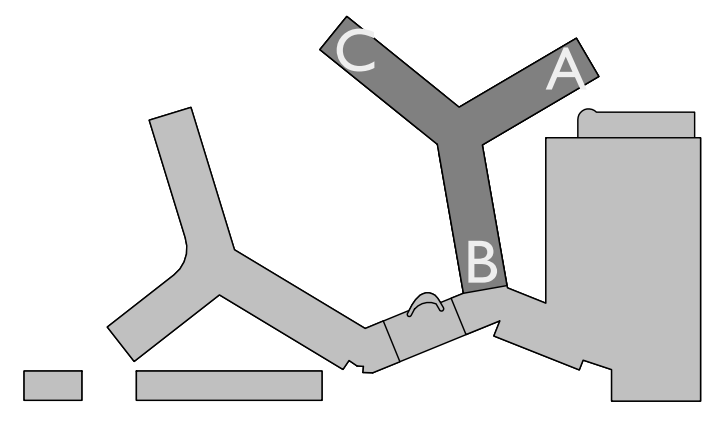
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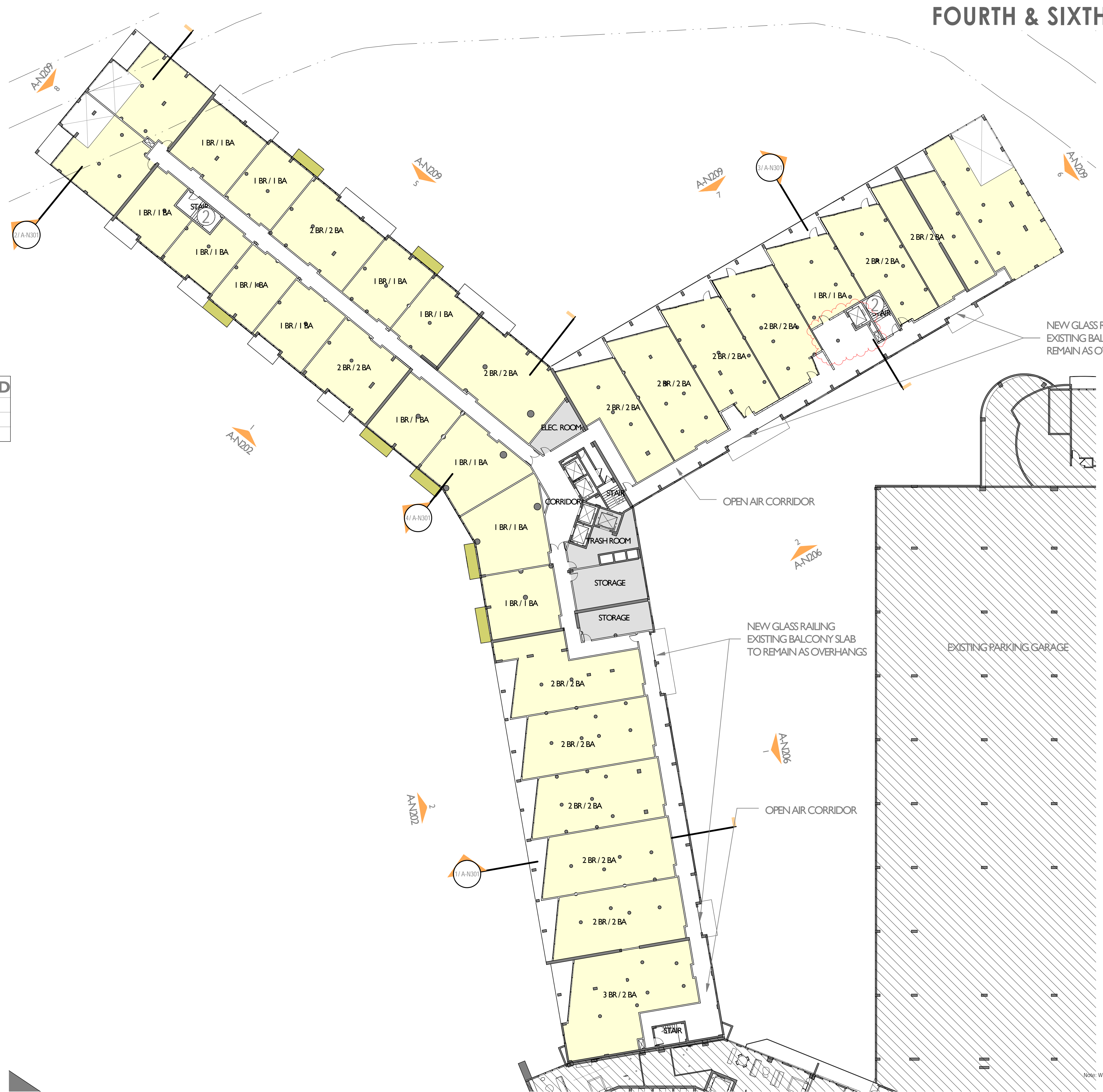
KEY PLAN

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- BACK OF HOUSE AREAS
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- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 4,6 - Proposed  
SCALE: 3/64" = 1'-0"



FOURTH & SIXTH FLOOR PLAN - PROPOSED

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