

KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED WATER FEATURES
- PROPOSED LANDSCAPE

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

NEW STAIRS TO ACCESS MEZZANINE LEVEL

PROPOSED EXTERIOR LOBBY

ARCHITECTURAL SCREENS

Level I - Proposed
SCALE: 3/64" = 1'-0"



GROUND FLOOR PLAN - PROPOSED

PROPOSED LOBBY FOR ACCESS FROM WEST SIDE OF GARAGE

RELOCATED STAIRS

EXISTING CANOPY ABOVE TO BE REPLACED

PROPOSED RAMP TRANSITIONING FROM LOBBY SLAB TO LOWER SLAB

EXISTING PARKING GARAGE

NEW CORRIDOR TO ACCESS PACKAGE ROOM AND DOG DAYCARE

NEW CORRIDOR LINKING NORTH TOWER LOBBY TO CENTRAL TOWER

PROPOSED RAMP TRANSITIONING FROM NORTH TOWER SLAB ELEVATION TO CENTER TOWER SLAB ELEVATION

Scale: As indicated
When printed on 11 x 17 paper scale is halved

FLAMINGO
1420 BAY ROAD, MIAMI BEACH

Stantec Architecture Inc - AA26000733
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 PROPOSED PROGRAM

 BACK OF HOUSE AREAS

 EXISTING STRUCTURE, WALLS, AND PARTITION

 PROPOSED STRUCTURE, WALLS, AND PARTITION

 PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

MEZZANINE FLOOR PLAN - PROPOSED

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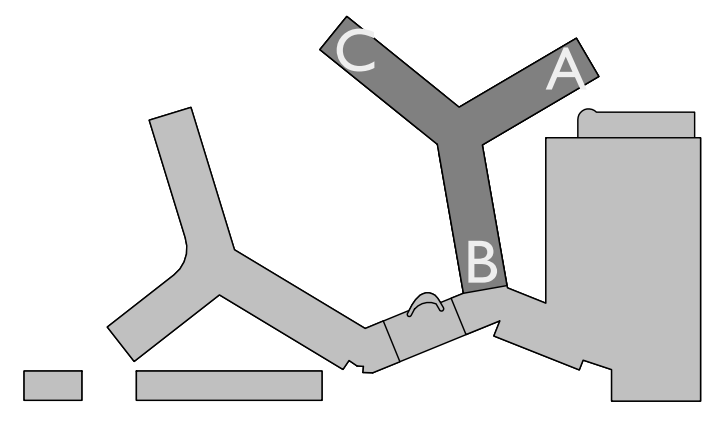
SLAB FROM EXISTING CAFE
SHOP CUT AND RAISED TO
ALIGN WITH MEZZANINE
SLAB

— EXISTING FPL VAULTS TO REMAIN

— PROPOSED TRELLIS
EXTENDING TO EXISTING
CANOPY

EXISTING PARKING GARAGE

Scale: As indicated
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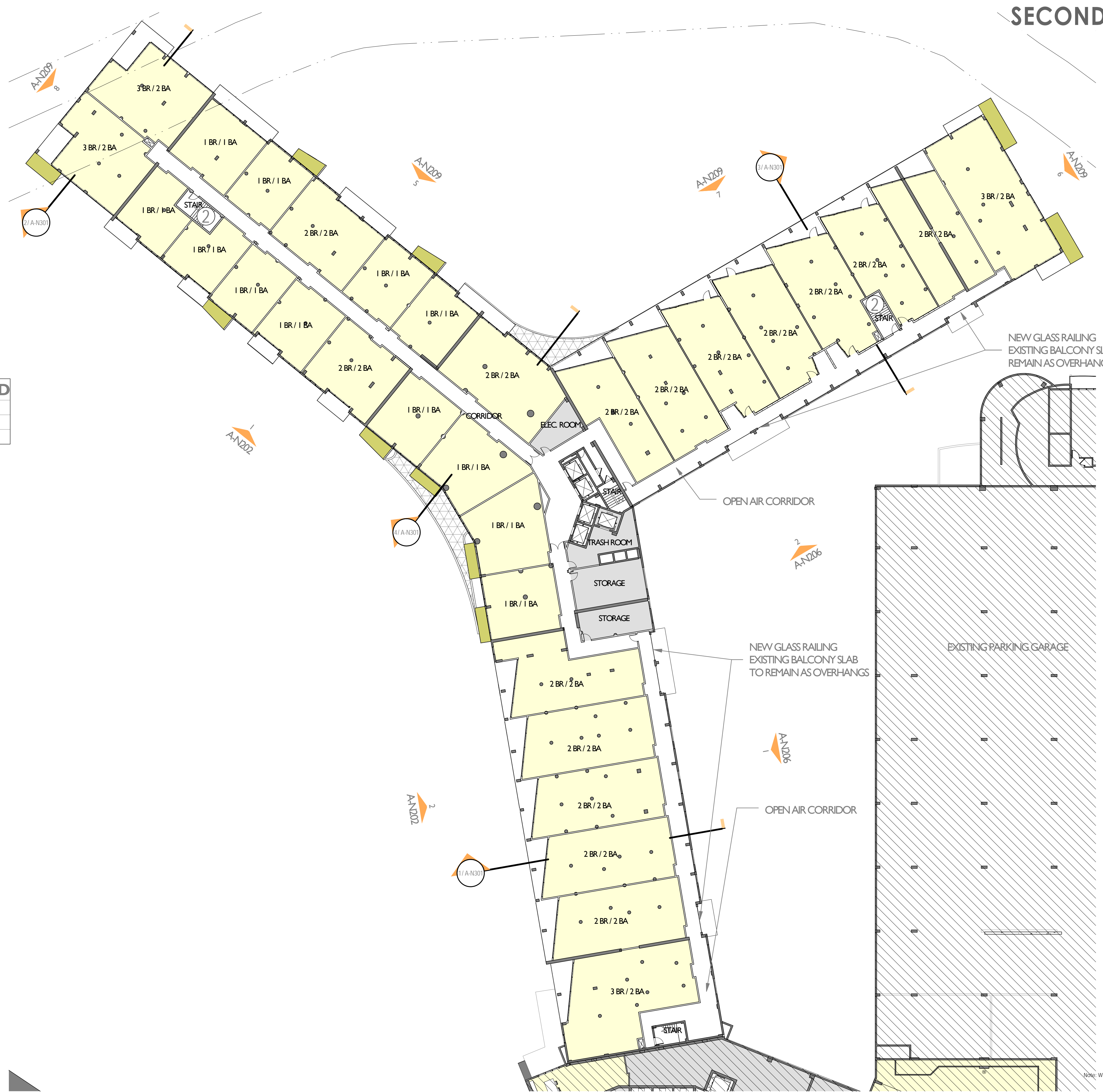


KEY PLAN

- PROPOSED PROGRAM
- BACK OF HOUSE AREAS
- EXISTING STRUCTURE, WALLS, AND PARTITION
- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED	
1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

Level 2 - Proposed
SCALE: 3/64" = 1'-0"



SECOND FLOOR PLAN - PROPOSED

FLAMINGO
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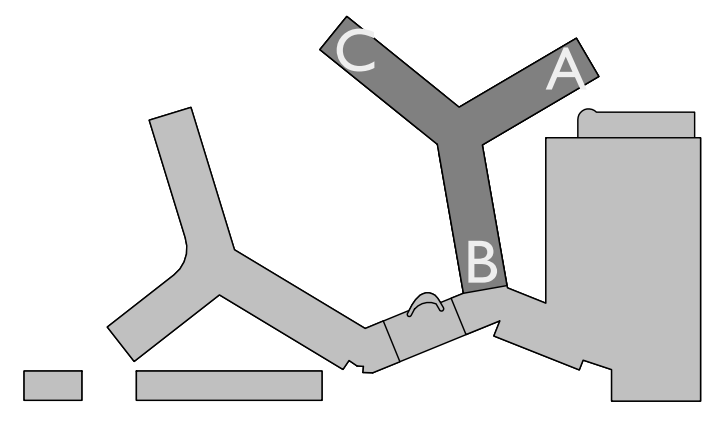
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- PROPOSED STRUCTURE, WALLS, AND PARTITION
- PROPOSED BALCONY SLABS

North Tower Sheet Notes - PROPOSED

1	Proposed Storefront/Glazing
2	Relocated Stairs
3	Proposed Elevator To Mezzanine Level

THIRD FLOOR PLAN - PROPOSED

FLAMINGO

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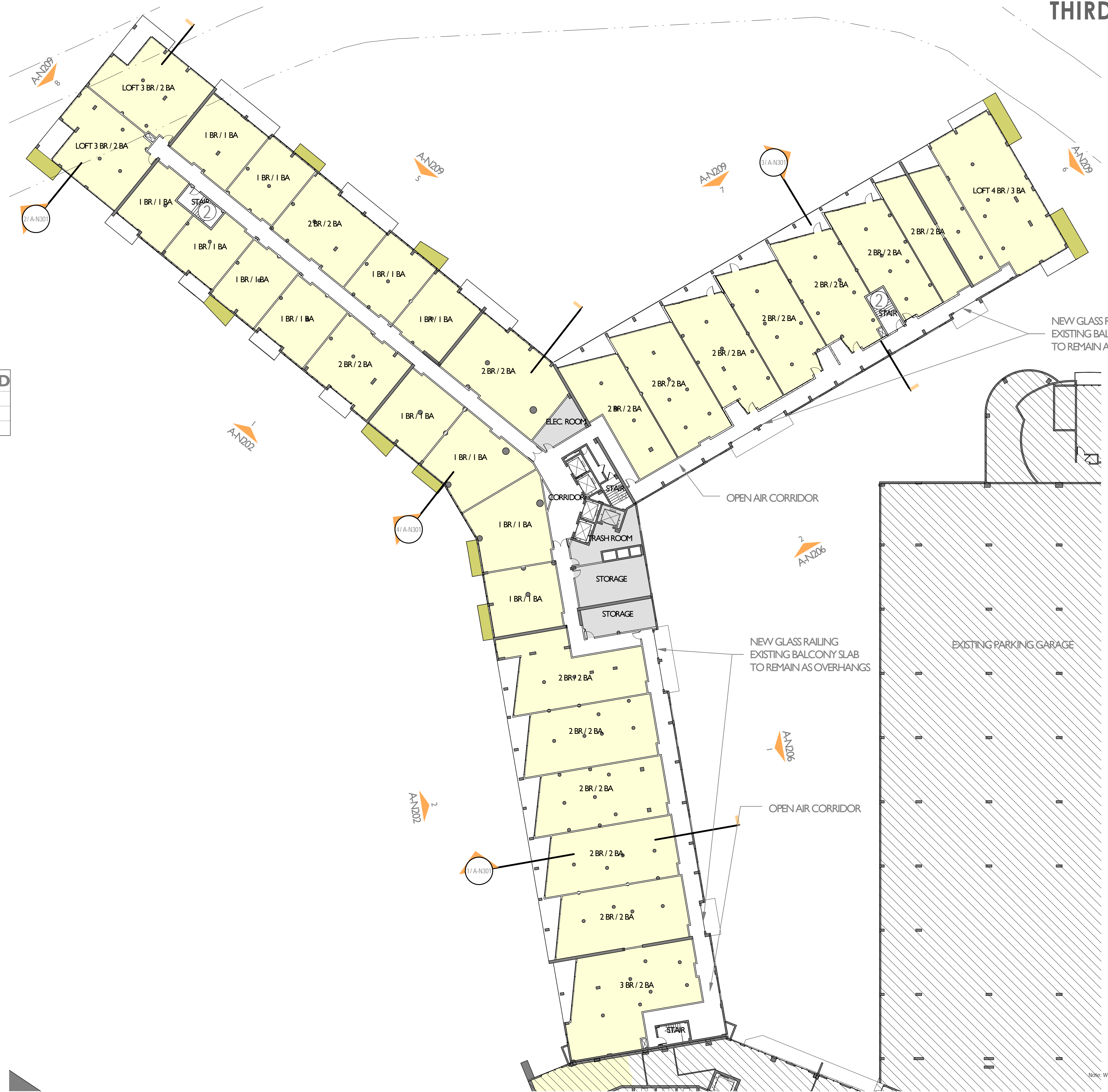


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Level 3 - Proposed
SCALE: 3/64" = 1'-0"

Scale: As indicated
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