

REQUEST FOR DRB APPROVAL FOR:
RESIDENCE AT 2675 FLAMINGO DRIVE, MIAMI BEACH FL 33140

FINAL SUBMISSION:
AUGUST 10, 2017



CLIENT

MANDARINI LLC TRS
2675FLAMINGO DRIVE
MIAMI BEACH, FL 33140

LANDSCAPE

TYLER NIELSEN
1016 CLARE AVENUE, BLBG5, PALM
BEACH, FL 33401
(561) 402-9414
RLA 6667067

STRUCTURE

JUAN B. ORDONEZ P.E.
15554 SW 113RD STREET
MIAMI, FL 33196
(305) 401-2051
FL #43380

SCOPE OF WORK:

REQUEST FOR DRB APPROVAL FOR THE PROPERTY LOCATED AT 2675
FLAMINGO DRIVE, MIAMI BEACH, FL 33140.

WAIVER:

The waiver is to provide a graded green area to make a
transition at the front and at the back of the big sliding
doors of the house leaving the existing asphalt driveway
area in place.

VARIANCES:

- A. To reduce the minimum side set
back: Provided: 8'-0". Required: 10'-0"
- B. To exceed the minimum allowed projection for roof
overhang on the north
side. Proposed: 3'-0". Maximum 2'-6"
- C. To reduce the minimum sum of the side
setbacks: Provide 18'-0". Required: 25'-0"
- D. To maintain the existing concrete deck at the rear
at 0'-0" setback from the property
line. Provided 0'-0". Required: 6' -0".

JUAN B. ORDONEZ P.E. FL # 43380
15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

DRAWING: COVER PAGE

PROJECT:

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-0.0

FILE NAME: COVER PAGE

REQUEST FOR DRB APPROVAL FOR:
RESIDENCE AT 2675 FLAMINGO DRIVE, MIAMI BEACH FL 33140

DRB SUBMISSION:
JUNE 20, 2017

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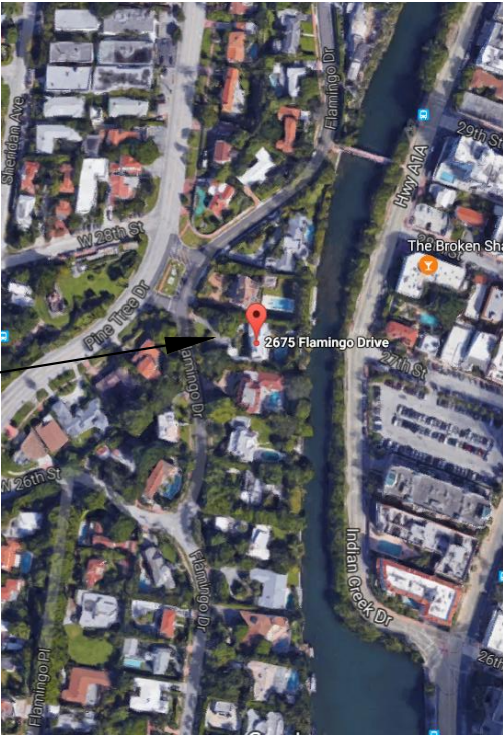
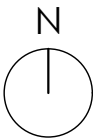
LANDSCAPE

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2675 Flamingo Drive
Miami Beach, FL 33140



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SEAL

DRAWING: INDEX & LOCATION MAP

PROJECT:

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DESIGNED BY: J. ORDONEZ

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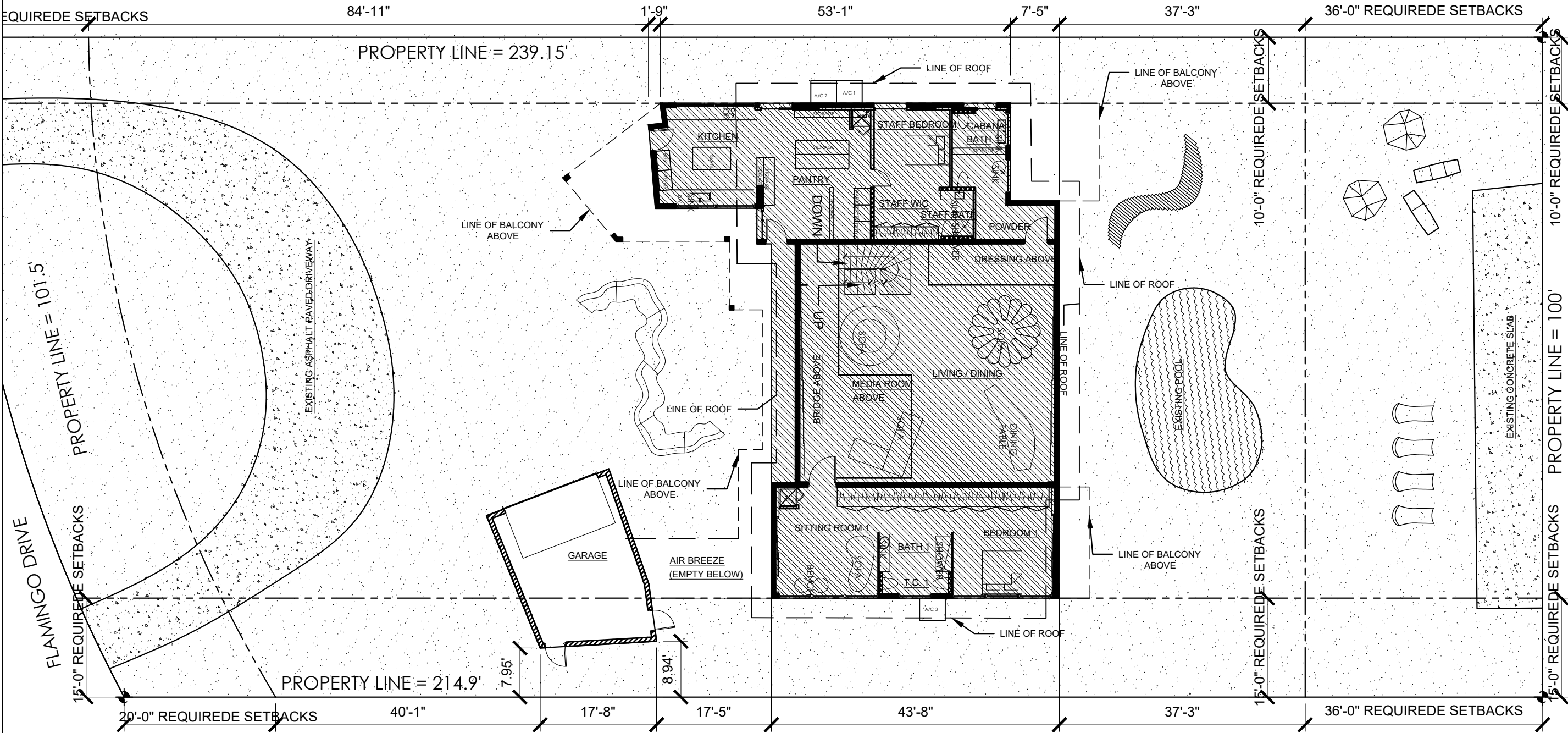
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A-0.1

FILE NAME: INDEX

ZONIN DATA

SEE ZONING DATA SHEET ON PAGE A-0.3.1



SITE PLAN

SCALE: 1/16"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380
15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SITE PLAN

DESIGNED BY:	J. ORDONEZ
DRAWN BY:	J.C.
CHECKED BY:	J. ORDONEZ
SCALE:	AS NOTED
DATE:	
JOB No.:	

△	DATE:	REVISION:

SHEET No.: A-0.3 OF:
FILE NAME: SITE PLAN



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	2675 Flamingo Drive, Miami Beach, FL 33140		
2	Folio number(s):	02-3226-002-0100		
3	Board and file numbers :	DRB17-0150		
4	Year built:	1937	Zoning District:	RS-2
5	Based Flood Elevation:	8.00' NGVD	Grade value in NGVD:	4.82' NGVD
6	Adjusted grade (Flood+Grade/2):	6.76' NGVD	Free board:	9.00' NGVD
7	Lot Area:	23,151 SF		
8	Lot width:	100'	Lot Depth:	227'
9	Max Lot Coverage SF and %:	6,945.3 SF (30%)	Proposed Lot Coverage SF and %:	3,522 SF (15%)
10	Exisiting Lot Coverage SF and %:	6,971.7 SF (30%)	Lot coverage deducted (garage-storage) SF:	458 SF
11	Front Yard Open Space SF and %:	1,693 SF (80%)	Rear Yard Open Space SF and %:	2,944 SF (81%)
12	Max Unit Size SF and %:	11,575.5 (50%)	Proposed Unit Size SF and %:	6,317 SF (27%)
13	Existing First Floor Unit Size:	2,952 SF	Proposed First Floor Unit Size:	3,326 SF
14	Existing Second Floor Unit Size	2,413 SF	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A because the Lot coverage is 15%
15			Proposed Second Floor Unit Size SF and % :	2,992 SF
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	0 SF (0%)

		Required	Existing	Proposed	Deficiencies
17	Height:	28'-0"	27'-3"	25'-2"	
18	Setbacks:				
19	Front First level:	20'-0"	40'-1"	40'-1"	
20	Front Second level:	30'-0"	75'-1"	75'-1"	
21	Side 1: (SOUTH)	15'-0" (or 12'-6")	7.93' TO 11.03'	8'-0" TO 15'-0"	
22	Side 2 or (facing street): (NORTH)	10'-0" (or 12'-6")	7.3' TO 9.51'	10'-0"	
23	Rear:	36'-0"	36'-0"	36'-0"	
	Accessory Structure Side 1:	10'-0" (or 12'-6")	7.93' TO 11.03'	10'-0"	
24	Accessory Structure Side 2 or (facing street) :	15'-0" (or 12'-6")	7.3' TO 9.51'	15'-0"	
25	Accessory Structure Rear:		0'-0"	0'-0"	
26	Sum of Side yard :	25'-0"		18'-0"	

27	Located within a Local Historic District?	Yes or no
28	Designated as an individual Historic Single Family Residence Site?	Yes or no
29	Determined to be Architecturally Significant?	Yes or no

Notes:
If not applicable write N/A

JUAN B. ORDONEZ P.E. FL # 43380
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SEAL

DRAWING: ZONING DATA SHEET
PROJECT: 2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY:	J. ORDONEZ
DRAWN BY:	J.C.
CHECKED BY:	J. ORDONEZ
SCALE:	AS NOTED
DATE:	
JOB No.:	

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SHEET No.: OF:
A-0.3.1
FILE NAME: ZONING DATA

SITE DATA

EXISTING LOT SIZE: 23,151 S.F. (100%)
BLDG. LOT COVERAGE:
MAIN HOUSE: 3,458 S.F.
MASTER BEDROOM TERRACE: 13 S.F.
MASTER BATHROOM TERRACE: 51 S.F.
TOTAL BLDG LOT COVERAGE: 3,522 S.F. (15%)

BUILDING DATA

MAIN HOUSE
FIRST FLOOR (AC): 3,326 S.F.
SECOND FLOOR (AC): 2,992 S.F.
TOTAL (AC): 6,318 S.F.

GARAGE (NON AC): 458 S.F.
TOTAL (NON AC): 458 S.F.

TOTAL UNIT SIZE (AC+NON AC): 6,317 S.F. (27%)

FLOOR RATIO PERCENTAGE

MAIN HOUSE
TOTAL FIRST FLOOR: 3,326 S.F.
TOTAL SECOND FLOOR: 2,992 S.F.

TOTAL: 89.95%

FRONT SETBACK CALCULATION

AREA: 2,097 S.F. (100%)
IMPERVIOUS AREA: 404 S.F.
LANDSCAPE AREA: 1,693 S.F. (80%)

REAR SETBACK CALCULATION

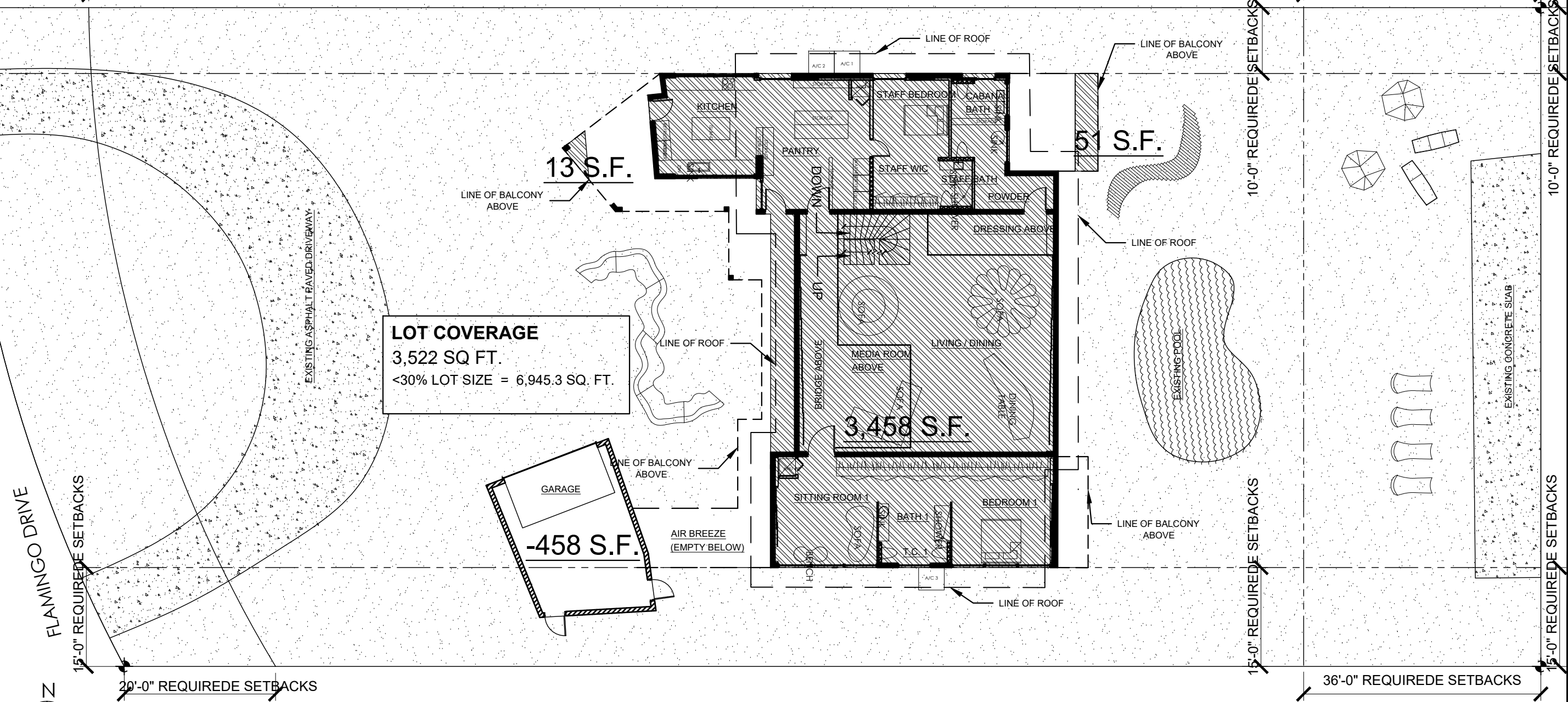
AREA: 3,600 S.F. (100%)
IMPERVIOUS AREA: 656 S.F.
LANDSCAPE AREA: 2,944 S.F. (81%)

SIDE SETBACK CALCULATION

NORTH SIDE SETBACK: 10'-0"
AREA: 1,843 S.F. (100%)
IMPERVIOUS AREA: 0 S.F.
LANDSCAPE AREA: 1,843 S.F. (100%)

MIN. SOUTH SIDE SETBACK: 7.95'
MAX. SOUTH SIDE SETBACK: 15'-0"
AREA: 2,402 S.F.
IMPERVIOUS AREA: 133 S.F.
LANDSCAPE AREA: 2,269 S.F. (94%)

REQUIREDE SETBACKS



FLAMINGO DRIVE

15'-0" REQUIREDE SETBACKS

20'-0" REQUIREDE SETBACKS

LOT COVERAGE DIAGRAM

SCALE: 1/16"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

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SEAL

DRAWING: AREA DIAGRAMS

PROJECT: 2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY:	J. ORDONEZ
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SCALE:	AS NOTED
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FILE NAME: AREA DIAGRAM

SITE DATA

EXISTING LOT SIZE: 23,151 S.F. (100%)
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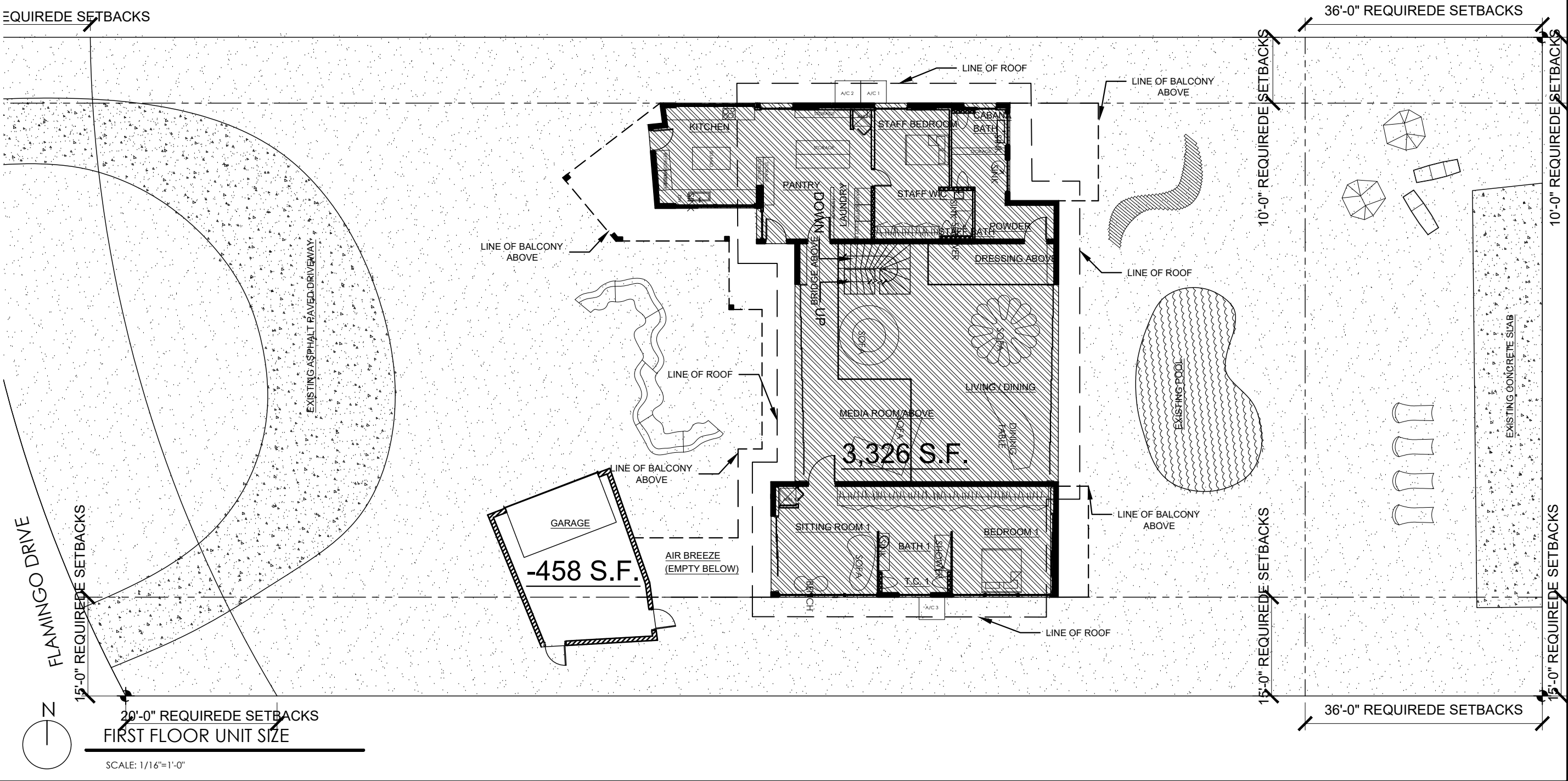
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REQUIRED SETBACKS



JUAN B. ORDONEZ P.E. FL # 43380

SEAL

AREA DIAGRAMS

DRAWING:

PROJECT:

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

DATE: REVISION:

SHEET No.: OF:

A-0.5

FILE NAME: AREA DIAGRAM

SITE DATA

EXISTING LOT SIZE: 23,151 S.F. (100%)
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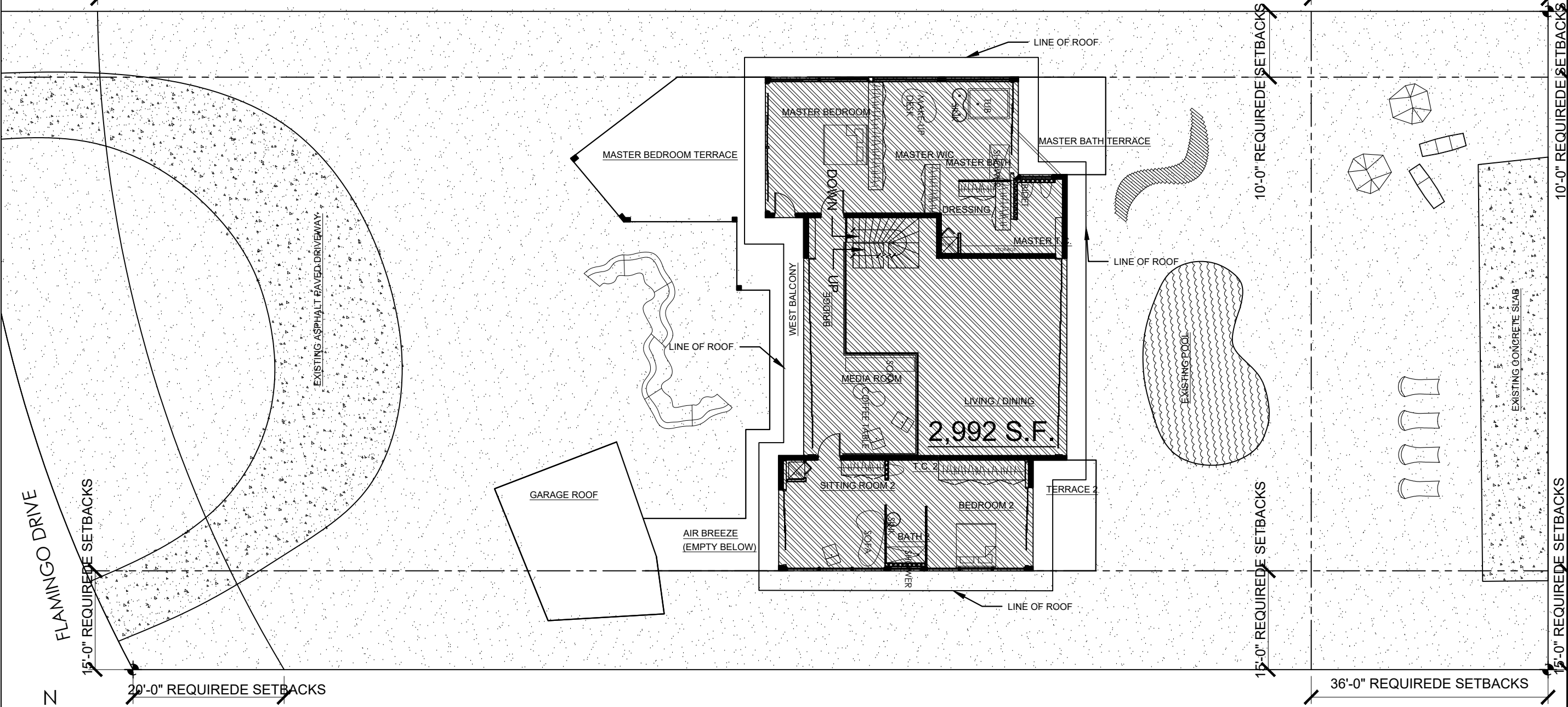
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REQUIRED SETBACKS



SECOND FLOOR UNIT SIZE

SCALE: 1/16"=1'-0"

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A-0.6

FILE NAME: AREA DIAGRAM

SITE DATA

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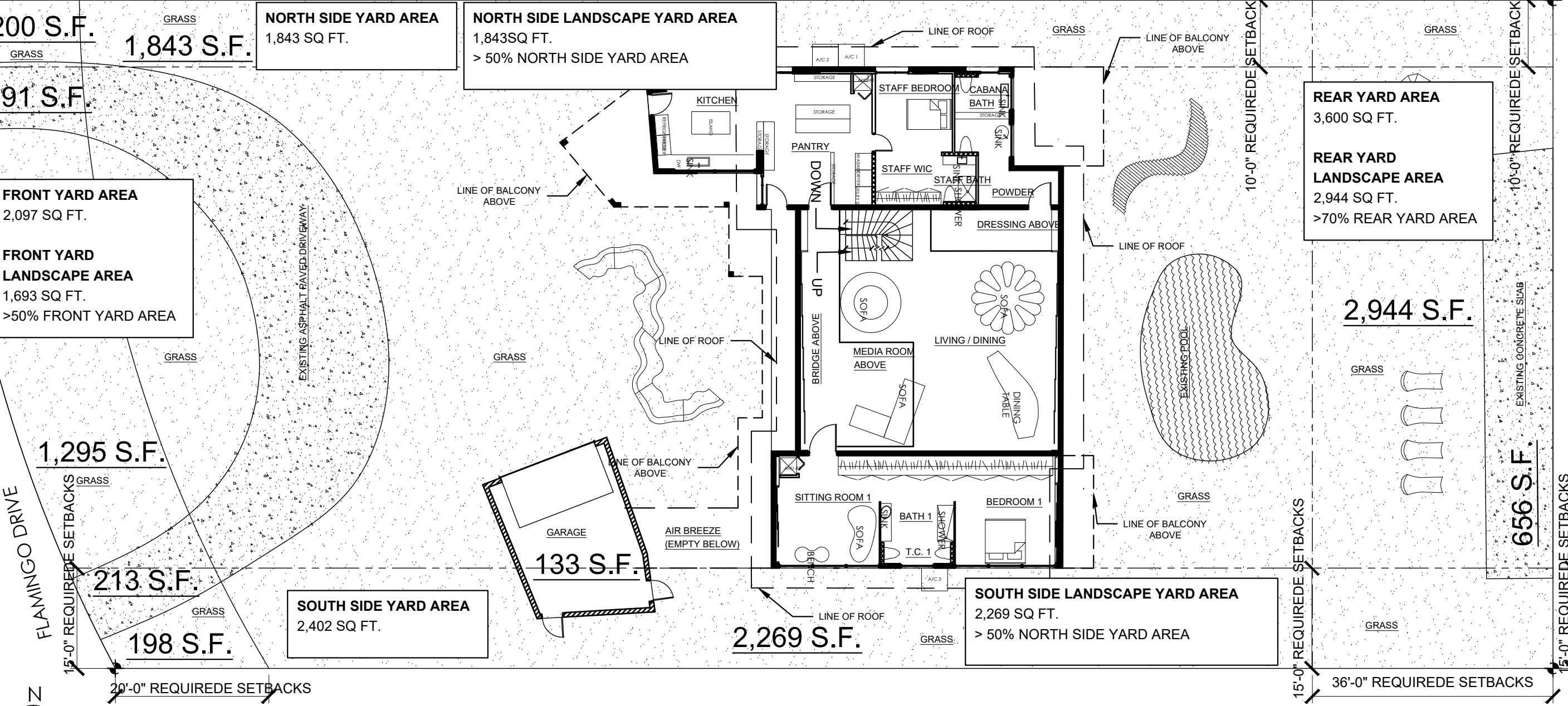
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REQUIRED SETBACKS



YARD OPEN SPACE / PERVIOUS AREA DIAGRAM

SCALE: 1/16"=1'-0"

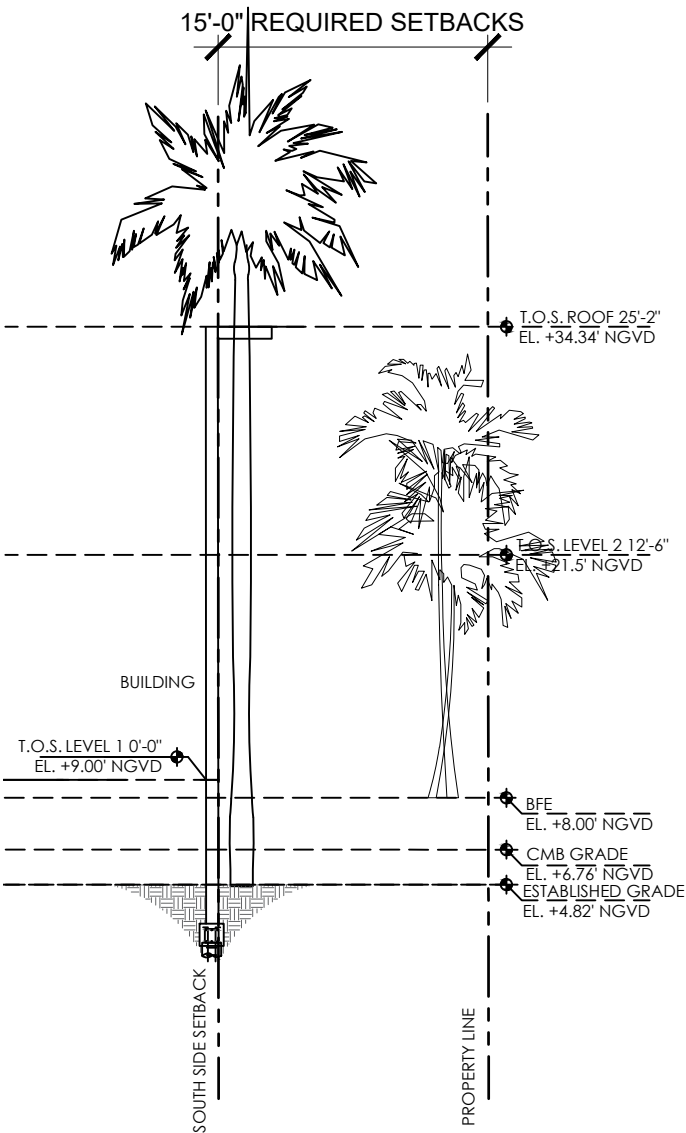
JUAN B. ORDONEZ P.E. FL # 43380
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MIAMI FL 33196
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YARD OPEN SPACE DIAGRAM

DESIGNED BY: J. ORDONEZ
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DATE:
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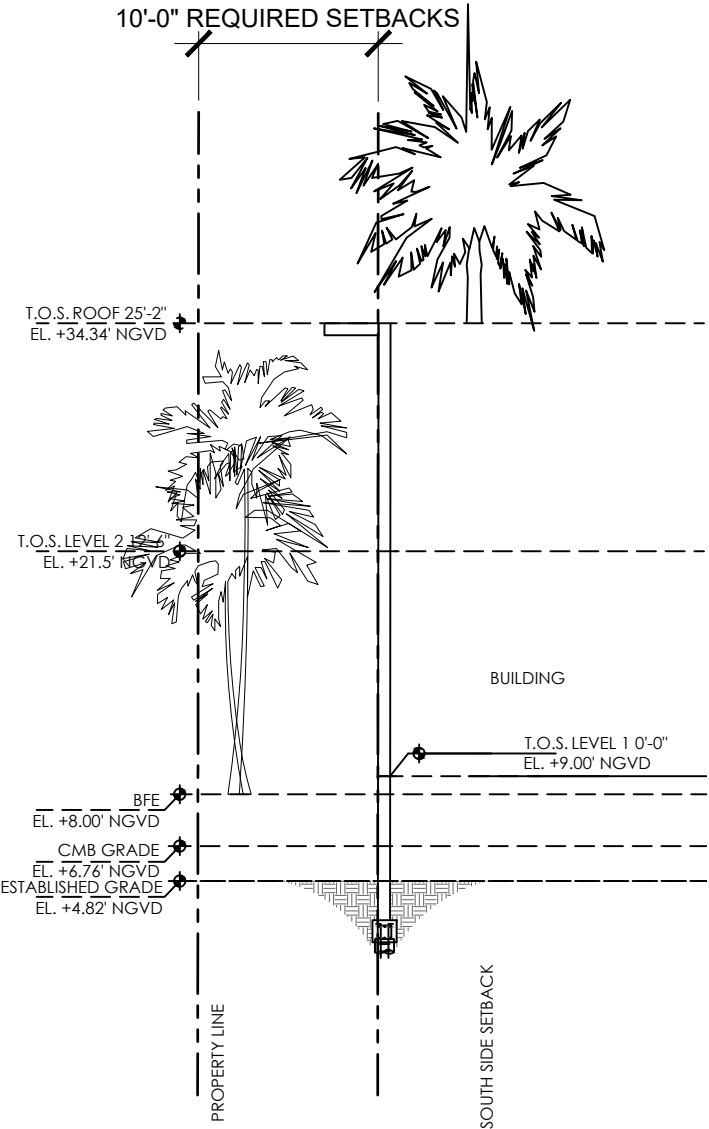
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FILE NAME: YARD DIAGRAM



SOUTH SECTION

SCALE: 3/32"=1'-0"



NORTH SECTION

SCALE: 3/32"=1'-0"

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SEAL

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DRAWING: YARD DIAGRAM SECTIONS

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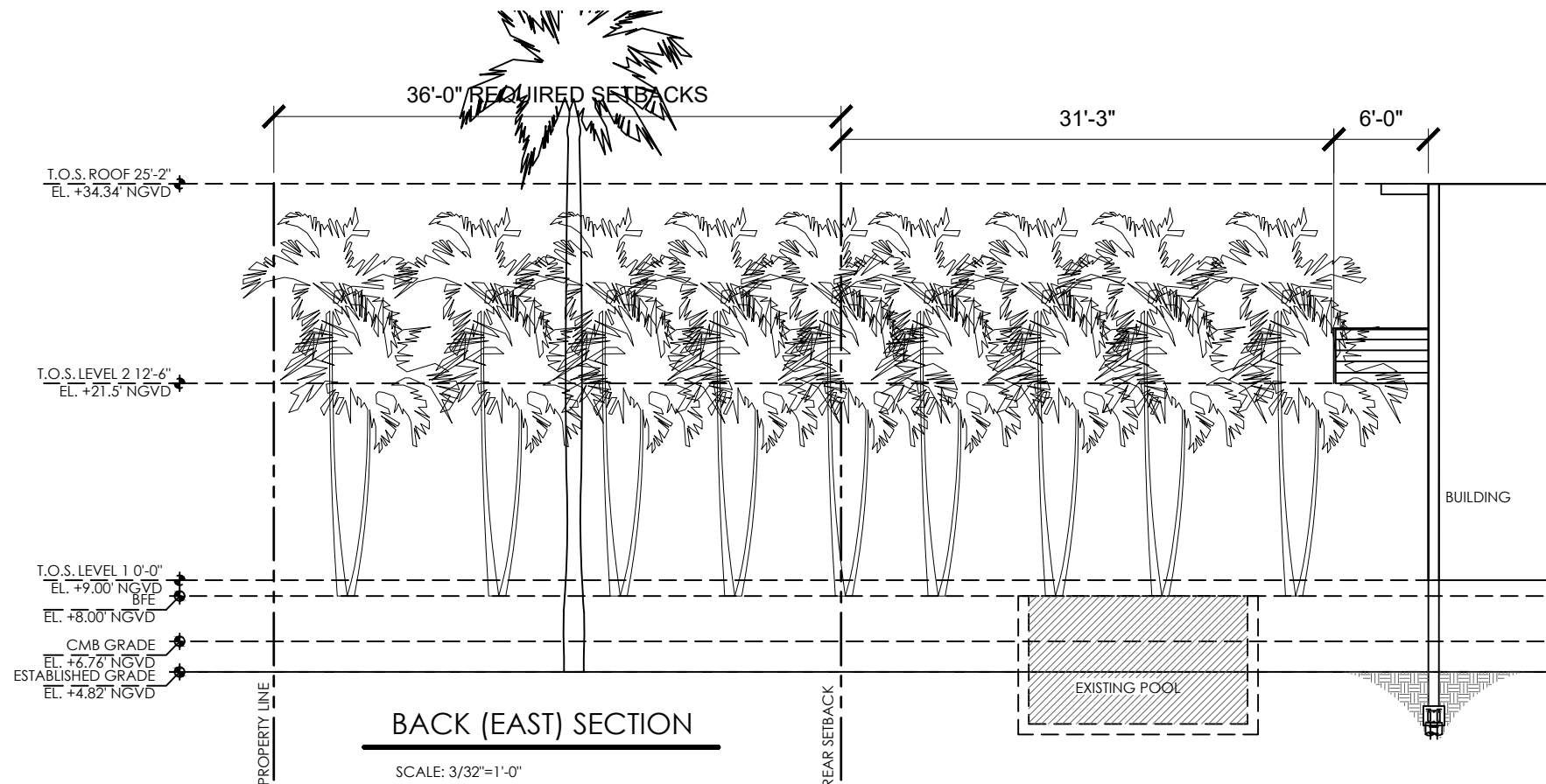
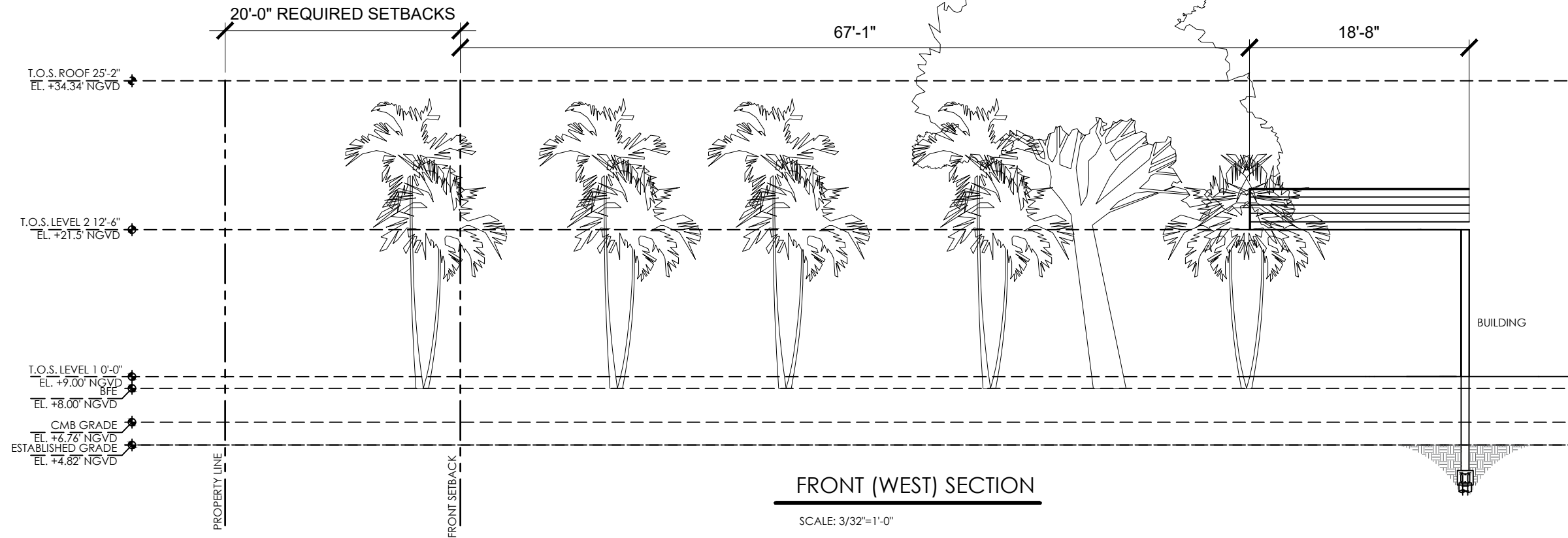
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SHEET No.: OF:

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FILE NAME: YARD DIAGRAM



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DRAWING: YARD DIAGRAM SECTIONS

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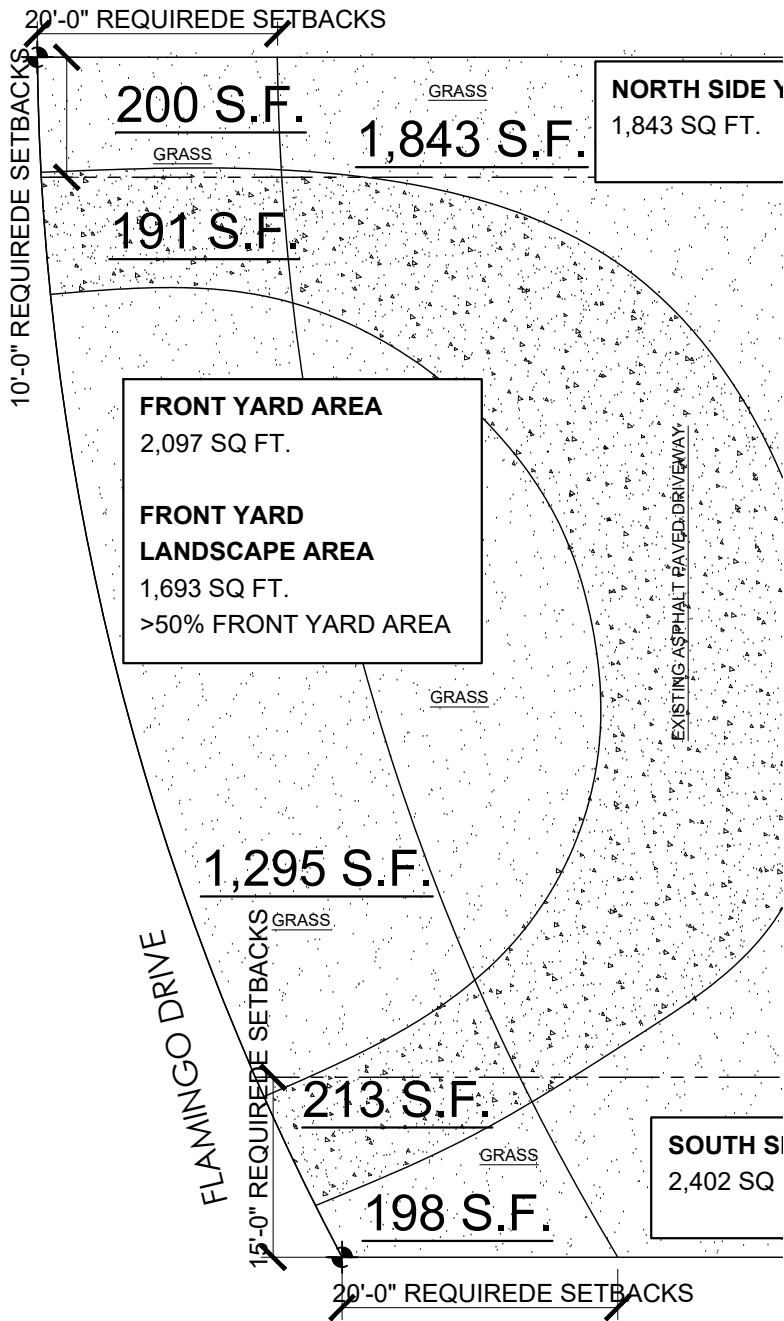
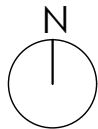
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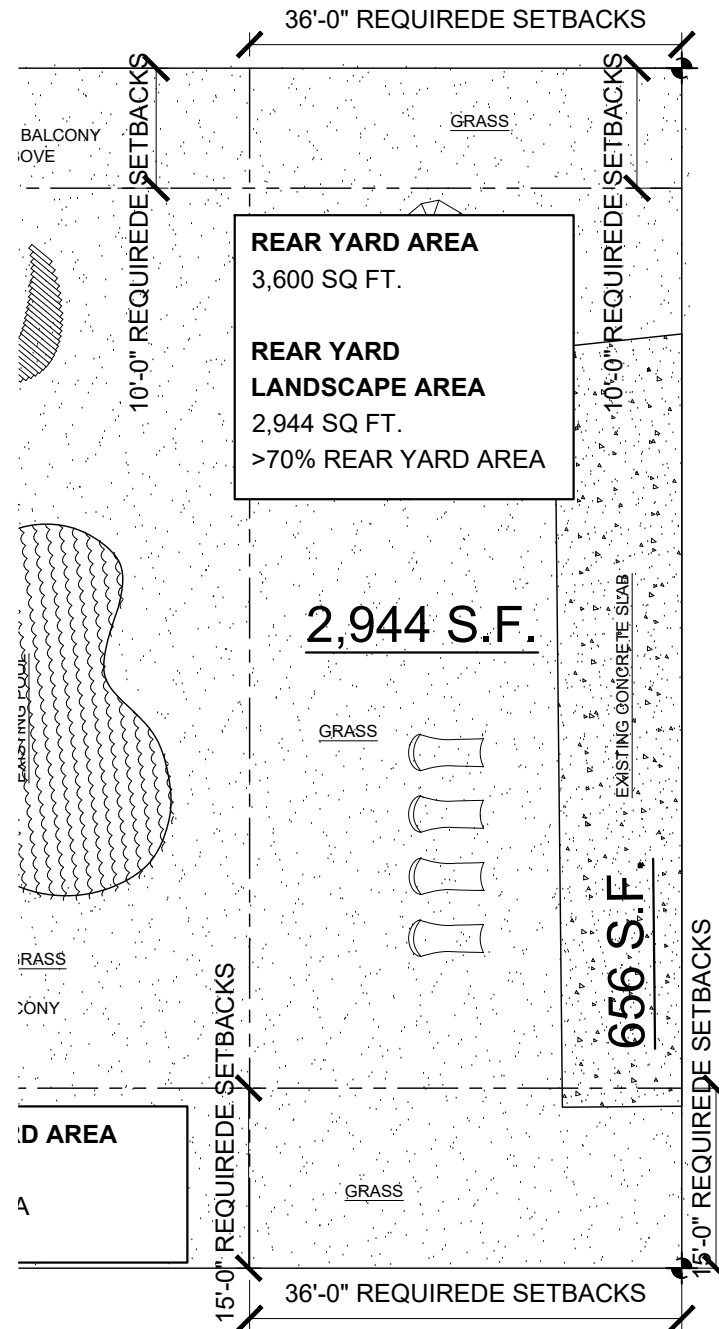
A-0.9

FILE NAME: YARD DIAGRAM



FRONT SETBACKS

SCALE: 1/16"=1'-0"



REAR SETBACKS

SCALE: 1/16"=1'-0"

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SETBACKS - FRONT & BACK

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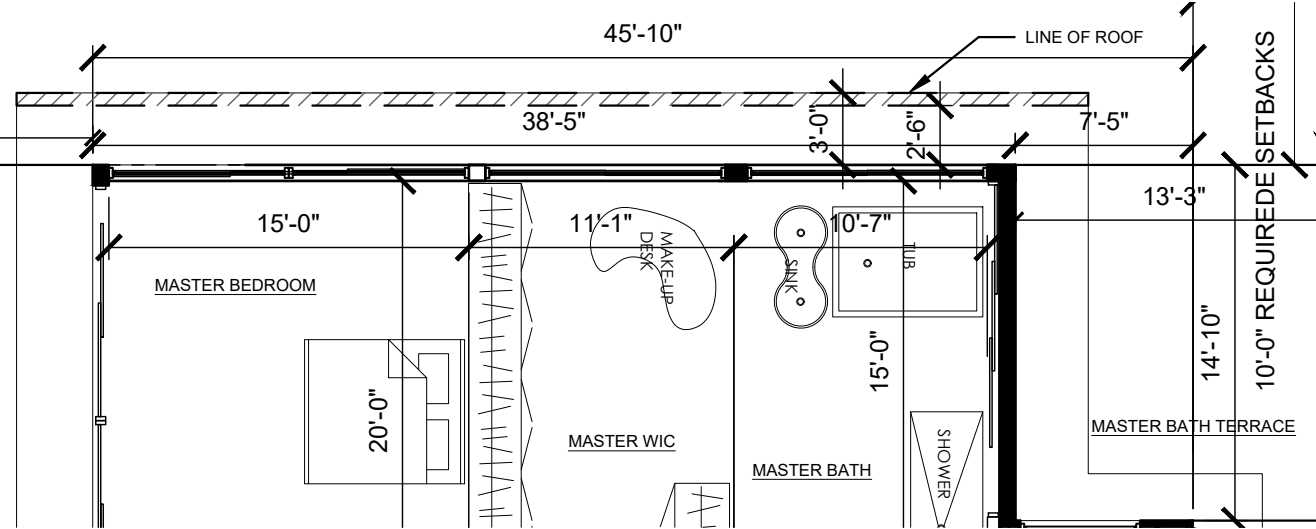
SHEET No.: OF:

A-0.10

FILE NAME: SETBACKS

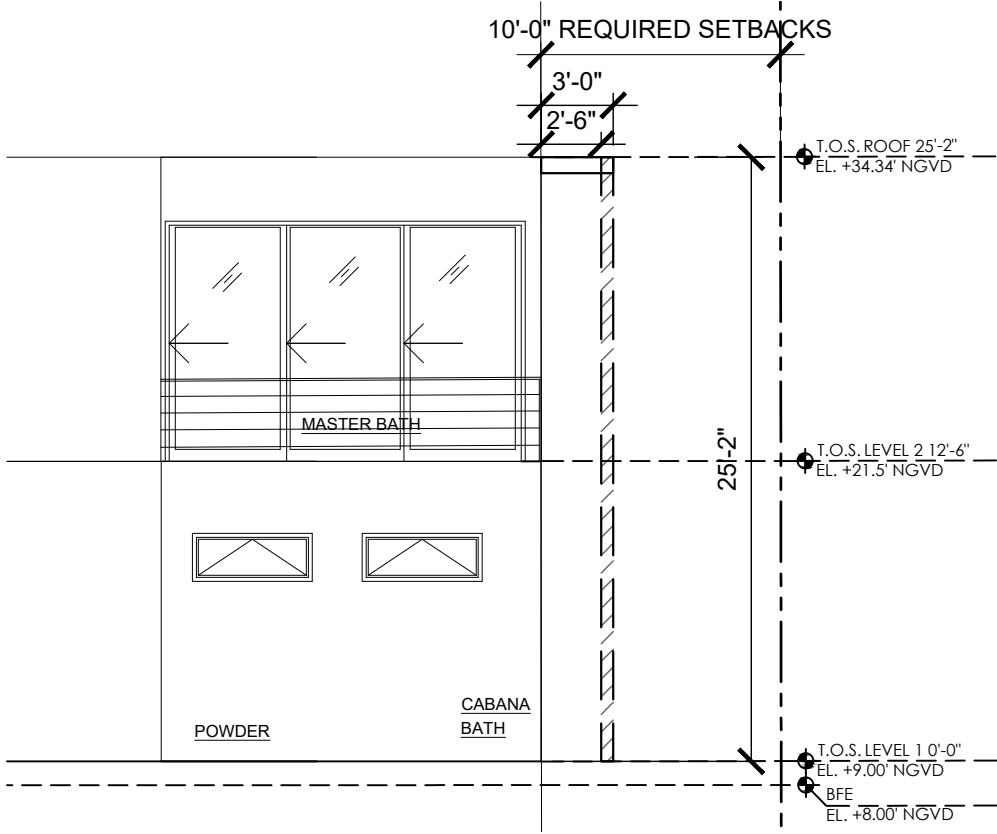
VARIANCE B

To exceed the maximum allowed projection for roof overhang on the north side. Proposed: 3'-0". Maximum: 2'-6".



FLOOR PLAN

SCALE: 1/8"=1'-0"

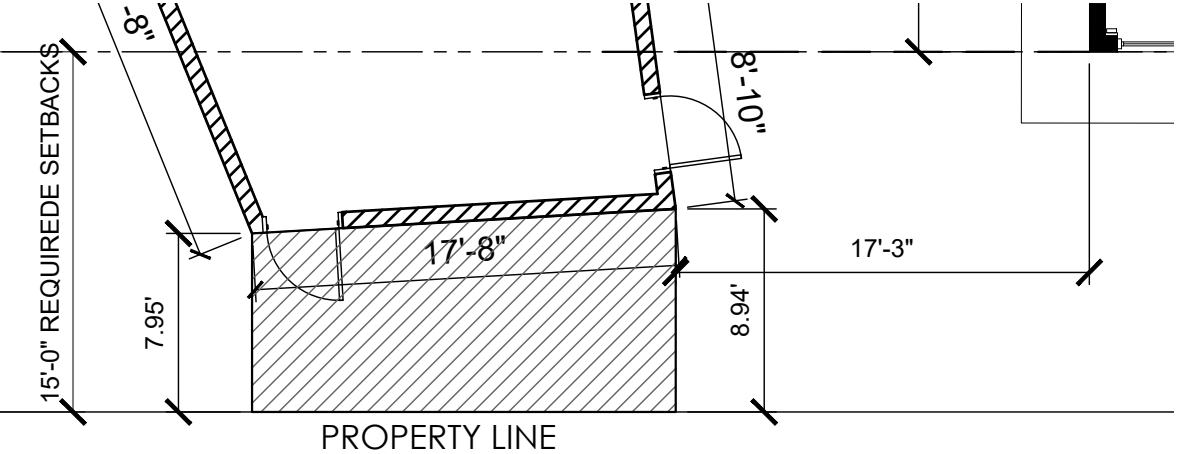


ELEVATION

SCALE: 1/8"=1'-0"

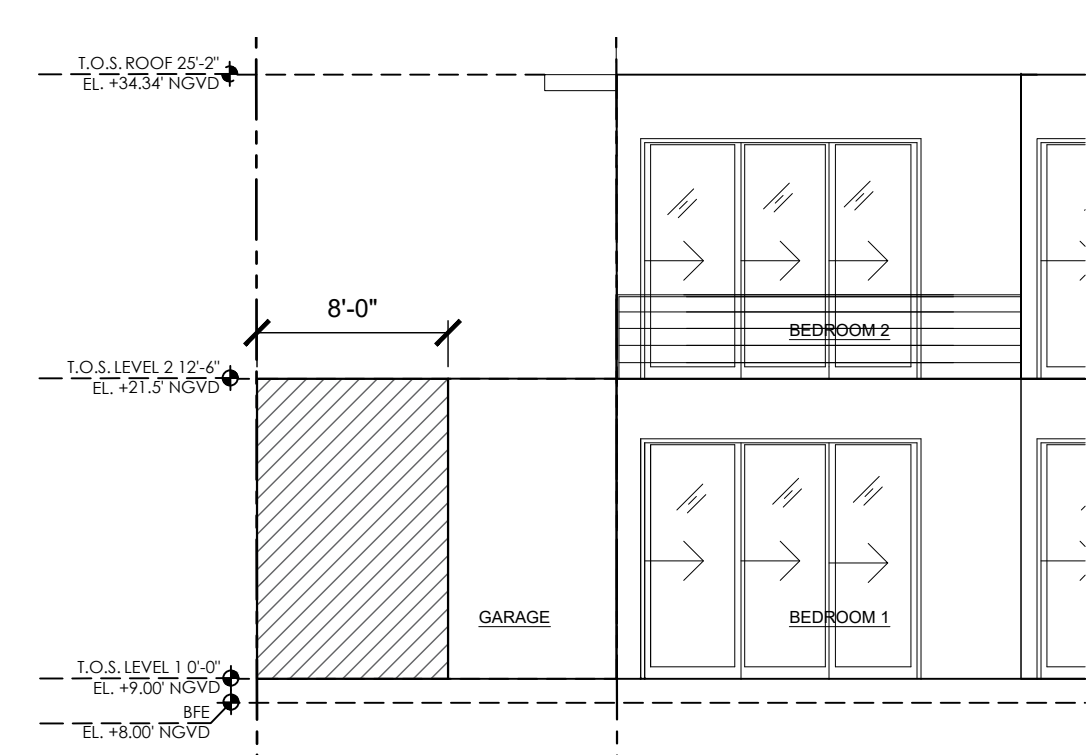
VARIANCE A

To reduce the minimum side setback: Provided: 8'-0", Required: 10'-0".



FLOOR PLAN

SCALE: 1/8"=1'-0"



ELEVATION

SCALE: 1/8"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

SEAL

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

DRAWING: VARIANCES

PROJECT:

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

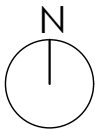
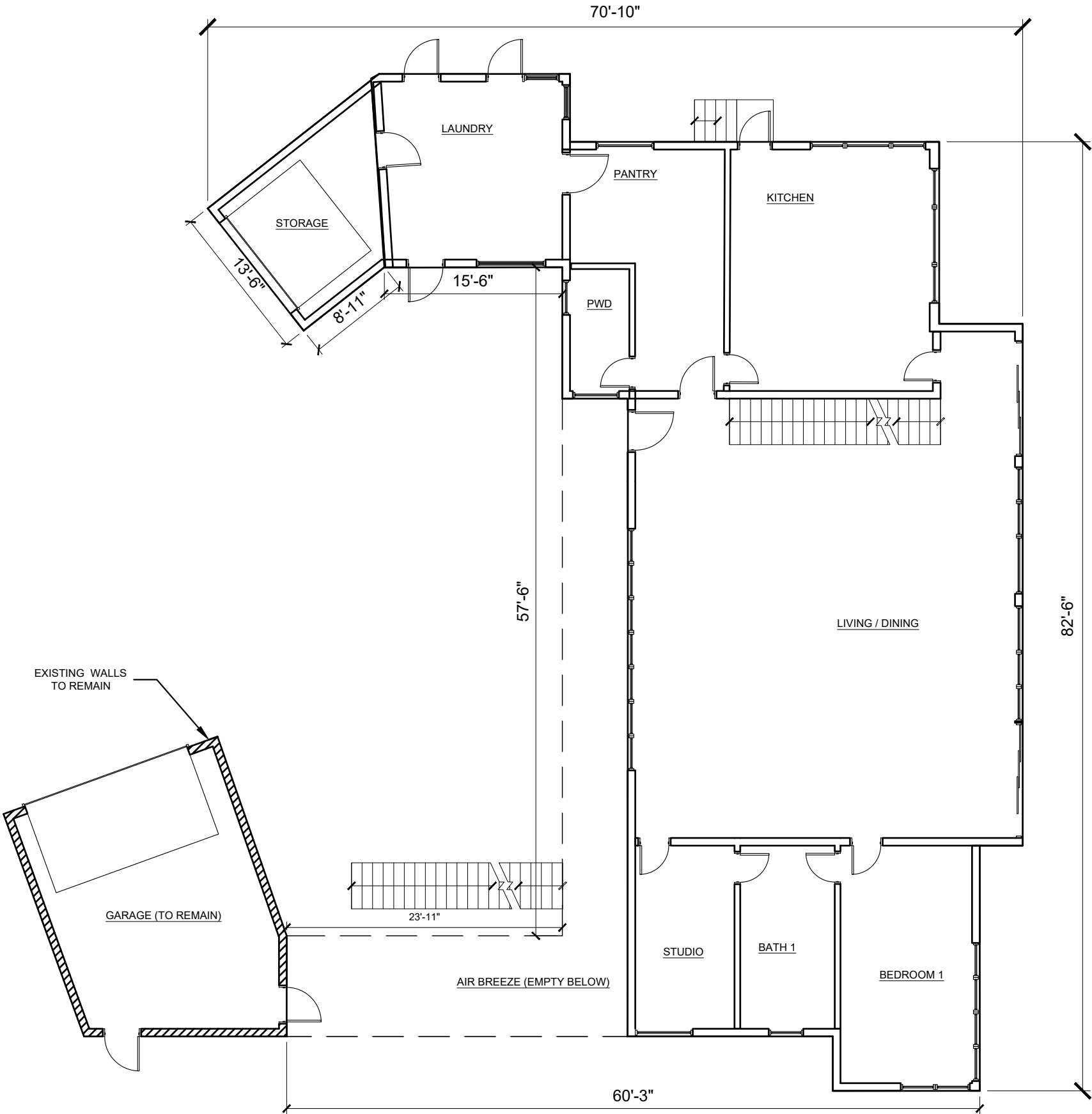
SHEET No.: OF:

A-0.12

FILE NAME: VARIANCE

LEGEND:

- EXISTING WALLS TO DEMOLISH
- EXISTING WALLS TO REMAIN
- EXISTING ROOF TO DEMOLISH
- EXISTING TERRACE, BALCONY & GARAGE
ROOF TO DEMOLISH



FIRST FLOOR DEMOLITION PLAN

SCALE: 3/32"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

SEAL

FIRST FLOOR DEMOLITION PLAN

DRAWING: PROJECT:

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

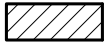
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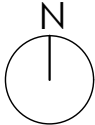
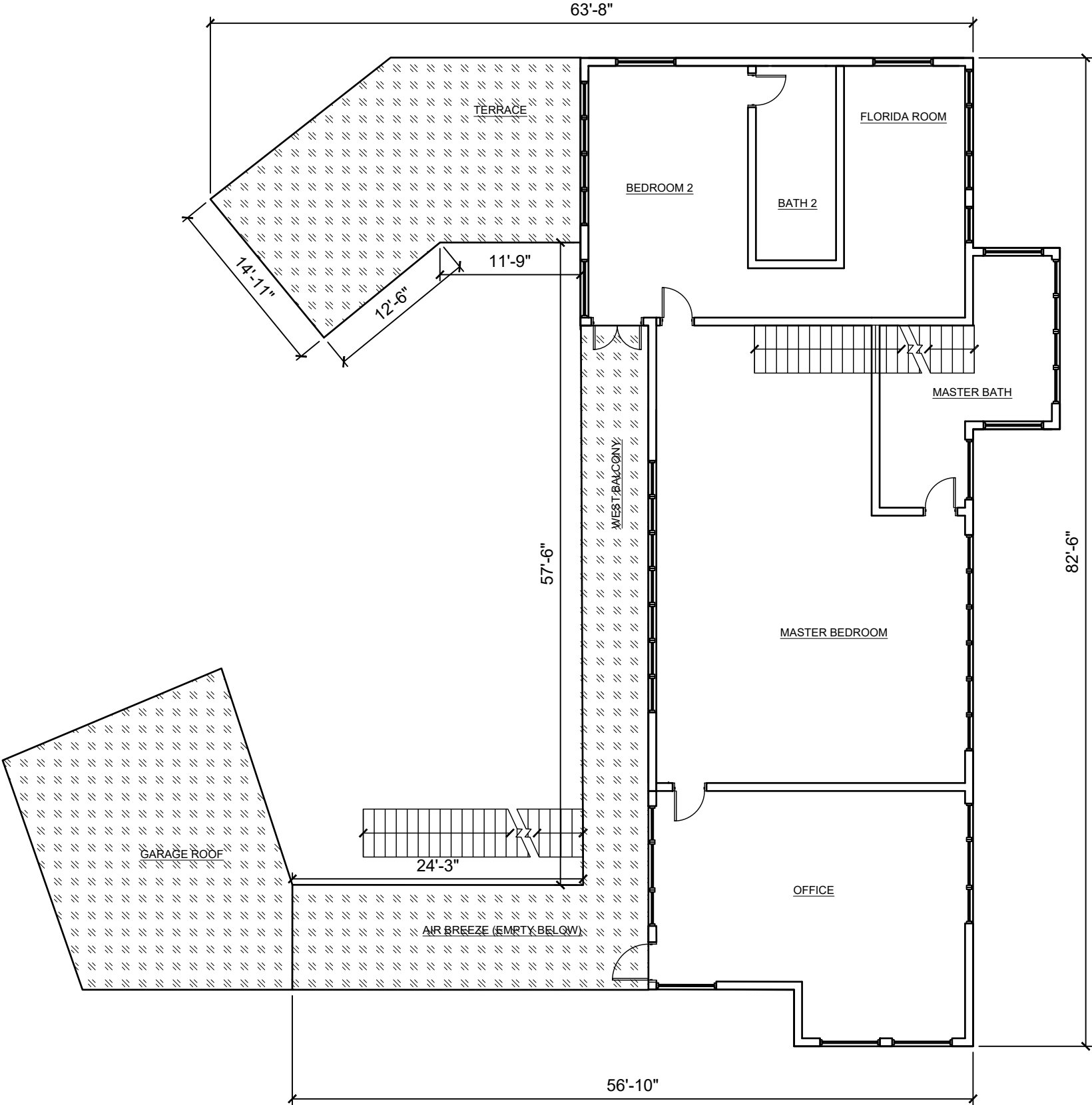
A-1.1

FILE NAME: DEMO PLAN

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

LEGEND:

-  EXISTING WALLS TO DEMOLISH
-  EXISTING WALLS TO REMAIN
-  EXISTING ROOF TO DEMOLISH
-  EXISTING TERRACE, BALCONY & GARAGE ROOF TO DEMOLISH



SECOND FLOOR DEMOLITION PLAN

SCALE: 3/32"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

SEAL

FIRST FLOOR DEMOLITION PLAN

DRAWING:

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

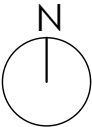
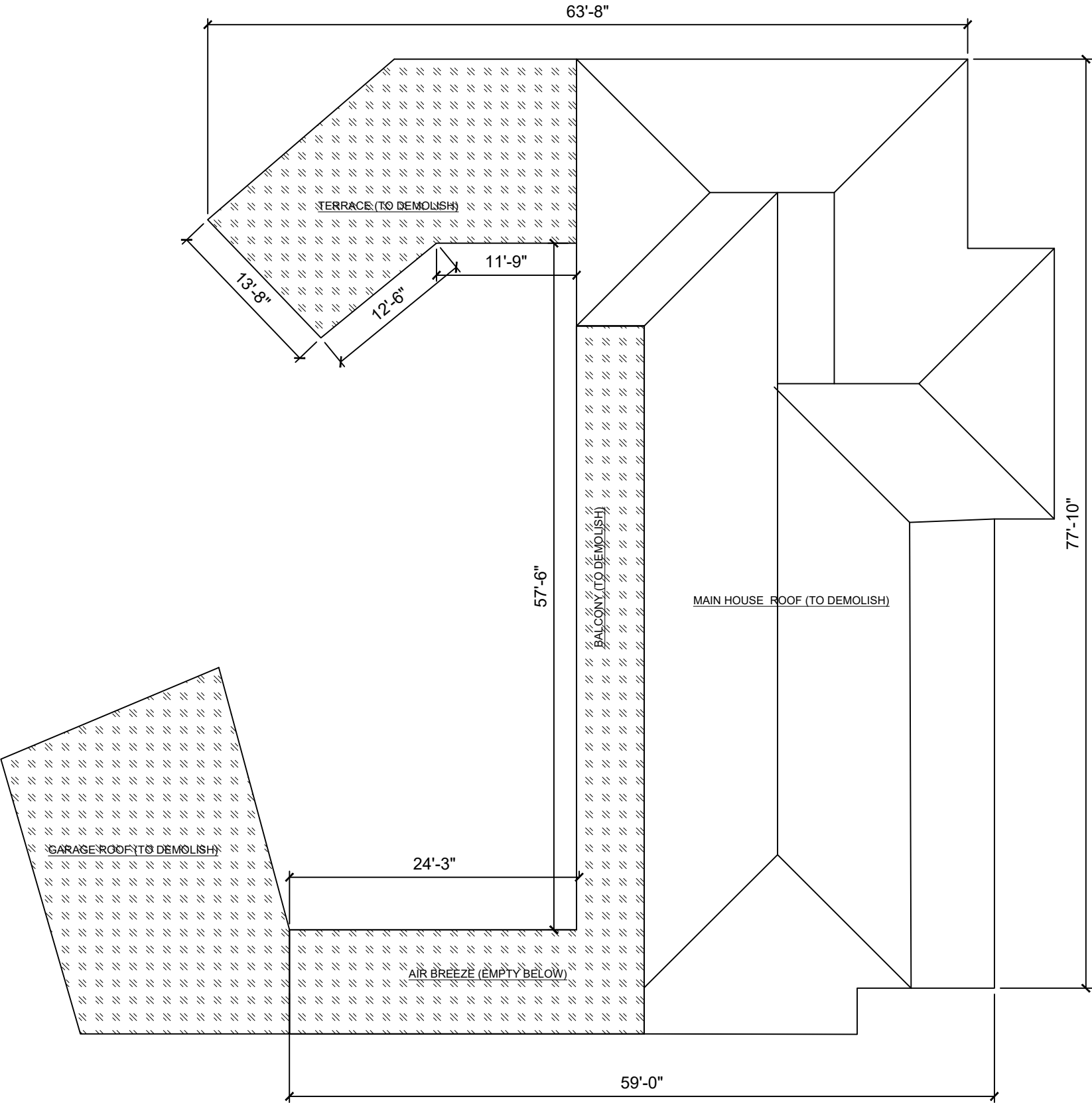
A-1.1

FILE NAME: DEMO PLAN

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

LEGEND:

- EXISTING WALLS TO DEMOLISH
- EXISTING WALLS TO REMAIN
- EXISTING ROOF TO DEMOLISH
- EXISTING TERRACE, BALCONY & GARAGE
- ROOF TO DEMOLISH



ROOF DEMOLITION PLAN

SCALE: 3/32"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380
15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

FIRST FLOOR DEMOLITION PLAN

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY:	J. ORDONEZ
DRAWN BY:	J.C.
CHECKED BY:	J. ORDONEZ
SCALE:	AS NOTED
DATE:	
JOB No.:	

△	DATE:	REVISION:

SHEET No.: A-1.1 OF:
FILE NAME: DEMO PLAN

LEGEND:

- NEW CONCRETE BLOCK WALL
- NEW PLUMBING WALL
- NEW PARTITION WALLS
- EXISTING WALLS TO REMAIN

NOTE:

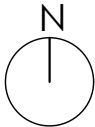
THE INTERIOR AND EXTERIOR FINISH OF ANY EXTERIOR CMU WALL, PLUMBING WALL OR INTERIOR PARTITION IS PLASTER MICROCEMENT.

THE FINISH FLOOR THROUGHOUT THE HOUSE IS PORCELANOSA AIRSLATE GRAPHITE 47"X95" TILE, 1/8" THICK.

BALCONIES AND TERRACES HAVE CONCRETE FLOOR.

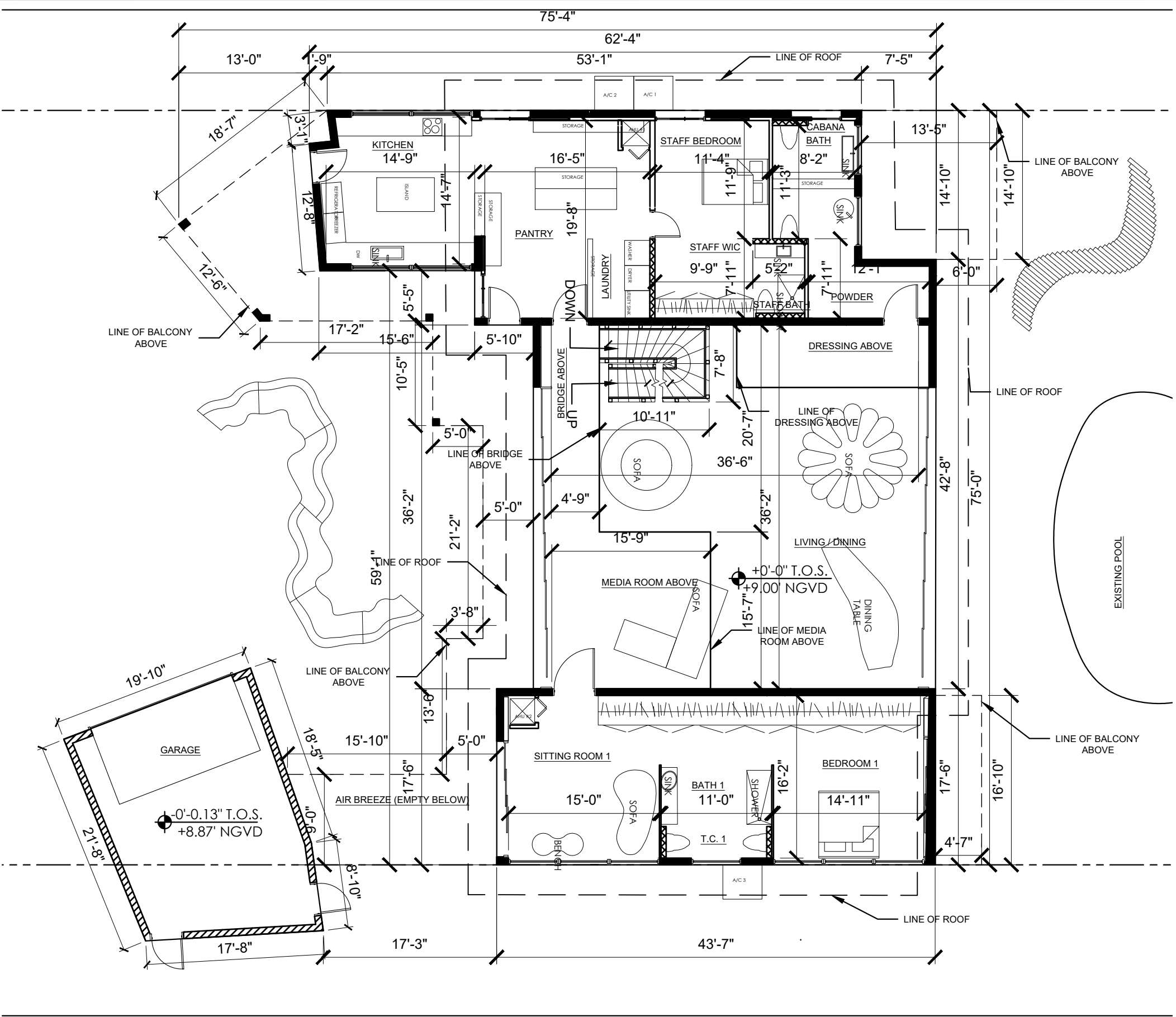
THE EXTERIOR WIRE RAILING, THE ROOF AND THE IMPACT WINDOWS AND DOORS ARE UNDER SEPARATE PERMITS.

ALL THE CABINETS, STORAGES AND CLOSETS ARE BUIL-IN.



FIRST FLOOR PROPOSED PLAN

SCALE: 3/32"=1'-0"



JUAN B. ORDONEZ P.E. FL # 43380
15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

FIRST FLOOR PROPOSED PLAN

DESIGNED BY: J. ORDONEZ
DRAWN BY: J.C.
CHECKED BY: J. ORDONEZ
SCALE: AS NOTED
DATE:
JOB No.:

DATE:	REVISION:

SHEET No.: A-1.1 OF:
FILE NAME: FLOOR PLAN

LEGEND:

- NEW CONCRETE BLOCK WALL
- NEW PLUMBING WALL
- NEW PARTITION WALLS
- EXISTING WALLS TO REMAIN

NOTE:

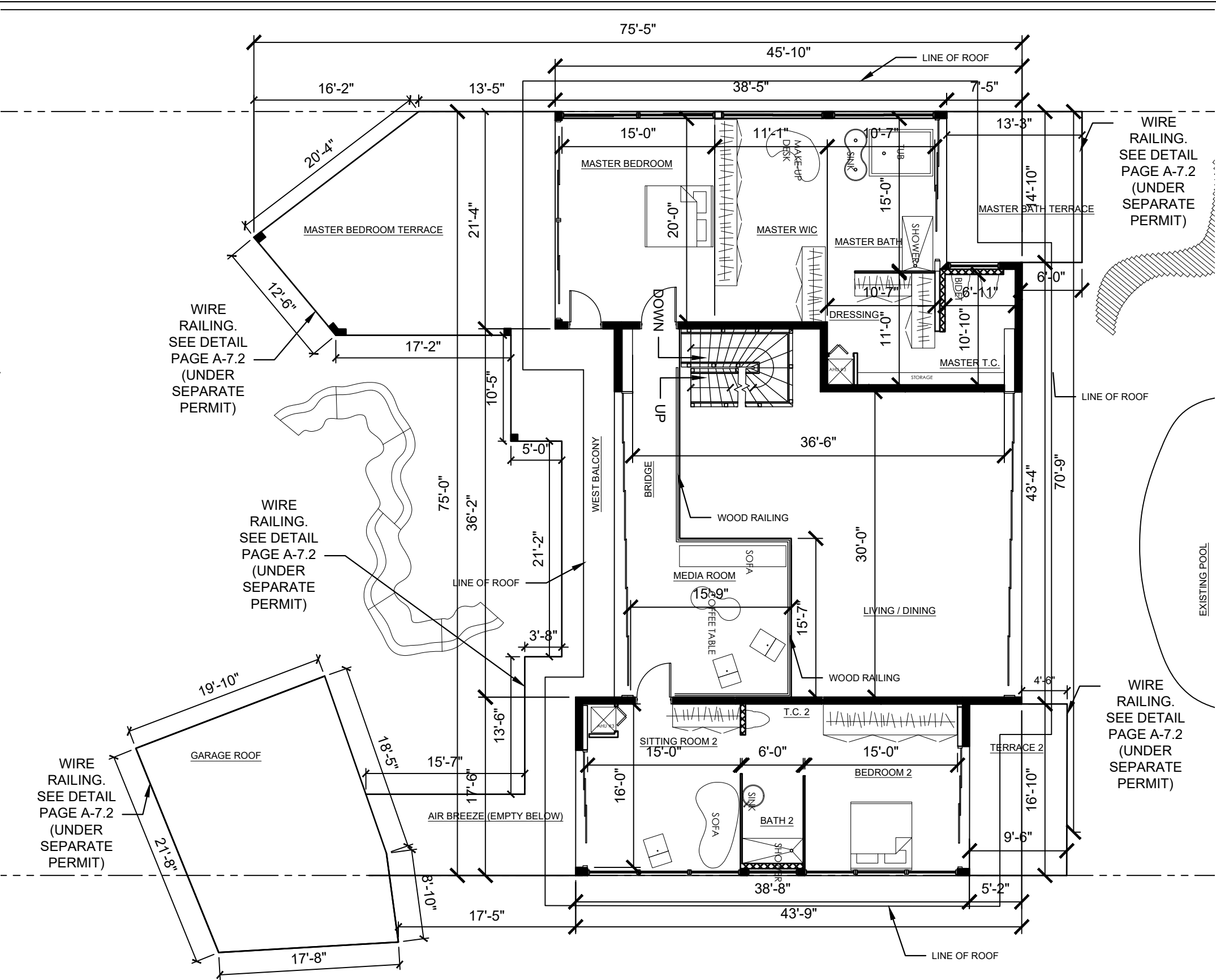
THE INTERIOR AND EXTERIOR FINISH OF ANY EXTERIOR CMU WALL, PLUMBING WALL OR INTERIOR PARTITION IS PLASTER MICROCEMENT.

THE FINISH FLOOR THROUGHOUT THE HOUSE IS PORCELANOSA AIRSLATE GRAPHITE 47"X95" TILE, $\frac{1}{8}$ " THICK.

BALCONIES AND TERRACES HAVE CONCRETE FLOOR.

THE EXTERIOR WIRE RAILING, THE ROOF AND THE IMPACT WINDOWS AND DOORS ARE UNDER SEPARATE PERMITS.

ALL THE CABINETS, STORAGES AND CLOSETS ARE BUIL-IN.



JUAN B. ORDONEZ P.E. FL # 43380

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

SECOND FLOOR PROPOSED PLAN

DESIGNED BY:	J. ORDONEZ
DRAWN BY:	J.C.
CHECKED BY:	J. ORDONEZ
SCALE:	AS NOTED
DATE:	
JOB No.:	

DATE:	REVISION:

SHEET No.: A-1.2
FILE NAME: FLOOR PLAN

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140



SECOND FLOOR PROPOSED PLAN

SCALE: 3/32"=1'-0"

LEGEND:

CONCRETE

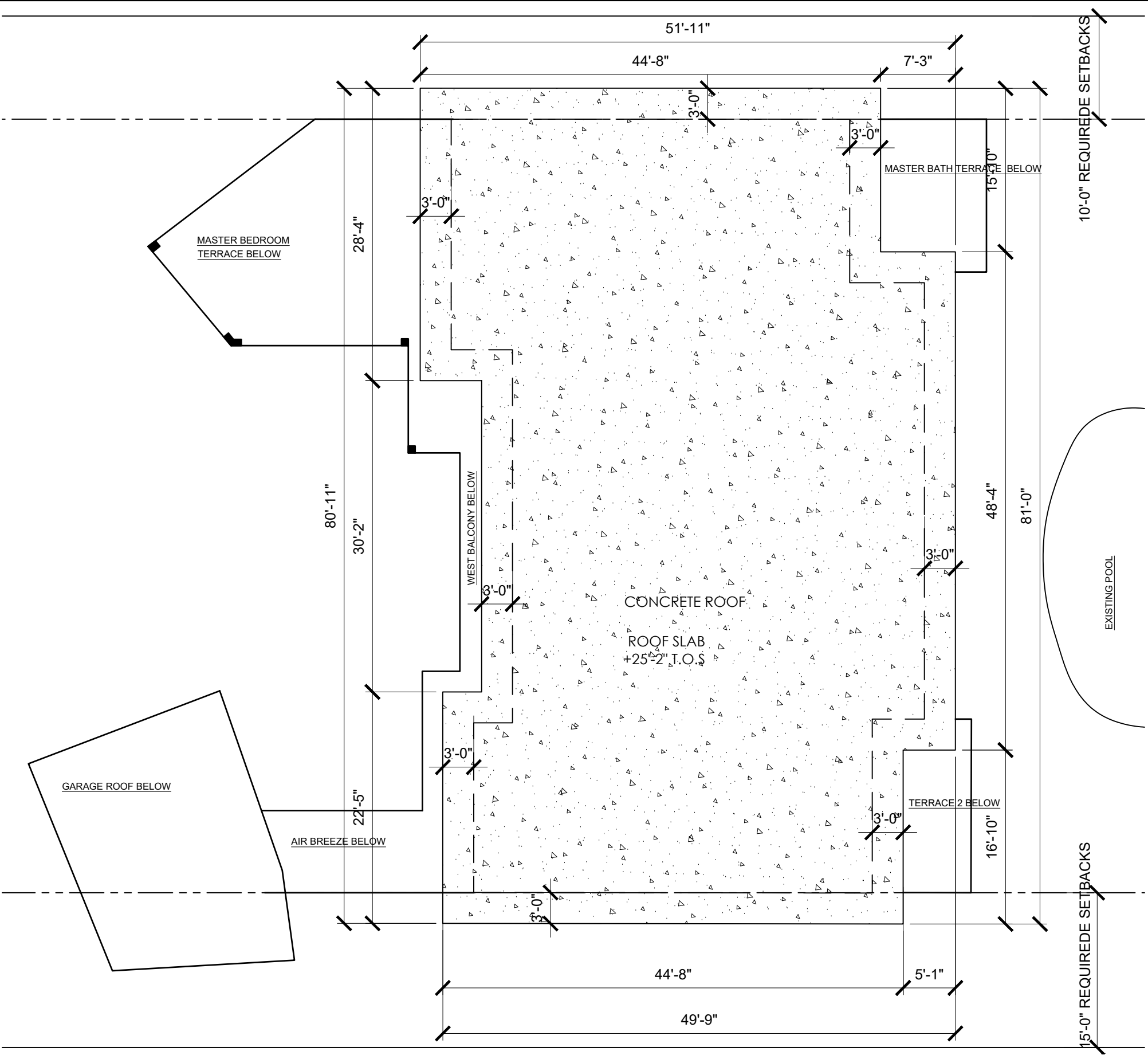
NOTE:

THE ROOF IS UNDER A SEPARATE PERMIT.



SECOND FLOOR PROPOSED PLAN

SCALE: 3/32"=1'-0"



JUAN B. ORDONEZ P.E. FL # 43380
15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

PROPOSED ROOF PLAN

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-1.3

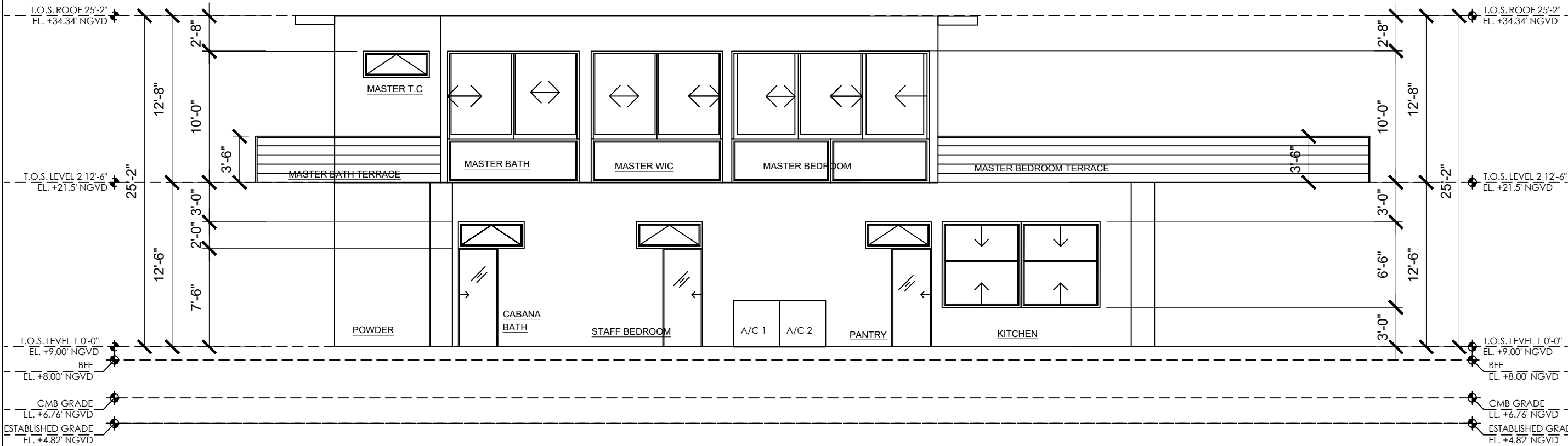
FILE NAME: ROOF PLAN

NOTE:

ALL THE WINDOWS AND DOORS HAVE A BRONZE FINISH AND ARE UNDER A SEPARATE PERMIT.

THE WIRE RAILING IS UNDER A SEPARATE PERMIT.

THE FINISH OF THE EXTERIOR WALLS, BALCONIES AND ROOF IS PLASTER MICROCEMENT.



NORTH (LEFT) ELEVATION

SCALE: 1/8"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

DRAWING: EXTERIOR ELEVATION
PROJECT:

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-3.1

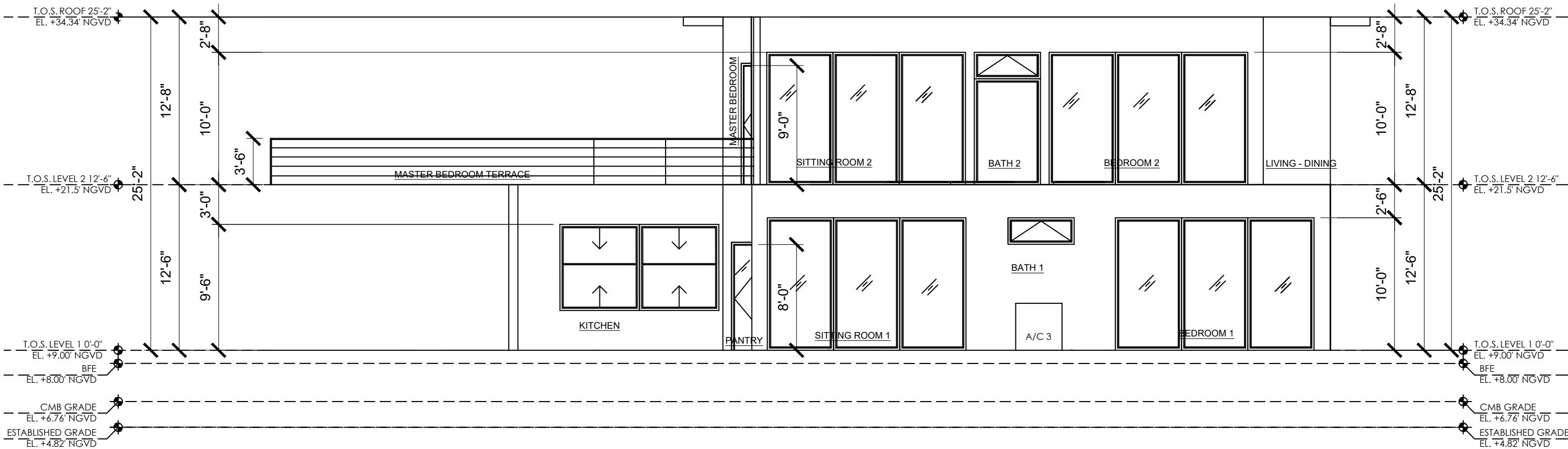
FILE NAME: ELEVATION

NOTE:

ALL THE WINDOWS AND DOORS HAVE A BRONZE FINISH AND ARE UNDER A SEPARATE PERMIT.

THE WIRE RAILING IS UNDER A SEPARATE PERMIT.

THE FINISH OF THE EXTERIOR WALLS, BALCONIES AND ROOF IS PLASTER MICROCEMENT.



SOUTH (RIGHT) ELEVATION

SCALE: 1/8"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

EXTERIOR ELEVATION

DRAWING:

PROJECT:

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-3.2

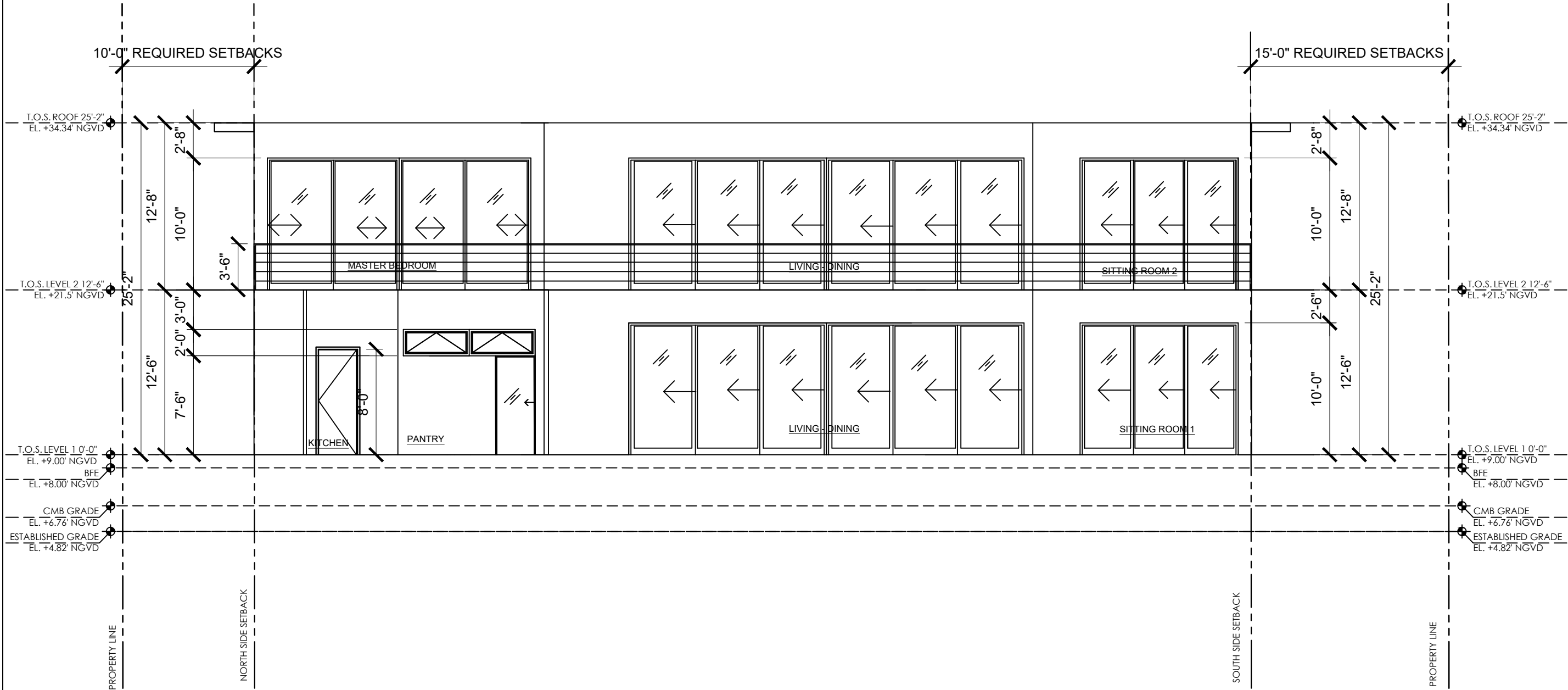
FILE NAME: ELEVATION

NOTE:

ALL THE WINDOWS AND DOORS HAVE A BRONZE FINISH AND ARE UNDER A SEPARATE PERMIT.

THE WIRE RAILING IS UNDER A SEPARATE PERMIT.

THE FINISH OF THE EXTERIOR WALLS, BALCONIES AND ROOF IS PLASTER MICROCEMENT.



WEST (FRONT) ELEVATION

SCALE: 1/8"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

DRAWING: EXTERIOR ELEVATION

PROJECT:

2675 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-3.3

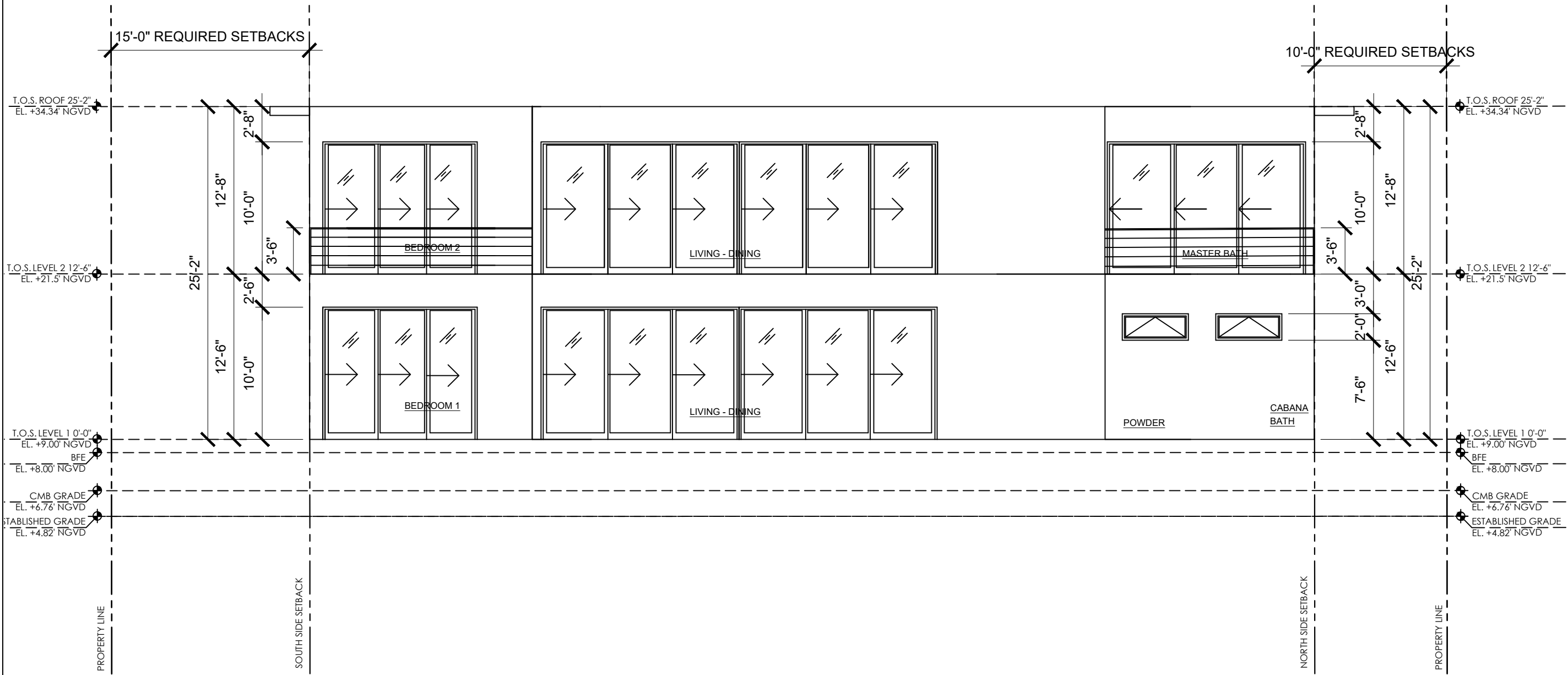
FILE NAME: ELEVATION

NOTE:

ALL THE WINDOWS AND DOORS HAVE A BRONZE FINISH AND ARE UNDER A SEPARATE PERMIT.

THE WIRE RAILING IS UNDER A SEPARATE PERMIT.

THE FINISH OF THE EXTERIOR WALLS, BALCONIES AND ROOF IS PLASTER MICROCEMENT.



EAST (REAR) ELEVATION

SCALE: 1/8"=1'-0"

JUAN B. ORDONEZ P.E. FL # 43380

15554 SW 113 ST
MIAMI FL 33196
PH: (305) 401 2051

SEAL

EXTERIOR ELEVATION

DRAWING:

PROJECT:

DESIGNED BY: J. ORDONEZ

DRAWN BY: J.C.

CHECKED BY: J. ORDONEZ

SCALE: AS NOTED

DATE:

JOB No.:

△	DATE:	REVISION:

SHEET No.: OF:

A-3.4

FILE NAME: ELEVATION