



3 2 0 M E R I D I A N

320 MERIDIAN AVENUE
320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139

DATE REVISION

DWG TITLE

PROJECT INFORMATION
INDEX

SCALE

N.T.S.

PROJECT NO.

2017-13

DATE

06-25-17

SHEET NUMBER

A-000

09-17-17 HPB FINALSUBMITTAL



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GOMEZ

ARCHITECTS *pa*



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GOMEZ

ARCHITECTS *pa*

320 MERIDIAN





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ARCHITECTS *pa*



SOUTH ELEVATION

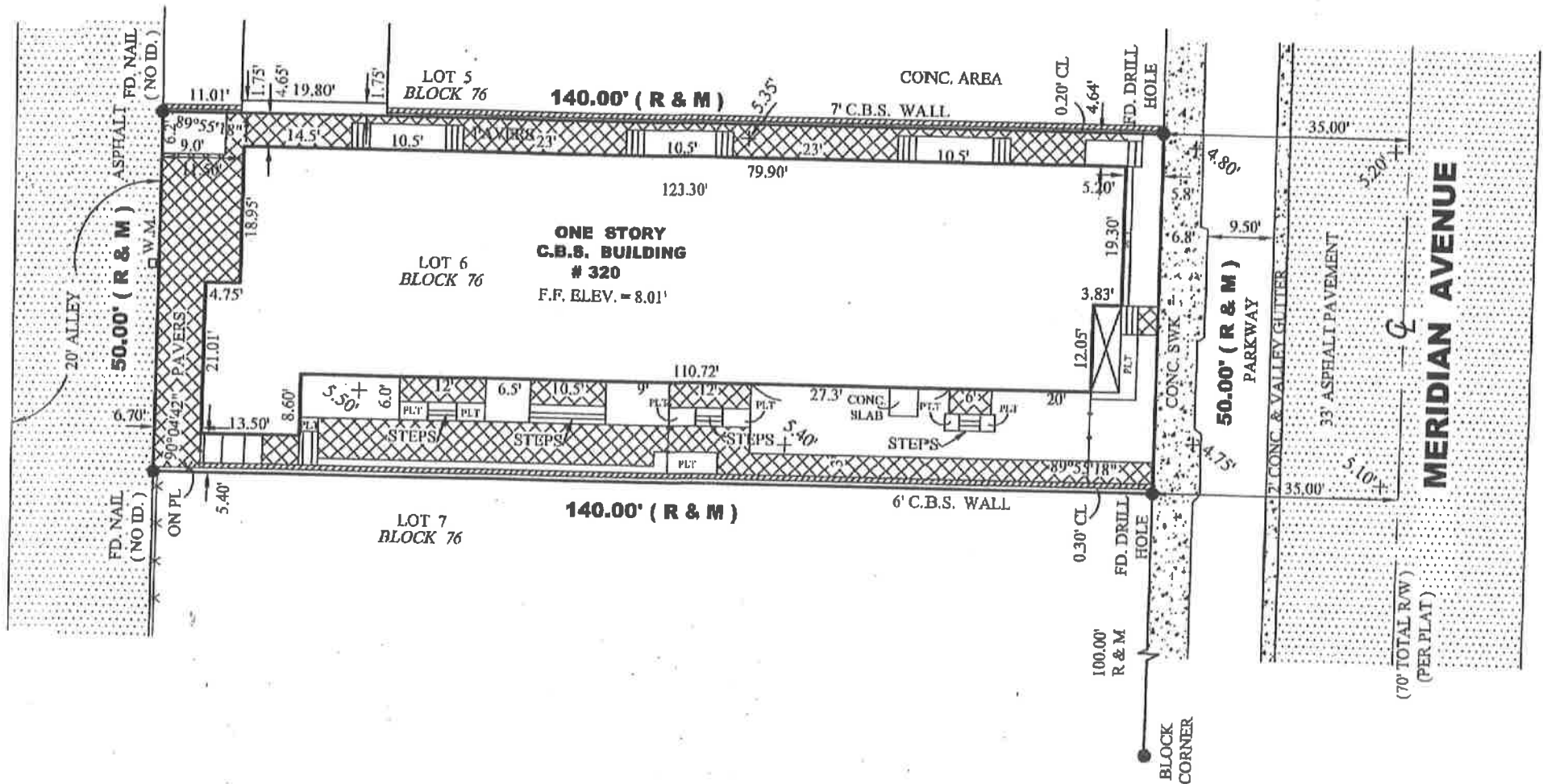
WEST ELEVATION



NORTH ELEVATION

EAST ELEVATION

LOCATION SKETCH
SCALE: NTS



4th STREET		MERIDIAN AVENUE
16	1	
15	3	
14	2	
13	4	
12	5	
11	6	
10	7	
9	8	
3rd STREET		

ABBREVIATIONS:
SWK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE,
F=FOUND, A/C=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, WF=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, RB=REBAR
UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, RW=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DIAMETER, TYP=TYPICAL
M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, N/D=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION
O/S=OFFSET, P/P=POWER POLE, OHP=OVERHEAD POWERLINE, VM=VOLUME METER
WOOD FENCE=
MASONRY WALL=
CONCRETE=
MAINTENANCE & DRAINAGE EASEMENT=M&D.E.

ELEVATION BASED ON LOC. #4203-W.
CBM# D-151 ELV. 3.72' TYPE OF SURVEY: BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB 2 PAGE 81

Property Address: 320 Meridian Ave, Miami Beach, FL. 33139

Legal Description: Lot 6, Block 76, of OCEAN BEACH ADDITION NO. 3, according to the Plat thereof, as recorded in Plat Book 2, Page 81, of the Public Records of Miami-Dade County, Florida.

NOT VALID UNLESS EMBOSSED WITH
SURVEYOR'S SEAL



REVISED:
9/15/17

I HEREBY CERTIFY That the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.

There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

SINCE 1987	
BLANCO SURVEYORS INC.	
Engineers • Land Surveyors • Planners • LB # 0007069	
555 NORTH SHORE DRIVE	
MIAMI BEACH, FL 33141	
(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810	
FLOOD ZONE: AE	SUFFIX: L
PANEL: 0319	DATE: 9/11/09
DATE: 3/11/16	SCALE: 1" = 20'
COMMUNITY # 120651	DATE: 9/11/09
DWN. BY: F. Blanco	JOB No 16-245

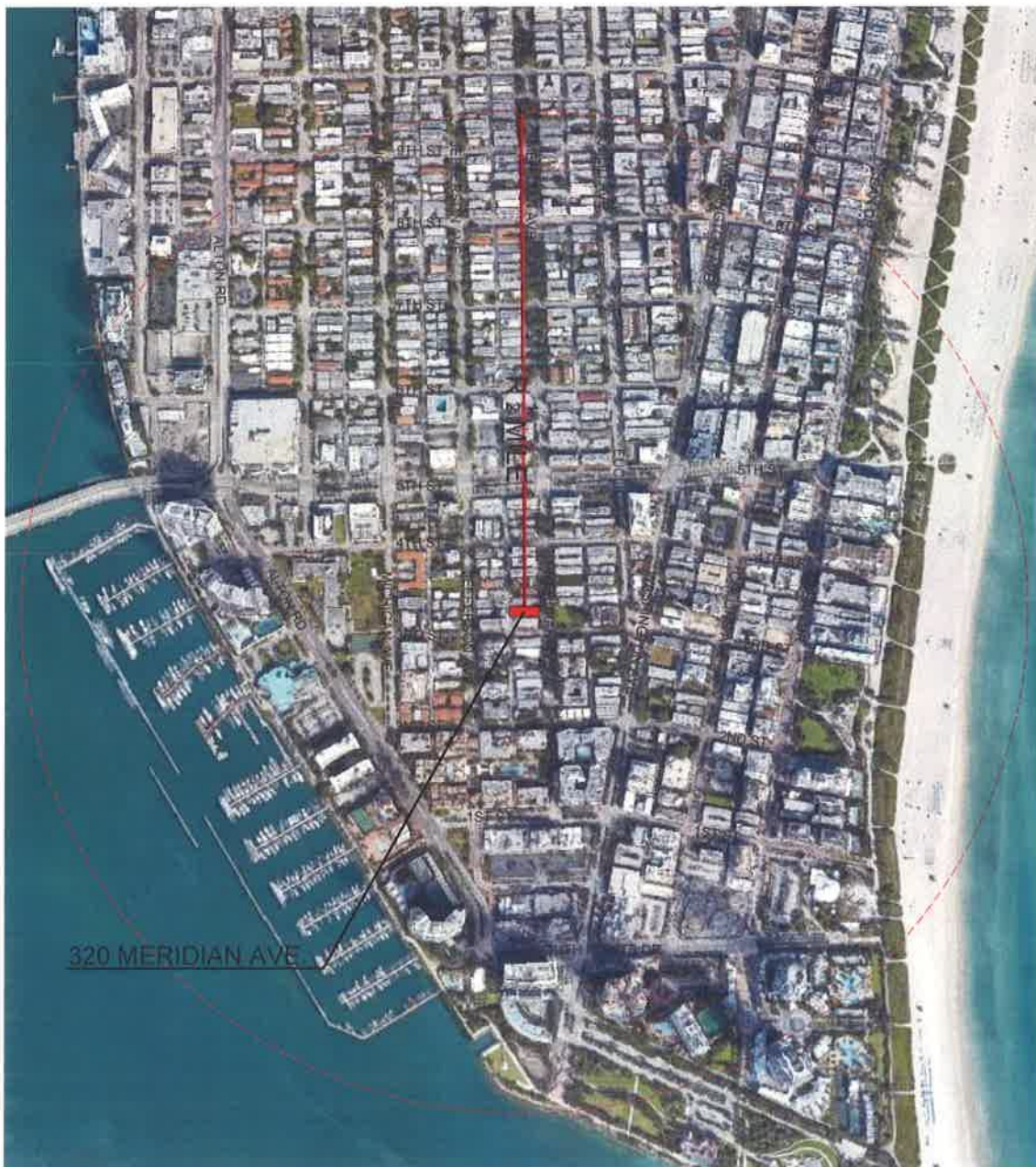
ABBREVIATIONS

ZONING SUMMARY

DRAWING INDEX

A	ACOUS. AC	ACOUSTICAL AIR CONDITIONING	G	GA. GALV.	GAUGE GALVANIZED	R	R. RAD.	RISER RADIUS
	AD. AREA DRAIN			G.B. GENERAL CONTRACTOR			R.D. ROOF DRAIN	
	AGGR. AL	AGGREGATE ALUMINUM		G.C. GND.	GROUND		REF. REFLECTED	
	APPROX. ARCH	APPROXIMATE ARCHITECTURAL		GR. GYP.	GYPSUM		REFR. REFRIGERATOR	
	ASB. ASPH.	ASBESTOS ASPHALT		G.W.B. GYP. WALLBOARD			RF. ROOF	
B	BD. BITUM.	BOARD BITUMINOUS	H	H.B. HDWD.	HOSE BIB HOLLOW CORE HARDWOOD	S	RGTR. REGISTER	
	BLK. BLKG.	BLOCK BLOCKING		HDWE. H.M.	HARDWARE HOLLOW METAL		REINF. REINFORCED	
	BLKHD. BM.	BULKHEAD BEAM		HORIZ. HR.	HORIZONTAL HOUR		REQ. REQUIRED	
	BOT. BOT.	BOTTOM		HGT. HGT.	HEIGHT		RESIL. RESILIENT	
C	CAB. CARP.	CABINET CARPET	I	I.D. IN.	INSIDE DIAMETER (DIM.) INCH	S	RM. ROOM	
	CEM. CER.	CEMENT CERAMIC		INSUL. INT.	INSULATION INTERIOR		R.O. ROUGH OPENING	
	C.I. C.G.	CAST IRON CEILING		INV. INV.	INVERT		R.W. RAIN WATER LEADER	
	CLKG. CLO.	CAULKING CLOSET	J	JAN. JST.	JANITOR JOIST	S	SABF. SOUND ATTENUATION	
	CLR. C.M.U.	CLEAR CONCRETE MASONRY UNIT	K	JT. JT.	JOINT		S.C. SEAT COVER	
	COL. CONC.	CASED OPENING COLUMN CONCRETE	L				S.C.D. SCHEDULE	
	CONN. CONSTR.	CONNECTION CONSTRUCTION	L				S.D. SOAP DISPENSER	
	CONT. CORR.	CONTINUOUS CORRIDOR	L				SECT. SECTION	
	CTSK. CNTR.	COUNTERSUNK COUNTER	L				SH. SHELF	
	C.T. CTR.	CERAMIC TILE CENTER	L				SHR. SHOWER	
D	DBL. DEPT.	DOUBLE DEPARTMENT	L				SHT. SHEET	
	D.F. DET.	DRINKING FOUNTAIN DETAIL	L				SIM. SIMILAR	
	DIA. DIM.	DIAMETER DIMENSION	L				S.N.D. SANITARY NAPKIN DISPENSER	
	DISP. DN.	DISPENSER DOWN	L				S.N.R. SANITARY NAPKIN	
	D.O. DR.	DOOR OPENING DOOR	L				SPEC. SPECIFICATION	
	DWR. DS.	DRAWER DOWN SPOUT	L				SQ. SQUARE	
	D.S.P. DWG.	DRY STANDPIPE DRAWING	L				S.S.T. STAINLESS STEEL	
E	EA. E.J.	EAST EACH EXPANSION JOINT	L				S.K. SERVICE SINK	
	EL. ELEC.	ELEVATION ELECTRICAL	L				STA. STATION	
	ELEV. EMER.	ELEVATOR EMERGENCY	L				STD. STANDARD	
	ENCL. E.P.	ENCLOSURE ELECTRICAL PANEL BOARD	L				STL. STEEL	
	EQ. EQPT.	EQUAL EQUIPMENT	L				STOR. STORAGE	
	ES. E.W.C.	EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER	L				STR. STRUCTURAL	
	EXST. EXP.	EXISTING EXPOSED	L				SUSP. SUSPEND	
	EXT. F.A.	EXTERIOR FIRE ALARM	L				SYM. SYMMETRICAL	
	F.B. F.D.	FLAT BAR FLOOR DRAIN	L					
	FDN. F.E.	FOUNDATION FIRE EXTINGUISHER	L					
	F.E.C. F.H.C.	FIRE EXTINGUISHER CAB. FIRE HOSE CABINET	L					
	FIN. FL.	FINISH FLOOR	L					
	FLASH. FLUOR.	FLASHING FLUORESCENT	L					
	F.O.C. F.O.F.	FACE OF CONCRETE FACE OF FINISH	L					
	F.O.S. FPRF.	FACE OF STUDS FIREPROOF	L					
	F.S. FT.	FULL SIZE FOOT OR FEET	L					
	FTG. FURR.	FOOTING FURRING	L					
	FUT. F.V.	FUTURE FIELD VERIFY	L					
	F.V.C. FIRE VALVE CABINET		L					

Item	ZONING INFORMATION	320 MERIDIAN AVE., MIAMI BEACH, FL 33139
1	Address:	02-4203-009-5180
2	Folio number(s)	
4	Year built	1949
5	Based Flood Elevation	8.00' NGVD
6	Lot Area (SF)	7,000.00
7	Lot Width	50.00'
8	Gross Area	3,996.00
9	Maximum FAR	1.50 (10,500 S.F.)
10	Minimum Lot area (SF)	5,750.00
11	Minimum Lot Width	50'-0"
12	Maximum Number of Stories	5
13	Maximum Building Height	40'-0"
14	Minimum Unit Size (SF)	900.00
15	Minimum Open space 0.65 (SF)	4,550
	Setbacks:	
17	Front (East)	5'-0"
18	Side Interior (North)	5'-0"
19	Rear (West)	14'-0"
20	Side Interior (South)	5'-0"
26	Located within a Local Historic District?	Yes or No
27	Designated as an individual Historic Single Family Residence Site?	Yes or No
28	Determined to be Architecturally Significant?	Yes or No



ARCHITECTURAL

A-000	COVER
A-001	PROJECT INFORMATION AND INDEX
A-002	AREAS ANALYSIS
A-003-A-004	SITE PICTURES
A-005-A-010	CONTEXT PICTURES
EXIST-100	EXISTING SITE PLAN
EXIST-101	EXISTING GROUND FLOOR PLAN
EXIST-102	EXISTING ELEVATION
O-101	DEMOLITION PLAN
SP-100	PROPOSED SITE PLAN
A-101	PROPOSED GROUND AND SECOND FLOOR PLAN
A-201	PROPOSED ELEVATIONS
A-301	PROPOSED SECTIONS

LANDSCAPE

L-1	EXISTING TREE SURVEY AND DISPOSITION PLAN
L-2	PROPOSED LANDSCAPE PLAN
L-2	PLANTING TECHNIQUES
L-2	SPRINKLER SYSTEM PLAN

PROJECT TEAM

OWNER	CHABAD OF SOUTH BEACH INC 747 - 4TH ST 3100 MIAMI BEACH, FL 33139
-------	---

DESIGN/PROJECT ARCHITECT:	BEILINSON GOMEZ ARCHITECTS PA JOSE L. GOMEZ ARO15416 8101 BISCAYNE BLVD, SUITE 309-310 MIAMI, FL 33138-4664 TEL (305) 558 1250 FAX (305) 551 1740
---------------------------	--

LANDSCAPE ARCHITECT:	LARGON GROUP INC FL LANDSCAPE ARCHITECT GROUP GERARDO JAVIER DELOADO PLA0001574 3625 SW 180TH TERRACE MIAMI, FL 33027 TEL (305) 219-3213
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PROJECT INFORMATION

PROJECT ADDRESS

320 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

LEGAL DESCRIPTION

LOT 6, BLOCK 76, OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

SCOPE OF WORK

REHABILITATION OF AN EXISTING 1-STORY HISTORICAL STRUCTURE AND A ADDITION OF A SECOND STORY, RESIDENTIAL UNIT.

VARIANCE REQUESTED:
THE PROPOSED ADDITION TO EXTEND THE RESIDENTIAL USE TO THE SECOND FLOOR WILL SIMPLY EXTEND THE EXISTING BUILDING WALLS LOCATED IN THE SIDE AND REAR OF THE PROPERTY; THE EXISTING REAR SETBACK IS LEGALLY NON-CONFORMING AT 8'-9", WHERE 14'-0" IS REQUIRED.WAIVER REQUESTED:
A WAIVER OF THE LINE-OF-SIGHT REQUIREMENT CONTAINED IN SECTION 142.1161(6)(2) OF THE CODE ALLOW 10'-2" OF THE SECOND FLOOR ROOFTOP TO BE VISIBLE FROM THE OPPOSITE SIDE OF THE RIGHT-OF-WAY.

APPLICABLE CODES

GOVERNING ZONING CODE:	MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2014
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2014
STRUCTURAL:	FLORIDA BUILDING CODE 2014
PLUMBING:	FLORIDA BUILDING CODE 2014 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2014 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2014 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2014 - CHAPTER 11 FACBO
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2014 EDITION

SYMBOL LEGEND

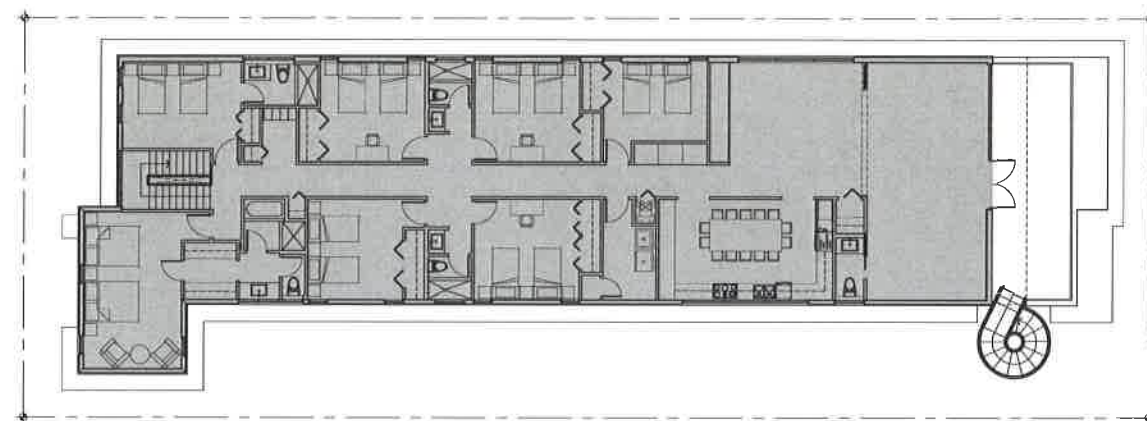
MATERIAL LEGEND

DOOR SYMBOL	DOOR number	WALL construction	WALL type
room name / finish schedule bathroom	room number	exterior & interior elevation symbol	detail number
1/2" / partial & detail section symbol	detail number	construction detail symbol/ detail area	sheet number
notes	legend letter/ number	COLUMN REFERENCE	NUMBER OR LETTER
notes	legend letter/ number	ELEVATION	EL. 0'-0" FINISH FLOOR
		DRAWING REVISION	REVISION NUMBER

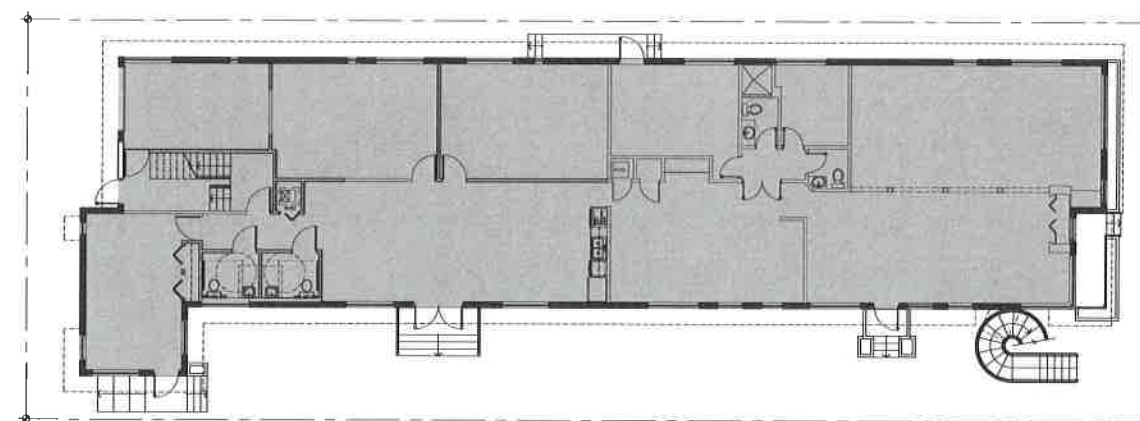
insulation blanket	concrete pre cast	gravel or crushed stone	cement mortar plaster	concrete
glass: large scale	insulation rigid	earth	tile	solid conc. mas. unit
marble	steel small scale	steel large scale	plywood	sheet metal
brick large scale	wood blocking continuous	wood blocking intermittent	brick large scale	wood finished
			concrete mas. unit	

320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139

DATE	REVISION
DWG TITLE	PROJECT INFORMATION INDEX
SCALE	N.T.S.
PROJECT NO	2017-13
DATE	05-29-17
SHEET NUMBER	A-001



PROPOSED F.A.R. SECOND FLOOR
SCALE: 3/32" = 1'



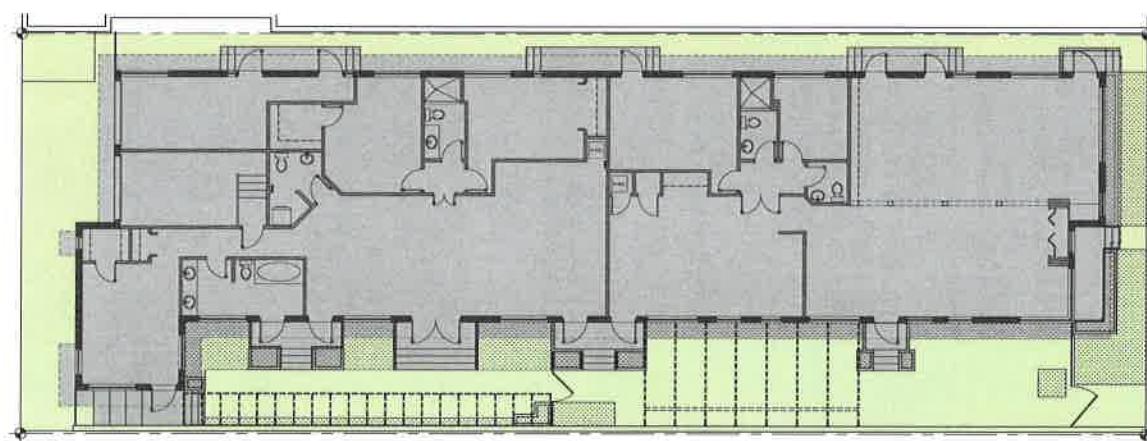
PROPOSED F.A.R. GROUND FLOOR
SCALE: 3/32" = 1'

GROSS AREA STUDY

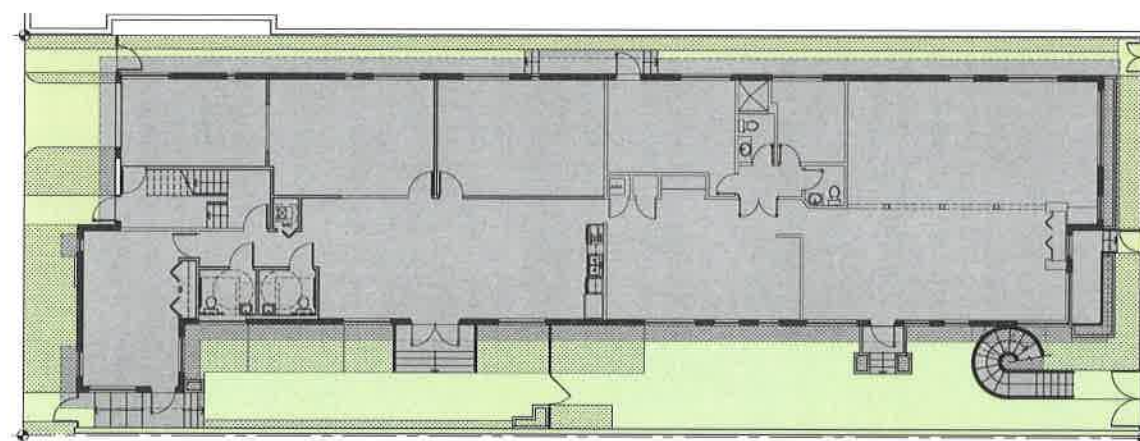
GROUND FLOOR PLAN	3,996 S.F.
2ND FLOOR	3,540 S.F.
TOTAL AREA	7,536 S.F.
LOT SIZE:	7,000 S.F.

FAR AREA STUDY

	ALLOWED	PROPOSED
FAR:	1.50	1.08 S.F.
FAR AREA:	10,500 S.F.	7,536 S.F.



EXISTING OPEN SPACE
SCALE: 3/32" = 1'



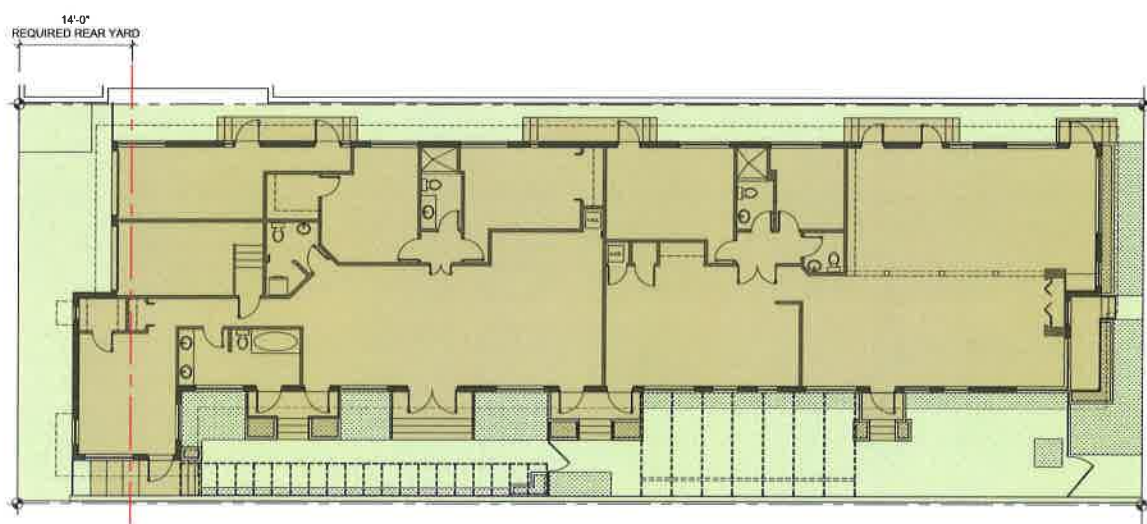
PROPOSED OPEN SPACE
SCALE: 3/32" = 1'

LEGEND

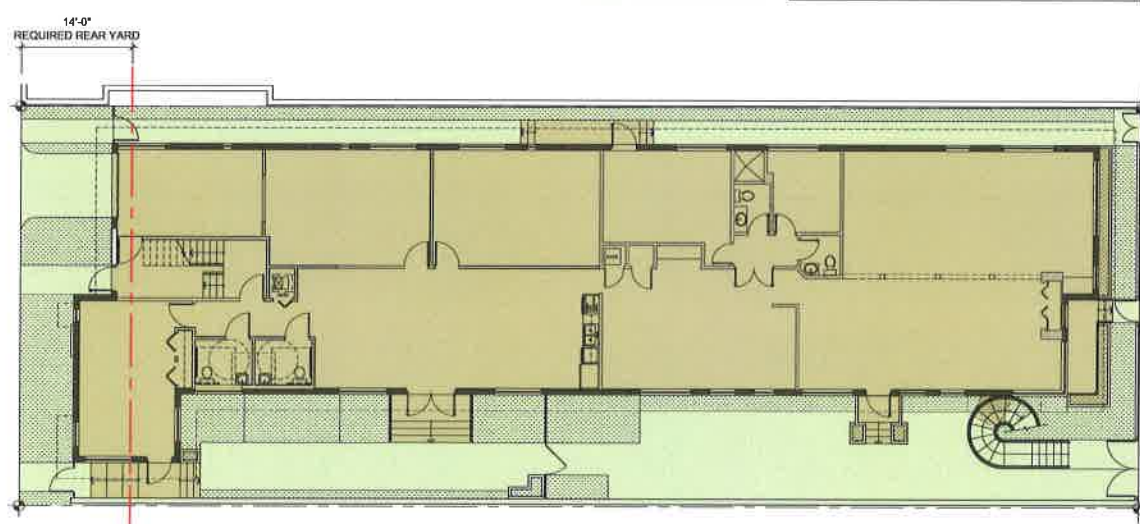
[Pattern]	LOT COVERAGE
[Pattern]	OPEN SPACE / HARDSCAPE
[Pattern]	OPEN SPACE / LANDSCAPE

OPEN SPACE RATIO

EXISTING	2,055 S.F.
PROPOSED	2,120 S.F.
LOT SIZE:	7,000 S.F.
OSR:	0.65
OSR AREA:	4,550 S.F.
REQUIRED	0.29
EXISTING	0.30
PROPOSED	2,120 S.F.



EXISTING REAR YARD
SCALE: 3/32" = 1'



PROPOSED REAR YARD
SCALE: 3/32" = 1'

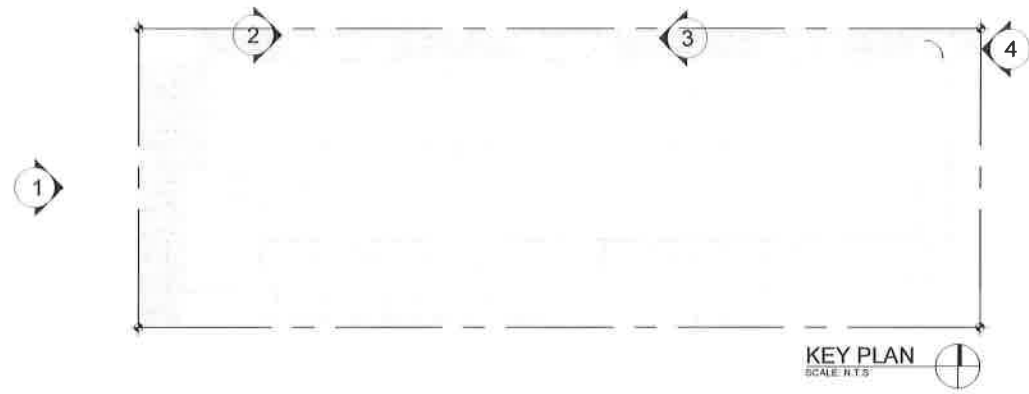
REAR YARD STUDY

PERVIOUS:	[Pattern]	EXISTING	0.0 S.F.	PROPOSED	258.5 S.F.
IMPERVIOUS:	[Pattern]		700 S.F.		441.5 S.F.

320 MERIDIAN AVENUE
320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139



1



2



3



4

BEILINSON
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ARCHITECTURE AAC001082
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beilinsonarchitectspa.com

320 MERIDIAN AVENUE
320 MERIDIAN AVENUE
MIAMI BEACH, FL 33138

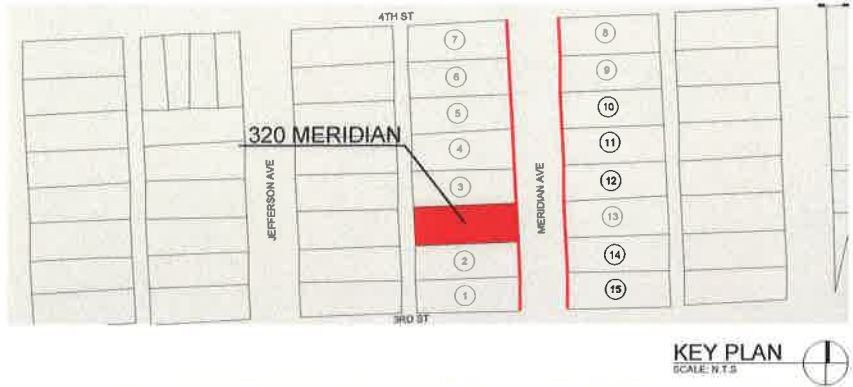
DATE	REVISION
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	N.T.S.
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	06-20-17
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1



320 MERIDIAN



KEY PLAN
SCALE: N.T.S.



2



3

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DWG TITLE	
CONTEXT PICTURES	06-20-17
SCALE	N.T.S.
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	A-005



**BEILINSON
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320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139

DATE REVISION

DWG TITLE

*CONTEXT PICTURES
06-20-17*

SCALE

N.T.S.

PROJECT NO

2017-13

DATE

06-26-17

SHEET NUMBER

A-006



8



9



10



(11)



1



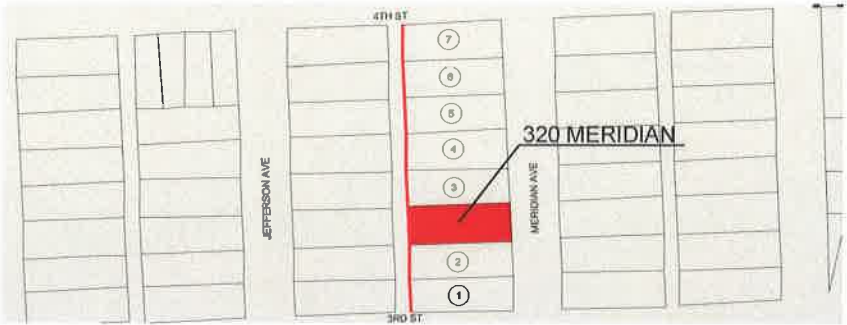
2



320 MERIDIAN



3



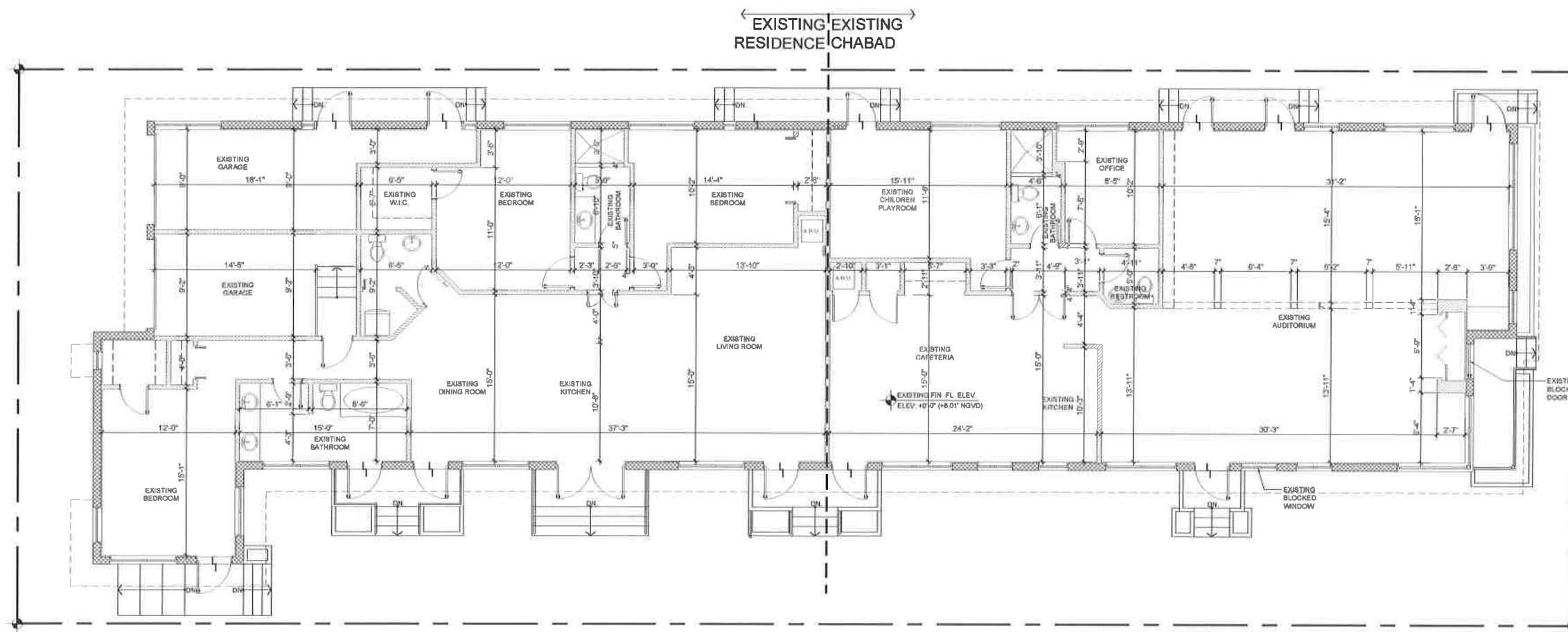
KEY PLAN
SCALE: N.T.S.

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ARCHITECTURE AAC001062
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CONTEXT PICTURES	06-20-17
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	06-20-17
SHEET NUMBER	A-009

[illegible]



EXISTING GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"

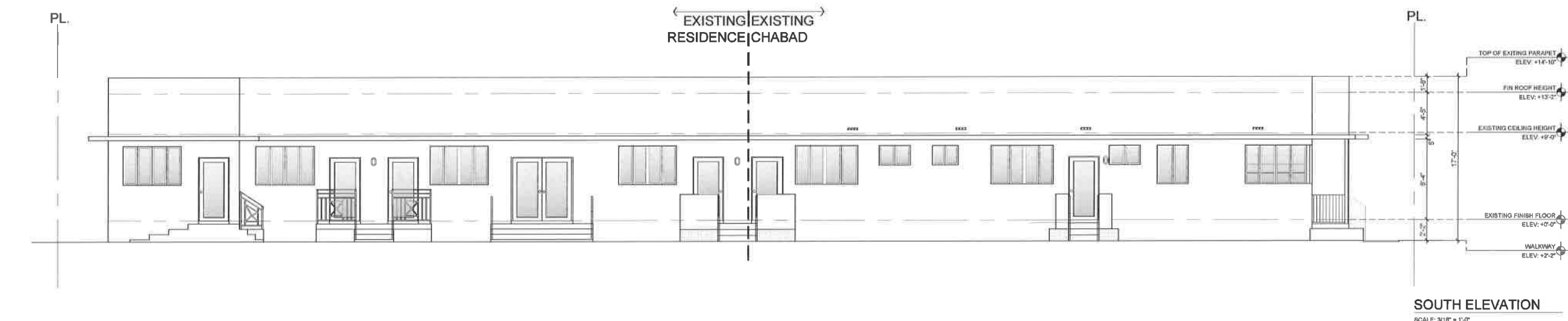
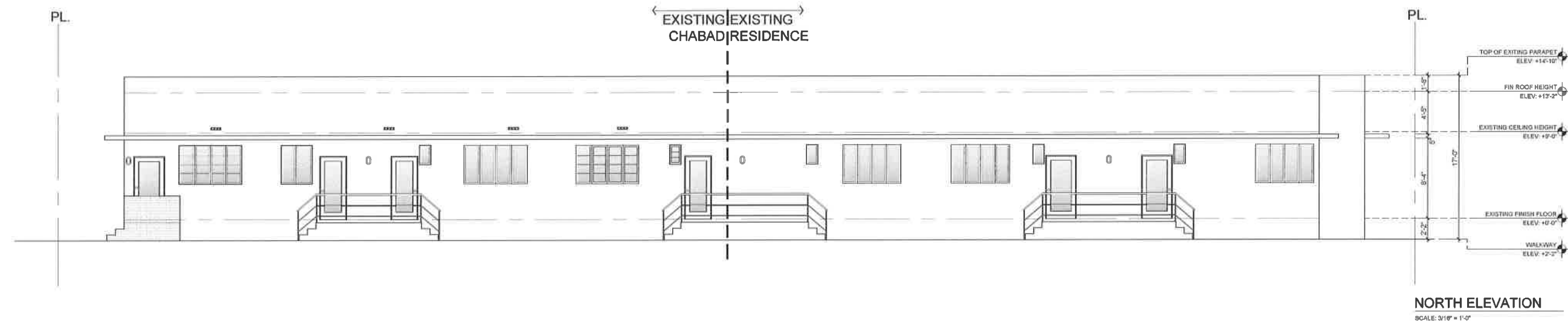
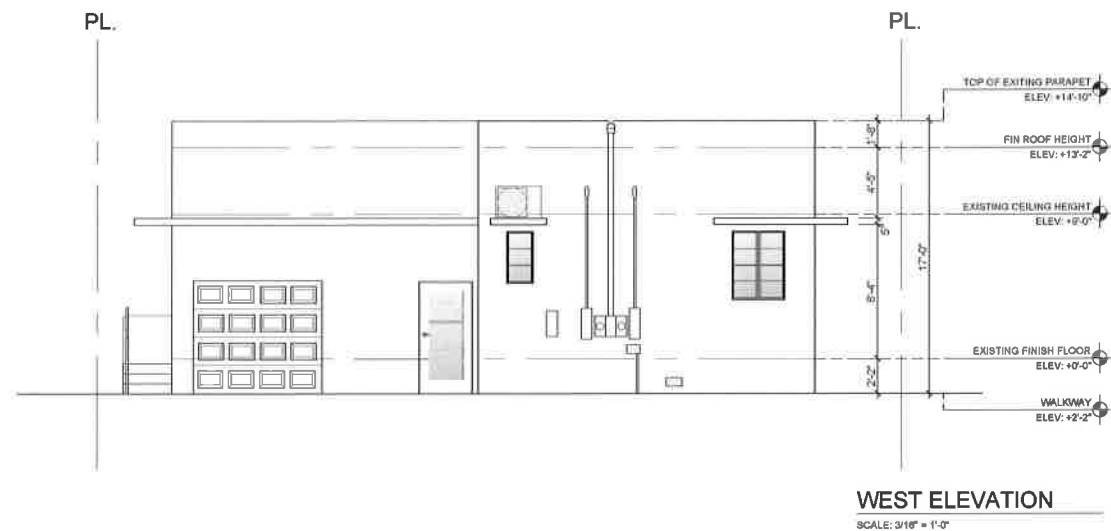
LEGEND

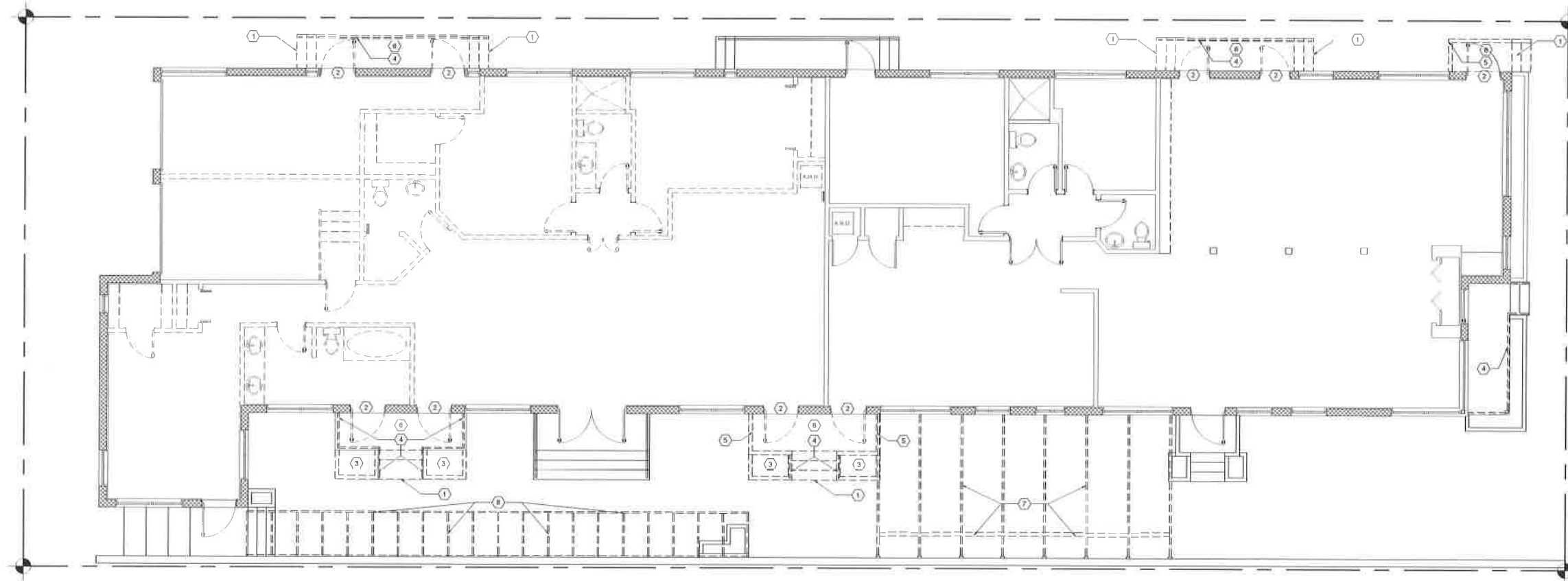
-  EXISTING EXTERIOR WALL
-  EXISTING INTERIOR WALL

DATE	REVISION
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	EXISTING GROUND FLOOR PLAN
SCALE	AS SHOWN
PROJECT NO.	
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	EXIST-101

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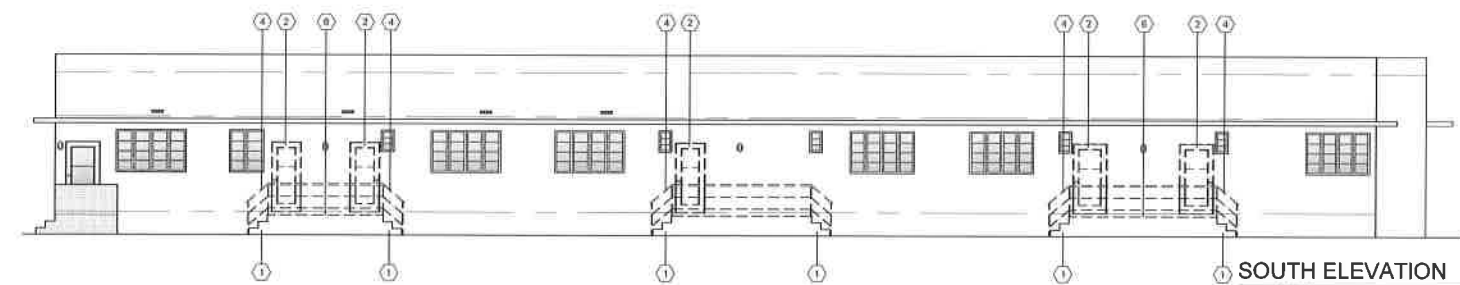
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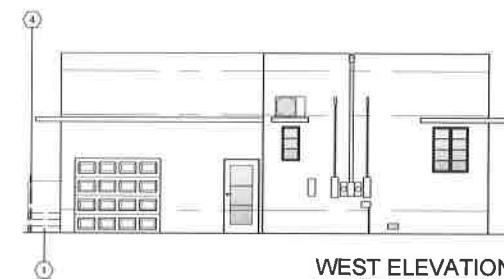
GROUND FLOOR

SCALE: 1/8" = 1'



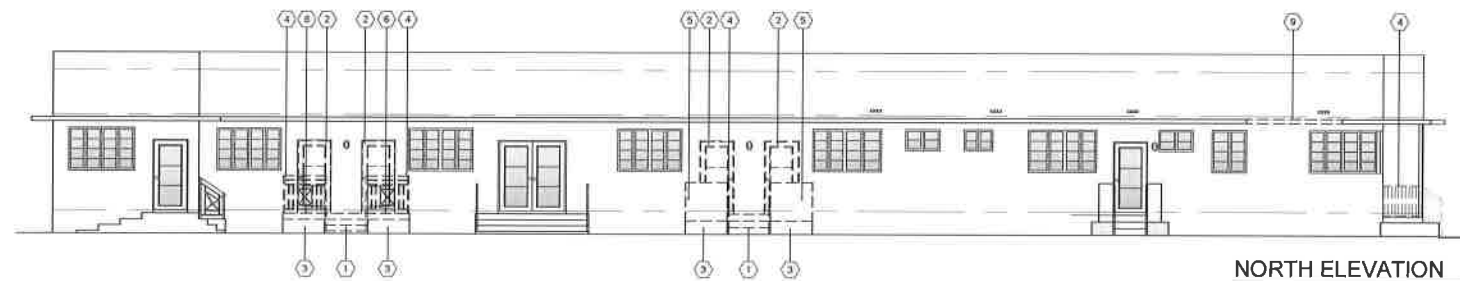
SOUTH ELEVATION

SCALE: 1/8" = 1'



WEST ELEVATION

SCALE: 1/8" = 1'



NORTH ELEVATION

SCALE: 1/8" = 1'



EAST ELEVATION

SCALE: 1/8" = 1'

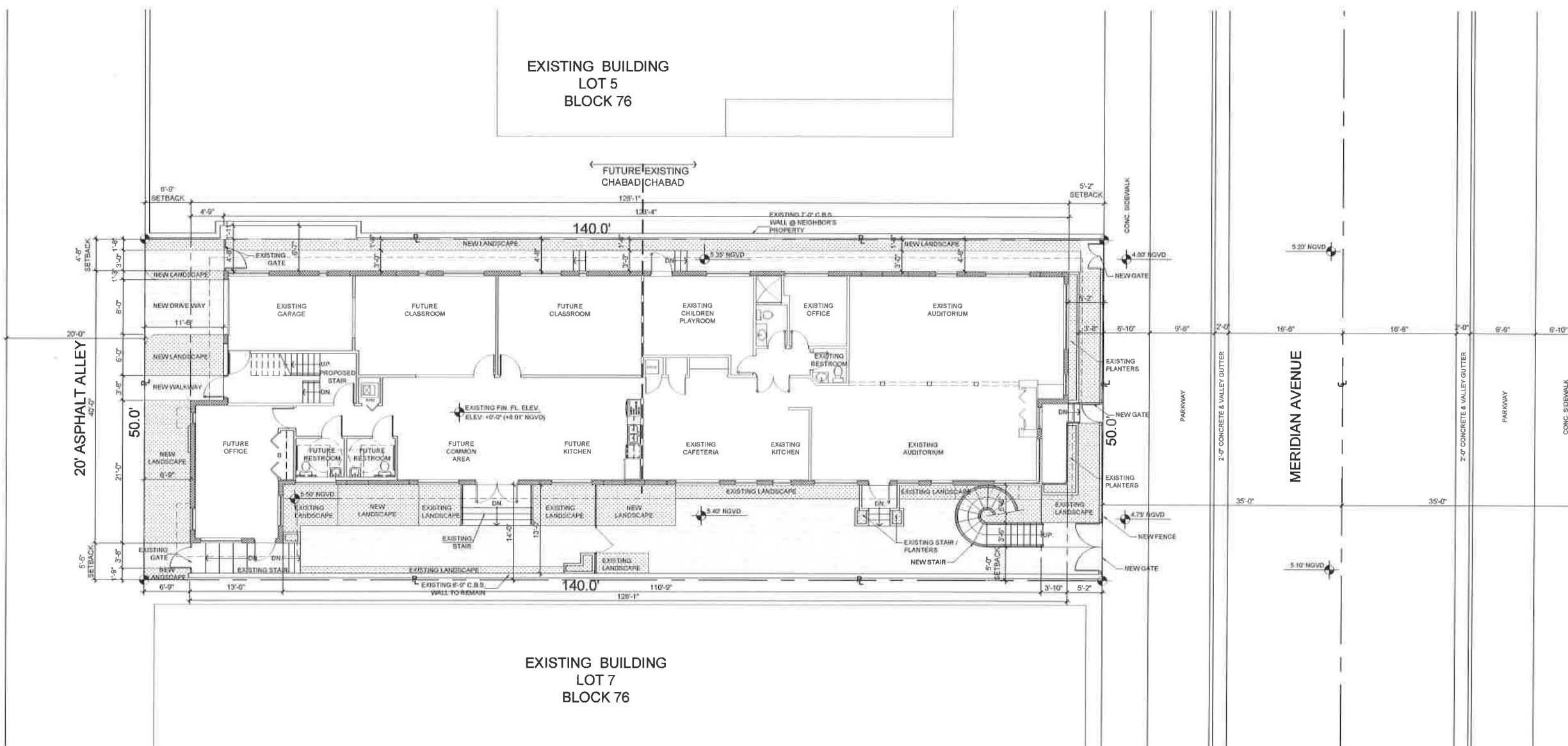
DEMOLITION KEY NOTES

- (1) STAIR TO BE REMOVED
- (2) DOOR TO BE REMOVED
- (3) PLANTER TO BE REMOVED
- (4) GUARDRAILS AND HAND RAILS TO BE REMOVED
- (5) LOW WALL TO BE REMOVED
- (6) CONCRETE SLAB TO BE REMOVED
- (7) WOOD TRELLIS TO BE REMOVED
- (8) METAL STRUCTURE AND CANOPY TO BE REMOVED
- (9) EYEBROW TO BE REMOVED

DATE	REVISION
DWG. TITLE	DEMOLITION PLAN
SCALE	AS SHOWN
PROJECT NO	
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SHEET NUMBER	06-26-17

320 MERIDIAN AVENUE

320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139



GENERAL NOTES

- ALL WALKWAYS SHALL NOT EXCEED 0'-44"
- ALL NEW EYEBROWS TO MATCH EXISTING CONCRETE 2'-0" EYEBROWS ON BUILDING (43% OF 4.84' @ NORTH-EAST SETBACK).

PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



DATE REVISION

DWG TITLE

PROPOSED
SITE PLAN

SCALE

AS SHOWN

PROJECT NO.

DATE

09-26-17

SHEET NUMBER

SP-100



320 MERIDIAN AVENUE
320 MERIDIAN AVENUE
MIAMI BEACH, FL 33139

DATE	REVISION
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DWG TITLE

PROPOSED
GROUND & SECOND
FLOOR PLAN

SCALE

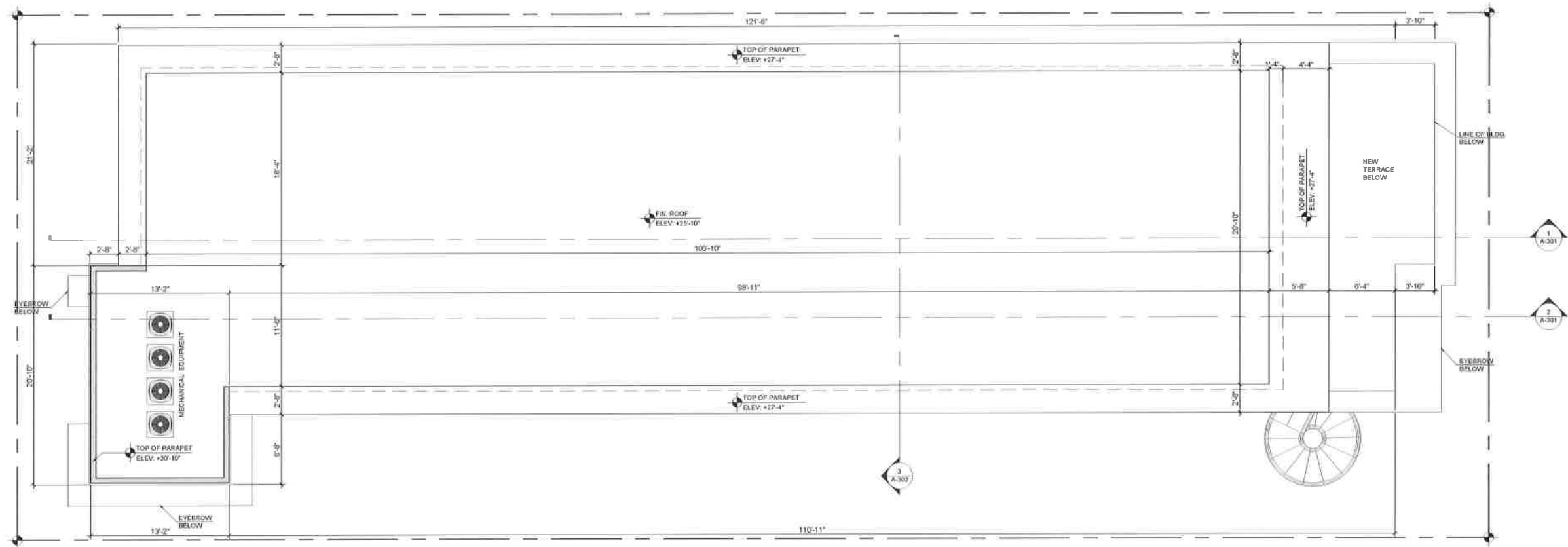
PROJECT NO. _____

DATE 2017-13

08-28-17

SHEET NUMBER

NUMBER
A-101



PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"

LEGEND

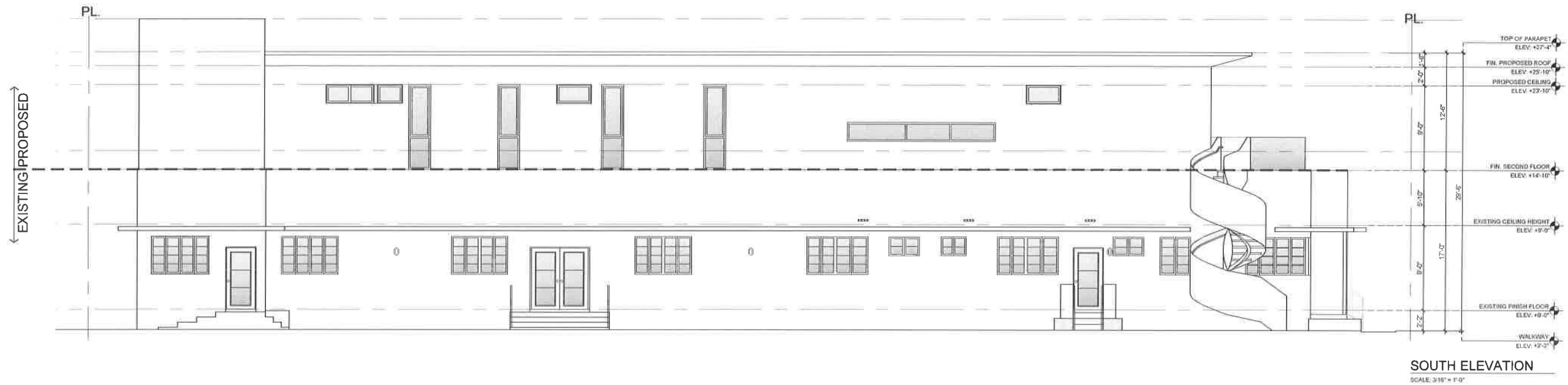
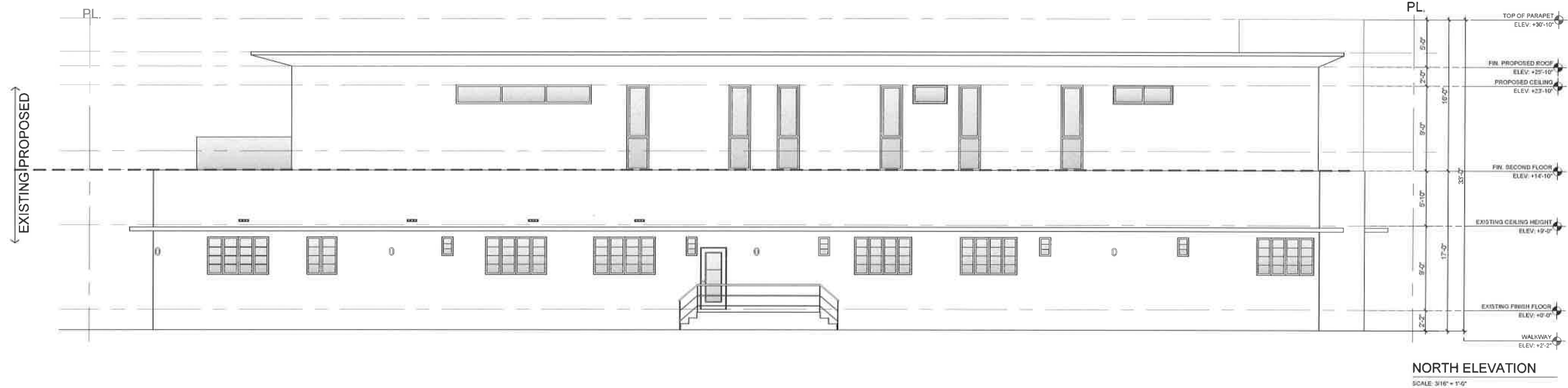
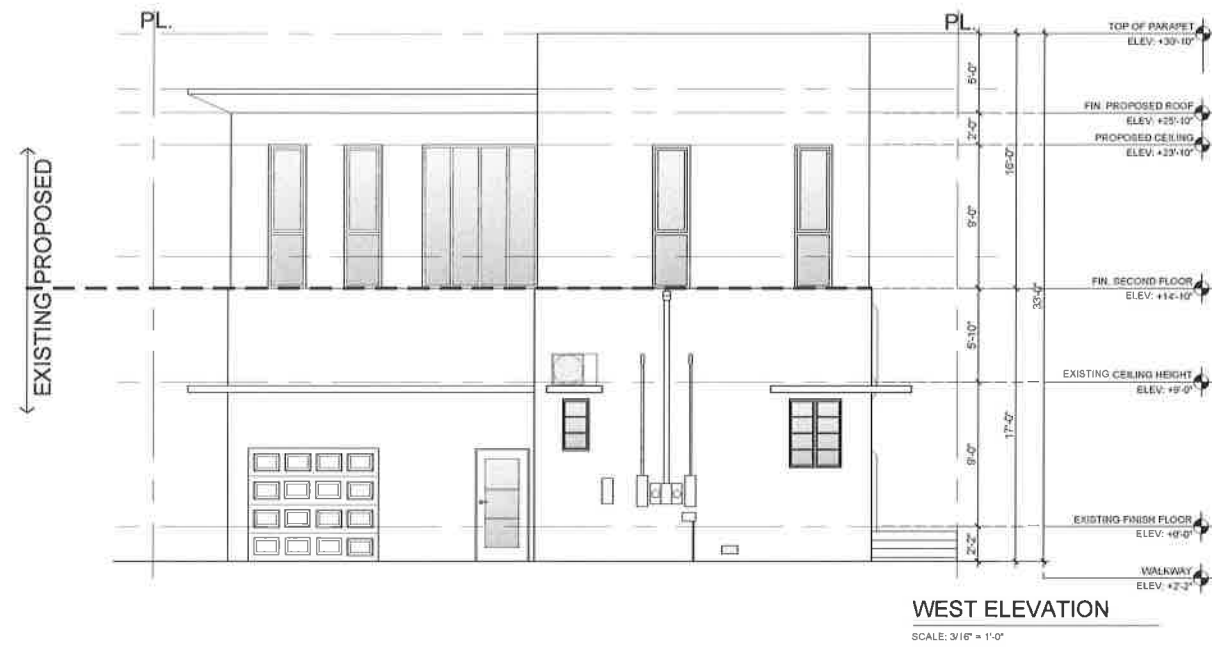
- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- PROPOSED EXTERIOR CMU WALL
- PROPOSED INTERIOR WALL
- AREA NOT IN SCOPE OF WORK

DATE	REVISION
DWG. TITLE	
PROPOSED ROOF PLAN	
SCALE	
AS SHOWN	
PROJECT NO.	
2017-13	
DATE	
08-26-17	
SHEET NUMBER	
A-102	

320 MERIDIAN AVENUE
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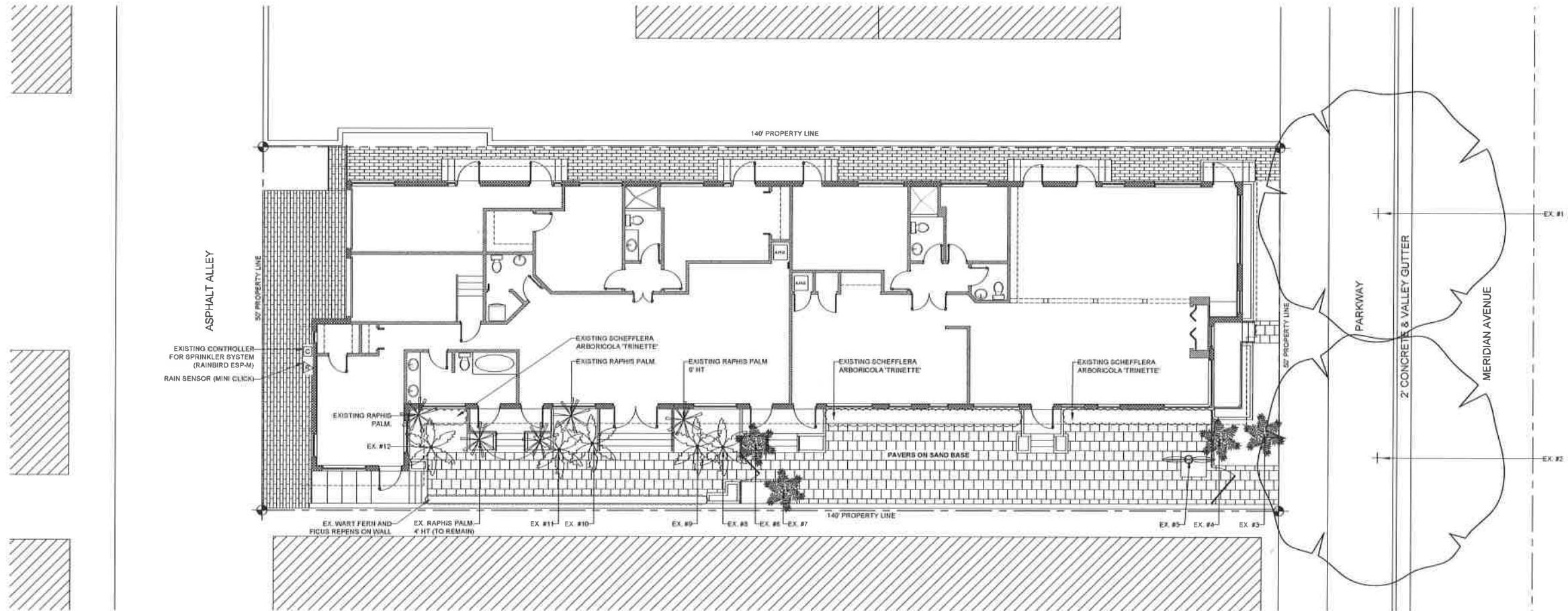
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320 MERIDIAN AVENUE
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DATE	REVISION
DWG. TITLE	PROPOSED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	2017-13
DATE	06-26-17
SHEET NUMBER	A-201





EXISTING TREE SURVEY AND DISPOSITION LEGEND

#	Name - Common (Scientific)	SIZE			NATIVE		CONDITION	DISPOSITION
		DBH	HEIGHT	SPREAD (DIAM)	YES	NO		
1	BRAZILIAN BEAUTY LEAF (<i>Calophyllum brasiliense</i>)	4"	35'	38'		X	GOOD	REMAIN
2	BRAZILIAN BEAUTY LEAF (<i>Calophyllum brasiliense</i>)	3'6"	35'	38'		X	GOOD	REMAIN
3	FISHTAIL PALM (<i>Caryota mitis</i>)	9 tr-42" total	26'	12'		X	GOOD	REMAIN
4	FISHTAIL PALM (<i>Caryota mitis</i>)	5 tr-26" total	26'	12'		X	GOOD	REMAIN
5	TRAVELER'S TREE (<i>Ravenala madagascariensis</i>)	2 tr-18" total	25'	10'		X	GOOD	REMOVE
6	FISHTAIL PALM (<i>Caryota mitis</i>)	2 tr-10" total	26'	12'		X	GOOD	REMAIN
7	FISHTAIL PALM (<i>Caryota mitis</i>)	9 tr-32" total	26'	14'		X	GOOD	REMAIN
8	MONTGOMERY PALM (<i>Veitchia montgomeryana</i>)	6"	24'	9'		X	GOOD	REMAIN
9	MONTGOMERY PALM (<i>Veitchia montgomeryana</i>)	8"	22'	8'		X	GOOD	REMAIN
10	MONTGOMERY PALM (<i>Veitchia montgomeryana</i>)	7"	23'	8'		X	GOOD	REMAIN
11	MONTGOMERY PALM (<i>Veitchia montgomeryana</i>)	7"	23'	8'		X	GOOD	REMAIN
12	MONTGOMERY PALM (<i>Veitchia montgomeryana</i>)	7"	22'	8'		X	GOOD	REMAIN

EXISTING TREE SYMBOL LEGEND

-  RAPIS PALM
-  MONTGOMERY PALM
-  TRAVELER'S TREE
-  FISHTAIL PALM
-  BRAZILIAN BEAUTY LEAF

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Gerardo Javier Delgado
R.L.A. - 0001574



320 MERIDIAN AVENUE
MIAMI BEACH, 33139

APPROVED BY: J.D.
DATE: 07.04.17

REVISIONS:

PROJECT No:
SHEET No:

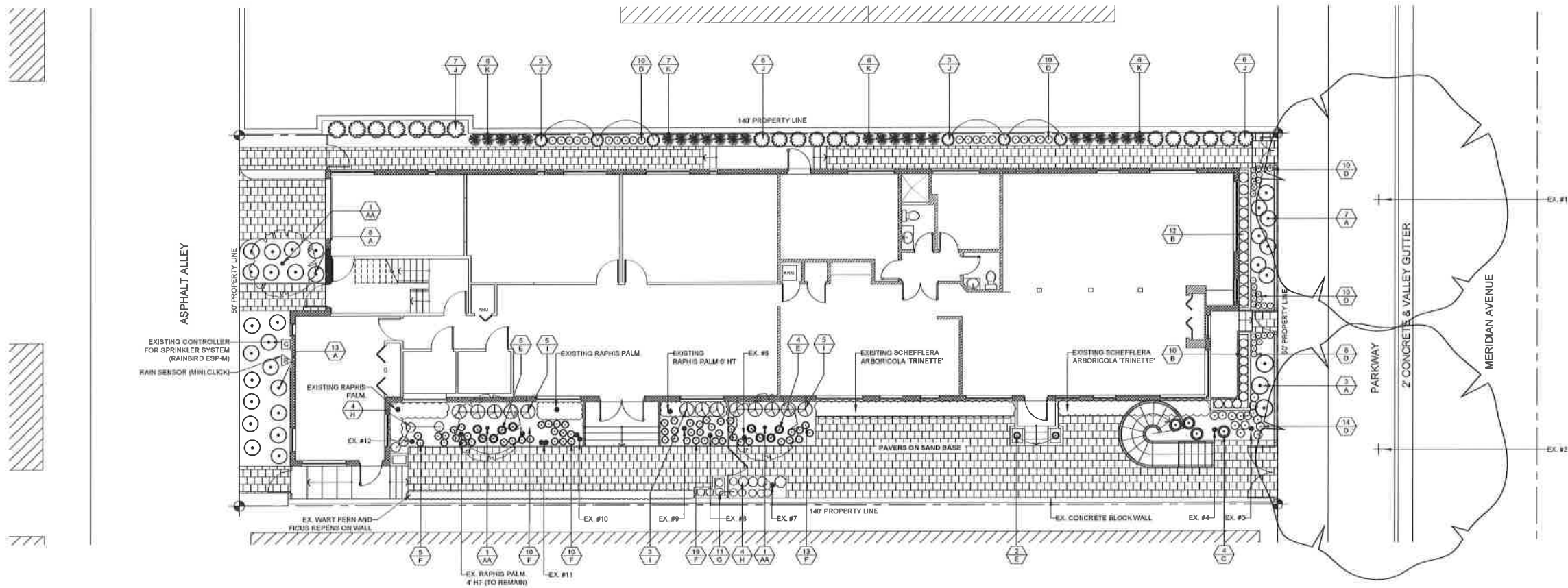
L-1

TOTAL:



EXISTING TREE SURVEY AND DISPOSITION PLAN

SCALE: 1/8"=1'-0"



NOTES

- 1. MULCH: IN BEDS EAST AND SOUTH OF BUILDING TO BE "MELALEUCA" SHREDDED AND COMPOSTED. INSTALL 2"-3" DEEP. MULCH IN SHRUB BEDS NORTH OF BUILDING TO BE CRUSHED GRAY GRAVEL, 3/4". INSTALL 3" DEEP.
- 2. ALL PROPOSED PLANT MATERIALS SHALL CONFORM TO, OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NO. 1 GRADE OR EQUIVALENT IN THE MOST CURRENT EDITION THE FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS PREPARED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 3. SPRINKLER SYSTEM: REFER TO SHEET L4: SPRINKLER PLAN. SYSTEM TO INCLUDE DIGITAL TIMER (RAINBIRD ESP-M), RAIN SENSOR (MINI CLIK), ELECTRIC VALVES, POP-UP SPRAY HEADS, PVC PIPE.
- 4. GUARANTEE: THERE SHALL BE A ONE YEAR GUARANTEE ON ALL PLANT MATERIALS INSTALLED AT THIS SITE. THE WARRANTY SHALL BE PROVIDED BY THE SUB CONTRACTOR RESPONSIBLE FOR INSTALLATION. DEFECTIVE OR DYING PLANTS MUST BE REPLACED WITHIN 2 WEEKS OF NOTIFICATION SUCH PLANTS NEED TO BE REPLACED.
- 5. TREE STAKING: THE SUB CONTRACTOR SHALL MAINTAIN ALL TREE SUPPORTS FOR ONE YEAR. THIS SHALL INCLUDE ADJUSTMENTS TO SUPPORTS TO INSURE ALL TREE TRUNKS ARE MAINTAINED IN A VERTICAL POSITION. AFTER ONE YEAR THE SUB CONTRACTOR WILL REMOVE ALL STAKES AND RELATED MATERIALS
- 6. REFER TO SHEET L-1 FOR EXISTING TREES TO REMAIN AND DISPOSITION.

PROPOSED LANDSCAPE LEGEND

#	Name - Common (Scientific)	SIZE	QTY	NATIVE	
	NEW TREES AND PALMS TO BE INSTALLED			YES	NO
A	COONTIE (Zamia pumila)	10 gal. FULL	31	X	
B	SNAKE PLANT (Sansevieria trifasciata laurentif)	3 gal. FULL	22		X
C	HOLLY FERN (Cyrtomium falcata)	3 gal.	4		X
D	LIRIOPE (Liriope muscari 'Big blue')	1 gal.	62		X
E	DWARF ALLAMANDA (Allamanda cathartica 'compacta')	3 gal.	11		X
F	BABY RUBBER PLANT (Peperomia obtusifolia)	1 gal.	57	X	
G	TI PLANT (Cordyline fruticosa 'Red sister')	3 gal. 3 ppp	11		X
H	ELEPHANT EARS (Alocasia odora 'California')	3 gal.	8		X
I	PARLOR PALM (Raphis excelsa)	3 gal. 3' ht multi trunk	13		X
J	WILD COFFE (Psychotria ligustrofolia)	7 gal. 24"-30" ht - bush	25	X	
K	BOSTON FERN (Nephrolepis exaltata 'Bostoniensis')	3 gal.	25	X	
TREES AND PALMS					
AA	ORANGE GEIGER TREE (Cordia Sebestena)	25 gal. 8'-10' ht cal. 1 3/4	3	X	



PROPOSED LANDSCAPE PLAN

SCALE: 1/8"=1'-0"

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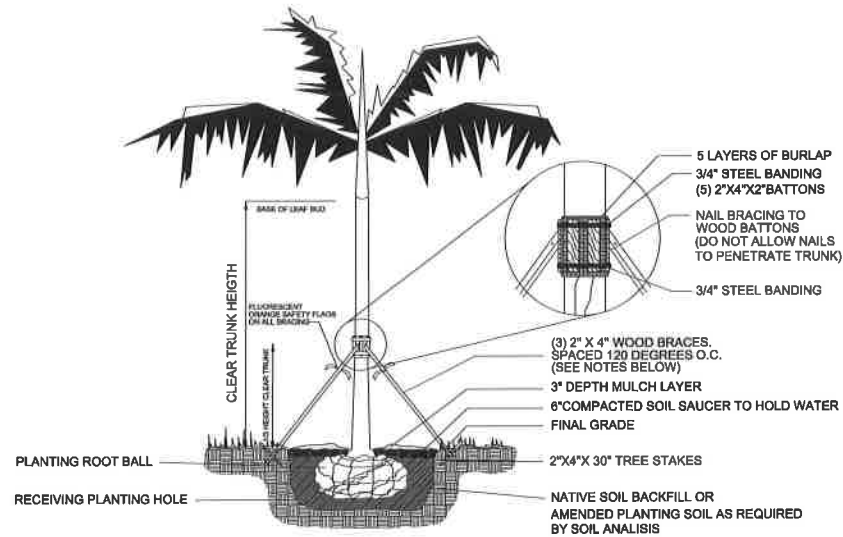
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MIAMI BEACH, 33139

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DATE: 07.04.17

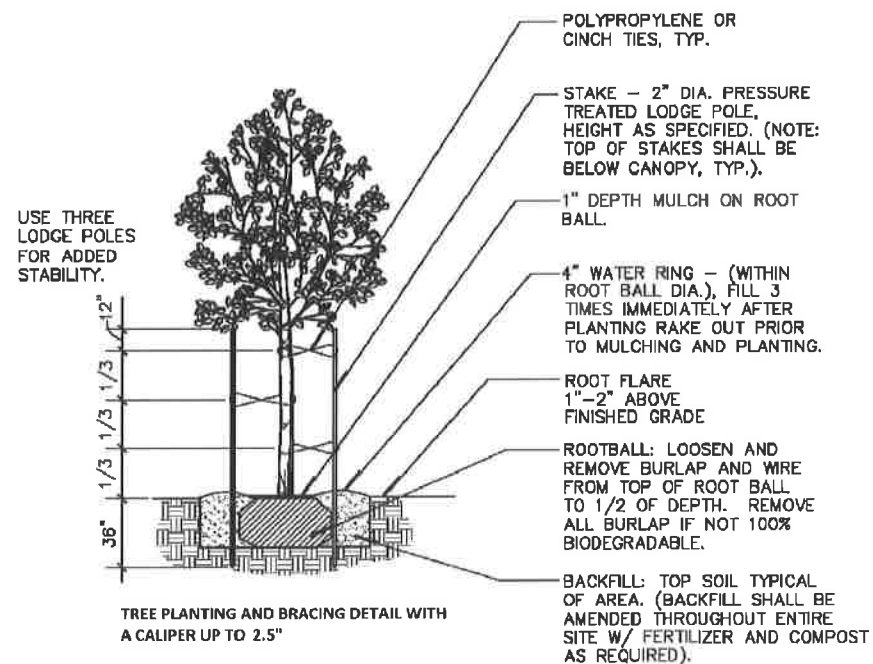
REVISIONS:

PROJECT No:
SHEET No:
L-2
TOTAL:

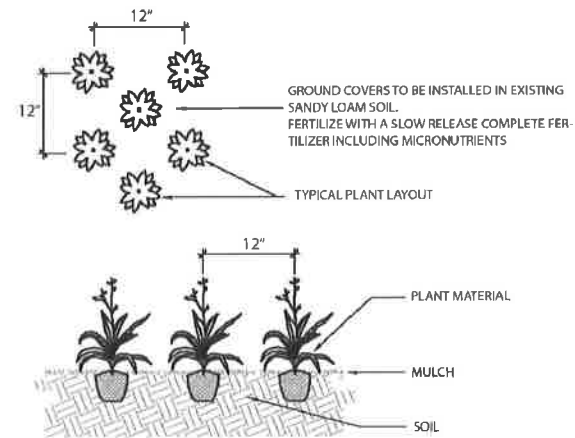


1. PALMS OVER 30' GW HEIGHT USE MINIMUM (4) BRACING AND STAKES
2. PRIMARY STAKES SHOULD BE PLACED PARALLEL TO WALKWAYS WHENEVER POSSIBLE
3. RECEIVING PLANTING HOLE SHALL BE APPROXIMATELY 1/3 LARGER THAN ROOTBALL
4. BUD SHALL BE PERPENDICULAR TO THE GROUND PLANE
5. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES
6. NO SCARRED OR BLACKENED TRUNKS
7. AMENDED SOIL MIX TO BE ADDED AT THE TIME OF PLANTING IF NEEDED, SHALL CONSIST OF A RATIO MIX OF 80% CLEAN SILICA SAND AND 20% SCREENED, PULVERIZED TOPSOIL AS NEEDED.
8. ANCHORING STAKES SHALL BE DRIVEN A MINIMUM OF 3" BELOW GRADE
9. MULCH SHALL BE AMERIGROW RECYCLED PINEBARK BROWN OR CITY APPROVED EQUIVALENT

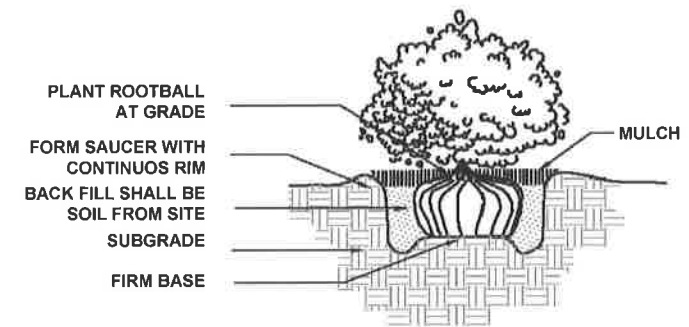
CITY OF MIAMI BEACH TYPICAL PALM PLANTING DETAIL
N.T.S



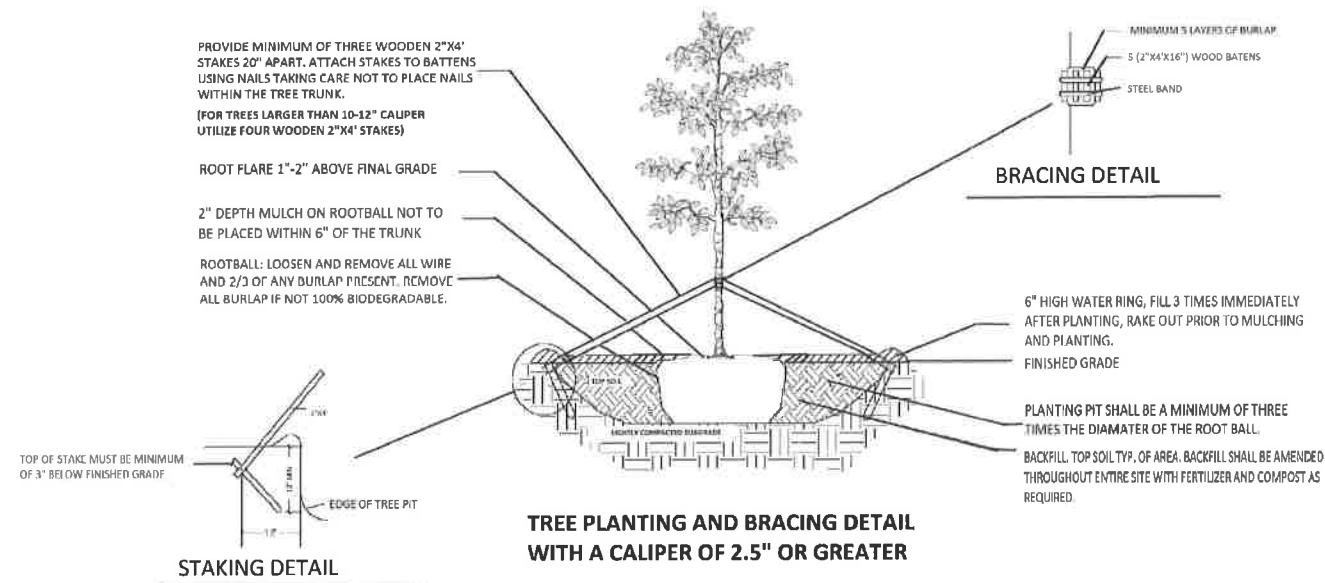
TREE PLANTING AND BRACING DETAIL
WITH A CALIPER UP TO 2.5"
N.T.S



GROUND COVERS PLANTING DETAIL
N.T.S



SHRUBS PLANTING DETAIL
N.T.S



TREE PLANTING AND BRACING DETAIL
WITH A CALIPER OF 2.5" OR GREATER

TREE PLANTING AND BRACING DETAIL
WITH A CALIPER UP TO 2.5"
N.T.S



PLANTING TECHNIQUES

SCALE: N.T.S

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REVISIONS:

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SHEET No:

L-3

TOTAL:

