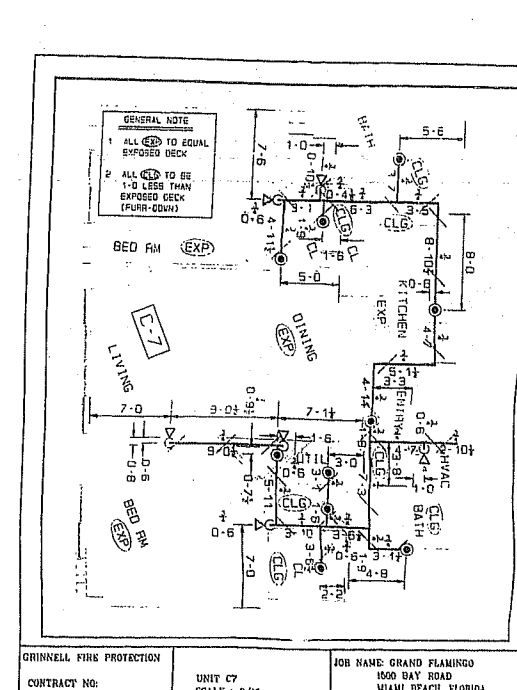
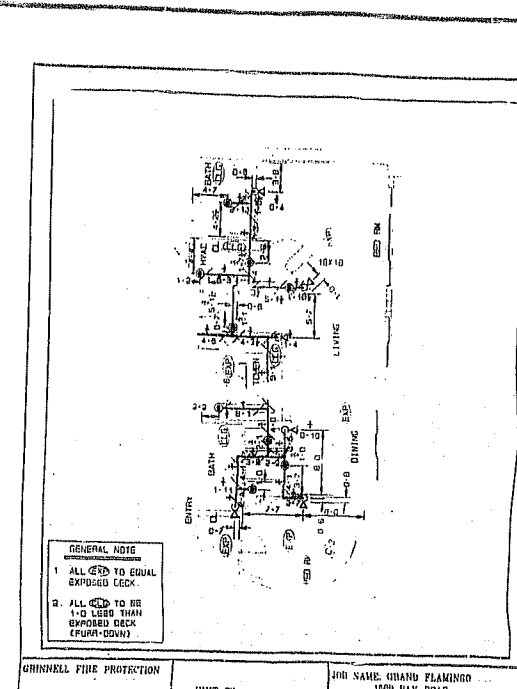
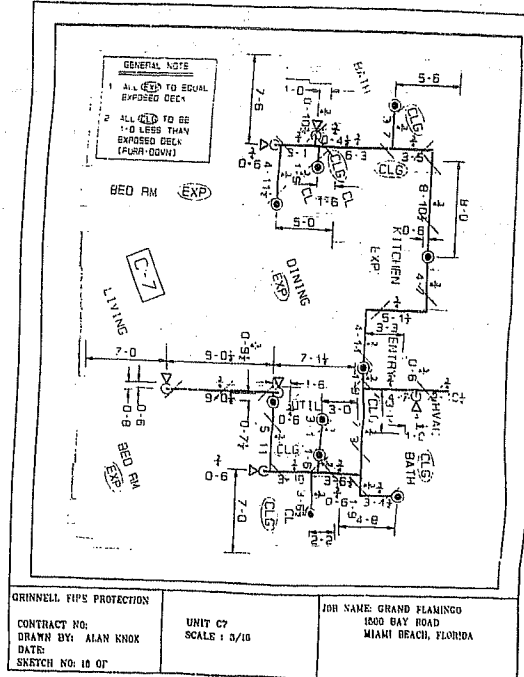
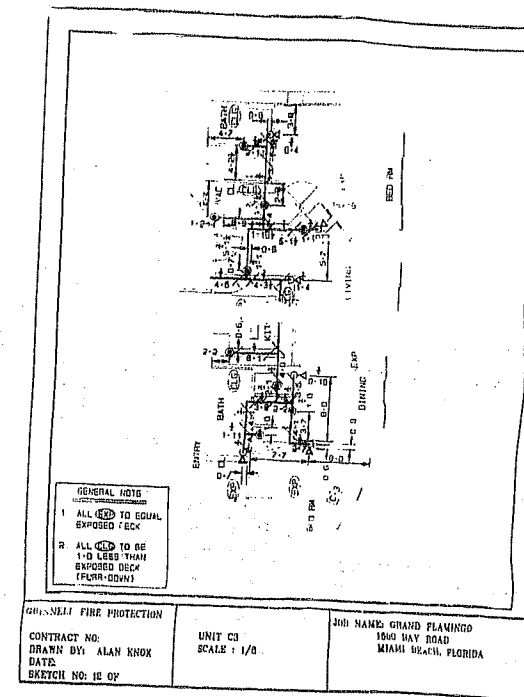
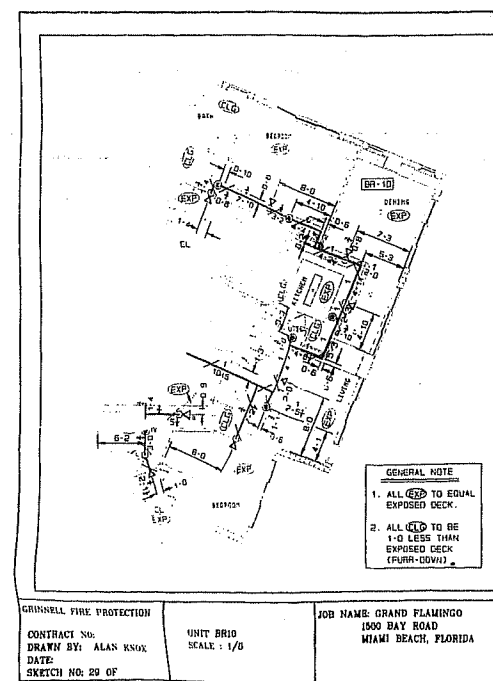
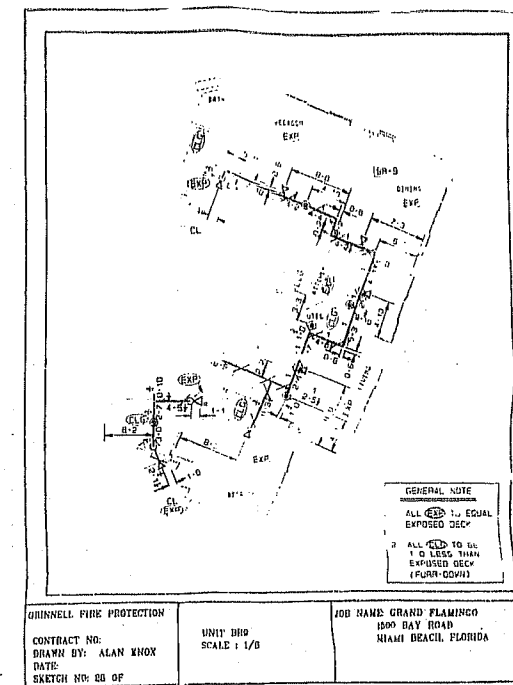
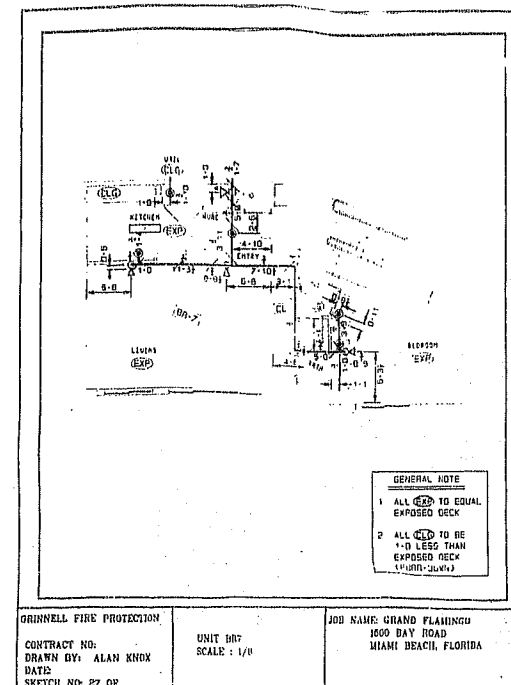
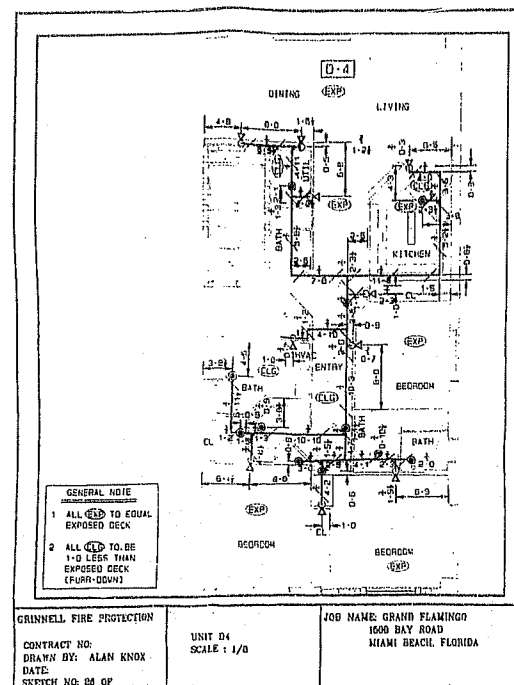
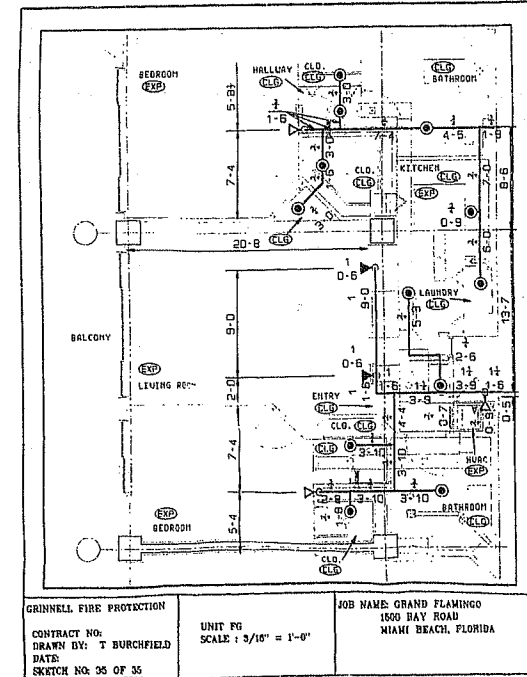
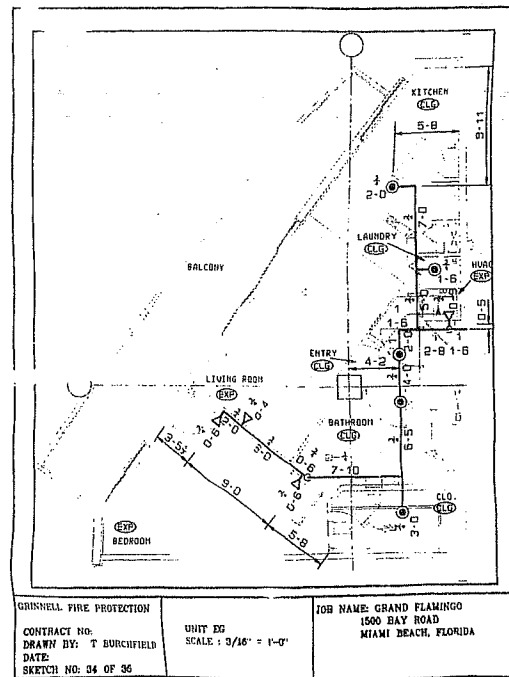
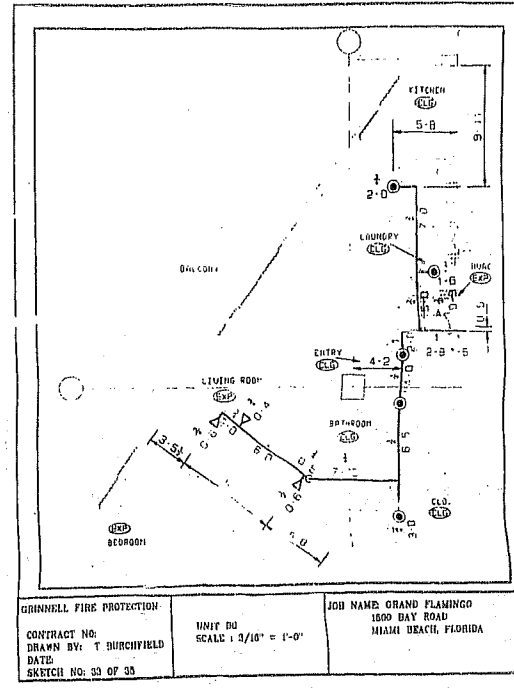
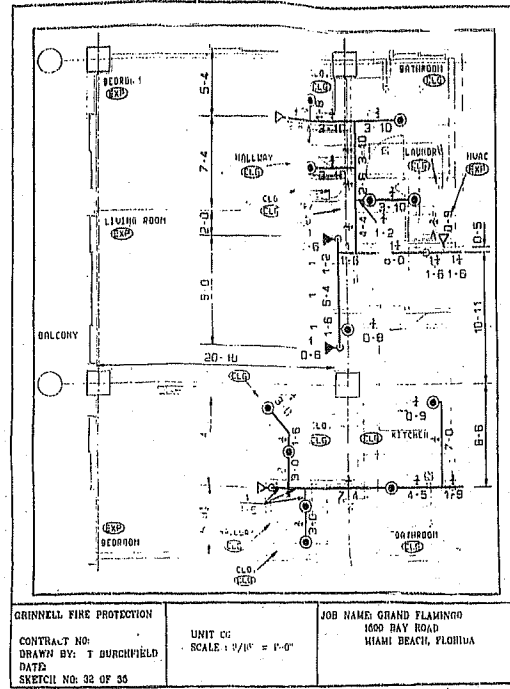
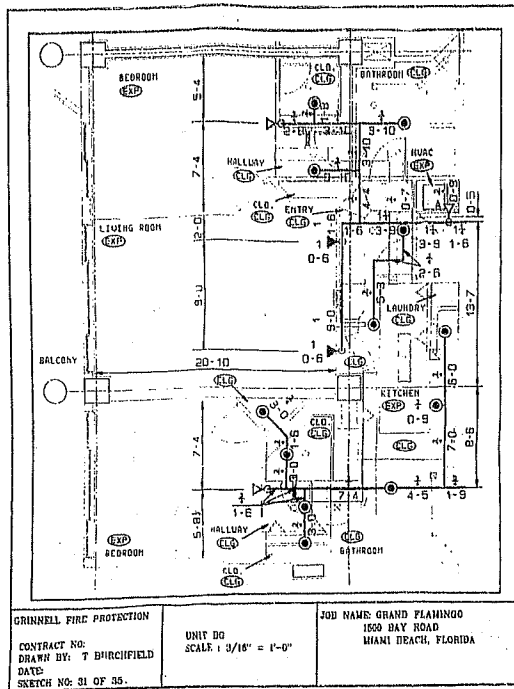


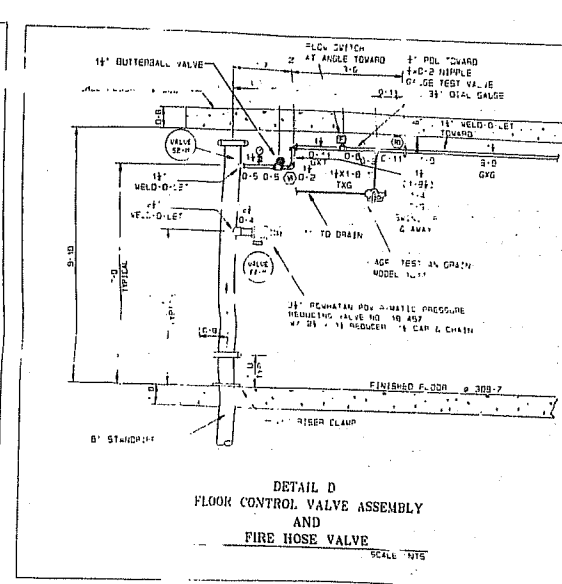
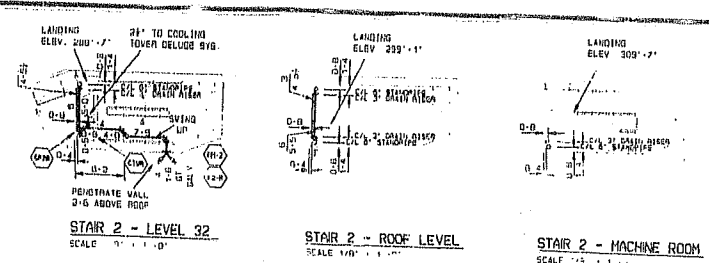
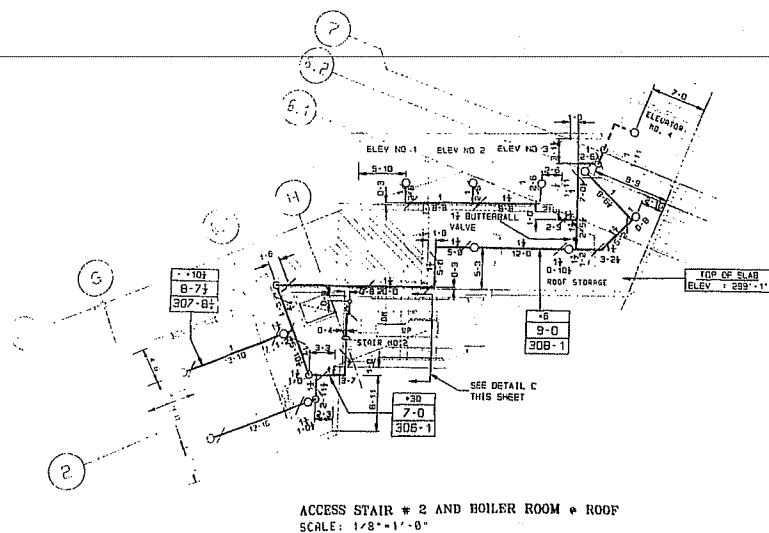
IMPORTANT IN ALL CASES, THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR THE PROPER INTERPRETATION AND APPLICATION OF THE SAME. THE USER SHALL BE RESPONSIBLE FOR THE PROPER INTERPRETATION AND APPLICATION OF THE SAME. THE USER SHALL BE RESPONSIBLE FOR THE PROPER INTERPRETATION AND APPLICATION OF THE SAME.		CONTRACT RESPONSIBILITIES CITY ENGINEERING: [] ARCHITECT: [] ELECTRICAL: [] MECHANICAL: [] PLUMBING: [] FIRE PROTECTION: []		SYMBOLS [] CLG TO EQUAL EXPOSED DECK [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN) [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN) [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN)		SPRINKLERS/NOZZLES [] SPRINKLER [] NOZZLE [] SPRINKLER [] NOZZLE		ABBREVIATIONS [] CLG TO EQUAL EXPOSED DECK [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN) [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN) [] CLG TO BE 1-0 LESS THAN EXPOSED DECK (FURN-DOWN)		REVISIONS [] REVISION [] REVISION [] REVISION		SYSTEM INFO THE GRAND FLAMINGO 1500 BAY ROAD MIAMI BEACH, FLORIDA		AS NOTED [] AS NOTED [] AS NOTED [] AS NOTED	
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[illegible]

[illegible]

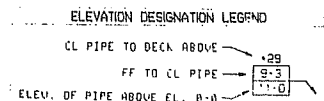
[illegible]

[illegible]



THIS PLAN HAS BEEN REVIEWED FOR THE
APPEARANCE OF ITS HEAD LOCATIONS
AND FOR CONCEALMENT OF PIPE WORK IN
THE CEILING AS REPRESENTED. IT IS
APPROVED FOR INSTALLATION AS SHOWN

OWNER	DATE
ARCHITECT	DATE
GENERAL CONT	DATE



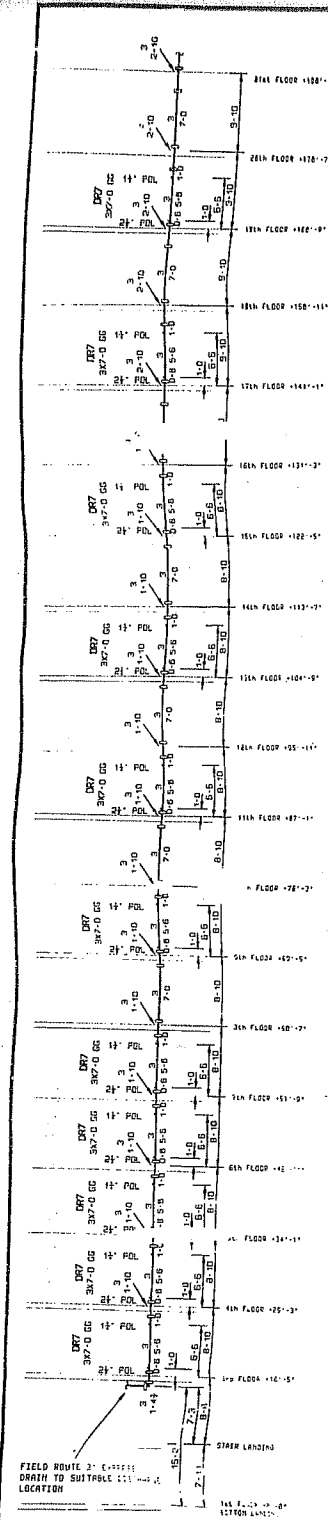
-ALL STEEL PPE LENGTHS ARE CENTER TO CENTER LENGTHS

KEY PLAN

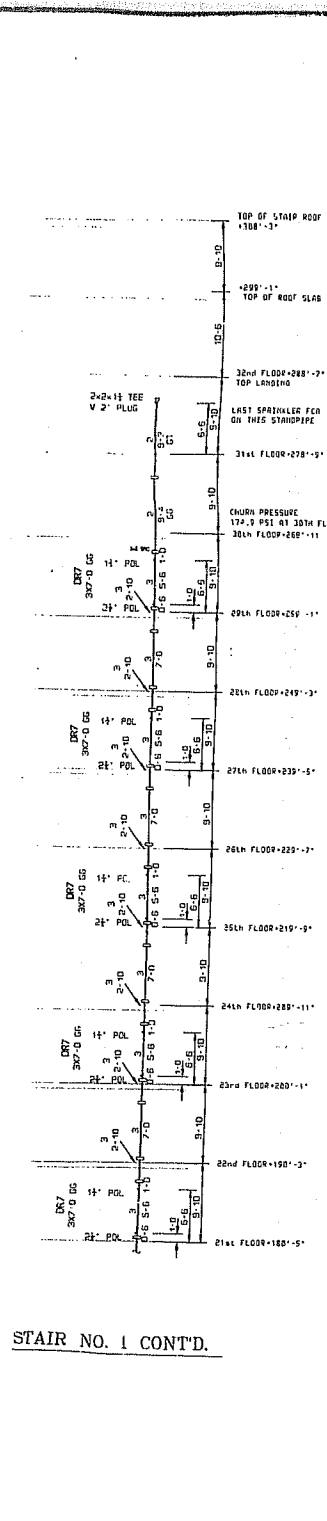


STEVEN FELLER, P.E. INC.
CONSULTING ENGINEERS
2781 W. OAKLAND PARK BLVD., SUITE 310
OAKLAND PARK, FL 33311 954-739-7400

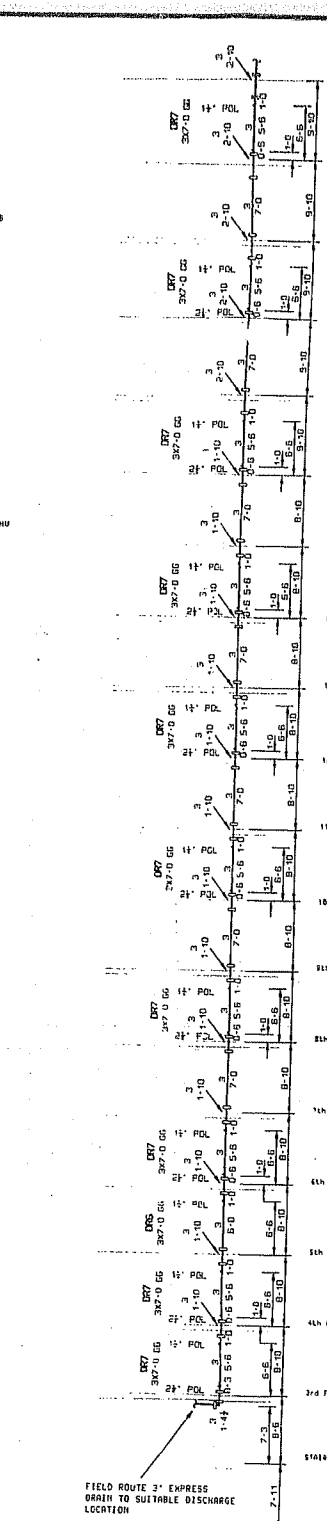
[illegible]



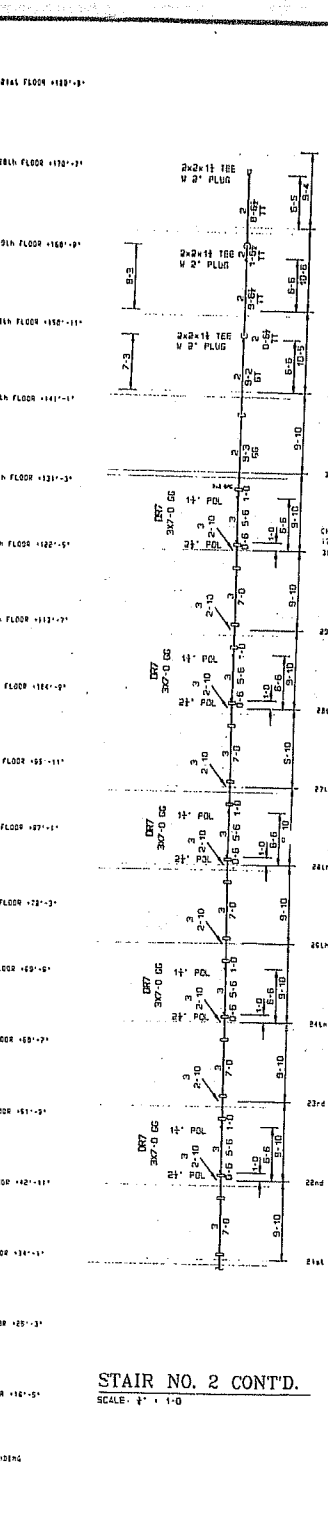
STAIR NO. 1 DRAIN RISER
SCALE: 1/4" = 1'-0"



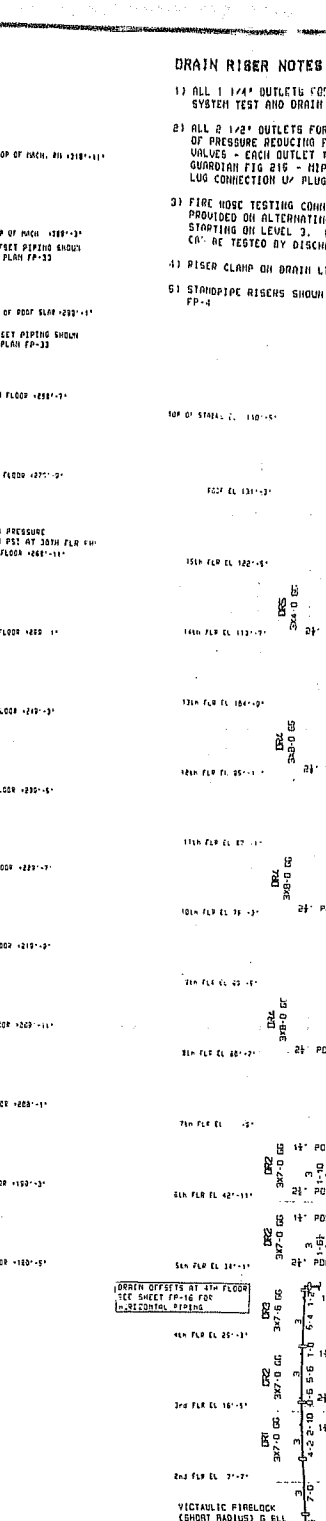
STAIR NO. 1 CONT'D.



STAIR NO. 2 DRAIN RISER
SCALE: 1/4" = 1'-0"

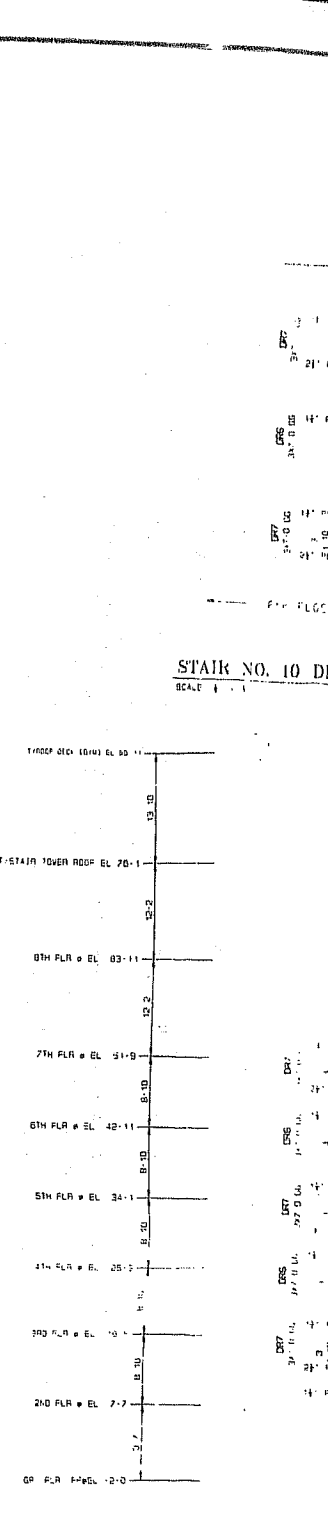


STAIR NO. 2 CONT'D.
SCALE: 1/4" = 1'-0"



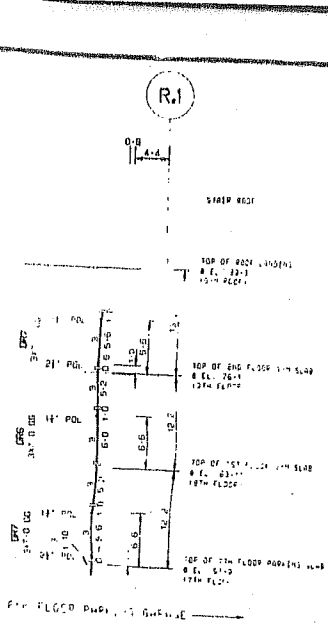
STAIR NO. 3 DRAIN RISER
SCALE: 1/4" = 1'-0"

- DRAIN RISER NOTES**
- ALL 1/4" OUTLETS FOR SPRINKLER SYSTEM TEST AND DRAIN CONNECTIONS
 - ALL 1/2" OUTLETS FOR TESTING OF PRESSURE REDUCING FIRE HOSE VALVES - EACH OUTLET TO HAVE 2 1/2" GUARDIAN FIG 216 - HIPT X FIRST PIN LOG CONNECTION 1/2" PLUG
 - FIRE HOSE TESTING CONNECTIONS ARE PROVIDED ON ALTERNATING FLOORS - STARTING ON LEVEL 3, LOWER TWO FLOORS CAN BE TESTED BY DISCHARGING AT GRADE
 - RISER CLAMP ON DRAIN LINE AT EACH FLOOR
 - STANDPIPE RISERS SHOWN ON SHEETS PP-3 & PP-4



STAIR NO. 7 DRAIN RISER
SCALE: 1/4" = 1'-0"

STAIR NO. 10 DRAIN RISER
SCALE: 1/4" = 1'-0"



<p>SYMBOLS</p> <p>1" = 1/4" = 1'-0"</p> <p>2" = 1/2" = 1'-0"</p> <p>3" = 3/4" = 1'-0"</p> <p>4" = 1" = 1'-0"</p> <p>6" = 1 1/2" = 1'-0"</p> <p>8" = 2" = 1'-0"</p> <p>10" = 2 1/2" = 1'-0"</p> <p>12" = 3" = 1'-0"</p> <p>14" = 3 1/2" = 1'-0"</p> <p>16" = 4" = 1'-0"</p> <p>18" = 4 1/2" = 1'-0"</p> <p>20" = 5" = 1'-0"</p> <p>22" = 5 1/2" = 1'-0"</p> <p>24" = 6" = 1'-0"</p> <p>26" = 6 1/2" = 1'-0"</p> <p>28" = 7" = 1'-0"</p> <p>30" = 7 1/2" = 1'-0"</p> <p>32" = 8" = 1'-0"</p> <p>34" = 8 1/2" = 1'-0"</p> <p>36" = 9" = 1'-0"</p> <p>38" = 9 1/2" = 1'-0"</p> <p>40" = 10" = 1'-0"</p> <p>42" = 10 1/2" = 1'-0"</p> <p>44" = 11" = 1'-0"</p> <p>46" = 11 1/2" = 1'-0"</p> <p>48" = 12" = 1'-0"</p> <p>50" = 12 1/2" = 1'-0"</p> <p>52" = 13" = 1'-0"</p> <p>54" = 13 1/2" = 1'-0"</p> <p>56" = 14" = 1'-0"</p> <p>58" = 14 1/2" = 1'-0"</p> <p>60" = 15" = 1'-0"</p> <p>62" = 15 1/2" = 1'-0"</p> <p>64" = 16" = 1'-0"</p> <p>66" = 16 1/2" = 1'-0"</p> <p>68" = 17" = 1'-0"</p> <p>70" = 17 1/2" = 1'-0"</p> <p>72" = 18" = 1'-0"</p> <p>74" = 18 1/2" = 1'-0"</p> <p>76" = 19" = 1'-0"</p> <p>78" = 19 1/2" = 1'-0"</p> <p>80" = 20" = 1'-0"</p> <p>82" = 20 1/2" = 1'-0"</p> <p>84" = 21" = 1'-0"</p> <p>86" = 21 1/2" = 1'-0"</p> <p>88" = 22" = 1'-0"</p> <p>90" = 22 1/2" = 1'-0"</p> <p>92" = 23" = 1'-0"</p> <p>94" = 23 1/2" = 1'-0"</p> <p>96" = 24" = 1'-0"</p> <p>98" = 24 1/2" = 1'-0"</p> <p>100" = 25" = 1'-0"</p> <p>102" = 25 1/2" = 1'-0"</p> <p>104" = 26" = 1'-0"</p> <p>106" = 26 1/2" = 1'-0"</p> <p>108" = 27" = 1'-0"</p> <p>110" = 27 1/2" = 1'-0"</p> <p>112" = 28" = 1'-0"</p> <p>114" = 28 1/2" = 1'-0"</p> <p>116" = 29" = 1'-0"</p> <p>118" = 29 1/2" = 1'-0"</p> <p>120" = 30" = 1'-0"</p> <p>122" = 30 1/2" = 1'-0"</p> <p>124" = 31" = 1'-0"</p> <p>126" = 31 1/2" = 1'-0"</p> <p>128" = 32" = 1'-0"</p> <p>130" = 32 1/2" = 1'-0"</p> <p>132" = 33" = 1'-0"</p> <p>134" = 33 1/2" = 1'-0"</p> <p>136" = 34" = 1'-0"</p> <p>138" = 34 1/2" = 1'-0"</p> <p>140" = 35" = 1'-0"</p> <p>142" = 35 1/2" = 1'-0"</p> <p>144" = 36" = 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1'-0"</p> <p>16" = 4" = 1'-0"</p> <p>18" = 4 1/2" = 1'-0"</p> <p>20" = 5" = 1'-0"</p> <p>22" = 5 1/2" = 1'-0"</p> <p>24" = 6" = 1'-0"</p> <p>26" = 6 1/2" = 1'-0"</p> <p>28" = 7" = 1'-0"</p> <p>30" = 7 1/2" = 1'-0"</p> <p>32" = 8" = 1'-0"</p> <p>34" = 8 1/2" = 1'-0"</p> <p>36" = 9" = 1'-0"</p> <p>38" = 9 1/2" = 1'-0"</p> <p>40" = 10" = 1'-0"</p> <p>42" = 10 1/2" = 1'-0"</p> <p>44" = 11" = 1'-0"</p> <p>46" = 11 1/2" = 1'-0"</p> <p>48" = 12" = 1'-0"</p> <p>50" = 12 1/2" = 1'-0"</p> <p>52" = 13" = 1'-0"</p> <p>54" = 13 1/2" = 1'-0"</p> <p>56" = 14" = 1'-0"</p> <p>58" = 14 1/2" = 1'-0"</p> <p>60" = 15" = 1'-0"</p> <p>62" = 15 1/2" = 1'-0"</p> <p>64" = 16" = 1'-0"</p> <p>66" = 16 1/2" = 1'-0"</p> <p>68" = 17" = 1'-0"</p> <p>70" = 17 1/2" = 1'-0"</p> <p>72" = 18" = 1'-0"</p> <p>74" = 18 1/2" = 1'-0"</p> <p>76" = 19" = 1'-0"</p> <p>78" = 19 1/2" = 1'-0"</p> <p>80" = 20" = 1'-0"</p> <p>82" = 20 1/2" = 1'-0"</p> <p>84" = 21" = 1'-0"</p> <p>86" = 21 1/2" = 1'-0"</p> <p>88" = 22" = 1'-0"</p> 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1'-0"</p> <p>162" = 40 1/2" = 1'-0"</p> <p>164" = 41" = 1'-0"</p> <p>166" = 41 1/2" = 1'-0"</p> <p>168" = 42" = 1'-0"</p> <p>170" = 42 1/2" = 1'-0"</p> <p>172" = 43" = 1'-0"</p> <p>174" = 43 1/2" = 1'-0"</p> <p>176" = 44" = 1'-0"</p> <p>178" = 44 1/2" = 1'-0"</p> <p>180" = 45" = 1'-0"</p> <p>182" = 45 1/2" = 1'-0"</p> <p>184" = 46" = 1'-0"</p> <p>186" = 46 1/2" = 1'-0"</p> <p>188" = 47" = 1'-0"</p> <p>190" = 47 1/2" = 1'-0"</p> <p>192" = 48" = 1'-0"</p> <p>194" = 48 1/2" = 1'-0"</p> <p>196" = 49" = 1'-0"</p> <p>198" = 49 1/2" = 1'-0"</p> <p>200" = 50" = 1'-0"</p> <p>202" = 50 1/2" = 1'-0"</p> <p>204" = 51" = 1'-0"</p> <p>206" = 51 1/2" = 1'-0"</p> <p>208" = 52" = 1'-0"</p> <p>210" = 52 1/2" = 1'-0"</p> <p>212" = 53" = 1'-0"</p> <p>214" = 53 1/2" = 1'-0"</p> <p>216" = 54" = 1'-0"</p> <p>218" = 54 1/2" = 1'-0"</p> <p>220" = 55" = 1'-0"</p> <p>222" = 55 1/2" = 1'-0"</p> <p>224" = 56" = 1'-0"</p> <p>226" = 56 1/2" = 1'-0"</p> <p>228" = 57" = 1'-0"</p> <p>230" = 57 1/2" = 1'-0"</p> <p>232" = 58" = 1'-0"</p> <p>234" = 58 1/2" = 1'-0"</p> <p>236" = 59" = 1'-0"</p> <p>238" = 59 1/2" = 1'-0"</p> <p>240" = 60" = 1'-0"</p> <p>242" = 60 1/2" = 1'-0"</p> <p>244" = 61" = 1'-0"</p> <p>246" = 61 1/2" = 1'-0"</p> <p>248" = 62" = 1'-0"</p> <p>250" = 62 1/2" = 1'-0"</p> <p>252" = 63" = 1'-0"</p> <p>254" = 63 1/2" = 1'-0"</p> <p>256" = 64" = 1'-0"</p> <p>258" = 64 1/2" = 1'-0"</p> <p>260" = 65" = 1'-0"</p> <p>262" = 65 1/2" = 1'-0"</p> <p>264" = 66" = 1'-0"</p> <p>266" = 66 1/2" = 1'-0"</p> <p>268" = 67" = 1'-0"</p> <p>270" = 67 1/2" = 1'-0"</p> <p>272" = 68" = 1'-0"</p> <p>274" = 68 1/2" = 1'-0"</p> <p>276" = 69" = 1'-0"</p> <p>278" = 69 1/2" = 1'-0"</p> <p>280" = 70" = 1'-0"</p> <p>282" = 70 1/2" = 1'-0"</p> <p>284" = 71" = 1'-0"</p> <p>286" = 71 1/2" = 1'-0"</p> <p>288" = 72" = 1'-0"</p> <p>290" = 72 1/2" = 1'-0"</p> <p>292" = 73" = 1'-0"</p> <p>294" = 73 1/2" = 1'-0"</p> <p>296" = 74" = 1'-0"</p> <p>298" = 74 1/2" = 1'-0"</p> <p>300" = 75" = 1'-0"</p> <p>302" = 75 1/2" = 1'-0"</p> <p>304" = 76" = 1'-0"</p> <p>306" = 76 1/2" = 1'-0"</p> <p>308" = 77" = 1'-0"</p> <p>310" = 77 1/2" = 1'-0"</p> <p>312" = 78" = 1'-0"</p> <p>314" = 78 1/2" = 1'-0"</p> <p>316" = 79" = 1'-0"</p> <p>318" = 79 1/2" = 1'-0"</p> <p>320" = 80" = 1'-0"</p> <p>322" = 80 1/2" = 1'-0"</p> <p>324" = 81" = 1'-0"</p> <p>326" = 81 1/2" = 1'-0"</p> <p>328" = 82" = 1'-0"</p> <p>330" = 82 1/2" = 1'-0"</p> <p>332" = 83" = 1'-0"</p> <p>334" = 83 1/2" = 1'-0"</p> <p>336" = 84" = 1'-0"</p> <p>338" = 84 1/2" = 1'-0"</p> <p>340" = 85" = 1'-0"</p> <p>342" = 85 1/2" = 1'-0"</p> <p>344" = 86" = 1'-0"</p> <p>346" = 86 1/2" = 1'-0"</p> <p>348" = 87" = 1'-0"</p> <p>350" = 87 1/2" = 1'-0"</p> <p>352" = 88" = 1'-0"</p> <p>354" = 88 1/2" = 1'-0"</p> <p>356" = 89" = 1'-0"</p> <p>358" = 89 1/2" = 1'-0"</p> <p>360" = 90" = 1'-0"</p> <p>362" = 90 1/2" = 1'-0"</p> <p>364" = 91" = 1'-0"</p> <p>366" = 91 1/2" = 1'-0"</p> <p>368" = 92" = 1'-0"</p> <p>370" = 92 1/2" = 1'-0"</p> <p>372" = 93" = 1'-0"</p> <p>374" = 93 1/2" = 1'-0"</p> <p>376" = 94" = 1'-0"</p> <p>378" = 94 1/2" = 1'-0"</p> <p>380" = 95" = 1'-0"</p> <p>382" = 95 1/2" = 1'-0"</p> <p>384" = 96" = 1'-0"</p> <p>386" = 96 1/2" = 1'-0"</p> <p>388" = 97" = 1'-0"</p> <p>390" = 97 1/2" = 1'-0"</p> <p>392" = 98" = 1'-0"</p> <p>394" = 98 1/2" = 1'-0"</p> <p>396" = 99" = 1'-0"</p> <p>398" = 99 1/2" = 1'-0"</p> <p>400" = 100" = 1'-0"</p>	<p>STEVEN FELLER, P.E., INC.</p> <p>CONSULTING ENGINEERS</p> <p>2701 W. GULFVIEW PARK BLVD., SUITE 310</p> <p>ORLANDO, FL 32811-1111</p> <p>TEL: 407-238-7400</p> <p>FAX: 407-238-7401</p> <p>WWW.SFELLER.COM</p>	<p>ABBREVIATIONS</p> <p>1" = 1/4" = 1'-0"</p> <p>2" = 1/2" = 1'-0"</p> <p>3" = 3/4" = 1'-0"</p> <p>4" = 1" = 1'-0"</p> <p>6" = 1 1/2" = 1'-0"</p> <p>8" = 2" = 1'-0"</p> <p>10" = 2 1/2" = 1'-0"</p> <p>12" = 3" = 1'-0"</p> <p>14" = 3 1/2" = 1'-0"</p> <p>16" = 4" = 1'-0"</p> <p>18" = 4 1/2" = 1'-0"</p> <p>20" = 5" = 1'-0"</p> <p>22" = 5 1/2" = 1'-0"</p> <p>24" = 6" = 1'-0"</p> <p>26" = 6 1/2" = 1'-0"</p> <p>28" = 7" = 1'-0"</p> <p>30" = 7 1/2" = 1'-0"</p> <p>32" = 8" = 1'-0"</p> <p>34" = 8 1/2" = 1'-0"</p> <p>36" = 9" = 1'-0"</p> <p>38" = 9 1/2" = 1'-0"</p> <p>40" = 10" = 1'-0"</p> <p>42" = 10 1/2" = 1'-0"</p> <p>44" = 11" = 1'-0"</p> <p>46" = 11 1/2" = 1'-0"</p> <p>48" = 12" = 1'-0"</p> <p>50" = 12 1/2" = 1'-0"</p> <p>52" = 13" = 1'-0"</p> <p>54" = 13 1/2" = 1'-0"</p> <p>56" = 14" = 1'-0"</p> <p>58" = 14 1/2" = 1'-0"</p> <p>60" = 15" = 1'-0"</p> <p>62" = 15 1/2" = 1'-0"</p> <p>64" = 16" = 1'-0"</p> <p>66" = 16 1/2" = 1'-0"</p> <p>68" = 17" = 1'-0"</p> <p>70" = 17 1/2" = 1'-0"</p> <p>72" = 18" = 1'-0"</p> <p>74" = 18 1/2" = 1'-0"</p> <p>76" = 19" = 1'-0"</p> <p>78" = 19 1/2" = 1'-0"</p> <p>80" = 20" = 1'-0"</p> <p>82" = 20 1/2" = 1'-0"</p> <p>84" = 21" = 1'-0"</p> <p>86" = 21 1/2" = 1'-0"</p> <p>88" = 22" = 1'-0"</p> <p>90" = 22 1/2" = 1'-0"</p> <p>92" = 23" = 1'-0"</p> <p>94" = 23 1/2" = 1'-0"</p> <p>96" = 24" = 1'-0"</p> <p>98" = 24 1/2" = 1'-0"</p> <p>100" = 25" = 1'-0"</p> <p>102" = 25 1/2" = 1'-0"</p> <p>104" = 26" = 1'-0"</p> <p>106" = 26 1/2" = 1'-0"</p> <p>108" = 27" = 1'-0"</p> <p>110" = 27 1/2" = 1'-0"</p> <p>112" = 28" = 1'-0"</p> <p>114" = 28 1/2" = 1'-0"</p> <p>116" = 29" = 1'-0"</p> <p>118" = 29 1/2" = 1'-0"</p> <p>120" = 30" = 1'-0"</p> <p>122" = 30 1/2" = 1'-0"</p> <p>124" = 31" = 1'-0"</p> <p>126" = 31 1/2" = 1'-0"</p> <p>128" = 32" = 1'-0"</p> <p>130" = 32 1/2" = 1'-0"</p> <p>132" = 33" = 1'-0"</p> <p>134" = 33 1/2" = 1'-0"</p> <p>136" = 34" = 1'-0"</p> <p>138" = 34 1/2" = 1'-0"</p> <p>140" = 35" = 1'-0"</p> <p>142" = 35 1/2" = 1'-0"</p> <p>144" = 36" = 1'-0"</p> <p>146" = 36 1/2" = 1'-0"</p> <p>148" = 37" = 1'-0"</p> <p>150" = 37 1/2" = 1'-0"</p> <p>152" = 38" = 1'-0"</p> <p>154" = 38 1/2" = 1'-0"</p> <p>156" = 39" = 1'-0"</p> <p>158" = 39 1/2" = 1'-0"</p> <p>160" = 40" = 1'-0"</p> <p>162" = 40 1/2" = 1'-0"</p> <p>164" = 41" = 1'-0"</p> <p>166" = 41 1/2" = 1'-0"</p> <p>168" = 42" = 1'-0"</p> <p>170" = 42 1/2" = 1'-0"</p> <p>172" = 43" = 1'-0"</p> <p>174" = 43 1/2" = 1'-0"</p> <p>176" = 44" = 1</p>
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CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

Miscellaneous Receipt

05-21-2001

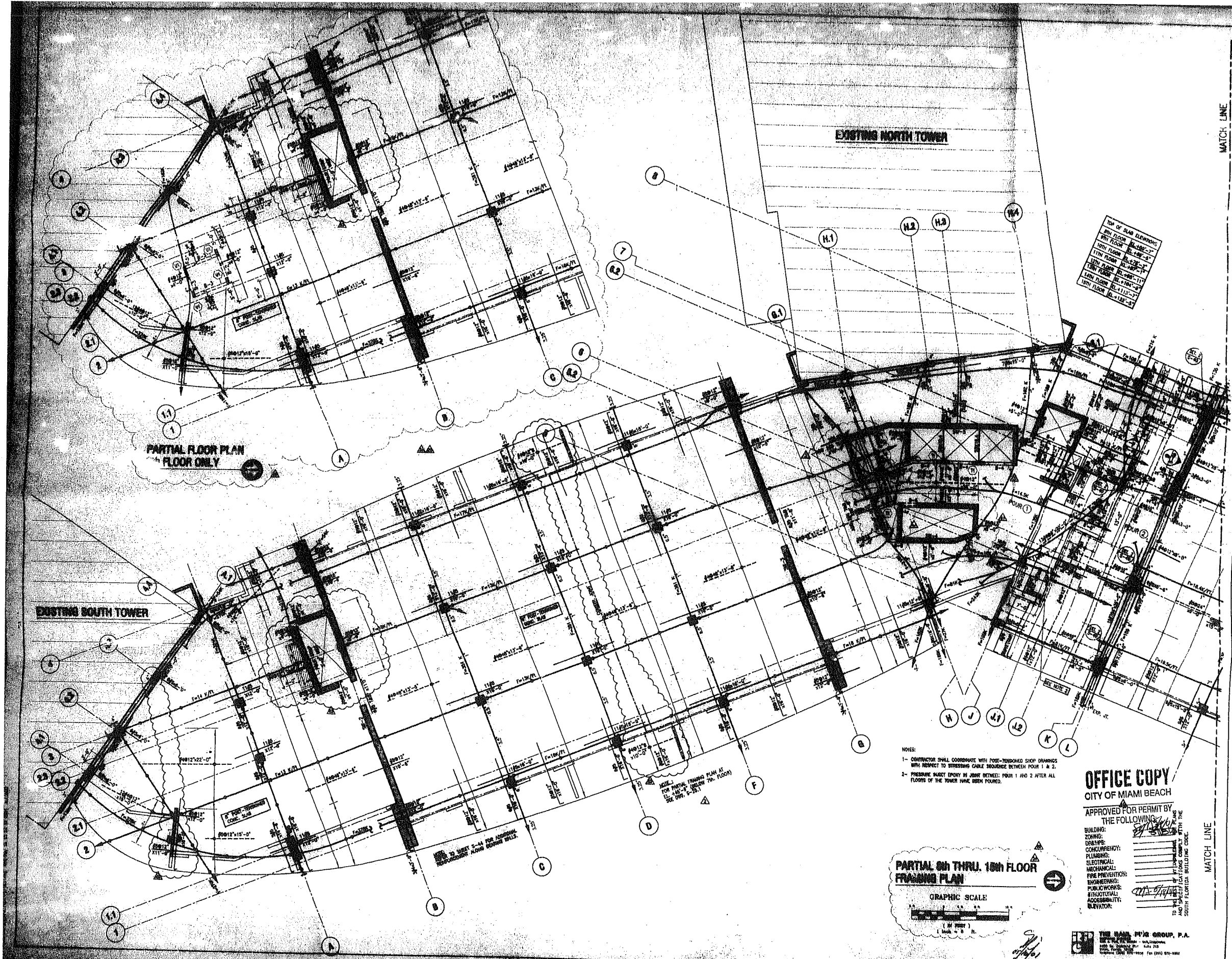
Activity Number: **BMS0102489**

Status:	APPROVED	Issued By:	BULLHERC
Site Address:	1500 BAY RD MDC11	Applied:	05/18/2001
Parcel #:	32330070030	Approved:	05/18/2001
		Completed:	
		To Expire:	
Valuation:	\$0.00		
Applicant:	TURNER CONSTRUCTION 3500 SW 2ND AVE MIAMI, FL 33129 305-850-8686	Property Owner:	AIMCO 2180 W HWY 434-SUITE 6110 LONGWOOD, FL 32779

Description: REV H0903540A0001111-STRCT-FOUR STRIP DELITION
Inspector Area: R Class Code: REVIS

Fees Summary

Total of All Fees	\$300.00
Total of Payments	\$200.00
Balance Due:	\$0.00



TOP OF SLAB ELEVATION

1ST FLOOR	BL-000'-0"
2ND FLOOR	BL-000'-0"
3RD FLOOR	BL-000'-0"
4TH FLOOR	BL-000'-0"
5TH FLOOR	BL-000'-0"
6TH FLOOR	BL-000'-0"
7TH FLOOR	BL-000'-0"
8TH FLOOR	BL-000'-0"
9TH FLOOR	BL-000'-0"
10TH FLOOR	BL-000'-0"
11TH FLOOR	BL-000'-0"
12TH FLOOR	BL-000'-0"
13TH FLOOR	BL-000'-0"
14TH FLOOR	BL-000'-0"
15TH FLOOR	BL-000'-0"

AIMCO Properties

MURAKAMI

Office of Construction
Building & Safety
1000 Biscayne Blvd.
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

JOEL JENSEN & ASSOCIATES, INC.
FIRE PROTECTION ENGINEERING CONSULTANTS
5855 N.W. 11th Street, Suite 600
Miami, Florida 33150
Tel: (305) 551-6666 Fax: (305) 551-6667

WILMER PARKINS CONSULTANTS (P.C.), INC.
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

STEVEN FELLER, P.E. INC.
Consulting Engineers
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

THE BELL PERI GROUP, P.A.
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

WILMER PARKINS CONSULTANTS (P.C.), INC.
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

CURTIS+ROGERS
DESIGN STUDIO, INC.
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

ZVSCOVICH
ENGINEERS
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

THE GRAND FLAMINGO
Miami Beach, Florida

OFFICE OF CONSTRUCTION
BUILDING & SAFETY
1000 Biscayne Blvd.
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001

Seal:
8/18/98
7-14-00
8/20/00
1/18/01
4/24/01 - GENERAL
5/18/01 - FOUR STIP RELIEF & C.A.

AREA 'A' PARTIAL
8th THRU. 15th FL. PLAN

5/10/98	SHELL PERMIT
9/10/98	BUILDING PERMIT
Revised: 2/8/99	SP-01
Revised: 4/24/99	ADDITION - 2/3/99
Revised: 4/24/99	ADDITION - 2/3/99
Revised: 05-14-00	

DESIGNED BY
LABOR CONSTRUCTION SET-2

S-25

OFFICE COPY
CITY OF MIAMI BEACH

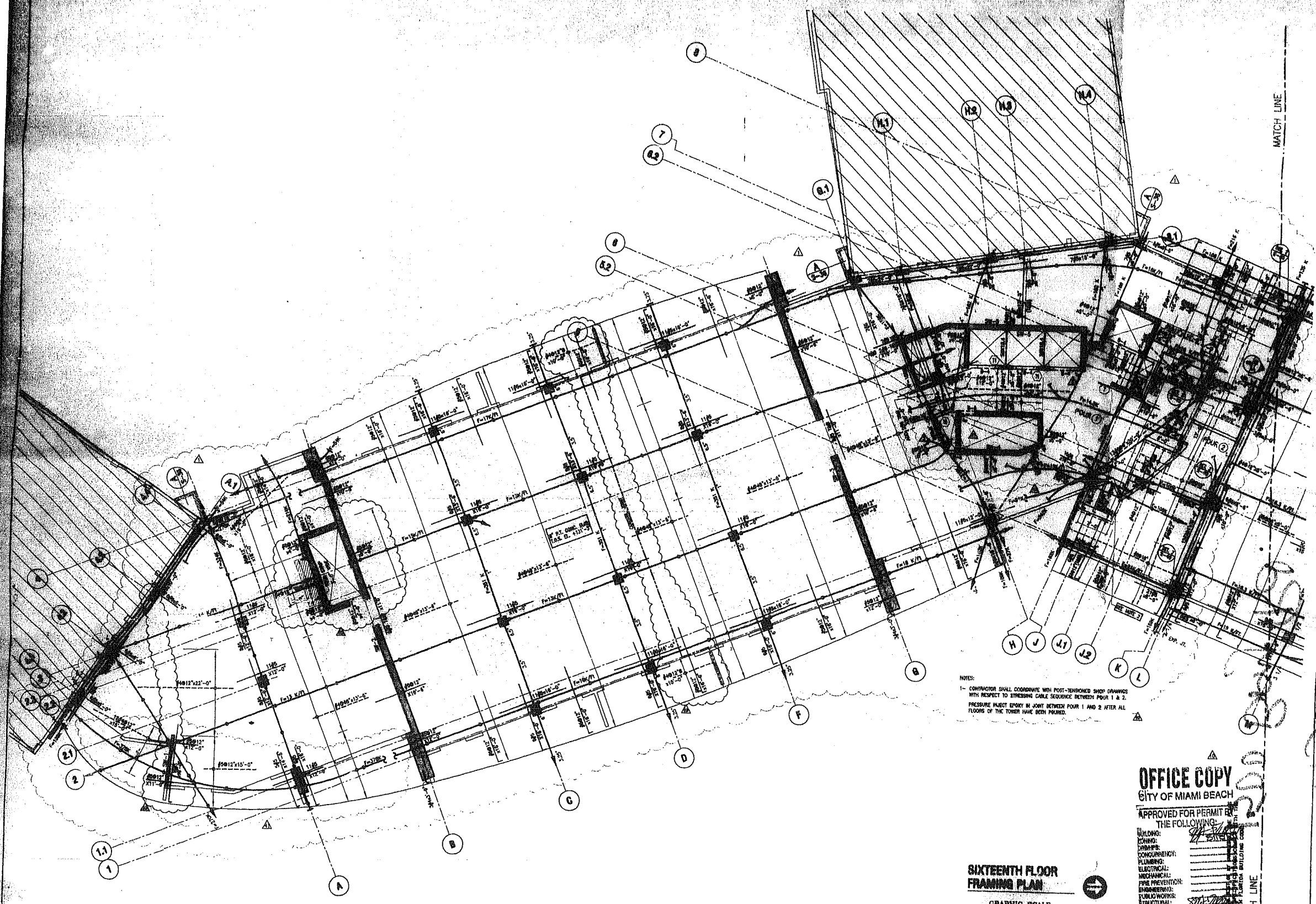
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
CONCURRENCY:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
ENVIRONMENTAL:
ACCESSIBILITY:
ELEVATOR:

**PARTIAL 8th THRU. 15th FLOOR
FRAMING PLAN**

GRAPHIC SCALE
1" = 8'

THE BELL PERI GROUP, P.A.
2001 Biscayne Boulevard, Suite 201
Miami, Florida 33132
Tel: (305) 375-1000 Fax: (305) 375-1001



**SIXTEENTH FLOOR
FRAMING PLAN**



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING: _____
- MECHANICAL: _____
- ELECTRICAL: _____
- PLUMBING: _____
- FIRE PREVENTION: _____
- ENVIRONMENTAL: _____
- STRUCTURAL: _____
- ACCESSIBILITY: _____
- ELEVATOR: _____

THE RAIL PUNK GROUP, P.A.
2001 N. Collins Ave., Suite 110
Miami, FL 33139
Tel: (305) 575-0000 Fax: (305) 575-0000

AIMCO Properties

MURAKAMI

6000 N. Kendall
Miami, FL 33157
Tel: (305) 575-0000

ROLY WILSON & ASSOCIATES, INC.
FIRE PROTECTION ENGINEERING CONSULTANTS
2800 N. W. 11th Ave., Suite 100
Coral Gables, FL 33134
Tel: (305) 442-1100 Fax: (305) 442-1101

STEVEN PELLER, P.E. INC.
2001 N. Collins Ave., Suite 110
Miami, FL 33139
Tel: (305) 575-0000

THE RAIL PUNK GROUP, P.A.
2001 N. Collins Ave., Suite 110
Miami, FL 33139
Tel: (305) 575-0000

CURTIS+ROCKERS
ARCHITECTS

ZVSCOVICH
ARCHITECTS

THE GRAND FLAMINGO
HOTEL

AREA 'A' (TOWER)

SIXTEENTH FLOOR

5/10/00 SHELL PERMIT
5/10/00 BUILDING PERMIT
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Bm 50102489

B0001111

1500 Bay Rd.

B0001111

GRAND FLEMING

Bm 0102489

OFFICE

B0001111

1500 Bay Rd.

Four Strip

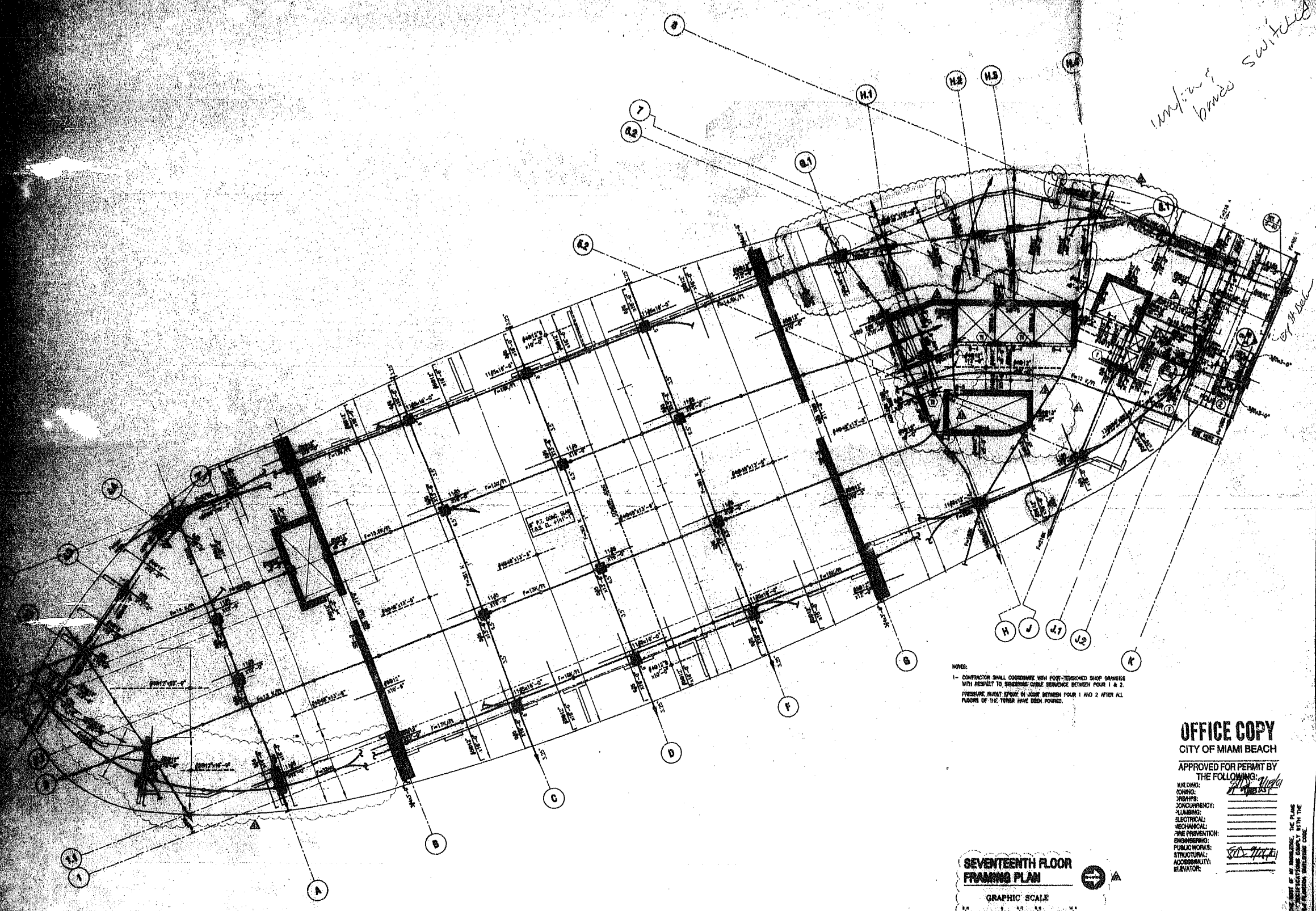
Relocation

Struct. Calc.

PERMIT #
B0001111

Bms 0104003

ADDRESS
1500 Bay RD.



imaging switches

NOTES:
1- CONTRACTOR SHALL COORDINATE WITH POST-TENSIONED SLAB DRAWINGS WITH REFERENCE TO BRIDGE CHAIR SPACING BETWEEN POOR 1 & 2. PRESSURE MUST BE IN JOINT BETWEEN POOR 1 AND 2 AFTER ALL FLOORING OF THIS FLOOR HAVE BEEN POURED.

**SEVENTEENTH FLOOR
FRAMING PLAN**



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: _____
- ENGINEER: _____
- ARCHITECT: _____
- MECHANICAL: _____
- ELECTRICAL: _____
- PLUMBING: _____
- PAINTING: _____
- CONCRETE: _____
- IRONWORK: _____
- STEELWORK: _____
- WELDING: _____
- PAVING: _____
- LANDSCAPE: _____
- TRAFFIC: _____
- UTILITIES: _____
- ENVIRONMENTAL: _____
- ARCHAEOLOGY: _____
- OTHER: _____

AMCO

ARCHITECT

ENGINEER

PLUMBING

ELECTRICAL

MECHANICAL

PAINTING

CONCRETE

IRONWORK

STEELWORK

WELDING

PAVING

LANDSCAPE

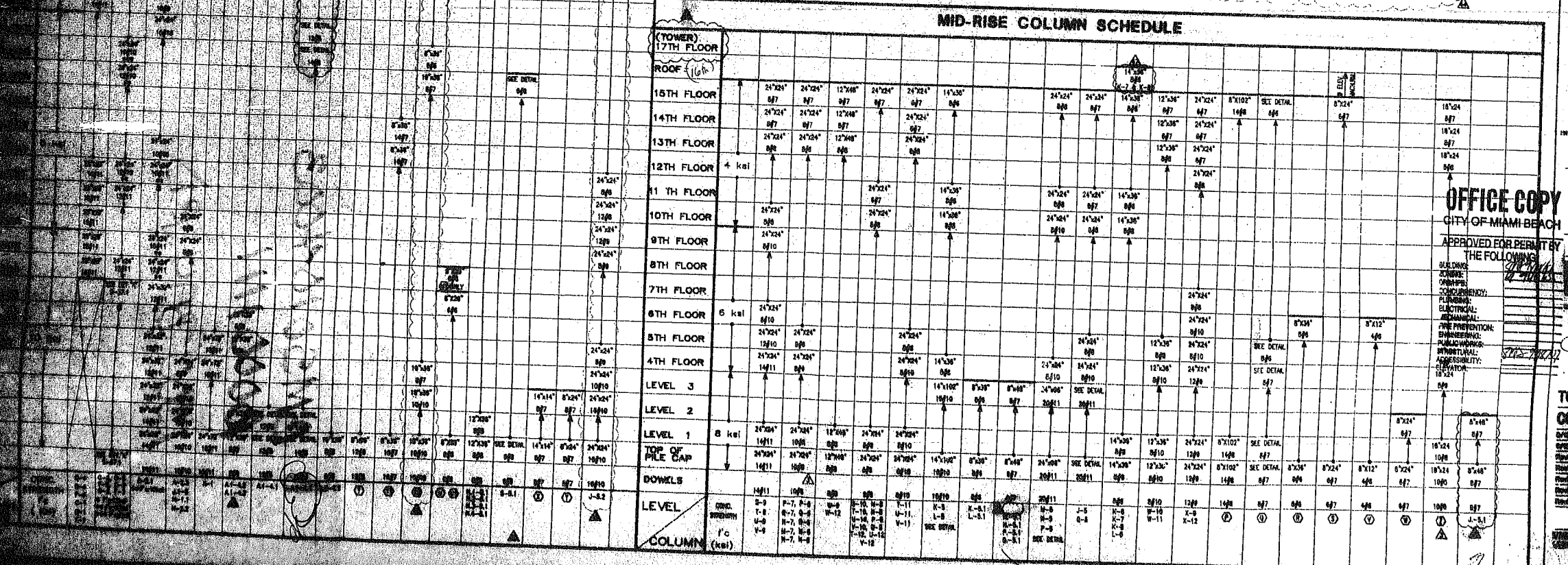
TRAFFIC

UTILITIES

ENVIRONMENTAL

ARCHAEOLOGY

OTHER



528

GRAND FLEMINGO

B0001111

MASTER PERMIT

STRUCTURAL REVISION ONLY

OFFICE COPY

BMS 0104003

BMS0104003

B0001111

100 BAY RD

PERMIT #
B0001111

Bms 0102204

ADDRESS
1500 BAY RD

CITY OF MIAMI BEACH
Building Department
1700 Convention Cir Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7378 Office: (305) 673-7610

Miscellaneous Receipt

04-27-2001

Activity Number: BMS0102204

Status: APPROVED Issued By: BUILLECS
Site Address: 1500 BAY RD MBCH Applied: 04/26/2001
Parcel #: 32330070030 Approved: 04/27/2001
Completed: 04/27/2001
To Expire:
Valuation: \$0.00
Applicant: TURNER CONSTRUCTION Property Owner: MORTON TOWERS APARTMENTS LP

Description: REV/STRUC/SLAB 45.9 THRU 16TH FLOOR CABLES, #100001111
Inspector Area: C Class Code: REVIS

Fees Summary

Total of All Fees: \$300.00
Total of Payments: \$300.00
Balance Due: \$0.00

CITY OF MIAMI BEACH
Building Department
1700 Convention Cir Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7378 Office: (305) 673-7610

BUILDING WORK PERMIT

04-27-2001

Activity Number: B9803540

Status: CHNOCNTR Issued By: BUIHHERC
Site Address: 1500 BAY RD MBCH Applied: 08/21/1998
Parcel #: 32330070030 Approved: 11/06/1998
Completed: 10/23/2001
To Expire:
Valuation: \$67,500,000.00
Applicant: MILLER & SOLOMON Property Owner: MORTON TOWERS APARTMENTS LP
5901 NW 17TH ST, SYE 1
MIAMI, FL 33126 33126
305-599-2300

Description: NEW CONST OF A 2 LEVEL BLDG 512 UNITS
Inspector Area: S

Total of All Fees: \$56,922.71
Total of Payments: \$56,922.71
Balance Due: \$0.00

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

Building Work Permit

04-27-2001

Receipt: Activity Number: B0001111
Status: APPROVED
Date Applied: 12/22/1999 Date Issued: 01/03/2000 Entered By: BUILLECS
Date Completed: Date Expired: 10/23/2001
Site Address: 1500 BAY RD MBCH Balance Due: \$0.00
Parcel #: 32330070030 Valuation: \$67,500,000.00

Applicant: TURNER CONSTRUCTION CO. Owner: MORTON TOWERS APARTMENTS LP
ANDREW I. MIROWITZ 8 CHIEF FINANCIAL OFFICER
3500 S.W. 3RD AVENUE 33129 1875 S BELLAIRE ST 17TH FL 30222
305 860-8686

Description: NEW CONST OF A 2 LEVEL BLDG 512 UNITS

Payments made for this receipt

Type Method Amount Paid

Payment Made: Accepted By:

Total Payment: \$0.00 Payment:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

Item Description	Account Code	Est. Fee	Paid	Pror. Est.	Cur. Est.
10 Building Permit	0110000121100	\$10.00	\$0.00	\$10.00	\$0.00

[RECEIPT]

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
Inspections: (305) 673-7370 Office: (305) 673-7610

Miscellaneous Receipt

84-30-2001

Activity Number: BMS0102204

Status: APPROVED

Issued By: BUILTECH

Site Address: 1500 BAY RD MIAMI
Parcel #: 32330070030

Applied: 04/26/2001
Approved: 04/27/2001
Completed:
To Expire:

Valuation: \$0.00

Applicant: TURNER CONSTRUCTION

Property Owner: MORTON TOWERS APARTMENTS LP

Description: RESTRUCTURE 45'9" THRU 16' FLOOR CABLES #B0001111
Inspector Area: C Class Code: REVIS

Fees Summary

Total of All Fees	\$200.00
Total of Payments	\$200.00
Balance Due	\$0.00

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

Building Work Permit

84-30-2001

Receipt:

Activity Number: B0001111
Status: APPROVED

Date Applied: 12/22/1999
Date Completed:

Date Issued: 01/03/2000
Date Expired: 10/23/2001

Entered By: BUILTECH

Site Address: 1500 BAY RD MIAMI
Parcel #: 32330070030

Balance Due: \$0.00
Valuation: \$67,500,000.00

Applicant: TURNER CONSTRUCTION CO
ANDREW L. MIKOWITZ
1500 S.W. 3RD AVENUE 33129
305 660-8606

Owner: MORTON TOWERS APARTMENTS LP
% CHIEF FINANCIAL OFFICER
1873 S BELLAIR ST 17TH FL 30222

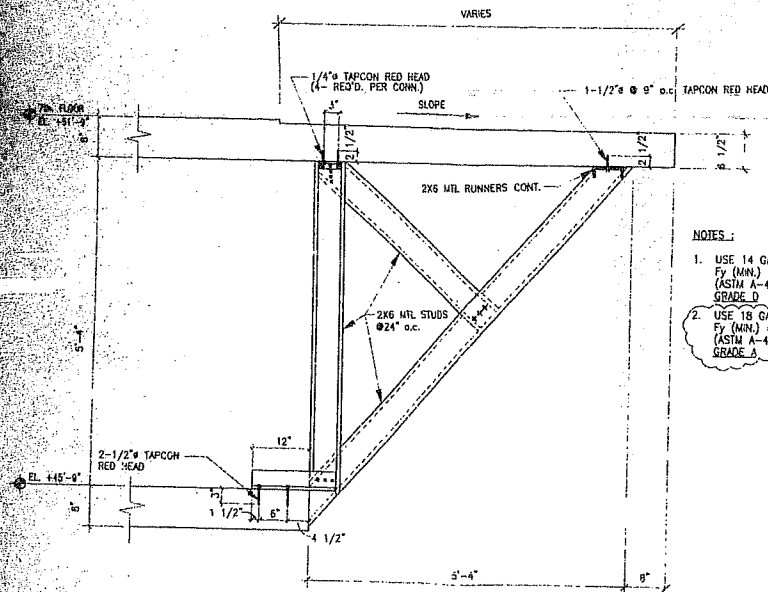
Description: NEW CONST OF A 2 LEVEL BLDG 5120818

Payments made for this receipt:

Current Payment Made to the Following Items:

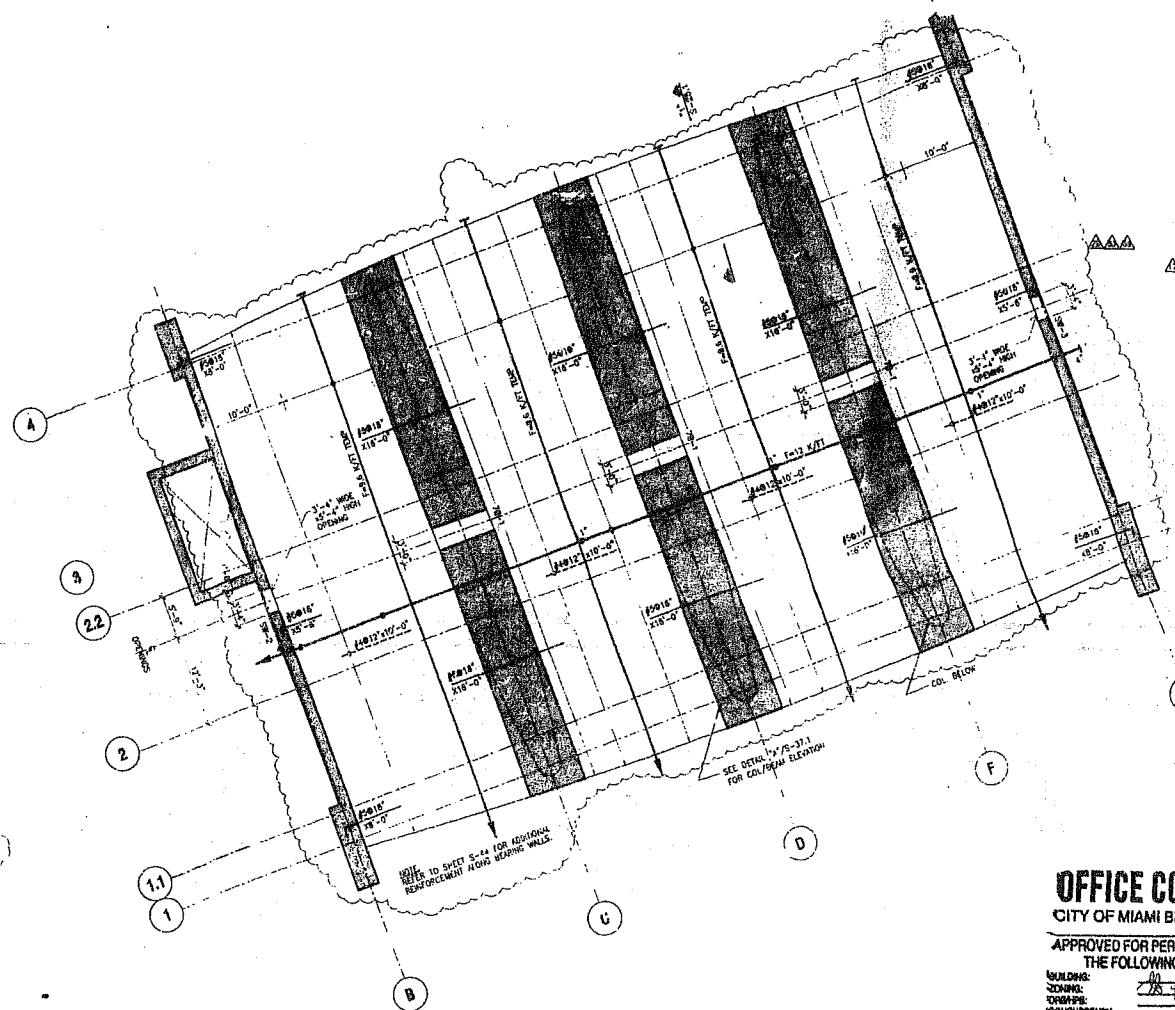
Account Summary for Fees and Payments:

[RECEIPT]

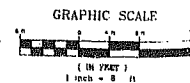


- NOTES:
1. USE 14 GAGE METAL STUDS
F_y (MIN.) = 50 KSI
(ASTM A-446)
GRADE D
 2. USE 18 GAGE METAL RUNNERS
F_y (MIN.) = 33 KSI
(ASTM A-446)
GRADE D

SECTION '1'
SCALE: 1/4" = 1'-0"



PARTIAL FRAMING PLAN
AT ELEV. +45'-0"



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: _____
ENGINEER: _____
ARCHITECT: _____
ELECTRICAL: _____
MECHANICAL: _____
PLUMBING: _____
FIRE PROTECTION: _____
STRUCTURAL: _____
ACCESSIBILITY: _____
ELEVATOR: _____

AREA 'A' PARTIAL

EL. +45'-0" FL. PLAN

8/10/98 SHELL PERMIT
8/10/98 BUILDING PERMIT
Revised: 2/5/99 3RD SET
Revised: 3/10/99 3RD SET
Revised: 3/10/99 3RD SET
Revised: 3/10/99 3RD SET

8/10/98 CONSTRUCTION SET
1/10/99 CONSTRUCTION SET

S-25.1

AIMCO

MURAKAMI

OWNER/ARCHITECT
THOMAS J. MURRAY

ROLY JENNEN & ASSOCIATES, INC.
FALL FORTIFICATION ENGINEERING CONSULTANTS
3835 N. G. 100 BLVD. SUITE 400
DUNEDIN, FLORIDA 33511-4000
TEL: (813) 851-1111 FAX: (813) 851-1112

OWNER/ENGINEER
STEVEN FELLER, P.E. INC.
4422 EXETER AVE. SUITE 100
TAMPA, FLORIDA 33611
TEL: (813) 833-1000 FAX: (813) 833-1001

OWNER/ENGINEER
STEVEN FELLER, P.E. INC.
4422 EXETER AVE. SUITE 100
TAMPA, FLORIDA 33611
TEL: (813) 833-1000 FAX: (813) 833-1001

THE RAIL P&G GROUP, P.A.
2001 N. W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

MANUEL M. JENSEN CONSULTING ENGINEER
1100 W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

CURTIS+ROGERS
DESIGN STUDIO, INC.
1000 N. W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

zyscovich
ARCHITECTS
1100 W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

THE GRAND
FLAMINGO
1000 N. W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

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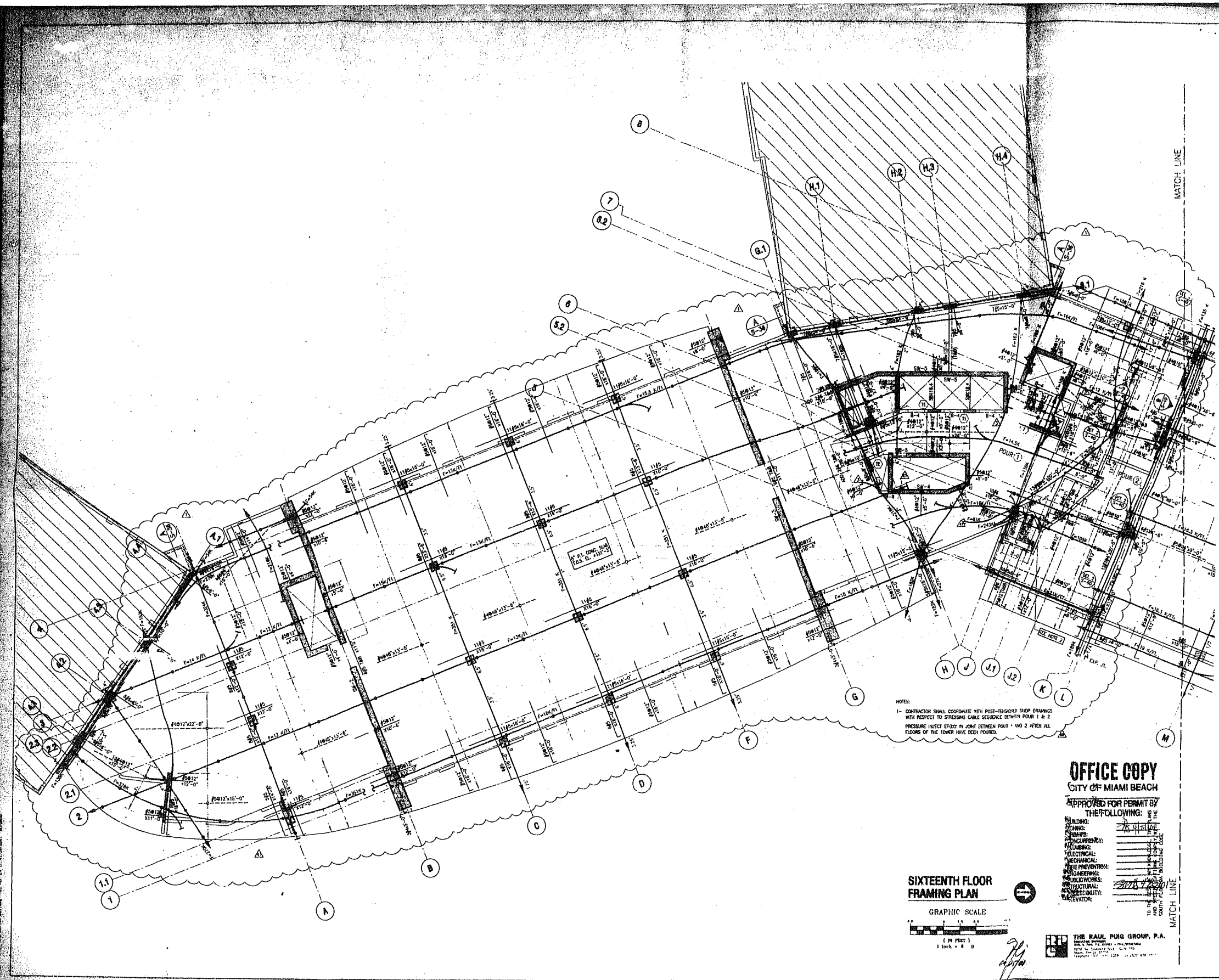
1000 N. W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001

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1000 N. W. 10TH AVE. SUITE 100
MIAMI, FLORIDA 33136
TEL: (305) 575-1000 FAX: (305) 575-1001



AIMCO Properties

MURAKAMI

One Park of Commerce Blvd.
Suite 1000, Ft. Lauderdale, FL 33304
Tel: (954) 557-4100

HOLF JENSEN & ASSOCIATES, INC.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

PAULSEN ENGINEERING CONSULTANTS, INC.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

STEVEN FELLER, P.E. INC.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

THE RAUL PUG GROUP, P.A.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

WATKINS & TOWNE CONSULTING ENGINEERS
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

CURTIS+ROGERS DESIGN STUDIO, INC.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

zyscovich
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

THE GRAND FLAMINGO
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

CONTRACT WITH EXHIBIT, INC.
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

Seal:
8/16/99
9/20/00
1/18/01
4/24/01-GENERAL

AREA 'A' (TOWER)
SIXTEENTH FLOOR

0/10/98 SHELL PERMIT
0/10/98 BUILDING PERMIT
Revised: 2/8/99 BID SET
Revised: 3/22/99
Revised: 4/24/01-GENERAL
Revised:

CONTRACTOR
1001 PUEBLO BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
Tel: (954) 557-4100

S-31

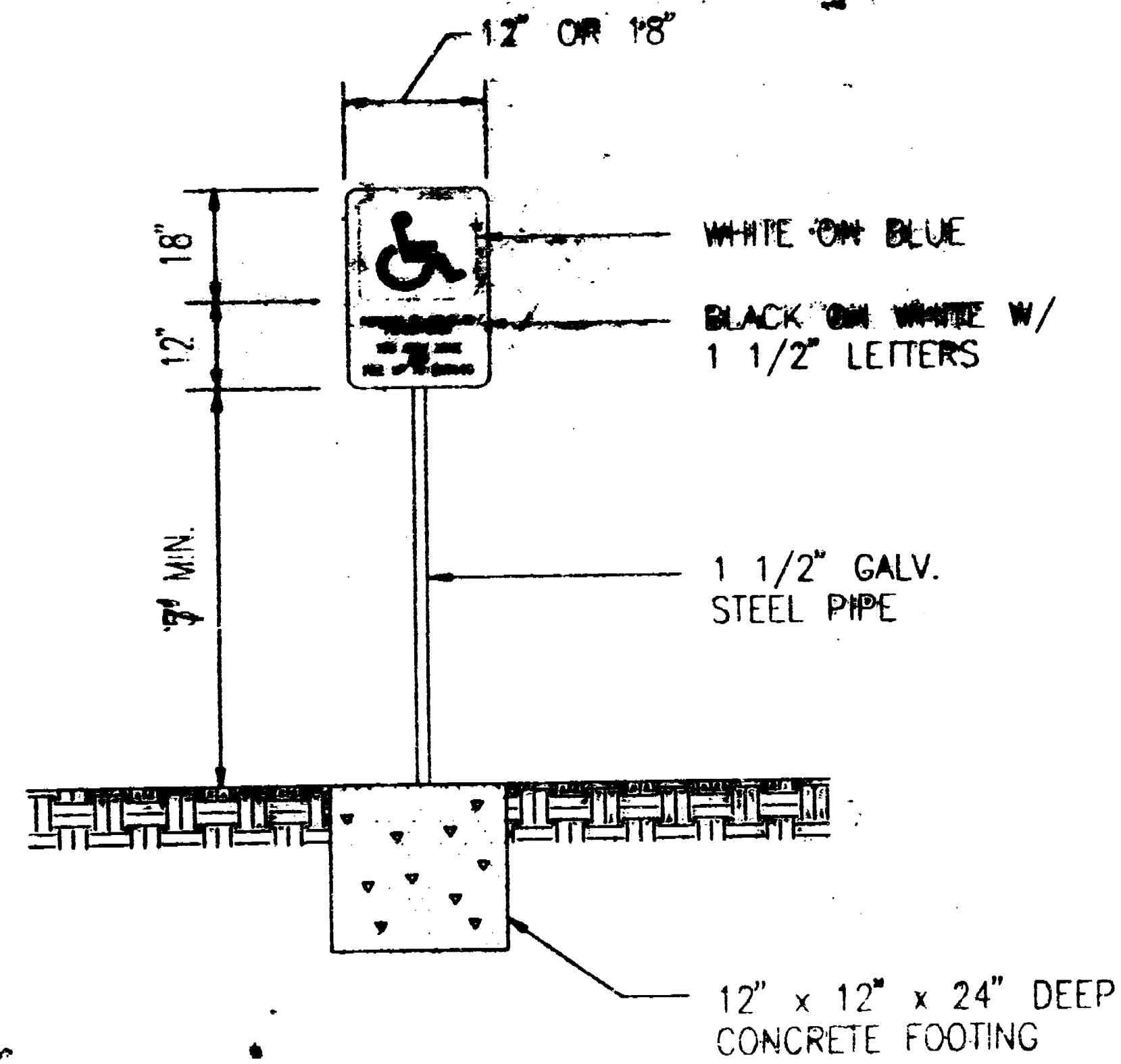
PERMIT NUMBER

B9601207

ADDRESS

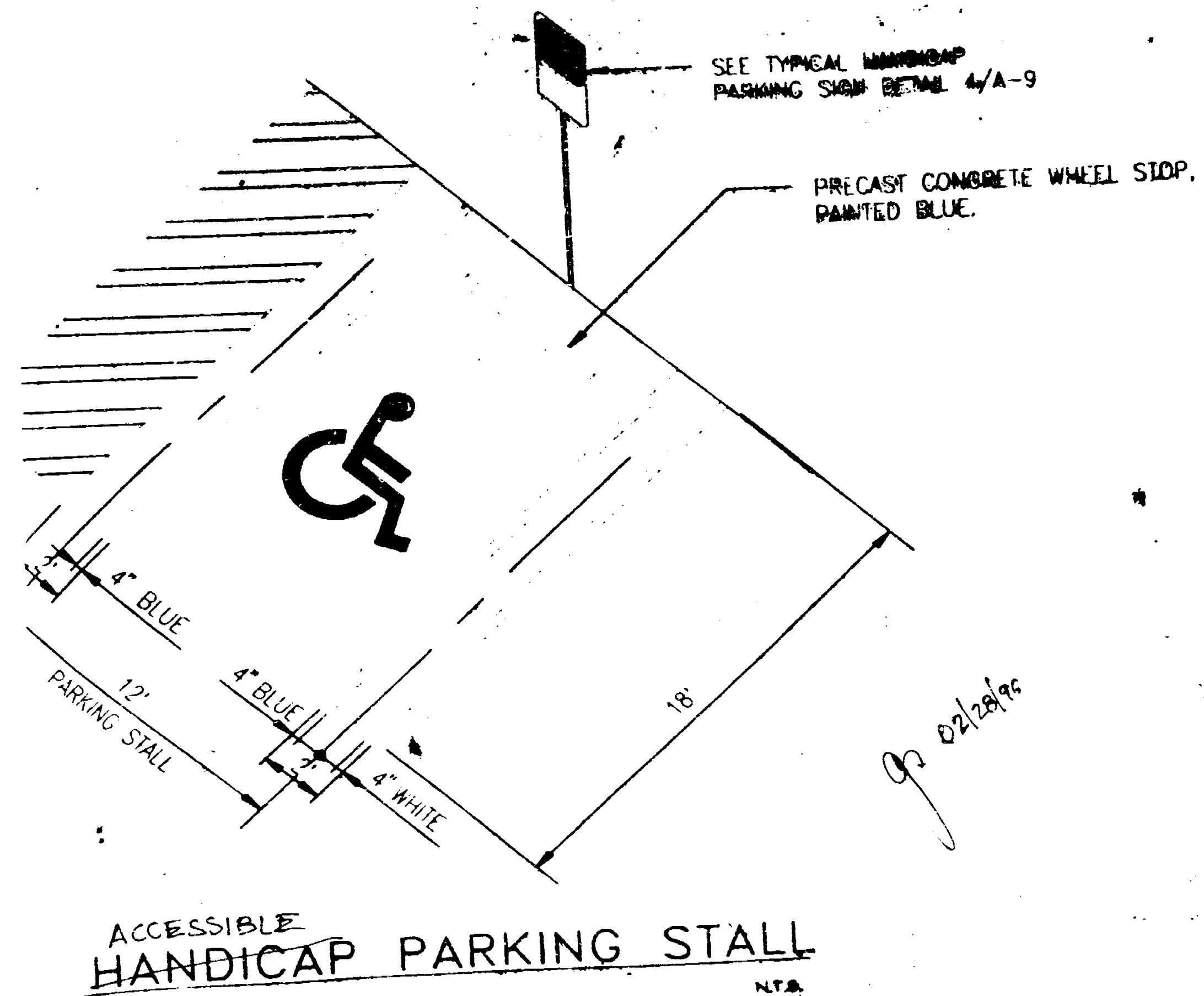
43

43



ACCESSIBLE
TYPICAL HANDICAP
④ PARKING SIGN DETAIL

02/28/96



1500 BAY ROAD - MORTON TOWERS
Landscape Review, Parking Lot 2/15/96

1. The swale area on the exterior of the wall shall be planted with Mahogany trees, staggered with those proposed on the interior of the wall. The trees planted outside of the wall shall be the same size as those proposed for the interior planting (no less than eight trees).
2. The proposed size of the Mahogany tree at 8'-10' is inadequate at this preliminary planting time. The size of the tree, in order to establish a more substantial canopy cover, shall be increased to 12'-14'.
3. Proposed trees for the proposed parking lot shall be increased in number by 5.
4. Wheel stops shall be affixed.
5. An irrigation system shall be included for 100% coverage and shall include a rain sensor that will shut the system off in the event of rain.
6. Individual car bays shall be painted.

June
2/29/96

- 1 - The perimeter wall along all of 14th Street and all of Bay Road (beyond the limits of the variance request) shall be repaired and repainted in a manner determined acceptable by the Planning.
- 2 - The landscaping plan showed on page 2 of 2, indicates existing and new trees, and the notes on page 1 explains what is new.
- 3 - The parking space shall be concrete wheels stops.
- 4 - The existing globe light shall be replaced by security lights, and the lights shall be shielded to avoid direct light beyond the property line.
- 5 - The parking are has appropriate drainage, and was approved by the Public Works Department.

DO
NOT
REMOVE

43

OFF REC 16870-2869

95R308426 1995 AUG 03 09:25

BEFORE THE BOARD OF ADJUSTMENT
OF MIAMI BEACH, FLORIDA

IN RE:

The application of
MORTON TOWERS
1500 BAY ROAD
LOT 6 LESS SOUTH 1 FT., AND ALL OF LOT 7
BLOCK 43; ALTON BEACH BAYFRONT SUB.
PB 4/125

MEETING DATE: JULY 7, 1995
FILE NO. 2453

ORDER

The applicant, Morton Towers, filed an "After The Fact" application with the Planning, Design and Historic Preservation Division for variances in order to retain 52 additional parking spaces converted from two tennis courts:

1. Applicant wishes to waive 15'-0" of the minimum required 20'-0" front yard setback for parking in a residential district in order to retain the above described parking lot 5'-0" from the front property line facing Bay Road.
2. Applicant wishes to waive 53'-8" of the minimum required 60'-0" side yard setback for parking in order to retain the above described parking lot 6'-4" from the side property line facing 14th Street.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the RM-3 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

continued . . .

43

OFF. 16870-2870
REC.

File No. 2453
Morton Towers
1500 Bay Road

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that the variances as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. The perimeter wall along all of 14th Street and all of Bay Road (beyond the limits of the variance request) shall be repaired and repainted in a manner determined acceptable by the Planning, Design and Historic Preservation Division and maintained in a good condition.
2. The landscape plan for the parking area shall be revised to clearly indicate existing trees. ✓
The new mahogany trees shall be (no less than 12'-14' in height at planting) and increased in number to the extent necessary to be planted twenty feet, on center from each other and pre-existing trees.
3. All parking spaces shall have concrete wheel stops. ✓
4. The existing globe lights shall be replaced with more appropriate security lighting, of a design and location to be approved by staff; the new lighting shall be shielded so as not to cast direct light beyond the property line.
5. The parking area shall have appropriate drainage, to be approved by the Public Works Department.
6. The project shall be completed within three (3) months of this hearing, including compliance with all of the above conditions.

continued . . .

43

OFF. 16870-2871
REC.

File No. 2453
Morton Towers
1500 Bay Road

PROVIDED, the applicant shall build in accordance with the plans submitted as part of this file and as approved by the Zoning Board of Adjustment with any applicable modifications. The applicant shall take all necessary steps to have a building permit issued by the Building Department within a period of six (6) months from the date of hearing (July 7, 1995), unless the Board specifies a more restrictive time limitation, otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning, Design and Historic Preservation Division, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 26 day of July, 1995.

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: Jeffrey Bercow
JEFFREY BERCOV
CHAIRMAN

STATE OF FLORIDA)
)SS
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this
26 day of July, 1995 by Jeffrey Bercow
who is personally known to me or who has produced
_____ as identification and who did/did not take an
oath.

Laurel Mansure
NOTARY PUBLIC (signature)

My commission expires _____

Approved As To Form:
Planning, Design and Historic Preservation Division
Legal Department

DJG/ah
C:\WPZBA\FINALORD\2453.ORD

NOTARY PUBLIC
STATE OF FLORIDA
(type, print or stamp name)
LAUREL M. MANSURE
COMMISSION NO. CC-374891
MY COMMISSION EXPIRES
MAY 22, 1998

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
BOOKED VERIFIED
HARVEY RUVIN,
Clerk of Circuit & County
Courts



August 9, 1995

Miami Beach Zoning Board
of Adjustment
Attn: April Hirsh - Secretary
City Hall
1700 Convention Ctr. Dr.
Miami Beach, Fl. 33139

Re: Zoning Board of Adjustment
File # 2453
Morton Towers
1500 Bay Road
Miami Beach, Florida 33139

Dear Ms. Hirsch:

As requested by your letter dated July 28, 1995, enclosed please find the original Order of the Zoning Board of Adjustment entered in the matter regarding the above-referenced file number. I have provided to the City Attorney's office on August 3, 1995, a copy of the Order which was recorded in the public records of Dade County, Florida.

Very truly yours,

MORTON TOWERS

A handwritten signature in dark ink, appearing to read "Glenn Sommer".

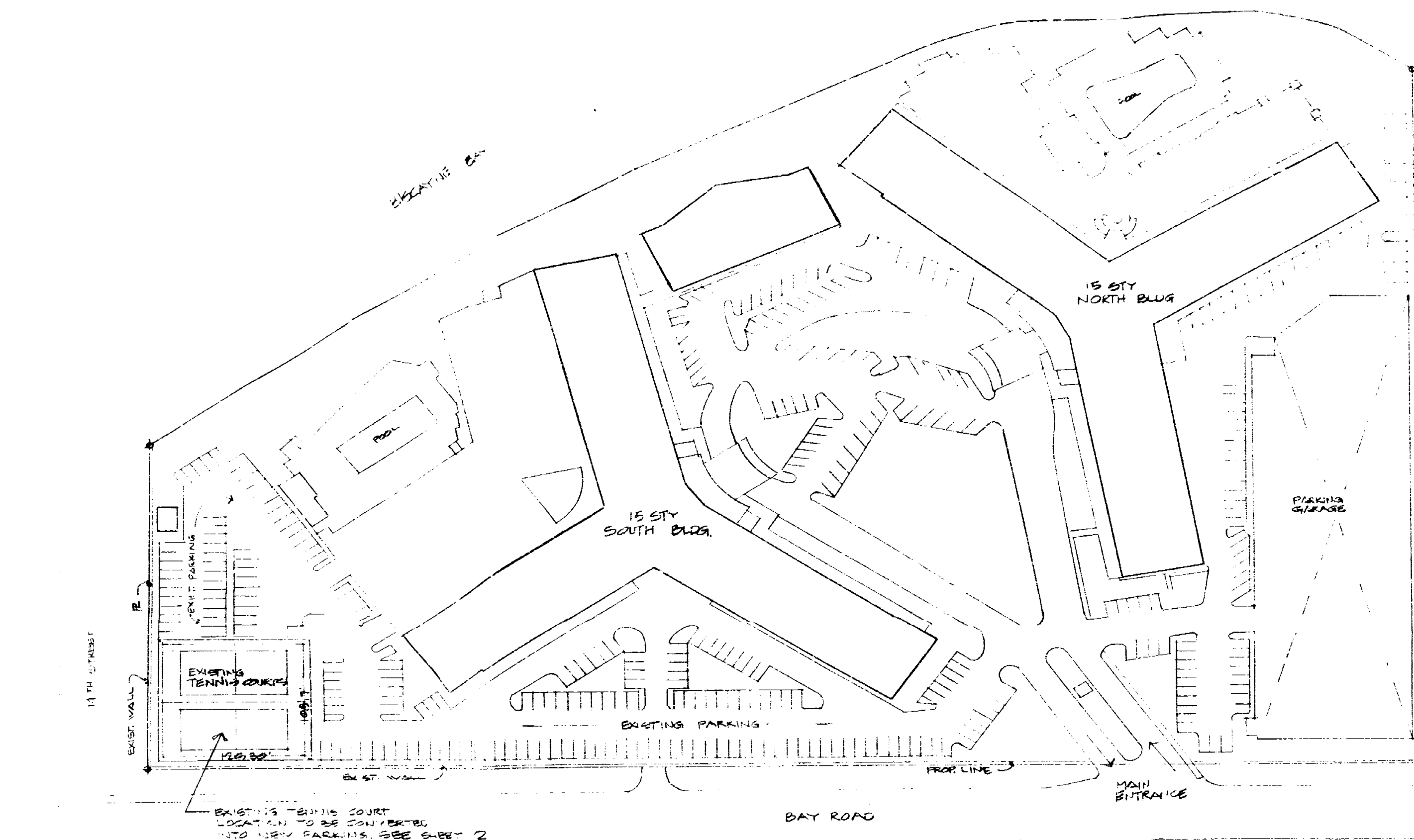
Glenn Sommer
House Counsel

GS/jf

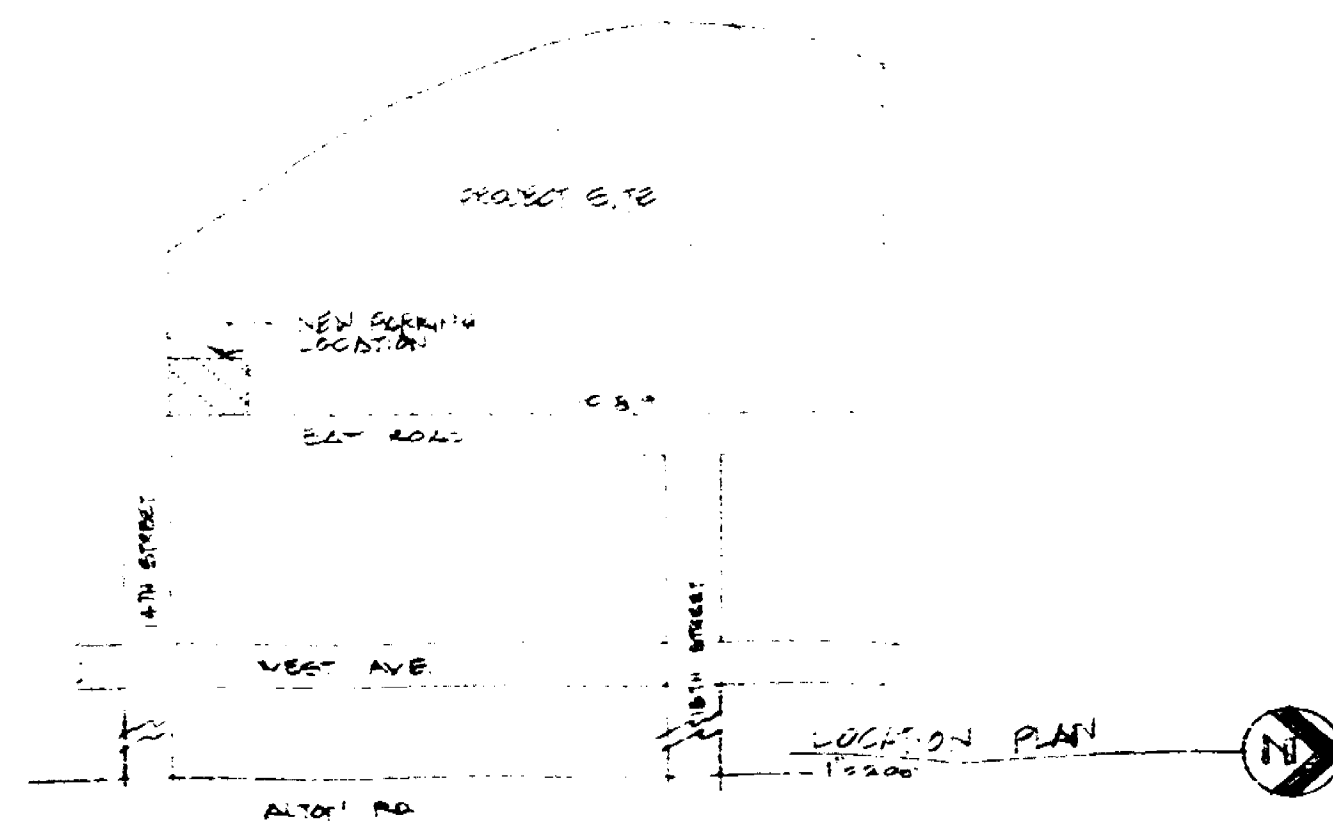
RECEIVED
95 AUG 11 PM 2:08
PLANNING AND ZONING

Fifteen Hundred Bay Road • Miami Beach, Florida 33139
Executive Offices Leasing Offices
05/672-6405 Fax: 305/672-7813 305/672-4461 Fax: 305/672-8513

43



SITE PLAN
SCALE 1" = 50'



LOCATION PLAN
SCALE 1" = 1000'

LEGAL DESCRIPTION
SEE SURVEY

- 1. EXISTING TENNIS COURTS TO BE CONVERTED INTO PARKING
- 2. NEW EXISTING LIGHTING, NEW SURFACE MATERIAL IS ASPHALT PAVING OVER A COMPLETED LIVE ROCK
- 3. AREA OF NEW PARKING 5,700 SQ. FT.
- 4. DRAINAGE FOR PARKED AREAS & EXISTING

2154
2155
AS NOTED

PERMIT COPY

APPROVED FOR PERMIT BY
THE FOLLOWING:

MECHANICAL:	12/22/96
FIRE PREVENTION:	12/22/96
ENGINEERING:	12/22/96
PUBLIC WORKS:	12/22/96
STRUCTURAL:	12/22/96
ACCESSIBILITY:	12/22/96

APPROVAL
FOR APPROVAL
APPROVED WITH
CONDITIONS
DATE

ad
alv
archi
17440 E 17th St
Miami, FL 33131
Tel: (305) 674-1111

15147
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NEW PARKING BY RECONSTRUCTION

CONSULT

SEAL

B9601207

CERTIFICATE OF AUTHENTICITY
END

THIS IS TO CERTIFY THAT THE MICROPHOTOGRAPHIC IMAGES APPEARING ON THIS
ROLL OF MICROFILM ENDING WITH: 110

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ARE ACCURATE REPRODUCTIONS OF THE RECORDS OF: _____

City of MIAMI BEACH

AND WERE MICROFILMED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO
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OR FOR THE MAINTENANCE AND PRESERVATION OF SUCH RECORDS THROUGH THE
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BUREAU OF STANDARDS FOR PERMANENT MICROPHOTOGRAPHIC REPRODUCTIONS.

1/28/98
Date Microfilmed

Francisco Pava
Camera Operator

Job Ticket Number

[Signature]
Authorized Signature