



Underground footings were not located.

No encroachments were noted by this survey, except as shown hereon.

The ownership of the fences and/or walls as shown hereon were not determined.

The property boundary is based on platted information, recovered monumentation and notorious evidence of occupation.

Any noticeable evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description as it appears on this drawing.

Only those utilities witnessed by visible appurtenant evidence have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances shown on this sketch.

Differences are noted as compared to calculations from the record plat and are shown as plat, measured, record and/or deed.

Elevations shown refer to National Geodetic Vertical Datum 1929 (NGVD 1929).
Elevations are based on Miami-Dade County Benchmark D-116 located 85 feet South of the centerline of 5th Street and 39 feet East of the centerline of Washington Avenue.
The benchmark is described as a PK Nail and Aluminum Washer in catch basin. Elevation is 5.03 feet (NGVD 1929).

All measurements reference U.S. Survey Foot.

This sketch shows herein in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supported in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/20" on the display.

SM L

4.	Terms and conditions of the Order of the Planning Board of the City of Miami Beach, Florida in Case No. 1116 recorded January 12, 1993 in 15778. (Page 572. (Affects the Property-Not a Matter of Survey).	Official Records Book
5.	Terms and conditions of the Order of the Planning Board of the City of Miami Beach, Florida in Case No. 1274 recorded July 29, 1997 in Page 813. (Affects the Property-Not a Matter of Survey).	Official Records Book 17731,
6.	Terms and conditions of the Order of the Planning Board of the City of Miami Beach, Florida in Case No. 1713 recorded June 13, 2005 in	Official Records Book 23468,

7. Terms and conditions of the Hold Harmless Agreement recorded February 3, 2006 in Official Records Book 24208, page 2039. (Affects the Property-Not a Matter of Survey).

8. Terms and conditions of the Hold Harmless Agreement recorded February 9, 2006 in Official Records Book 24222, page 2555. (Affects the Property-Not a Matter of Survey).

10. Terms and conditions of the Order of the Historic Preservation Board, City of Miami Beach, Florida, recorded February 22, 2006 in Official Records Book 24258, page 2514, as modified by Modification/Extension Of Time Order of the Board of Adjustment of the City of Miami Beach recorded September 23, 2006 in Official Records Book 24941, page 550. (Affects the Property-Not a Votter of Survey).

11. Terms and conditions of the Order of the Board of Adjustment of the City of Miami Beach, Florida recorded March 8, 2006 in Official Records Book 24299, page 3650.

12. Terms and conditions of Declaration of Restrictive Covenants in Lieu of Unity of Title recorded June 21, 2005 in Official Records Book 24552, page 493. (Affects the Property-Not a Matter of Survey).

13. Easement in favor of Florida Power & Light Company recorded January 4, 2007 in Official Records Book 25251, page 1368. (Shown on the Survey).

14. Terms and conditions of Miami-Dade County Historic Preservation Board Resolution No. 2010-01 recorded March 19, 2010 in Official Records Book 27220, page 3767.

15. Terms and conditions of Order recorded in Official Records Book 17958, Page 607, Extension of Time of Order in Official Records Book 18038, Page 824. (Affects the Property-Not a Matter of Survey).

16. Terms and conditions of Declaration of Restrictions recorded in Official Records Book 19693, Page 4153. (Affects the Property-Not a Matter of Survey).

17. Terms and conditions of Historic Preservation Board Order recorded in Official Records Book 20017, Page 2087. (Affects the Property-Not a Matter of Survey).

18. Any Fee provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the Insured land. (Affects the Property-Not a Matter of Survey).

ALTA/ACSM TABLE "A" ITEMS:

1. Monuments were set at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses.

published by the Federal Emergency Management Agency, denotes the described land to be situated within Zone "AE" with a base flood elevation of 8.0 feet.

4. Gross land area of the Subject Parcel is 41,199 square feet more or less or 0.94 acres more or less.

6. (a)(b) See Zoning Table.

7. (c) Exterior dimensions of all buildings are shown on Survey Sketch.

8. Substantial, visible improvements (in addition to buildings) such as parking lots, billboards, signs, landscaped areas, etc. are shown on Survey Sketch.
9. Parking Areas located on Parcel 2. There is 1 Handicapped and 62 regular spaces. A total of 63 parking spaces. Striping is in poor condition.
10. (a) Determination of the relationship and location of certain division or party walls designated by the client with respect to adjoining properties (client to obtain

11. (a) Location of utilities existing on or serving the surveyed property as determined by observe evidence is shown on Survey Sketch.

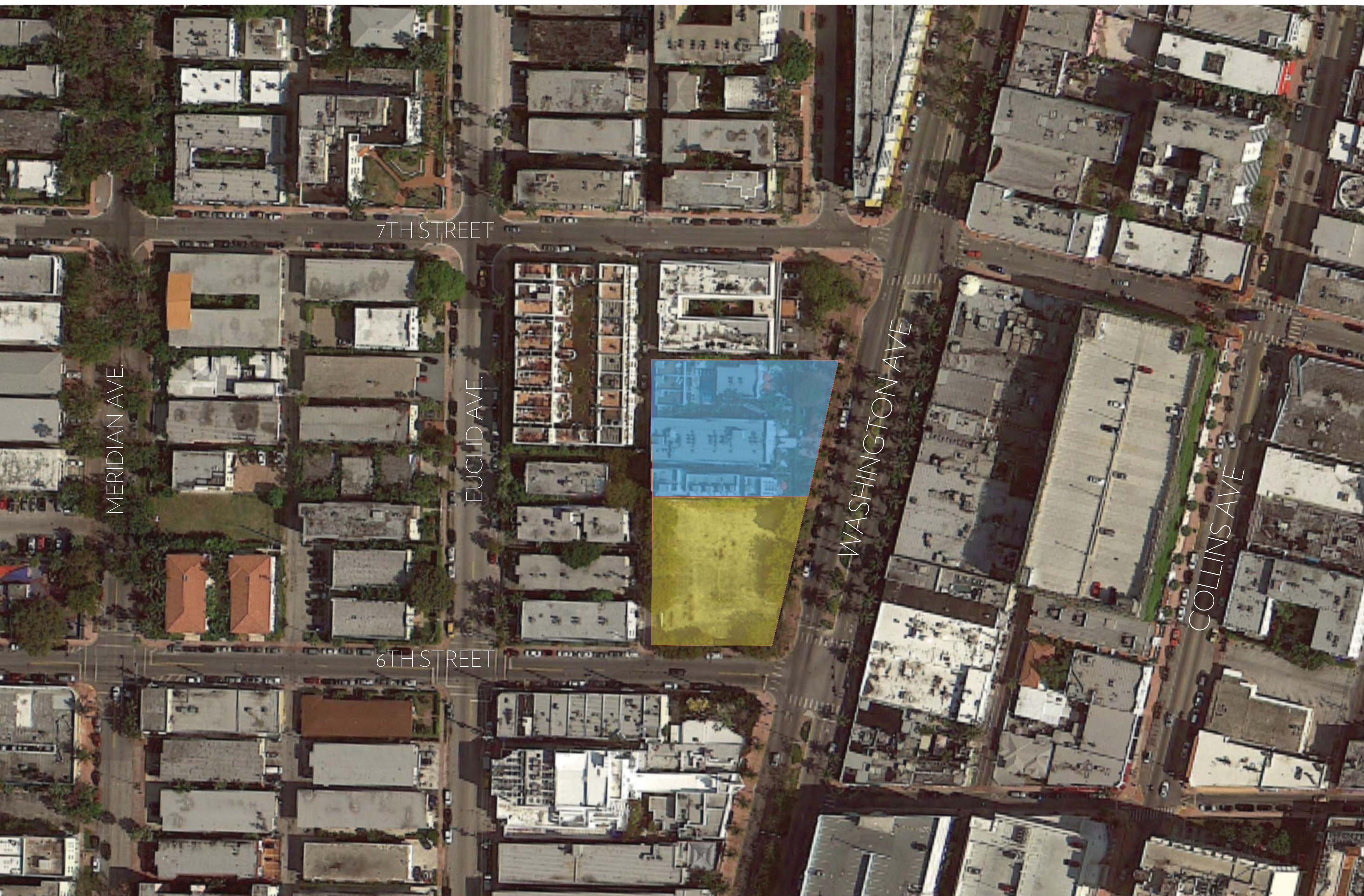
13. Names of adjoining owners of platted lands are shown on Survey Sketch.

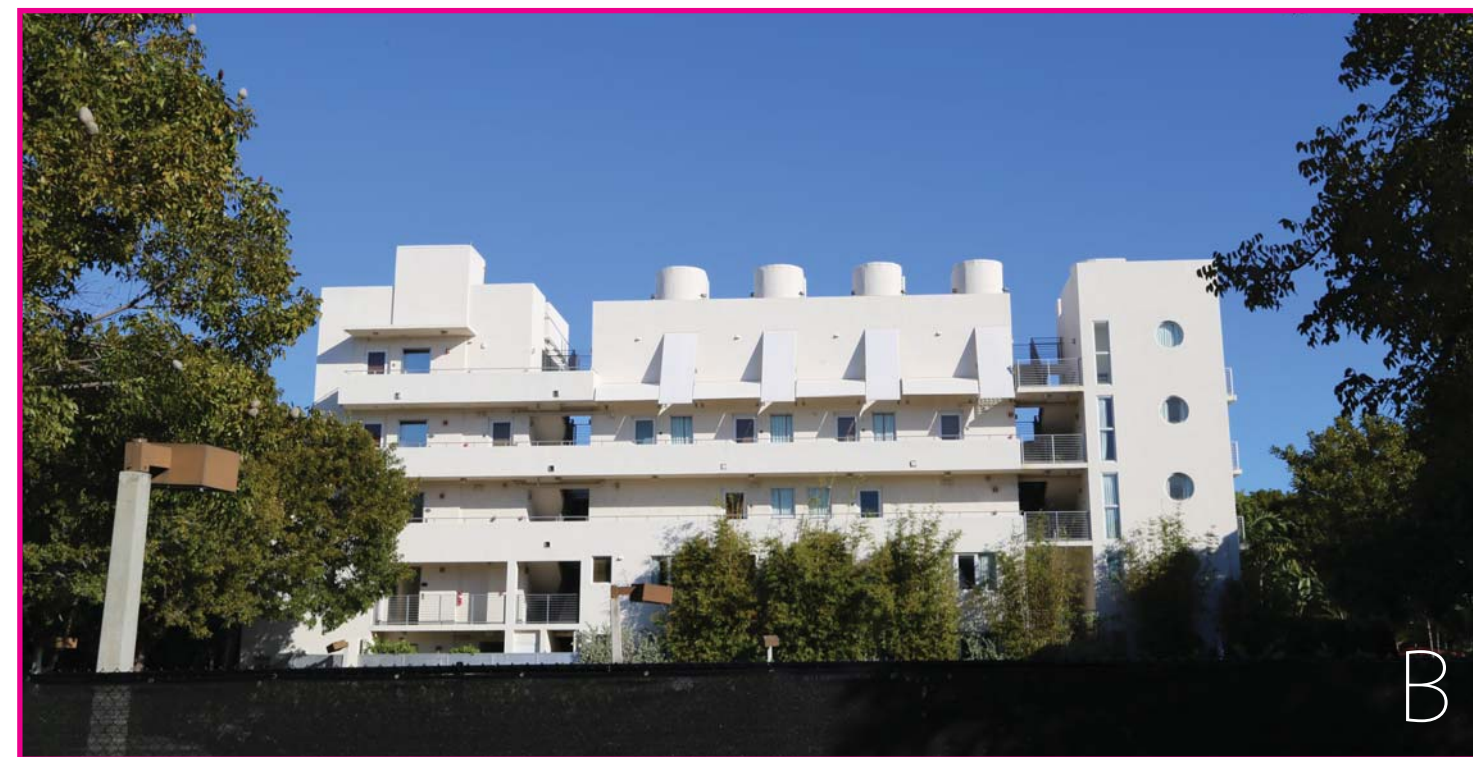
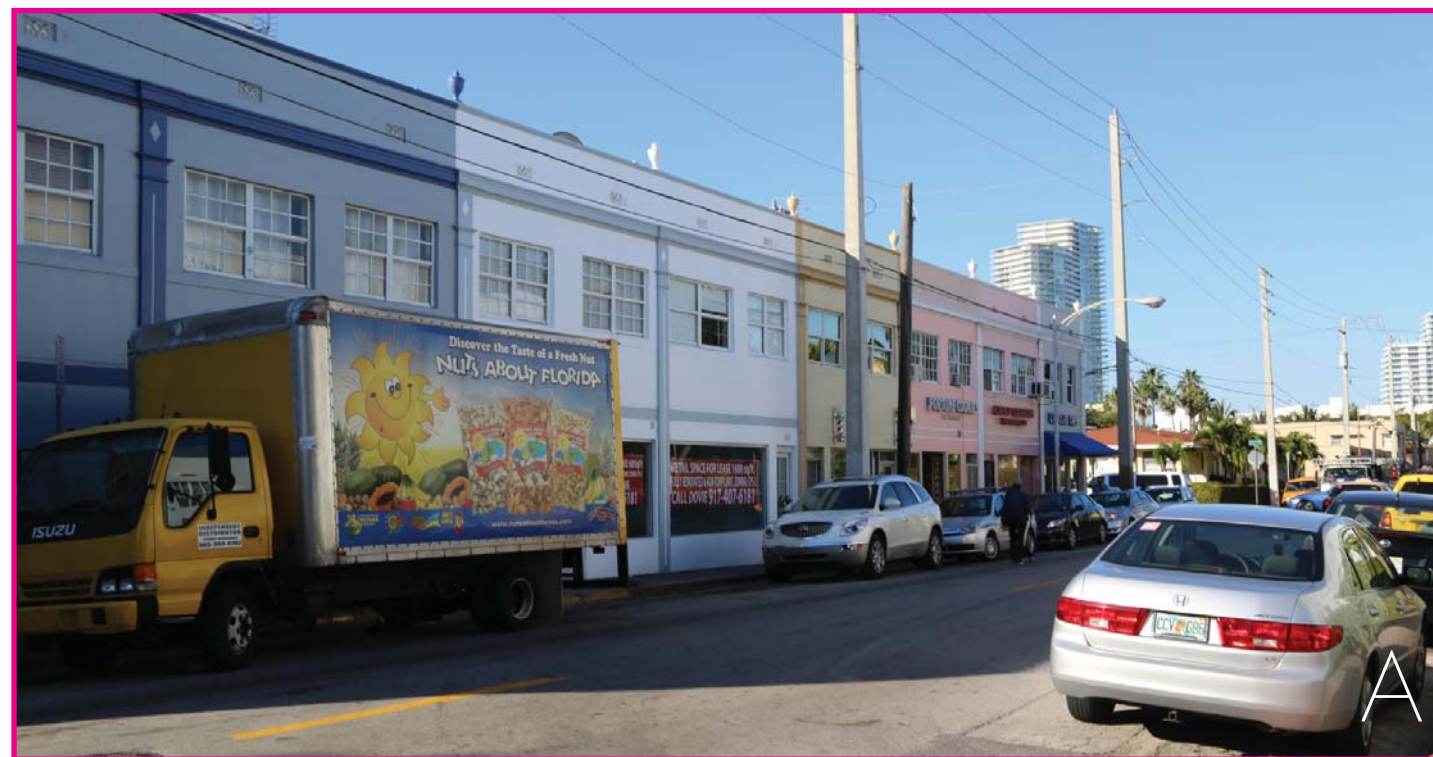
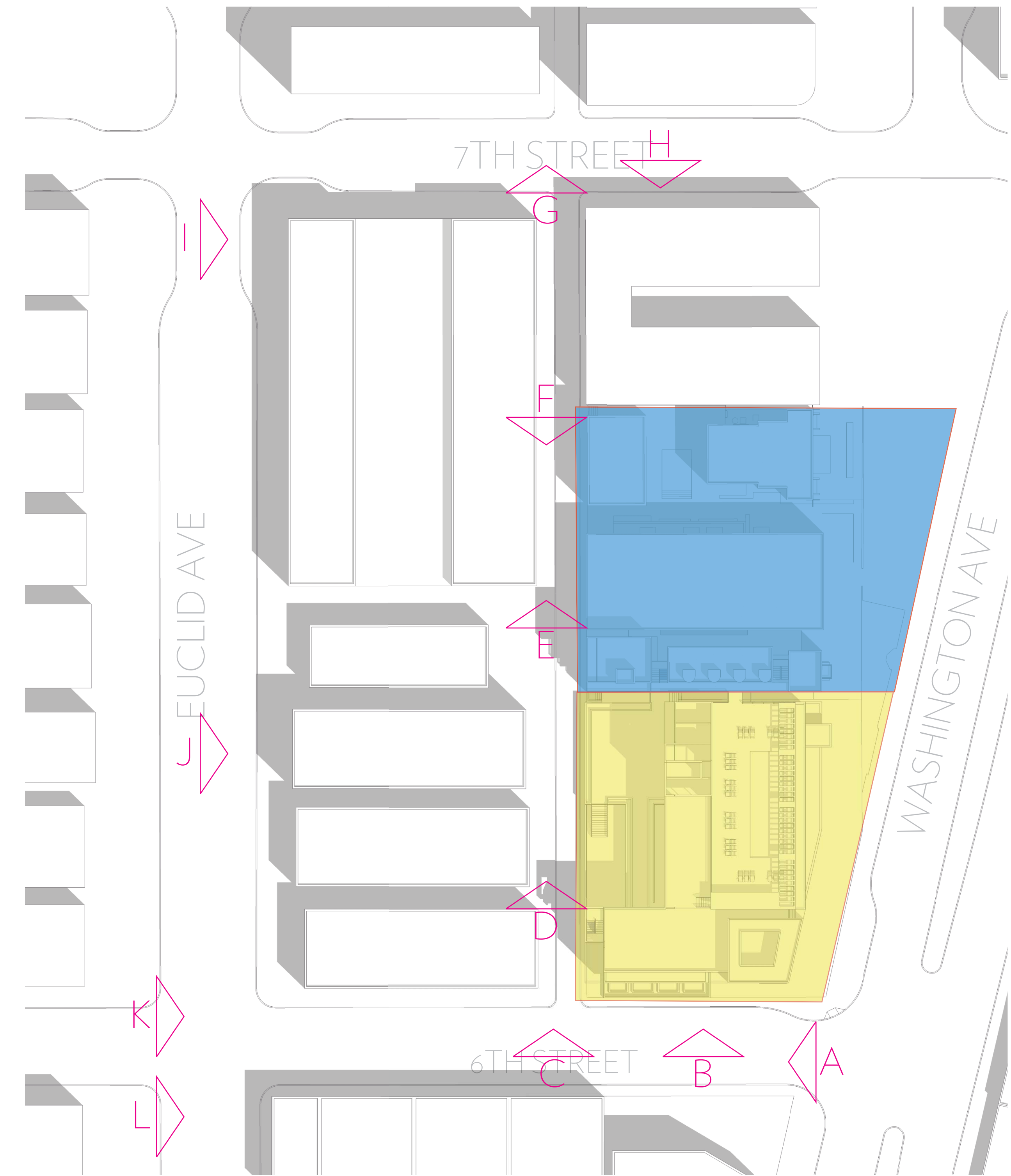
16. There was no observed evidence of current earth moving work, building construction or building additions at the time of survey.

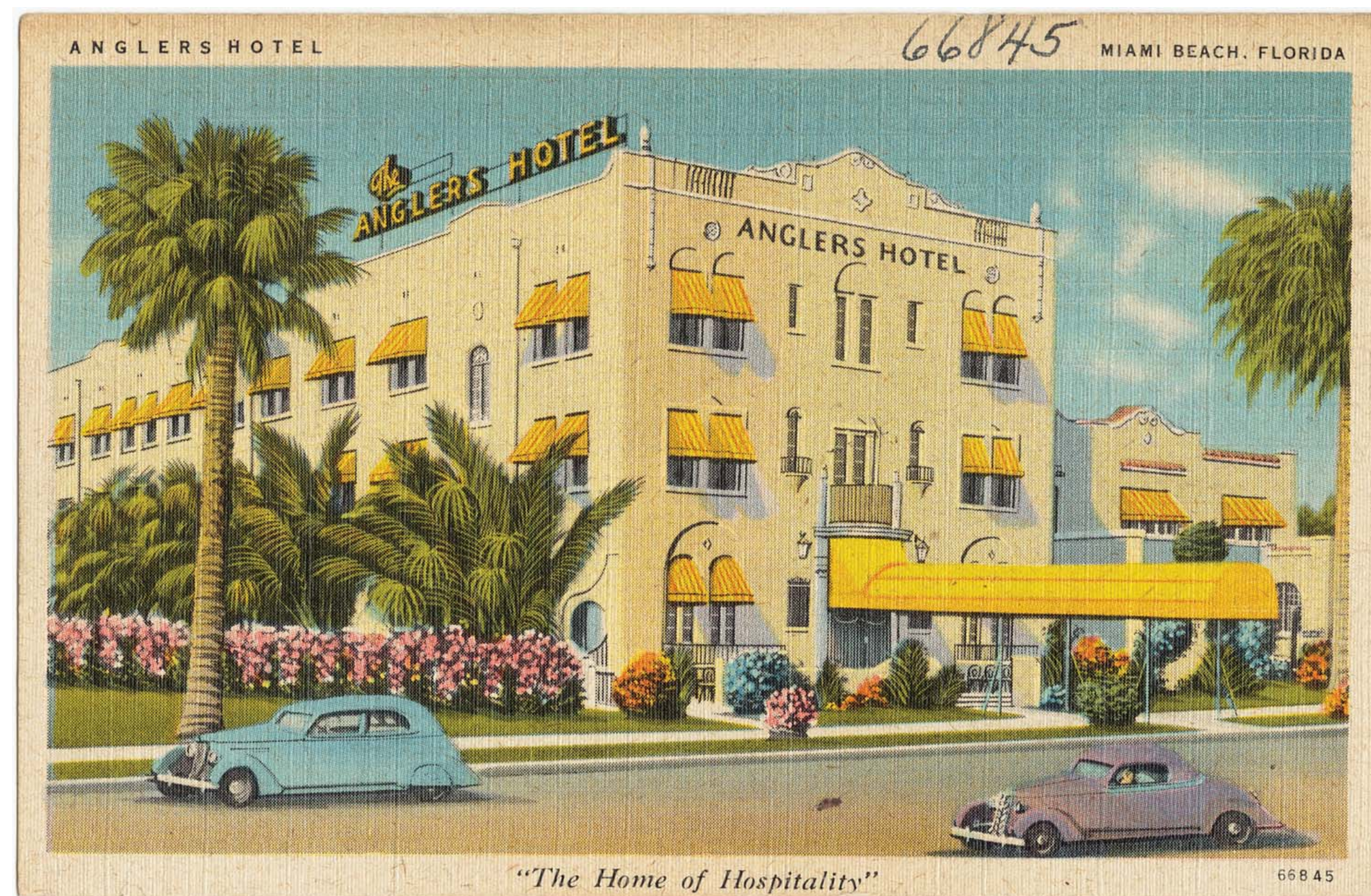
17. Proposed changes in street right of way lines if information is available from the controlling jurisdiction. There is no observed evidence of recent street or sidewalk

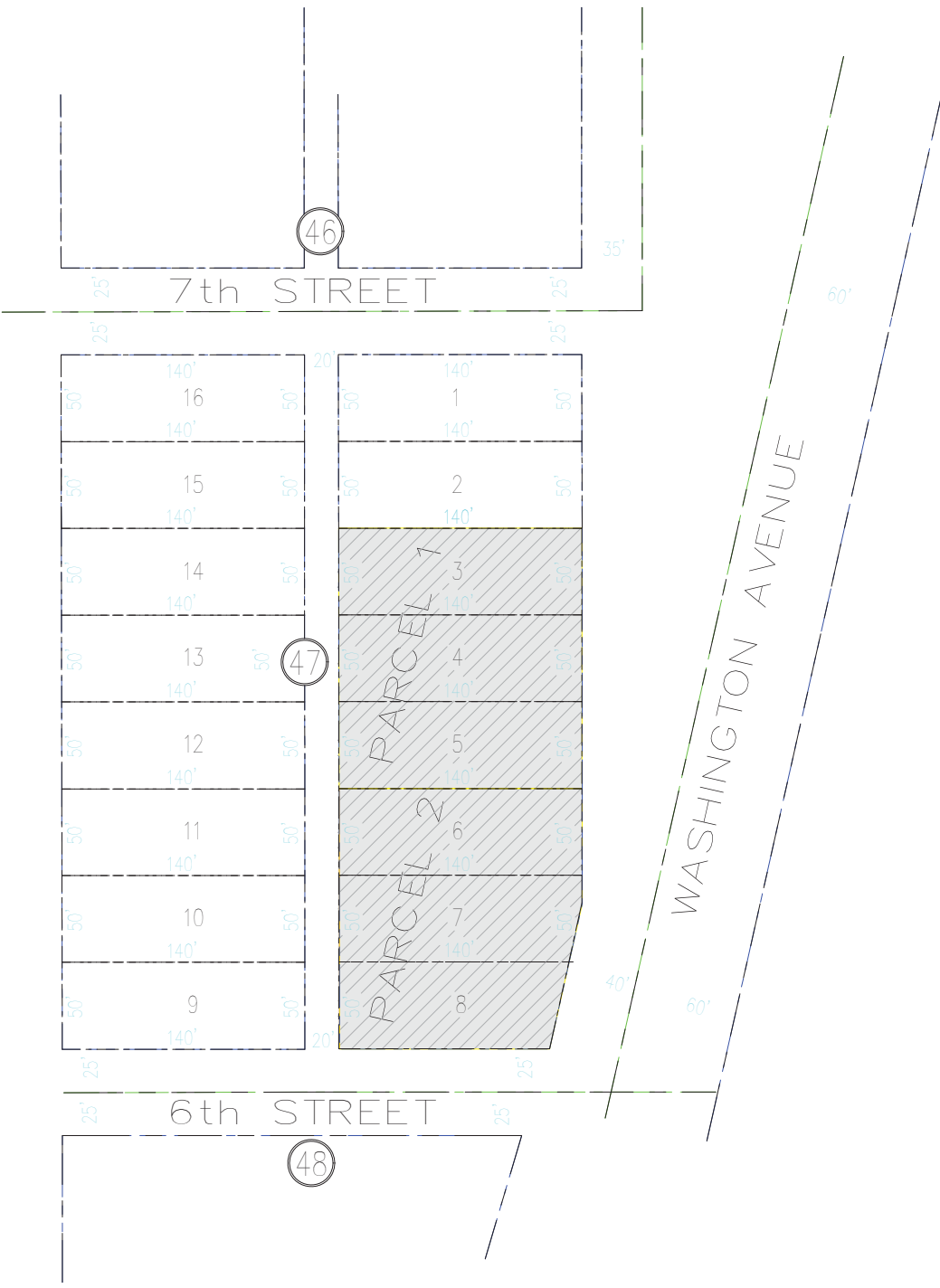
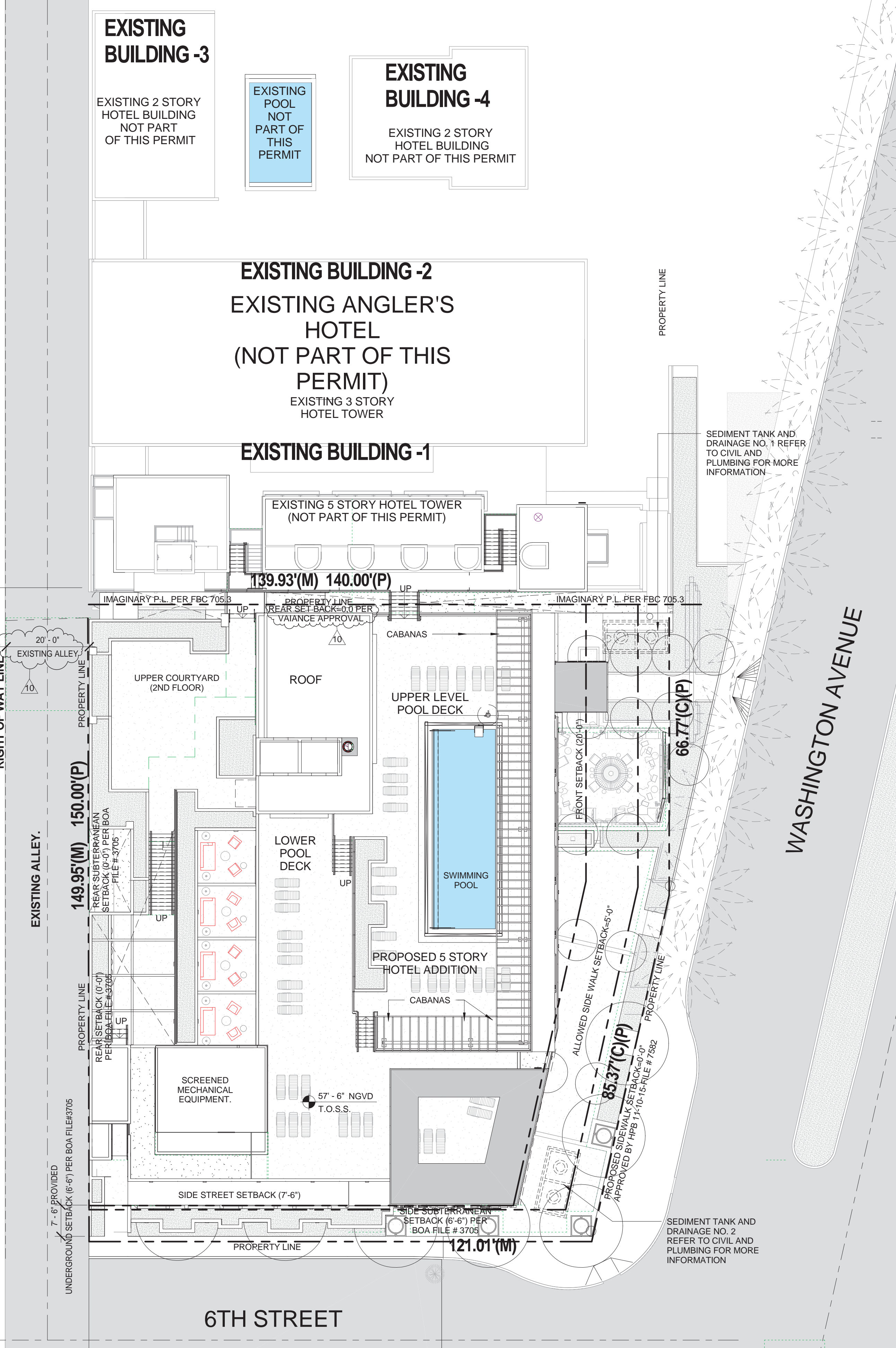
18.	There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill at the time of survey.	Date: 06/27/2013	Project: 2214
19.	There are no observed location of wetland areas as delineated by appropriate authorities at the time of survey.	Scale: 1" = 20'	Checked by: JET
20.	Any offsite utilities are located within dedicated Right of Ways or Platted Alleys.	F.B. 194-13	Drawn by: mly
		Sheet 1 of 1	Sketch: 1826C
		Ref: 2131	

BUILDING	SQUARE FOOTAGE
BUILDING A	1665 SQ. FT.
BUILDING B	1547 SQ. FT.
BUILDING C	5414 SQ. FT.
BUILDING D	2902 SQ. FT.









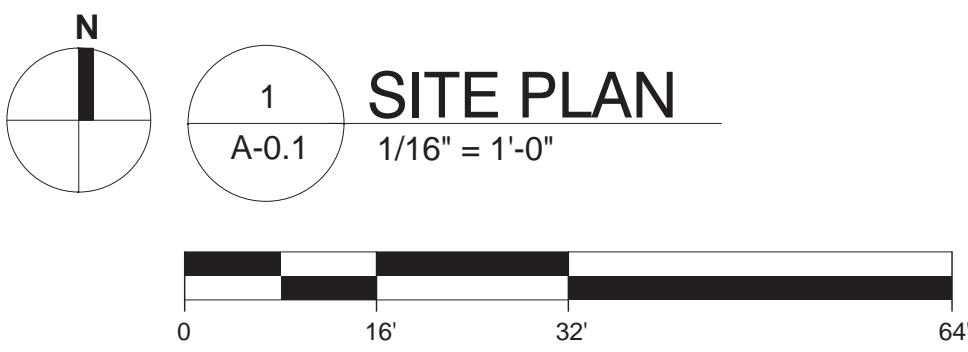
2 SITE LOCATION MAP
A-0.1 1" = 100'-0"

SCOPE:

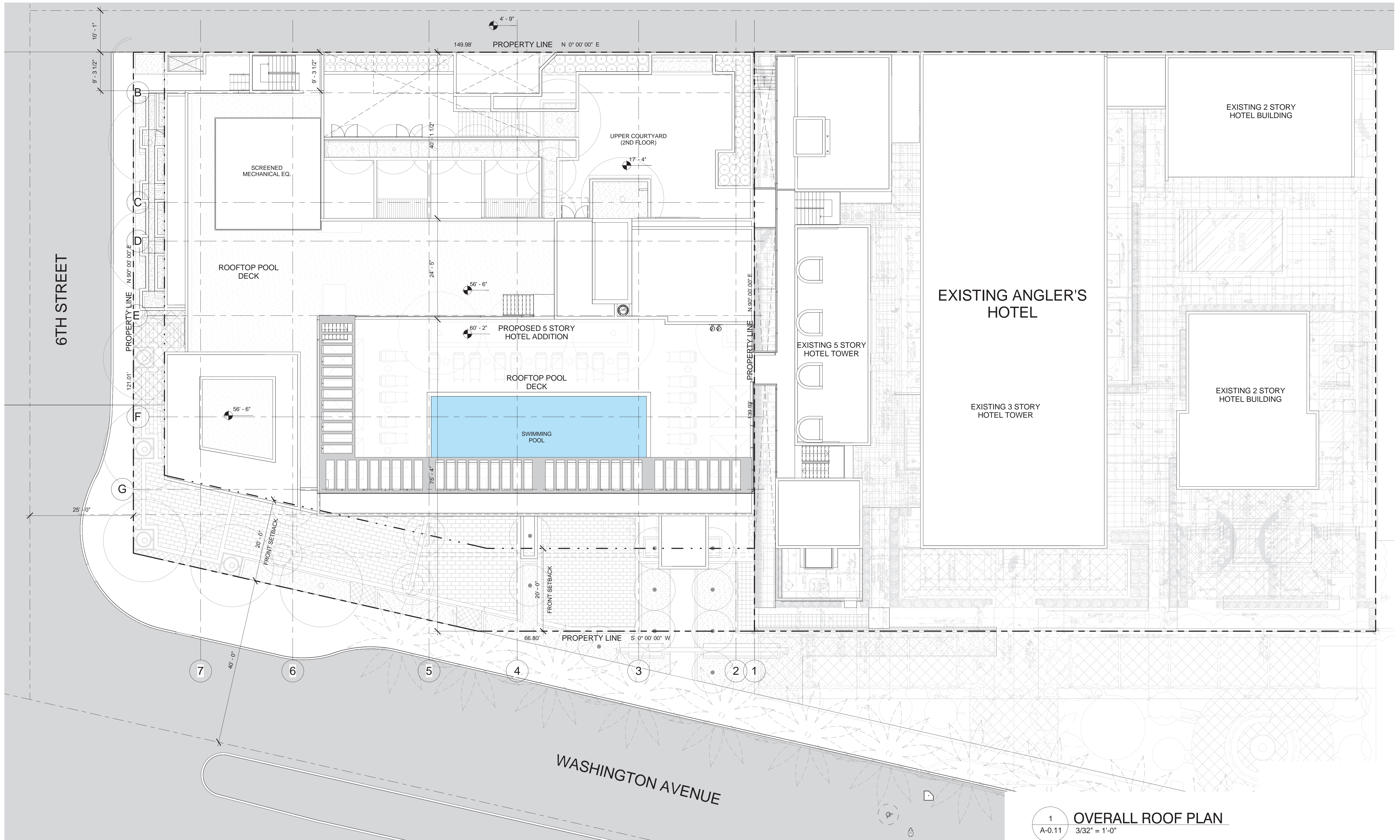
SCOPE OF ARCHITECTURAL PORTION OF PERMIT AS FOLLOWS:

1. REINTRODUCTION OF HISTORIC SIGN

HOTEL GUESTROOMS PER FLOOR LEVEL:	
HOTEL LEVELS	NUMBER OF GUESTROOMS
LEVEL - 100	5 UNITS
LEVEL - 200	17 UNITS
LEVEL - 300	21 UNITS
LEVEL - 400	21 UNITS
LEVEL - 500	21 UNITS
LEVEL - 600	NONE
TOTAL NUMBER OF UNITS = 85	



ZONING ANALYSIS				
ZONING DISTRICT				
RM-2				
LEGAL DESCRIPTION				
LOTS 6, 7 AND 8 BLOCK 47, OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.				
LOT AREA				
	SF	ACRES		
	20,192.73	0.4635		
EXISTING BUILDING FLOOR AREA		ALLOWED	PROVIDED	
		AREA = 42,000	AREA = 32,312	
AVAILABLE FROM EXISTING SITE PER SHEET A0.03.1		42,000 - 32,312= 9,688		
FLOOR AREA		SEC.142-216	ALLOWED	PROVIDED
"RM-2" ZONE: 2.0			40,385.46	
AVAILABLE FROM EXISTING SITE: PER SHEET A0.03.1			9,688.00	49,933
TOTAL MAXIMUM ALLOWED:			50,073.00	
HEIGHT		SEC.142-217	ALLOWED	PROVIDED
			5 STORY/ 50 FT	53'-0" (VARIANCE APPROVED BY BOARD OF ADJUSTMENT 11-10-2015 FILE # 7582)
SETBACKS		SEC.142-218	REQUIRED.	PROVIDED
FRONT			20'	20'-0"
FRONT SIDE WALK SET BACK			15'-0"	0'-0" (VARIANCE APPROVED BY BOARD OF ADJUSTMENT 11-10-2015 FILE # 7582)
FRONT - UNDERGROUND			20'-0"	7'-6" (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 12/05/2014)
SIDE STREET				7'-6" MIN (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 12/05/2014)
SUM OF THE SIDE YARDS SHALL EQUAL 16% OF LOT WIDTH			7'-6" MIN. OR 8% OF LOT WIDTH (WHICHEVER IS GREATER) 8% OF LOT WIDTH = 24'-0"	
SIDE STREET - UNDERGROUND			5'-0" MIN. OR 5% OF LOT WIDTH (WHICHEVER IS GREATER) 5% OF LOT WIDTH = 15'-0"	6'-6" (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 06/09/2015)
SIDE STREET SIDEWALK SET BACK			5'-8"	0'-0" (VARIANCE APPROVED BY BOARD OF ADJUSTMENT 11-10-2015 FILE # 7582)
REAR			10% OF LOT DEPTH = 14'-0"	0'-0" (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 12/05/2014)
REAR - UNDERGROUND			NON-OCEANFRONT LOTS—0'-0"	0'-0"
PARKING			REQUIRED	PROVIDED
HOTEL USE				
For Hotels less than 100 Units, 1/2 Space per Unit.* (Per City of Miami Beach Ordinance # 130-339(4))			42.5	43
RETAIL				
1 Space per 400SF, minus 7.5 SF per Unit.= (2,465, SF) - (85 units x 7.5SF)=2,465 - 637.5 / 400 =			4.6	5
MEETING ROOM				
FOR REGISTERED HOTEL GUEST USE ONLY			0	0
BAR				
1 Space Per 4 Seats , minus 1 seat for every 2 Units.			6.4	6
Total number of Seats = 68				
Total number of Rooms=85				
85 /2 = 42.5				
Total parking req.=(68-42.5) /4 = 6.38			53.5 (54)	54
TOTAL				
100% VALET PARKING			TANDEM SPACE ALLOWED	TRIPLE SPACE (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 12/05/2014)



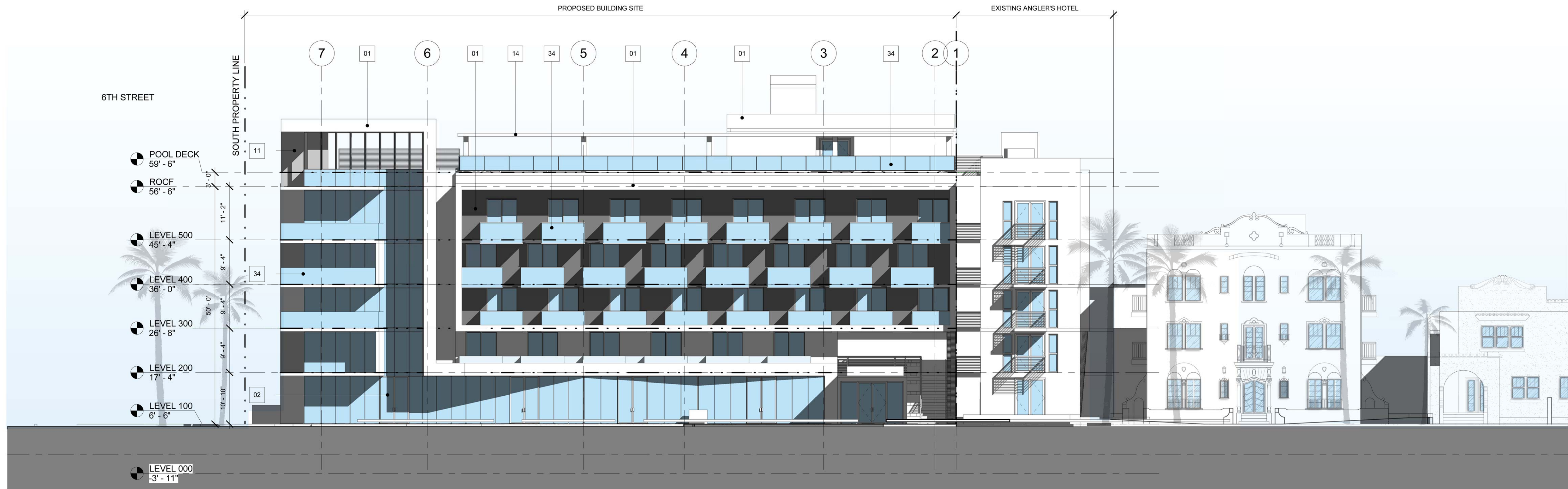
1 OVERALL ROOF PLAN
A-0.11 3/32" = 1'-0"



1 OVERALL EAST ELEVATION
A-2.0 1/16" = 1'-0"



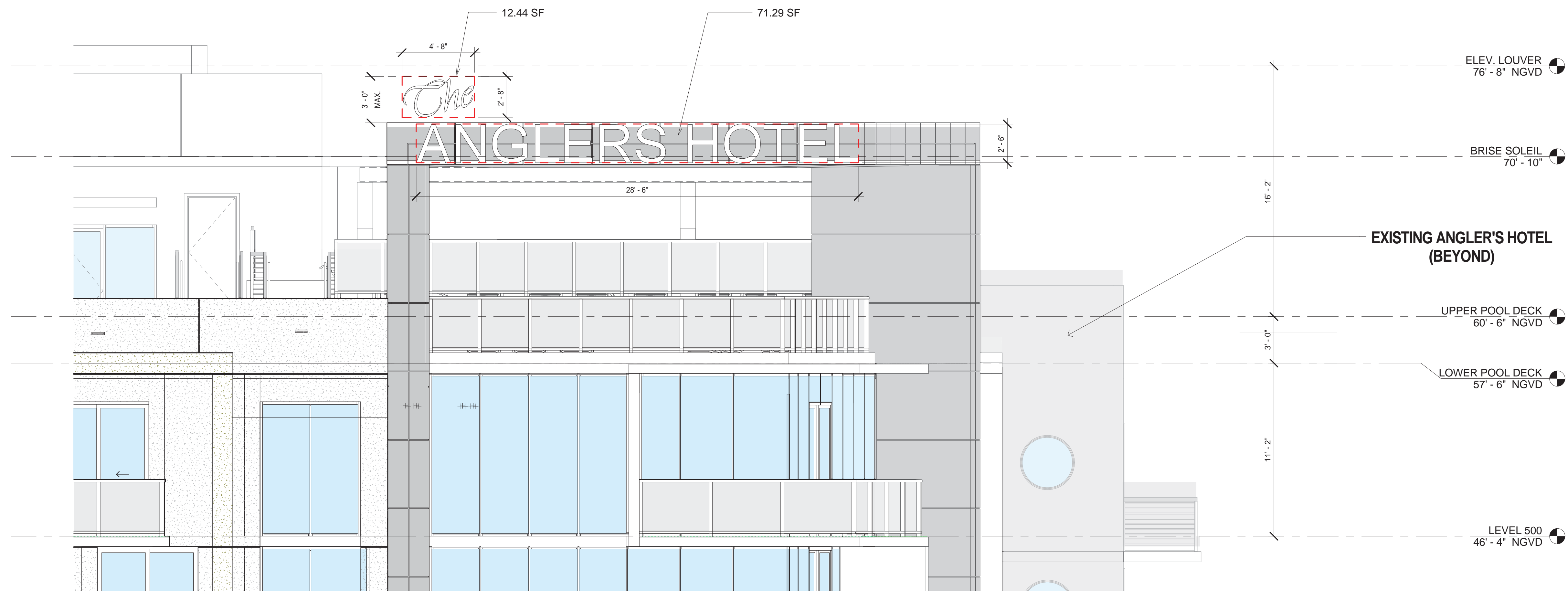
2 OVERALL SOUTH ELEVATION
A-2.0 1/16" = 1'-0"



1
A-2.1
ENLARGED EAST ELEVATION
3/32" = 1'-0"

KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM WINDOW/DOOR WALL ASSEMBLY W/KYNAR FIN. W/LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM GLASS DOOR ASSEMBLY W/KYNAR FIN. W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS; PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
09	ALUMINUM EXTRUDED HORIZONTAL VISION BARRIER GRILL.
11	ALUMINUM COMPOSITE MATERIAL BUILDING PANEL W/ KYNAR FINISH.
14	EXTRUDED ALUMINUM TRELLIS SYSTEM WITH KYNAR FINISH. COLOR TO BE SELECTED BY ARCHITECT; PROVIDE SHOP DWGS. AND PRODUCT SAMPLES TO ARCHITECT FOR REVIEW. DESIGNED TO MEET WIND LOAD REQUIREMENTS (REFER TO STRUCT. DRAWINGS FOR WIND LOADS).
15	STAINLESS STEEL CABLE RAILING SYSTEM - 3" DIA. IPE WOOD HANDRAIL WITH 1/4" DIA. 1X19 TYPE 316 STAINLESS STEEL HORIZONTAL CABLES (TO RESIST A 4" DIAM. OBJECT) AND TYPE 316 STAINLESS STEEL BAR VERTICAL POST SET IN GROUT. SYSTEM TO MEET REQUIREMENTS OF THE FLORIDA BUILDING CODE.
34	ALUMINUM/GLASS GUARDRAIL ASSEMBLY: KYNAR FINISH AND 9/16" LAMINATED GLASS; DESIGNED TO MEET THE WIND LOAD REQUIREMENTS (REFER TO STRUCT. DRAWINGS FOR WIND LOADS).

2
A-2.1
ENLARGED SOUTH ELEVATION
3/32" = 1'-0"

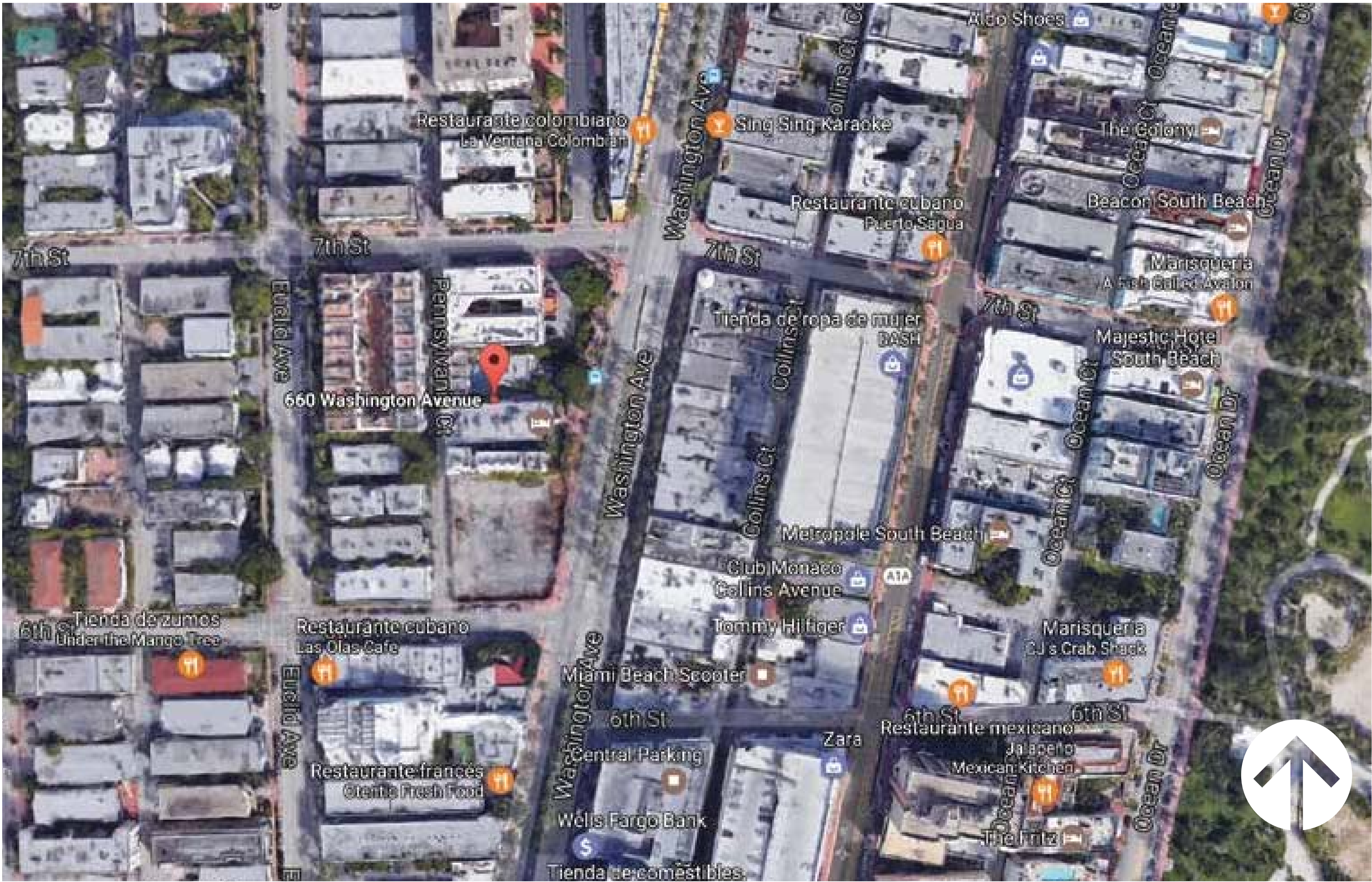
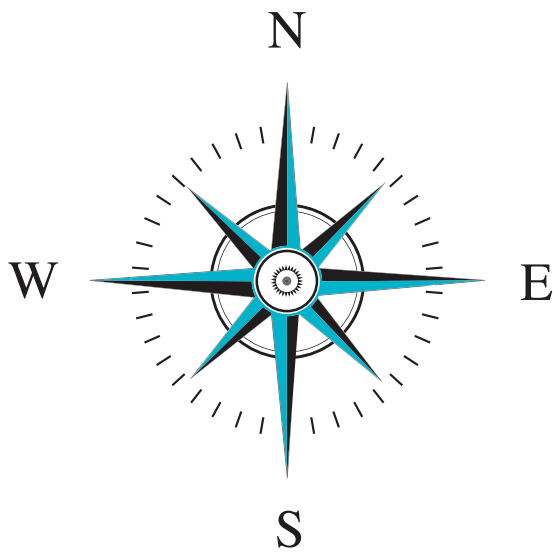


BUILDING FACADE ON 6TH STREET = 98'-4"
 ALLOWED SIGNAGE AREA = 98'-4" X .75 = 73.72 SF
 PROPOSED SIGN AREA = 83.73 SF
 * REINTRODUCTION OF HISTORIC SIGN

1
 A-0.4 SIGNAGE DIMENSIONS
 1/4" = 1'-0"

PERMIT DRAWING

The Anglers Hotel
Top View



AERIAL VIEW

540 W. 83 Street
Hialeah, FL 33014
305-362-3333

www.acusigns.com

Project:
THE ANGLERS HOTEL

Address:
660 Washington Ave,
Miami Beach, FL 33139

Account Manager:
Andrew Merrill Facio

Designer:
Martin Rodger

Scale:
N.T.S.

Date:
8/14/2017

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MEMBER OF

No.

Sheet:
1 of 6

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DATE: / /2017

BY: (PLEASE PRINT NAME)

SIGNATURE

General Notes: ❶ Design is in accordance with the requirements of the Fla Bldg Code 5th Ed (2014) for use within & outside the High Velocity Hurricane Zone (HVHZ). ❷ This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. ❸ Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. ❹ Aluminum extrusions shall be 6063-T6 or stronger, unless noted otherwise.

CHRISTIAN LANGLEY
LICENSE

Christian Langley
Florida PE #67382
Cert of Auth #31124

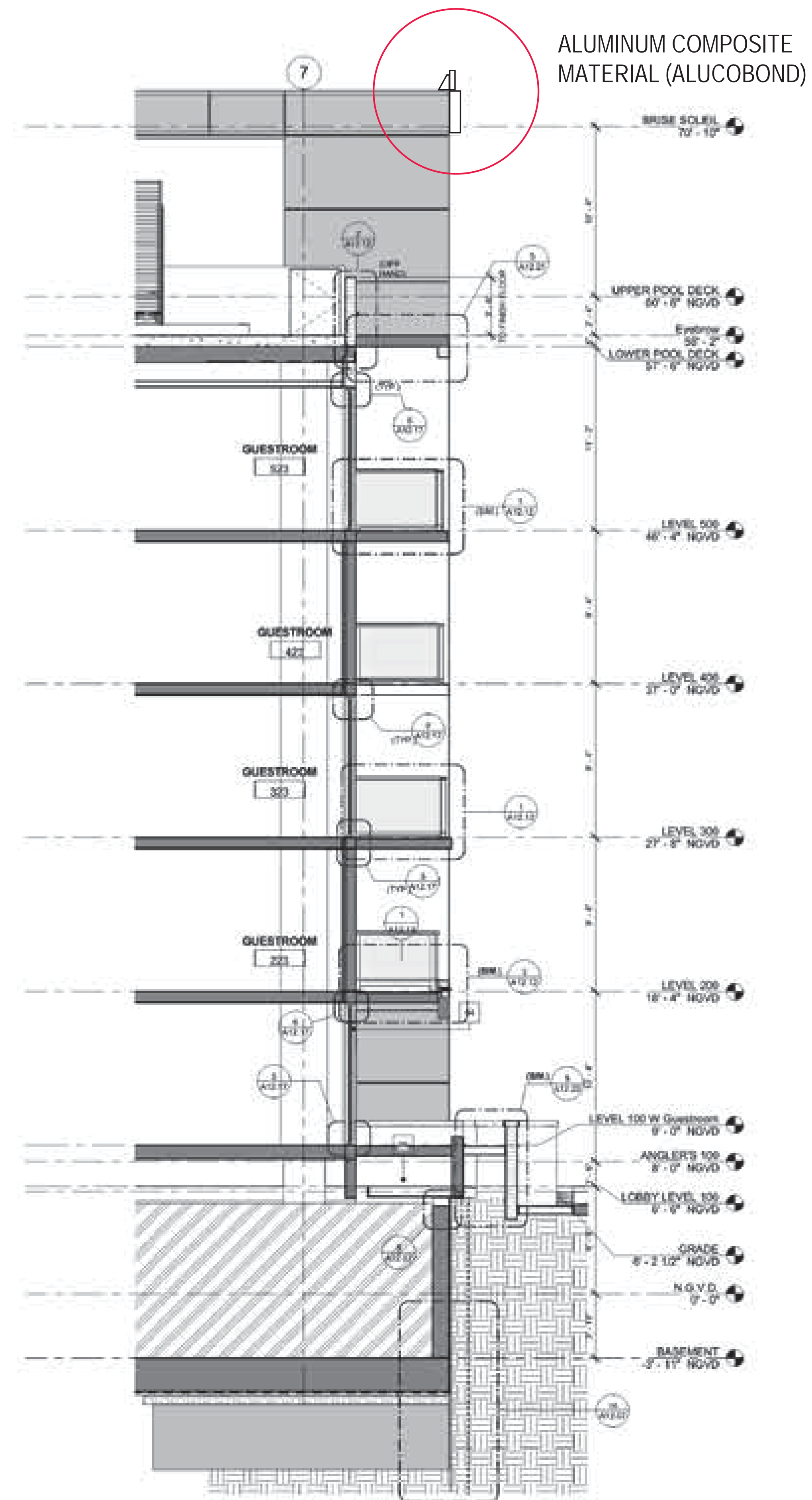
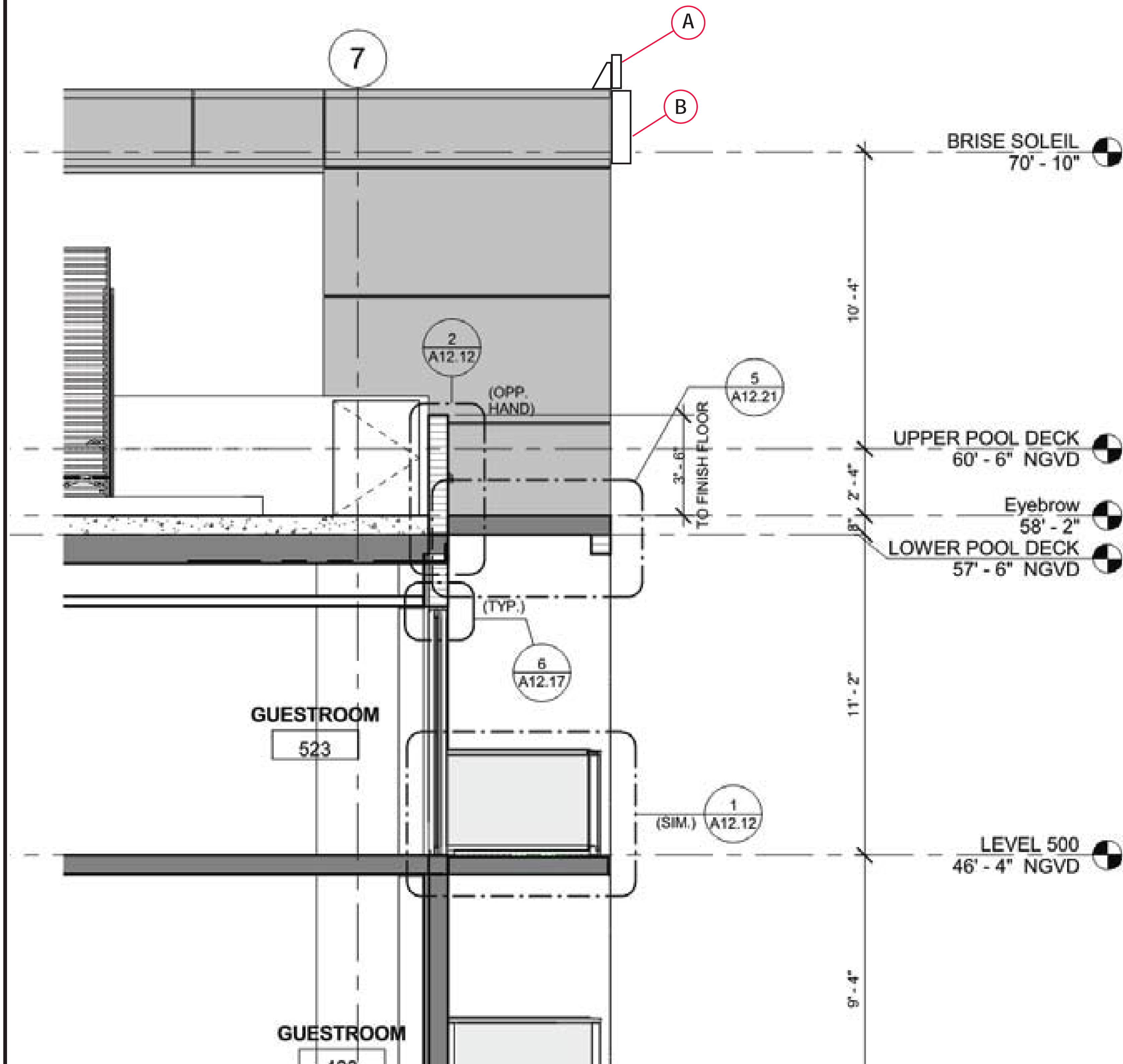
1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113

ASCE 7-10 • V=175 mph • Risk Category 2 Struct. • WIND LOADS: • Exposure 'D' • ASD Load Coeff = 0.6

Wall components & cladding: • Zone 4: ± 49.6 psf • Zone 5: ± 99.2 psf

• Sign Height = 80 ft max • Kzt=1.0, Kd=0.85, G=0.85

The Anglers Hotel Building Side View



Date:
8/14/2017

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WIND LOADS: • Exposure 'D' • ASD Load Coeff = 0.6 • Kzt=1.0, Kd=0.85, G=0.85 • Risk Category 2 Struct. • Sign Height = 80 ft max • V=175 mph

ASCE 7-10 • Zone 4: ± 49.6 psf • Zone 5: ± 99.2 psf

wall components & cladding:


 AUG 17 2017
 JOHNNIE'S SIGNATURE
 Florida PE #67382
 Cert of Auth #31124

PERMIT DRAWING

The Anglers Hotel
Channel Letters and Open Face Channel Letter with Neon

QUANTITY 1

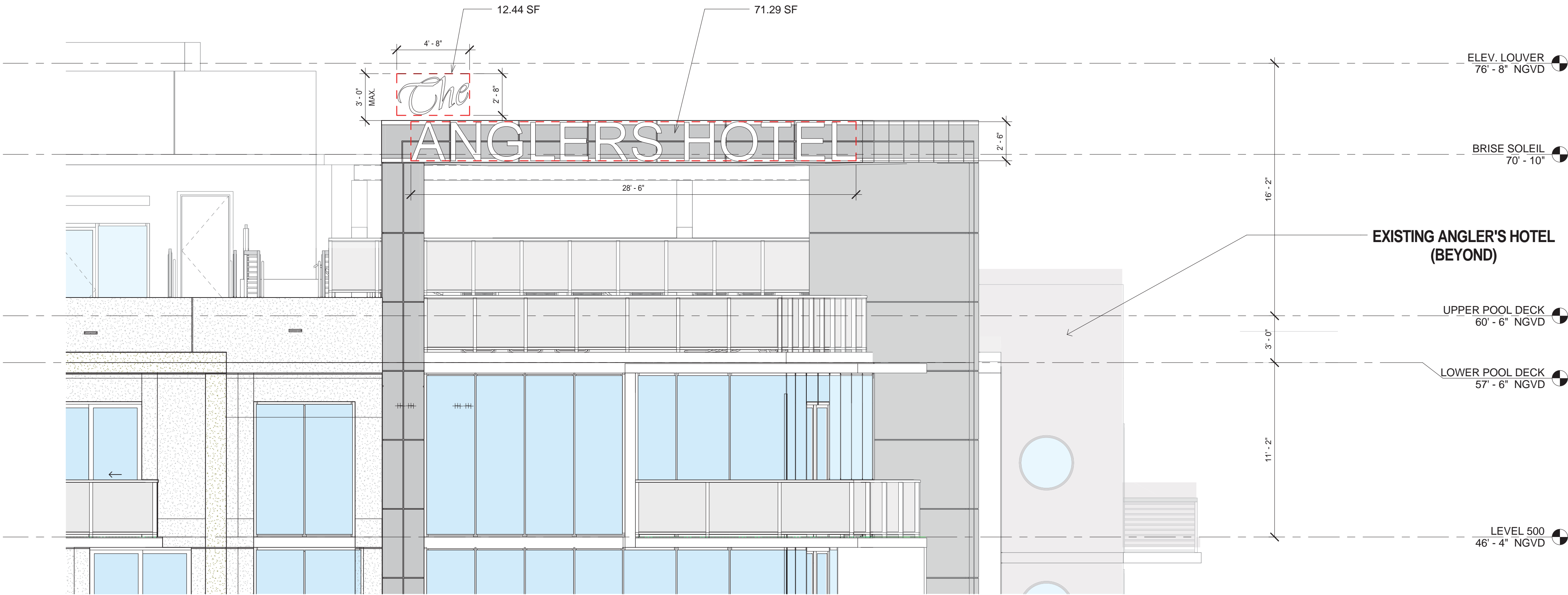
CITY MAX. ALLOWED SQ FT:
PROPOSED SQ FT: 83.73

VECTORIZED LOGO: YES

FABRICATION NOTES:
A) ALUMINUM CHANNEL LETTER PAINTED BLACK
FACE: ACRYLIC FACES WITH BLACK DAY/NIGHT VINYL
RETURN DEEP SIZE: 3"
STROKE: 1.5"
TRIM COLOR: BLACK
MOUNTING: WITH BRACKETS
ILLUMINATION: RED LEDS

B) ALUMINUM OPEN FACE CHANEL LETTERS WITH NEON
RETURN DEEP SIZE: 6"
STROKE: 3.5"
MOUNTING: FLUSH TO WALL
ILLUMINATION: 10 MM RUBY RED NEON

COLOR
■ PMS NEUTRAL BLACK C



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------------------	--------------------

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No.	Sheet: 4 of 6
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DATE: / /2017

BY: (PLEASE PRINT NAME)

SIGNATURE

General Notes: ❶ Design is in accordance with the requirements of the Fla Bldg Code 5th Ed (2014) for use within & outside the High Velocity Hurricane Zone (HVHZ). ❷ This engineering certifies only the structural integrity of those systems, components, and/or other construction explicitly specified herein. ❸ Electrical notes, details, & specifications are provided by and are the sole responsibility of the electrical contractor. No electrical review has been performed and no certification of such is intended. ❹ Aluminum extrusions shall be 6063-T6 or stronger, unless noted otherwise.

Christian Langley
1200 N Federal Hwy, #200
Boca Raton, FL 33432
1-888-371-3113

FLORIDA PROFESSIONAL SEAL
Professional Engineer
No. 12077
Exp. 12/31/2017
Cert of Auth #31124

Wall components & cladding:
• Sign Height = 80 ft max
• Zone 4: ± 49.6 psf • Zone 5: ± 99.2 psf
• Risk Category 2 Struct.
• V=175 mph
• Exposure 'D'
• ASD Load Coeff = 0.6

ASCE 7-10
WIND LOADS:

PERMIT DRAWING
DETAIL

A) CHANNEL LETTERS
LED ILLUM.

TOTAL OF (2) POWER SUPPLY REQD.
TOTAL OF 5.6 AMPS
Power Requirements: 120V - 20 AMP Circuit

No 12 COPPER WIRE FOR GROUNDING/BONDING
OF SIGN AS PER NEC 250 TIME DEVICE REQUIRED
FOR EACH CIRCUIT PER FBC
IN COMPLIANCE WITH THE "FLA. ENERGY CODE"

ALL ELECTRICAL COMPONENTS ARE UL LISTED
SIGN GROUNDED ACCORDING TO NEC 600

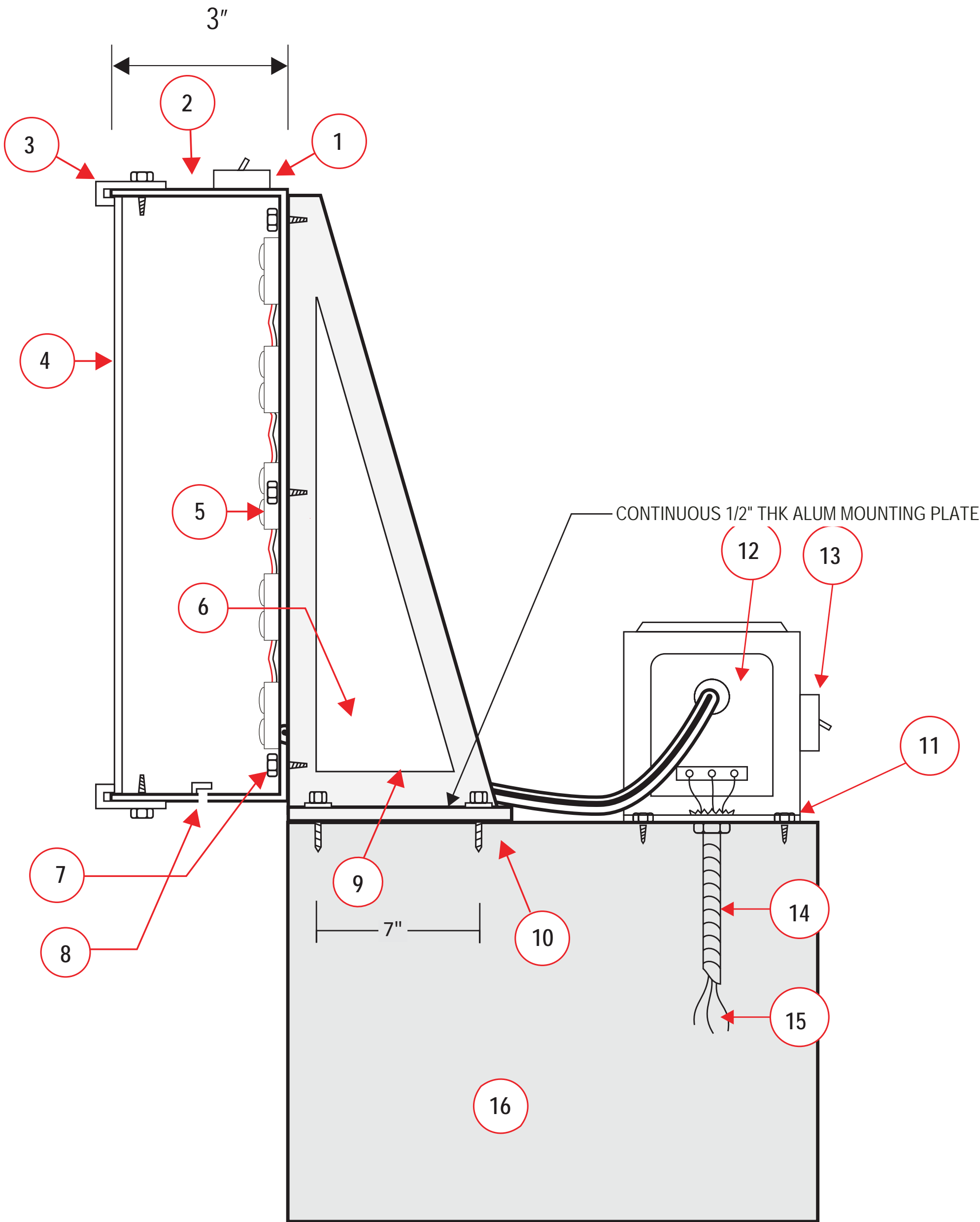
ELECTRICAL INFORMATION
2- C2240 POWER SUPPLY @ 2.8 AMPS EACH

TOTAL LOAD = 5.6 AMPS
1 - 20 AMP CIRCUIT REQUIRED
1 - 20 AMP DISCONNECT SWITCH
1/2" FLEX CONDUIT WITH 3 THWN WIRES
TO EXISTING PRIMARY LINE BY OTHERS
TIME DEVICE BY OTHERS
SIGN BEARS MANDATORY UL LABELS SIGN
GROUNDING AND BONDING AS PER NEC 250
CIRCUIT # 8

THIS PRODUCT IS LISTED BY UNDERWRITERS
LABORATORY AND BEARS THE LABELS.

DETAILS

- 1-20 AMP EXTERIOR DISCONNECT SWITCH
- CHANNEL LETTERS .090 ALUM. BACKS & .063 SIDES
- 1" JEWELITE W/ S.M.S. @ 8" C'S.
- 3/16" PLASTIC FACES 12 V L.E.D.
- 12 V L.E.D.
- 1/2" FLEXIBLE CONDUIT (SECONDARY)
- #10 x 3/4 SELF TAPPING SCREWS: MIN (5) PER LETTER
- WEEP HOLES (IF APPLICABLE)
- 1-1/2" X 1-1/2" X 3/16" ALUMINUM ANGLE.
- 3/8" TOGGLE BOLTS TO ACM PANELS:
(6) PAIRS SPACED 7" APART = (12) ANCHORS TOTAL
- #10 x 3/4 SELF TAPPING SCREWS (4)
- L.E.D POWER SUPPLY (LOW VOLTAGE)
- 20 AMP DISCONNECT SWITCH
- HALF INCH (1/2") CONDUIT W/ #12 THW PRIMARY WIRE
- PRIMARY WIRE (EXIST. ELECT. BY OTHERS)
- 4MM ACM PANEL (ALUCOBOND) ON METAL
STUD-FRAMED STRUCTURE



ELECTRICAL INFO

"CODES IN EFFECT" NEC 2011 AND FBC2014 (5TH Edition)
EACH SIGN WILL HAVE ITS OWN DEDICATED CIRCUIT.
NO OTHER LOADS WILL BE SUPPLIED BY THE SIGN CIRCUIT PER NEC 600.5(A).
EACH SIGN WILL HAVE A DISCONNECT SWITCH IN VIEW.
ALL SIGNAGE WILL BE CONTROLLED BY A ASTRONOMICAL TIME WITH
A MIN 10 HOURS OF BACK-UP PER NEC 600.6 & FBC 13-415.AB.1.4

OPTIONAL MEANS OF SIGNAGE DISCONNECTION
(1) DISCONNECT SWITCH on an individual channel letter(all types) or cabinet sign (all types)
(2) DISCONNECT SWITCH on the wall (any type), eyebrow, hanging slab, canopy mansored roof...
(3) LOCK-OUT SWITCH at the existing circuit breakers(s) inside of property
(4)TIME MANAGEMENT SYSTEM as utilized to control all lighting/signs/other appliances as utilized by a store/place of business...

SIGN MARKINGS:
(A) Signs and outline lighting systems. Signs and outline lighting systems shall be marked with the manufacturer/s name, trademark, or other means of identification; and input voltage and current rating.
(B) Signs with lampholders for incandescent lamps. Signs and outline lighting systems with lampholders for incandescent lamps shall be marked to indicate the maximum allowable lamp wattage per lampholder. The markings shall be permanently installed, in letters at least 6 mm (1/4 in.) high, and shall be located where visible during relamping.
(C) Section Signs. Section Signs shall be marked to indicate that field-wiring ans installation instructions are required. The electrical connections to same are under a different permit.

CLIENT APPROVAL

☐ APPROVED AS SHOWN
☐ APPROVED WITH CHANGES
☐ DISAPPROVED

DATE: / /2017

BY: (PLEASE PRINT NAME)

SIGNATURE

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Hialeah, FL 33014
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Account Manager:
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N.T.S.

Date:
8/14/2017

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No. Sheet:
5 of 6

PERMIT DRAWING
DETAIL

B) OPEN FACE CHANNEL LETTERS
NEON ILLUM.

TOTAL OF (2) TRANSFORMERS
TOTAL OF 5.6 AMPS
Power Requirements: 120V - 20 AMP Circuit

No 12 COPPER WIRE FOR GROUNDING/BONDING
OF SIGN AS PER NEC 250 TIME DEVICE REQUIRED
FOR EACH CIRCUIT PER FBC
IN COMPLIANCE WITH THE "FLA. ENERGY CODE"

ALL ELECTRICAL COMPONENTS ARE UL LISTED
SIGN GROUNDED ACCORDING TO NEC 600

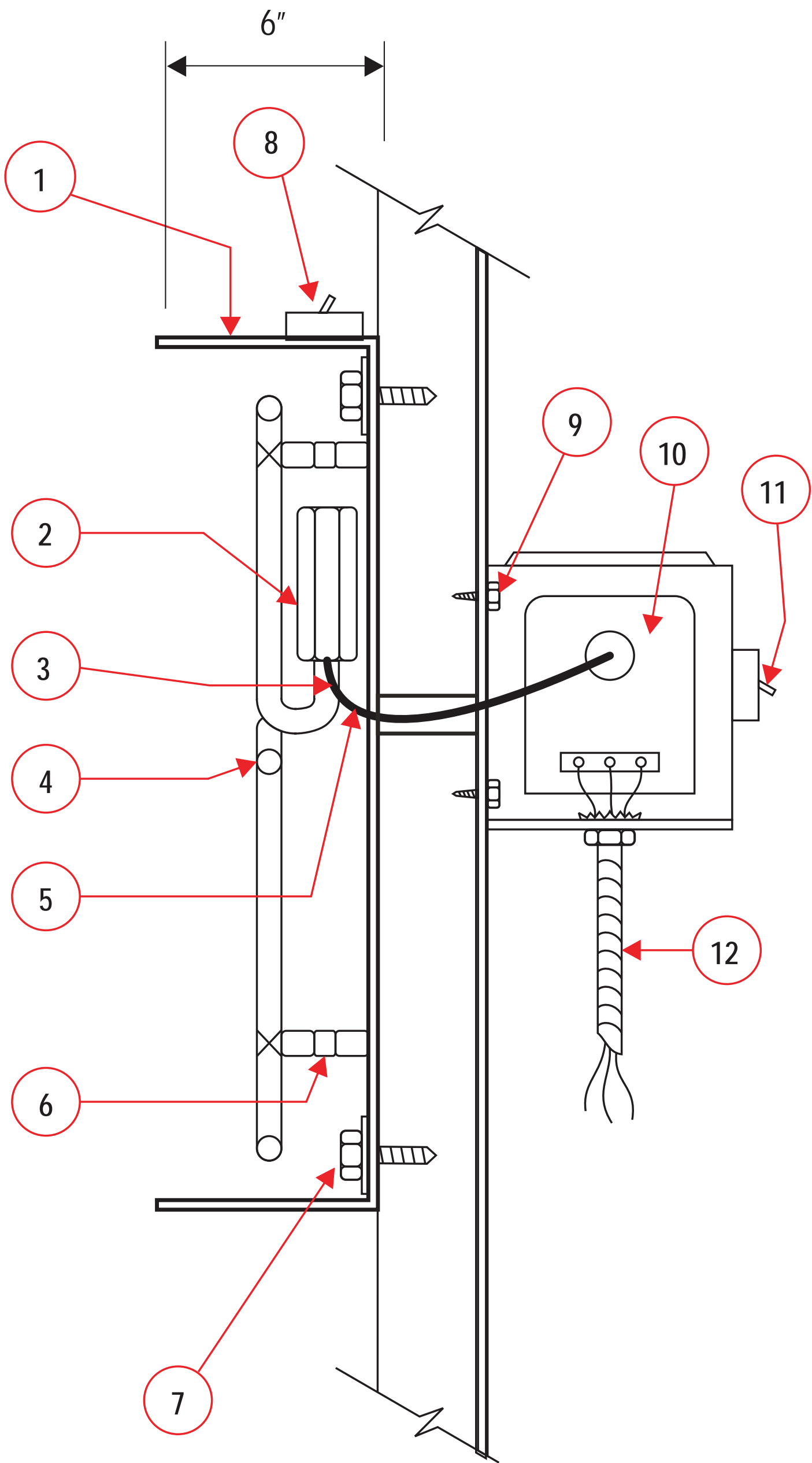
ELECTRICAL INFORMATION
2- TRANSFORMERS @ 2.8 AMPS EACH

TOTAL LOAD = 5.6 AMPS
1 - 20 AMP CIRCUIT REQUIRED
1 - 20 AMP DISCONNECT SWITCH
1/2" FLEX CONDUIT WITH 3 THWN WIRES
TO EXISTING PRIMARY LINE BY OTHERS
TIME DEVICE BY OTHERS
SIGN BEARS MANDATORY UL LABELS SIGN
GROUNDING AND BONDING AS PER NEC 250
CIRCUIT # 8

THIS PRODUCT IS LISTED BY UNDERWRITERS
LABORATORY AND BEARS THE LABELS.

DETAILS

- 1 .063 SIDES AND BACK (RIVETED)
- 2 ELECTRODES
- 3 NEON END CAPS
- 4 NEON TUBE 12MM
- 5 1/2 CONDUIT W/ 15000 KV GTO SECONDARY WIRE (RATED FOR 105")
- 6 GLASS TUBE SUPPORT
- 7 1/4" TOGGLE BOLTS: MIN (4) PER LETTER TO 4MM ACM PANEL (ALUCOBOND) ON METAL STUD-FRAMED STRUCTURE
- 8 20 AMP DISCONNECT SWITCH (IN VIEW)
- 9 #10 x 3/4 SELF TAPPING SCREWS (4)
- 10 TRANSFORMER IN TRANSFORMER CAN
- 11 20 AMP DISCONNECT SWITCH
- 12 HALF INCH (1/2") CONDUIT W/ #12 THW PRIMARY WIRE (EXIST. ELECT. BY OTHERS)



ELECTRICAL INFO

"CODES IN EFFECT" NEC 2011 AND FBC2014 (5TH Edition)
EACH SIGN WILL HAVE ITS OWN DEDICATED CIRCUIT.
NO OTHER LOADS WILL BE SUPPLIED BY THE SIGN CIRCUIT PER NEC 600.5(A).
EACH SIGN WILL HAVE A DISCONNECT SWITCH IN VIEW.
ALL SIGNAGE WILL BE CONTROLLED BY A ASTRONOMICAL TIME WITH
A MIN 10 HOURS OF BACK-UP PER NEC 600.6 & FBC 13-415.AB.1.4

OPTIONAL MEANS OF SIGNAGE DISCONNECTION

- (1) DISCONNECT SWITCH on an individual channel letter(all types) or cabinet sign (all types)
- (2) DISCONNECT SWITCH on the wall (any type), eyebrow, hanging slab, canopy mansored roof...
- (3) LOCK-OUT SWITCH at the existing circuit breakers(s) inside of property
- (4)TIME MANAGEMENT SYSTEM as utilized to control all lighting/signs/other appliances as utilized by a store/place of business...

SIGN MARKINGS:

- (A) Signs and outline lighting systems.
Signs and outline lighting systems shall be marked with the manufacturer/s name, trademark, or other means of identification; and input voltage and current rating.
- (B) Signs with lampholders for incandescent lamps.
Signs and outline lighting systems with lampholders for incandescent lamps shall be marked to indicate the maximum allowable lamp wattage per lampholder. The markings shall be permanently installed, in letters at least 6 mm (1/4 in.) high, and shall be located where visible during relamping.
- (C) Section Signs.
Section Signs shall be marked to indicate that field-wiring ans installation instructions are required. The electrical connections to same are under a different permit.

CLIENT APPROVAL

- ☐ APPROVED AS SHOWN
- ☐ APPROVED WITH CHANGES
- ☐ DISAPPROVED

DATE: / /2017

BY: (PLEASE PRINT NAME)

SIGNATURE

540 W. 83 Street
Hialeah, FL 33014
305-362-3333

www.acusigns.com

Project:
THE ANGLERS HOTEL

Address:
660 Washington Ave,
Miami Beach, FL 33139

Account Manager:
Andrew Merrill Facio

Designer:
Martin Rodger

Scale:
N.T.S.

Date:
8/14/2017

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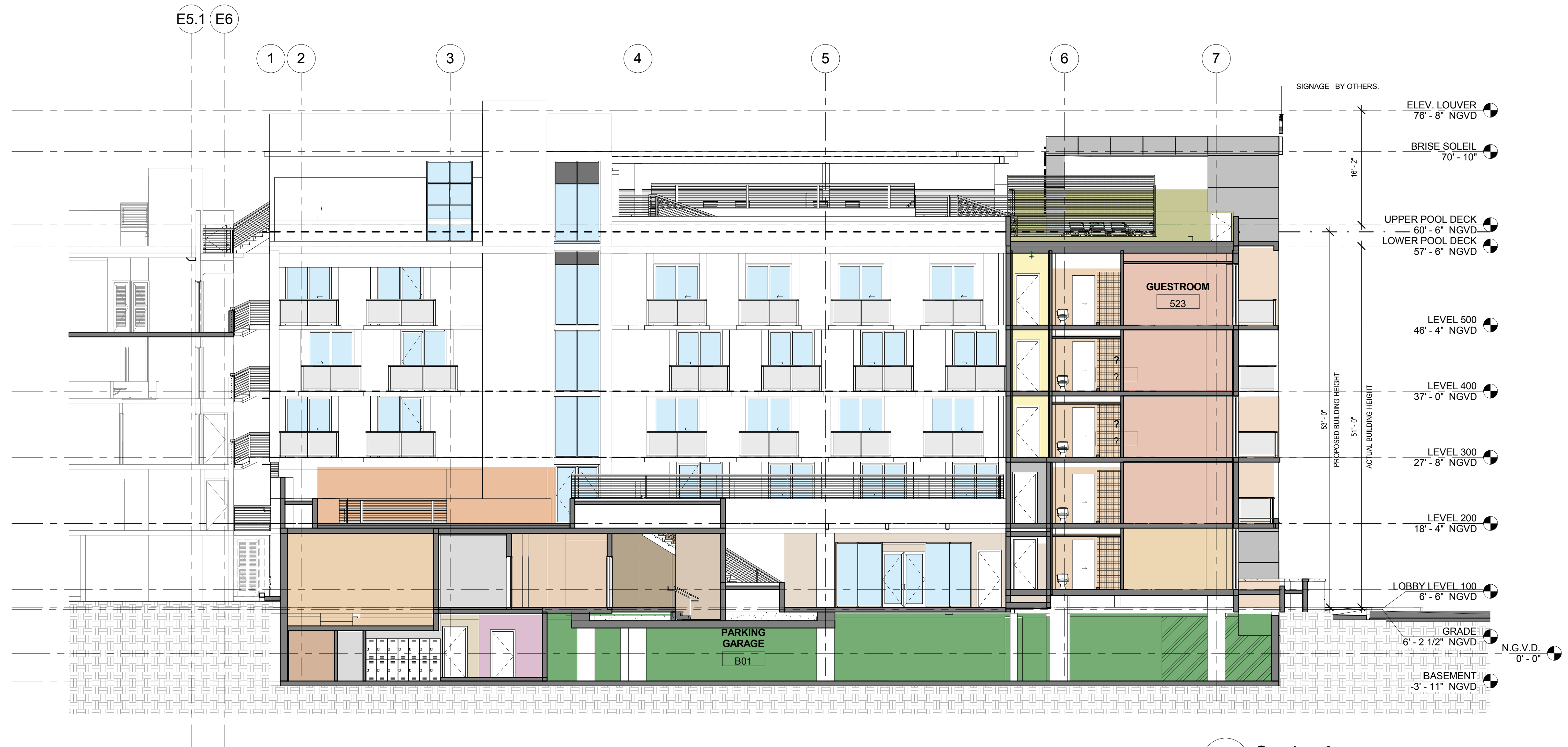


No.

Sheet:
6 of 6

Room Legend

- B.O.H. COMMON AREA
- BALCONY
- BATH
- COURTYARD
- ELECTRICAL ROOM
- EXTERIOR WALKWAY
- GUEST CORRIDOR
- GUESTROOM
- HSKP OFFICE
- LOADING AREA
- LOCKERS
- NOT USED
- PARKING GARAGE
- RAMP
- SERVICE CORRIDOR
- STAIR No.1
- STAIR No.5
- UPPER COURTYARD
- W/D & GLASS WASHER



1 Section 2
A-13.1 1/8" = 1'-0"



1
A-0.3 SOUTH ELEVATION SIGNAGE
1/8" = 1'-0"

