

## 1600 WASHINGTON AVE.

1600 WASHINGTON AVENUE  
MIAMI BEACH, FL 33139

Submitted to: City of Miami Beach

Architect: Stantec  
Landscape Architect: Savino & Miller Design  
Land Use: Bercow Radell & Fernandez & Larkin, P.A.  
Client: Lincoln Road Development, LLC.

Final Submission Date: 3 August 2017



1: Proposed Project Plans

- 2: Project Data
- 3: Zoning Analysis - Ground Floor
- 4: Zoning Analysis - Upper Floors
- 5: Proposed FAR Analysis
- 6: Total FAR Analysis
- 7: Parking Analysis
- 8: Parking Analysis
- 9: Proposed Site Plan
- 10: Proposed Ground Floor Plan
- 11: Proposed Level 02 Floor Plan
- 12: Proposed Level 03 - 10 Residential Floor Plan
- 13: Proposed Roof Level Floor Plan
- 14: Proposed East Elevation
- 15: Proposed South Elevation
- 16: Proposed North Elevation
- 17: Proposed West Elevation
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- 19: Proposed Cross Section
- 20: Proposed Wall Section
- 21: Proposed Perspective
- 22: Proposed Perspective
- 23: Proposed Perspective
- 24: East Elevation Line of Sight
- 25: South Elevation Line of Sight
- 26: Neighborhood Context Study
- 27: Open Space Calculation

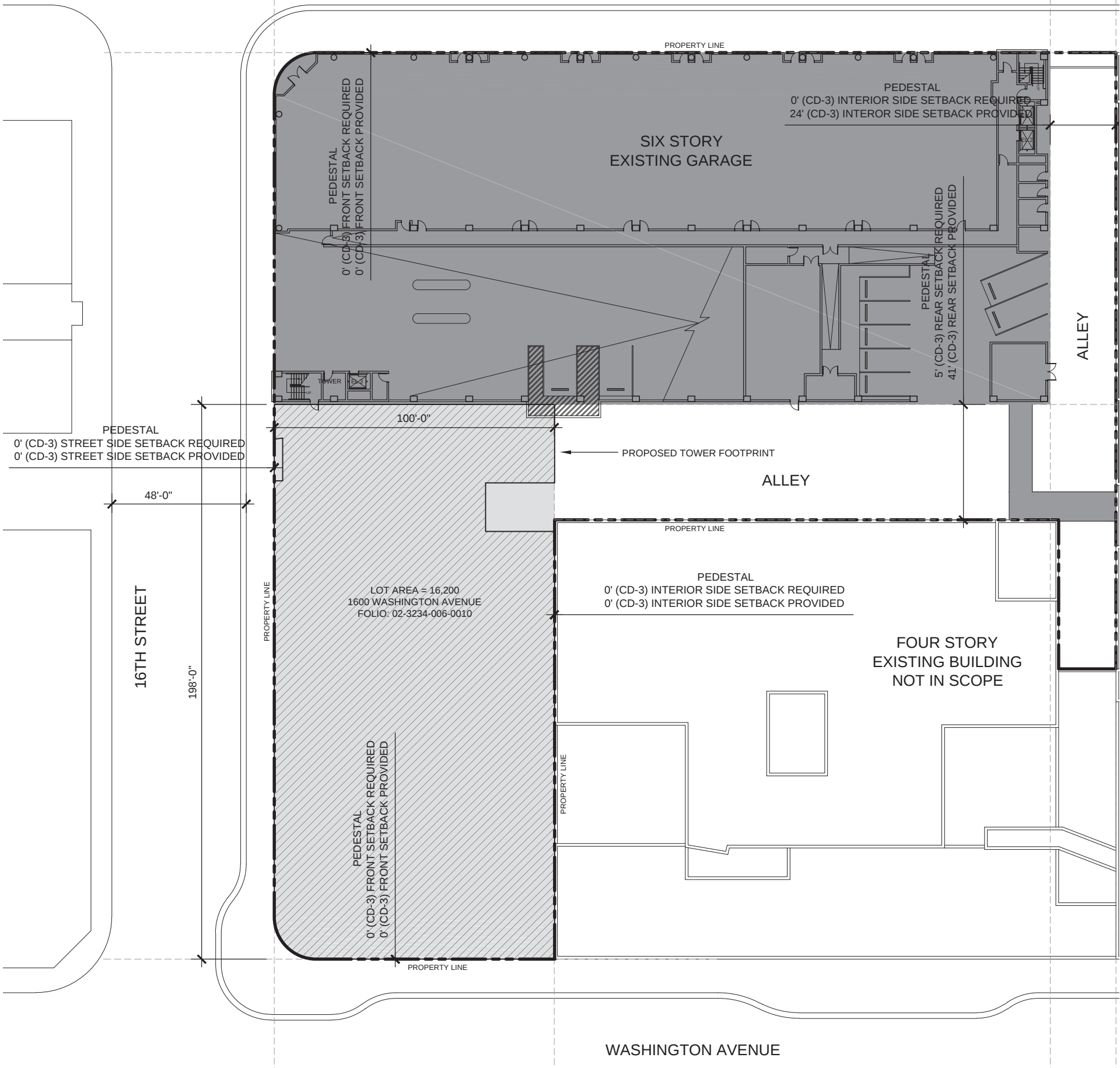
|    | Setbacks                    | Required    | Existing | Proposed | Deficiencies |
|----|-----------------------------|-------------|----------|----------|--------------|
|    | <b>Pedestal: CD-3</b>       |             |          |          |              |
| 24 | Front Setback               | 0'          | 0'       | 0'       | N/A          |
| 25 | Side Interior Setback       | 0'          | 10'      | 0'       | N/A          |
| 26 | Side Setback facing Street: | 0'          | 0'       | 0'       | N/A          |
| 27 | Rear Setback                | 5'          | 0'       | [0']     | N/A          |
|    | <b>Pedestal: RM-2*</b>      |             |          |          |              |
| 28 | Front Setback               | 20'         | N/A      | [0']     | N/A          |
| 29 | Side Interior Setback       | 8'**        | N/A      | [0']     | N/A          |
| 30 | Side Setback facing Street  | 8'**        | 5'       | [0']     | N/A          |
| 31 | Rear Setback                | 10'*****    | N/A      | [0']     | N/A          |
|    | <b>Tower: RM-2*</b>         |             |          |          |              |
| 32 | Front Setback               | 50' Max.*** | N/A      | [0']     | N/A          |
| 33 | Side Interior Setback:      | 19'****     | N/A      | [0']     | N/A          |
| 34 | Side Setback facing Street: | 8'**        | N/A      | [0']     | N/A          |
| 35 | Rear Setback:               | 15'*****    | N/A      | [0']     | N/A          |

## ZONING INFORMATION

## ZONING INFORMATION



- BUILDABLE FOOTPRINT AS PER CODE
- PROPOSED FOOTPRINT
- EXISTING BUILDING IN SCOPE



PROPOSED VARIANCES:

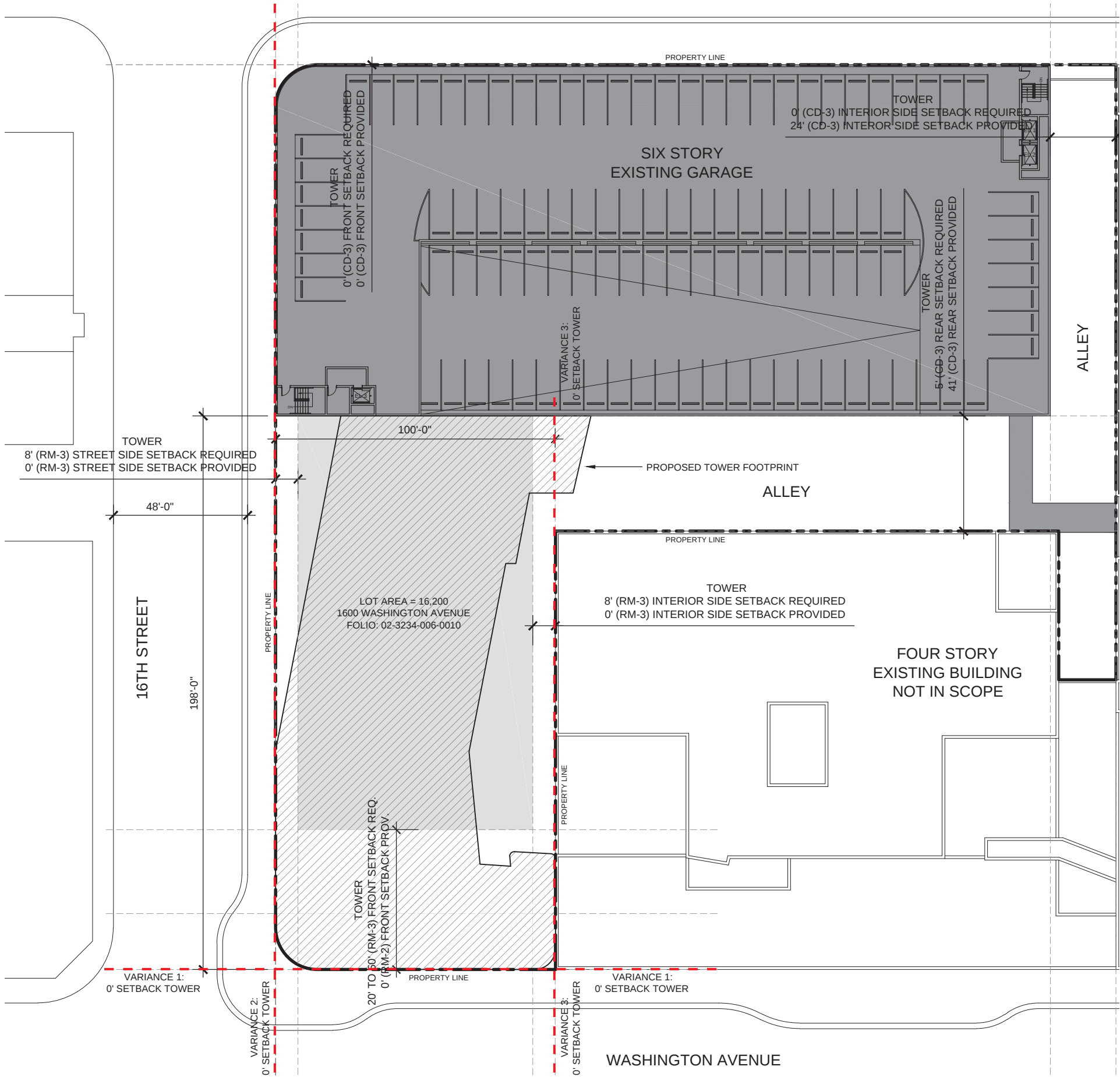
None required on ground level for CD-3 retail use.

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- BUILDABLE FOOTPRINT AS PER CODE
- PROPOSED FOOTPRINT REQUIRING MODIFIED VARIANCES
- EXISTING BUILDING IN SCOPE



- PROPOSED VARIANCES:
1. A variance from the minimum required front tower setback of 20'-0" + 1' for every 1' increase in height above 50' (for RM-3 zoning district) for the residential uses in order to construct a building with residential use up to the property line facing Washington Avenue.
  2. A variance from the minimum required street side tower setback of 8'-0" (8% of lot width for RM-3 zoning district) for the residential uses in order to construct a building with residential use up to the property line facing 16th Street.
  3. A variance from the minimum required interior side tower setback of 8'-0" (8% of lot width for RM-3 zoning district) for the residential uses in order to construct a building with residential use up to the neighboring existing building.
  4. A variance from the maximum building height of 100'.

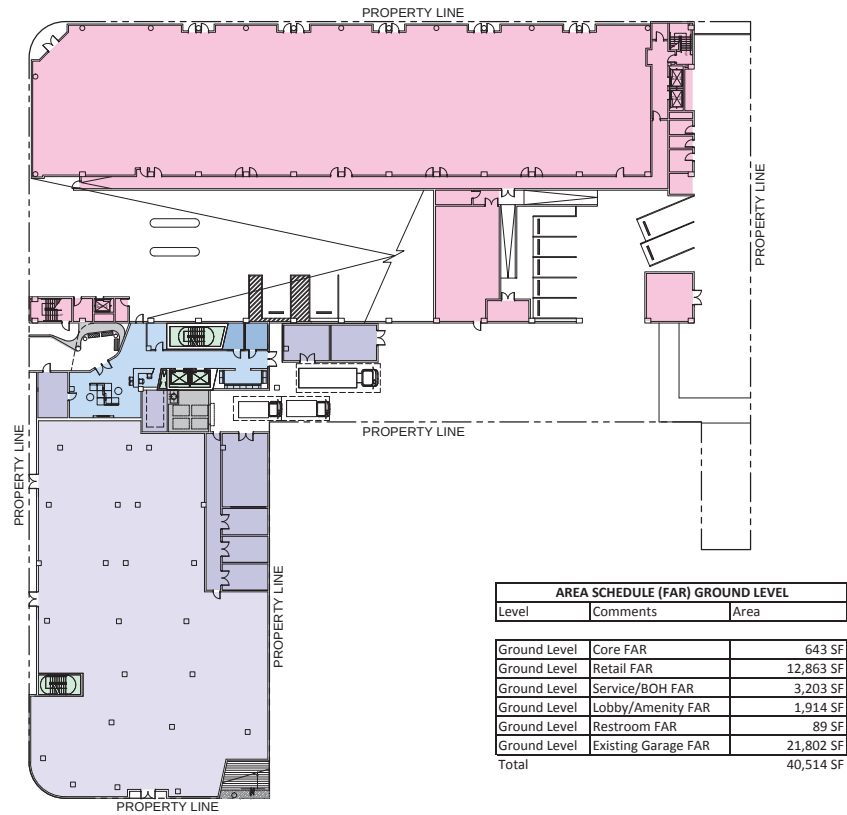
LEVEL 02-10 PLAN SETBACK DIAGRAM  
SCALE: 1" = 40'-0"



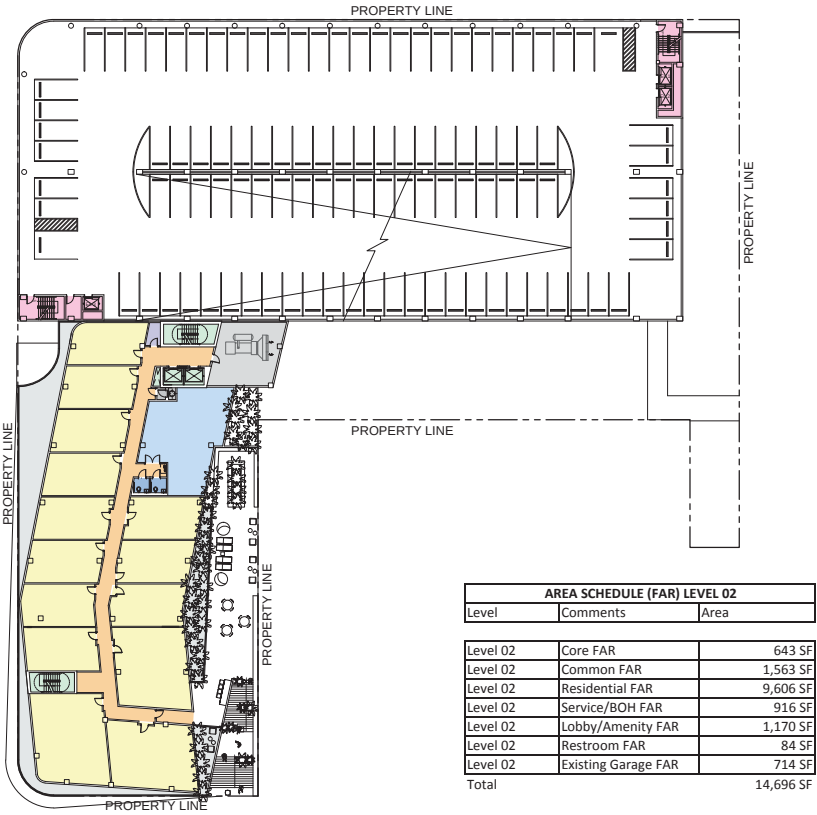
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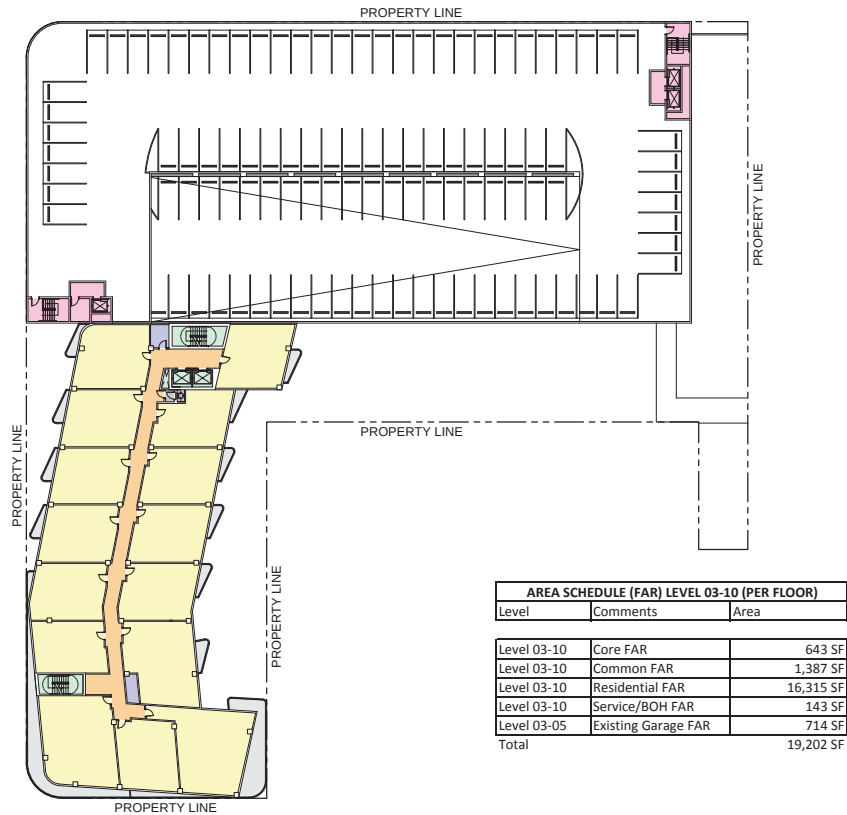
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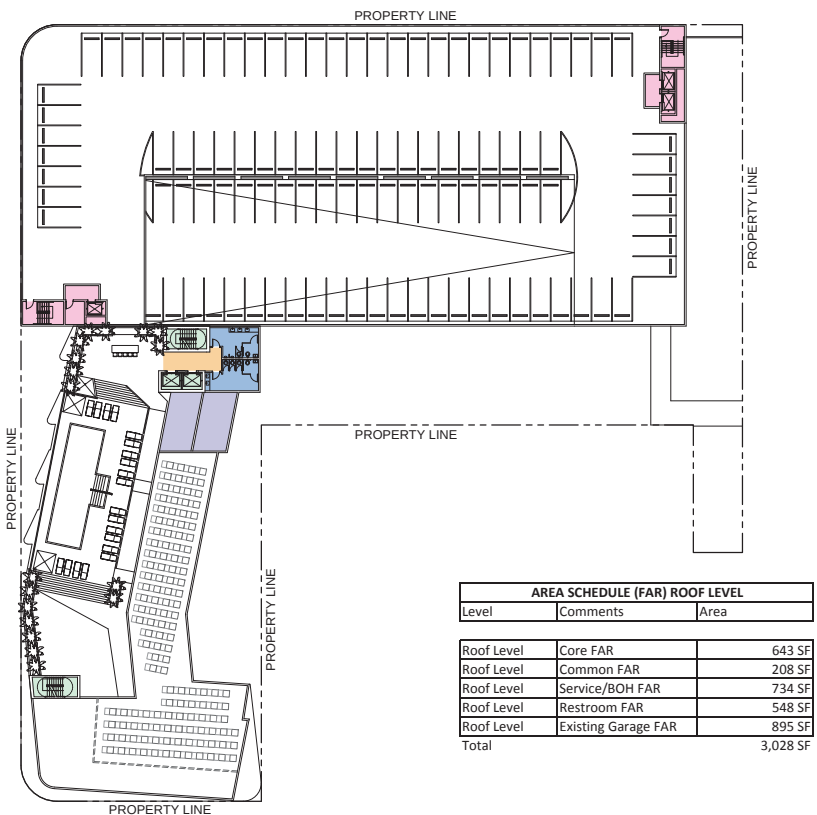
1 LEVEL 01 FAR DIAGRAM - PROPOSED  
SCALE: 1" = 80'-0"



2 LEVEL 02 FAR DIAGRAM - PROPOSED  
SCALE: 1" = 80'-0"



3 LEVEL 03-10 FAR DIAGRAM - PROPOSED  
SCALE: 1" = 80'-0"



4 ROOF LEVEL FAR DIAGRAM - PROPOSED  
SCALE: 1" = 80'-0"

| AREA SCHEDULE (FAR) GROUND LEVEL |                     |           |
|----------------------------------|---------------------|-----------|
| Level                            | Comments            | Area      |
| Ground Level                     | Core FAR            | 643 SF    |
| Ground Level                     | Retail FAR          | 12,863 SF |
| Ground Level                     | Service/BOH FAR     | 3,203 SF  |
| Ground Level                     | Lobby/Amenity FAR   | 1,914 SF  |
| Ground Level                     | Restroom FAR        | 89 SF     |
| Ground Level                     | Existing Garage FAR | 21,802 SF |
| Total                            |                     | 40,514 SF |

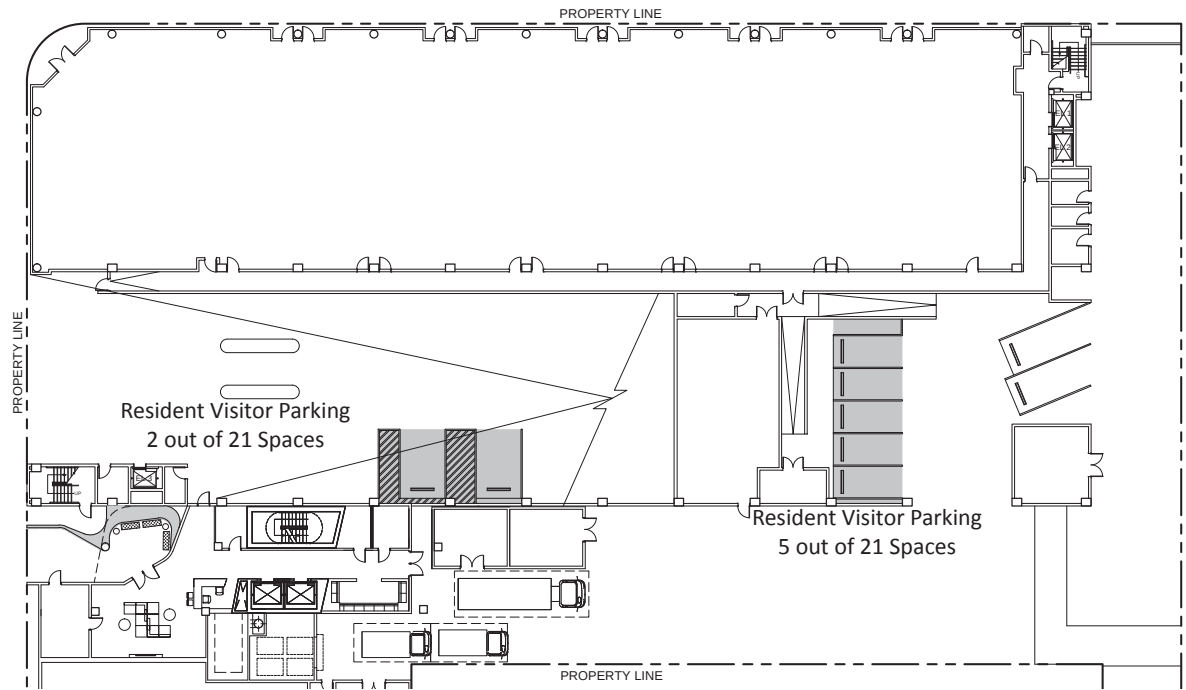
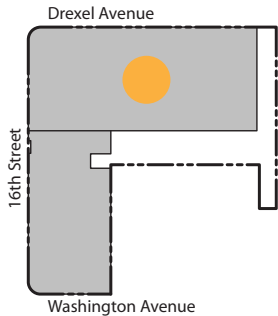
| AREA SCHEDULE (FAR) LEVEL 03-10 (PER FLOOR) |                     |           |
|---------------------------------------------|---------------------|-----------|
| Level                                       | Comments            | Area      |
| Level 03-10                                 | Core FAR            | 643 SF    |
| Level 03-10                                 | Common FAR          | 1,387 SF  |
| Level 03-10                                 | Residential FAR     | 16,315 SF |
| Level 03-10                                 | Service/BOH FAR     | 143 SF    |
| Level 03-05                                 | Existing Garage FAR | 714 SF    |
| Total                                       |                     | 19,202 SF |

| AREA SCHEDULE (FAR) LEVEL 02 |                     |           |
|------------------------------|---------------------|-----------|
| Level                        | Comments            | Area      |
| Level 02                     | Core FAR            | 643 SF    |
| Level 02                     | Common FAR          | 1,563 SF  |
| Level 02                     | Residential FAR     | 9,606 SF  |
| Level 02                     | Service/BOH FAR     | 916 SF    |
| Level 02                     | Lobby/Amenity FAR   | 1,170 SF  |
| Level 02                     | Restroom FAR        | 84 SF     |
| Level 02                     | Existing Garage FAR | 714 SF    |
| Total                        |                     | 14,696 SF |

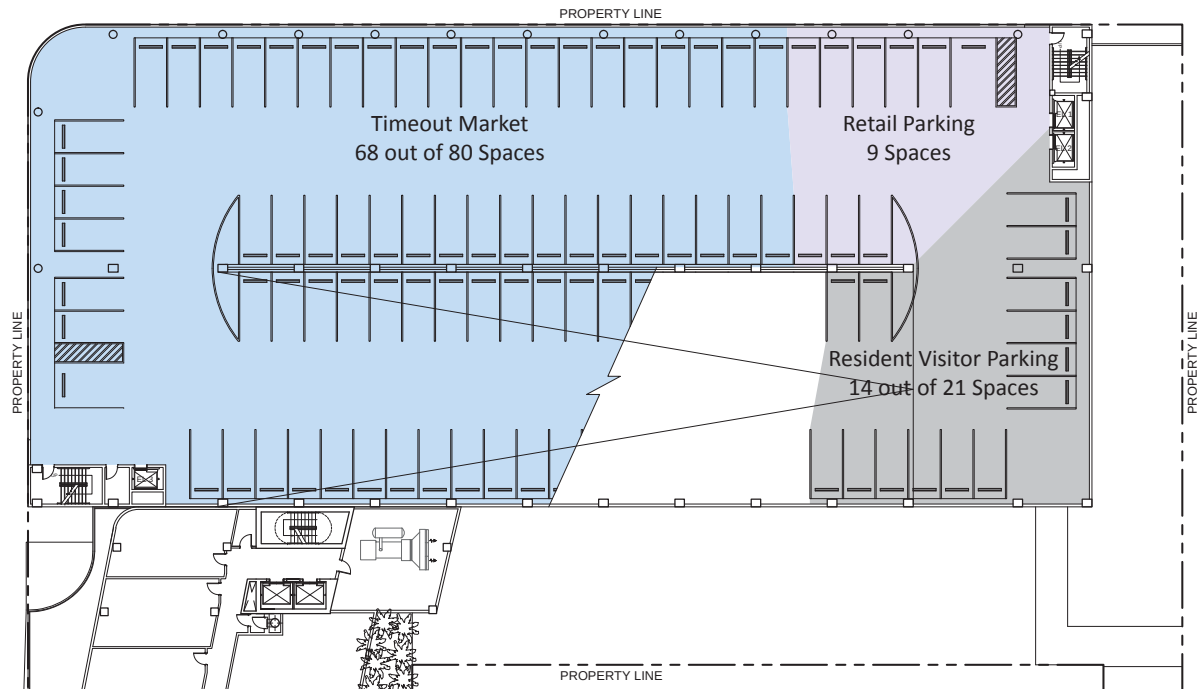
| AREA SCHEDULE (FAR) ROOF LEVEL |                     |          |
|--------------------------------|---------------------|----------|
| Level                          | Comments            | Area     |
| Roof Level                     | Core FAR            | 643 SF   |
| Roof Level                     | Common FAR          | 208 SF   |
| Roof Level                     | Service/BOH FAR     | 734 SF   |
| Roof Level                     | Restroom FAR        | 548 SF   |
| Roof Level                     | Existing Garage FAR | 895 SF   |
| Total                          |                     | 3,028 SF |

| AREA SCHEDULE (FAR) TOTAL |            |
|---------------------------|------------|
| Comments                  | Area       |
| Core FAR                  | 7,073 SF   |
| Common FAR                | 12,867 SF  |
| Residential FAR           | 112,126 SF |
| Retail FAR                | 12,863 SF  |
| Service/BOH FAR           | 5,997 SF   |
| Lobby/Amenity FAR         | 3,084 SF   |
| Restroom FAR              | 721 SF     |
| Existing Garage FAR       | 25,553 SF  |
| 180,284 SF                |            |

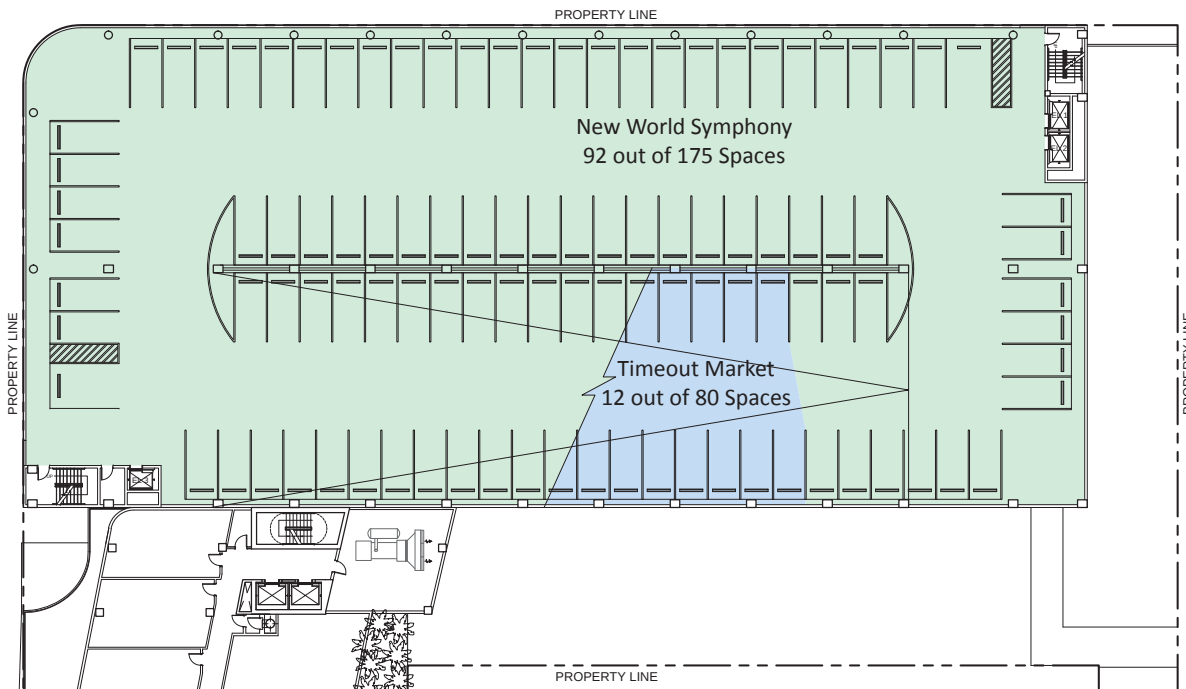
I TOTAL FAR  
NTS



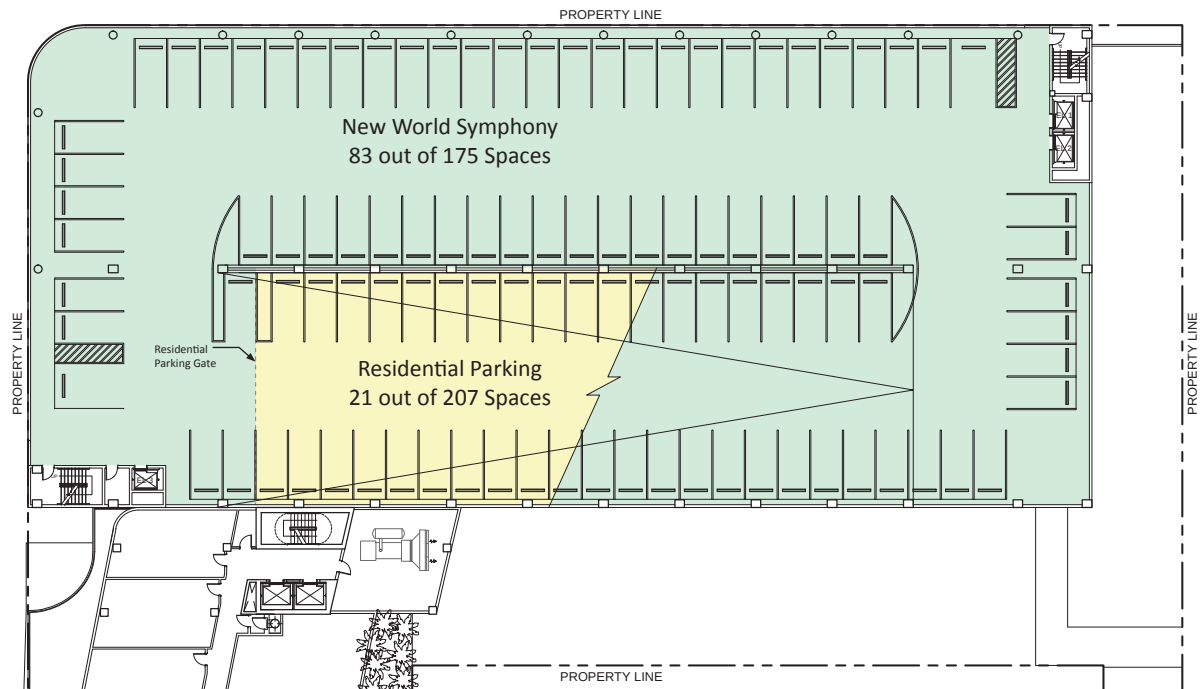
1 PARKING LEVEL 01  
SCALE: 1" = 50'-0"



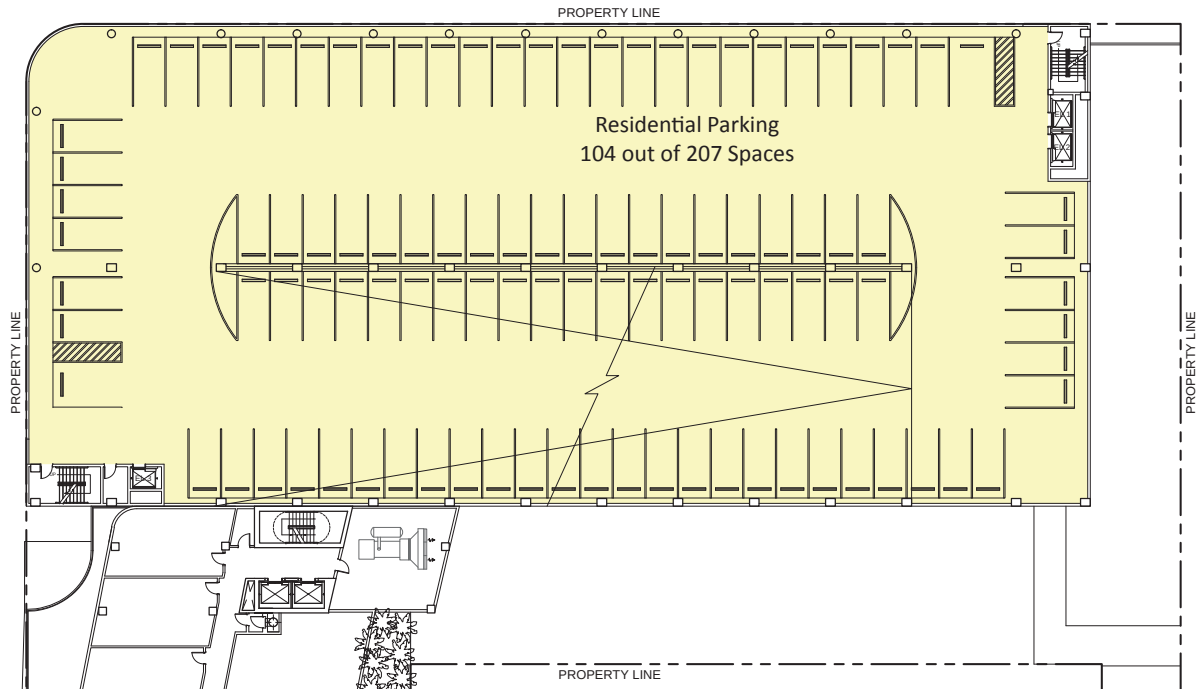
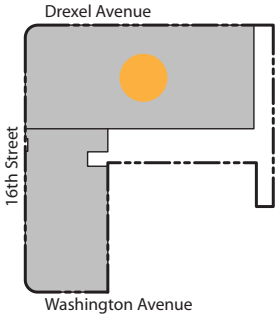
2 PARKING LEVEL 02  
SCALE: 1" = 50'-0"



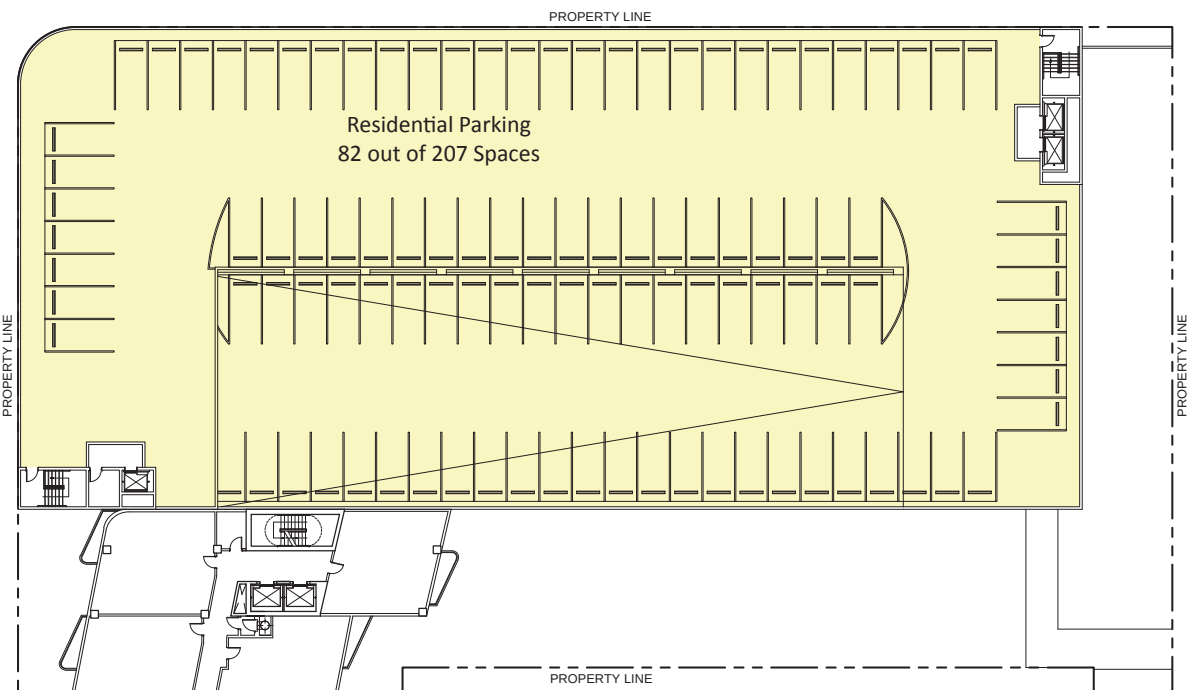
3 PARKING LEVEL 03  
SCALE: 1" = 50'-0"



4 PARKING LEVEL 04  
SCALE: 1" = 50'-0"



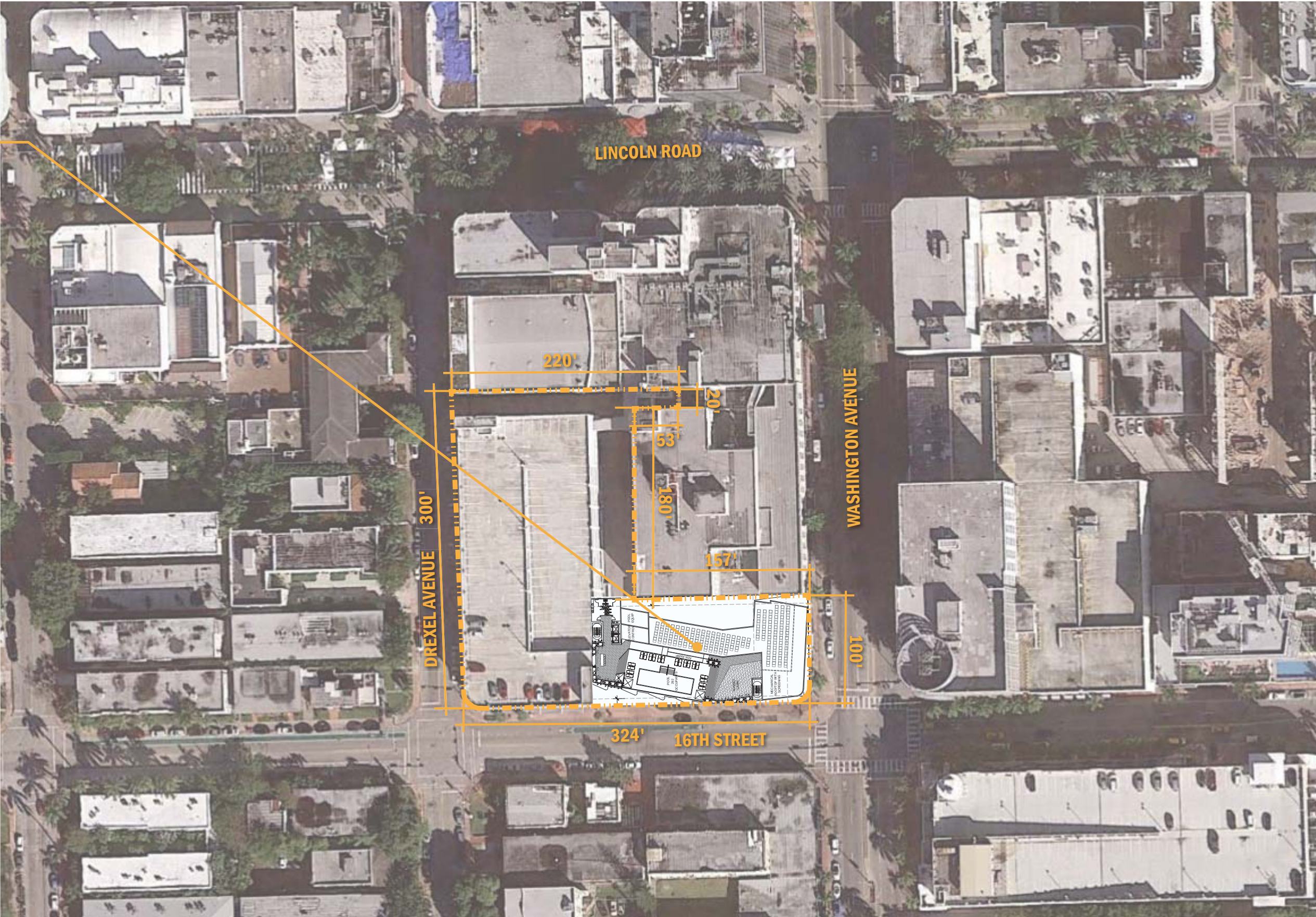
**I** PARKING LEVEL 05  
SCALE: 1" = 50'-0"



**2** PARKING ROOF  
SCALE: 1" = 50'-0"



PROPOSED 10-STORY  
MIXED USE APARTMENT  
BUILDING



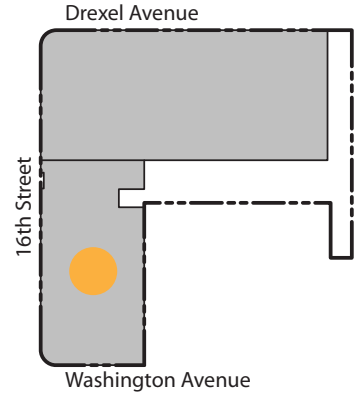
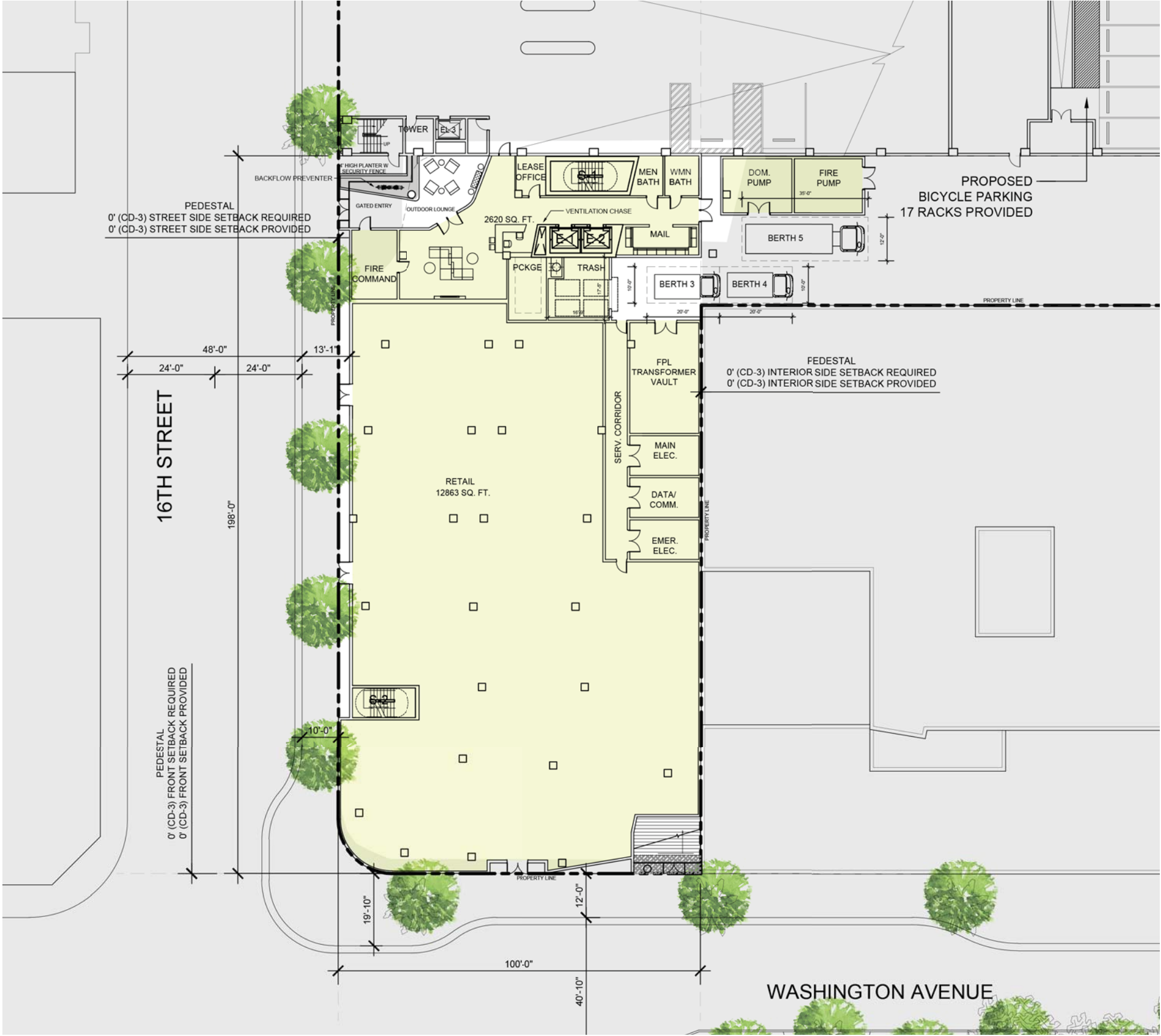
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PROPOSED GROUND FLOOR PLAN



KEY PLAN  
SCALE: NTS

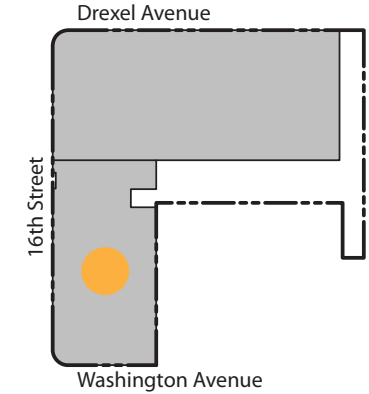


BICYCLE RACK EXAMPLES

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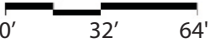


KEY PLAN  
SCALE: NTS

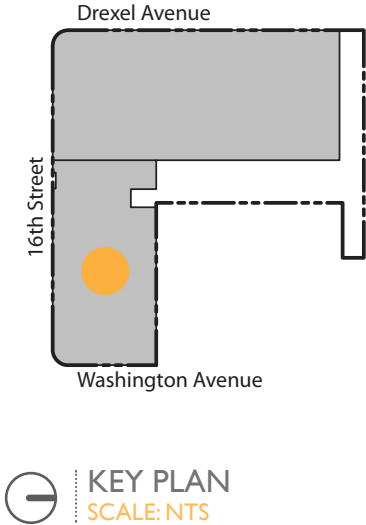
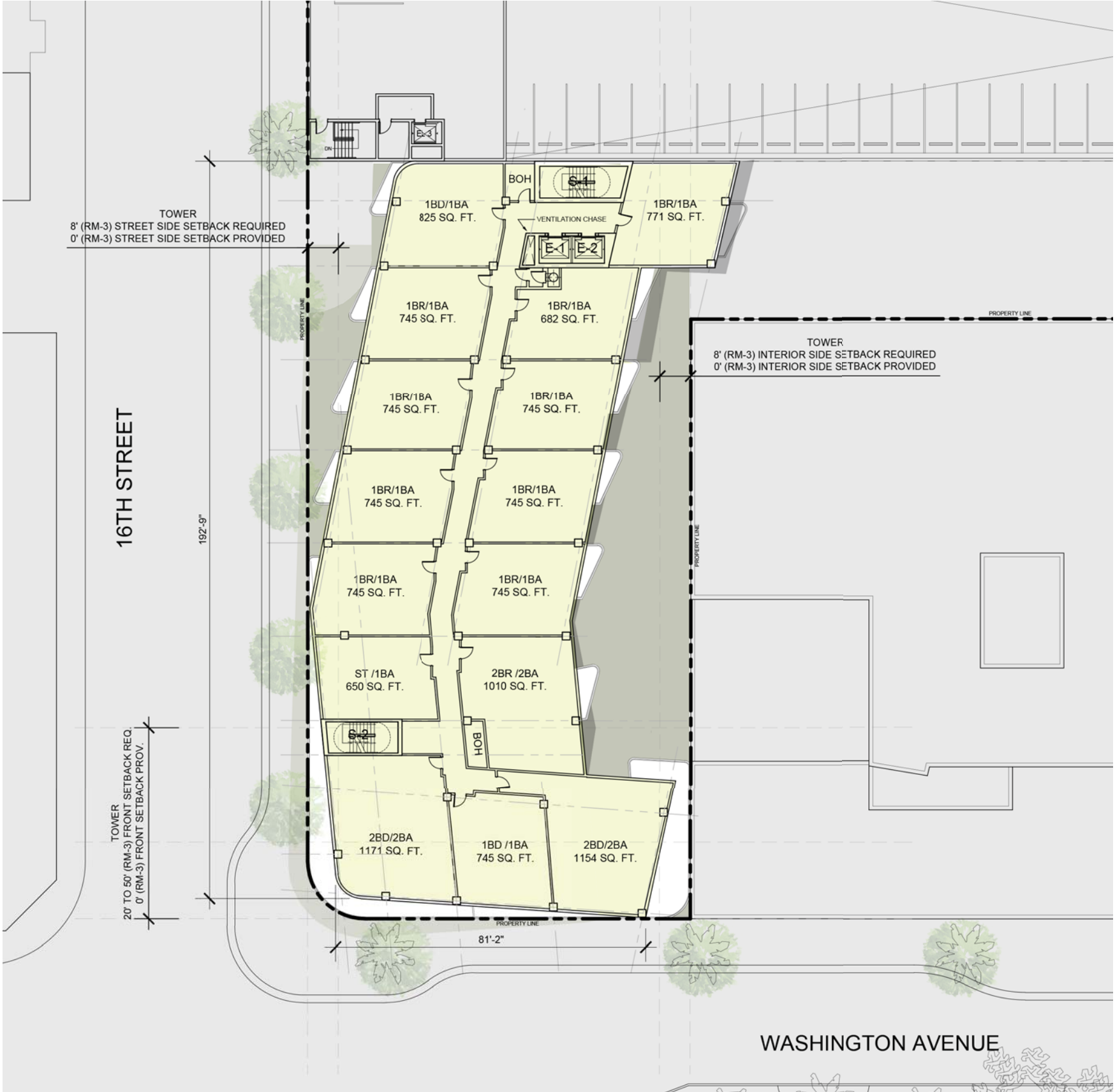
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PROPOSED LEVEL 02 FLOOR PLAN  
SCALE: 1/32" = 1'-0"



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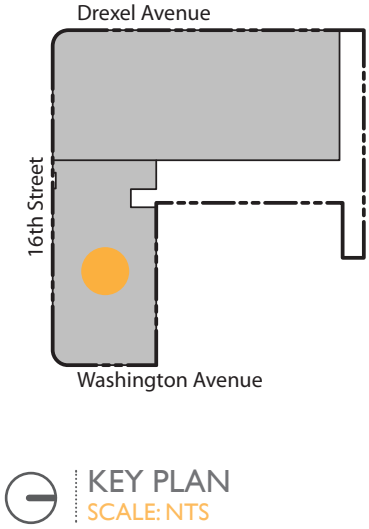
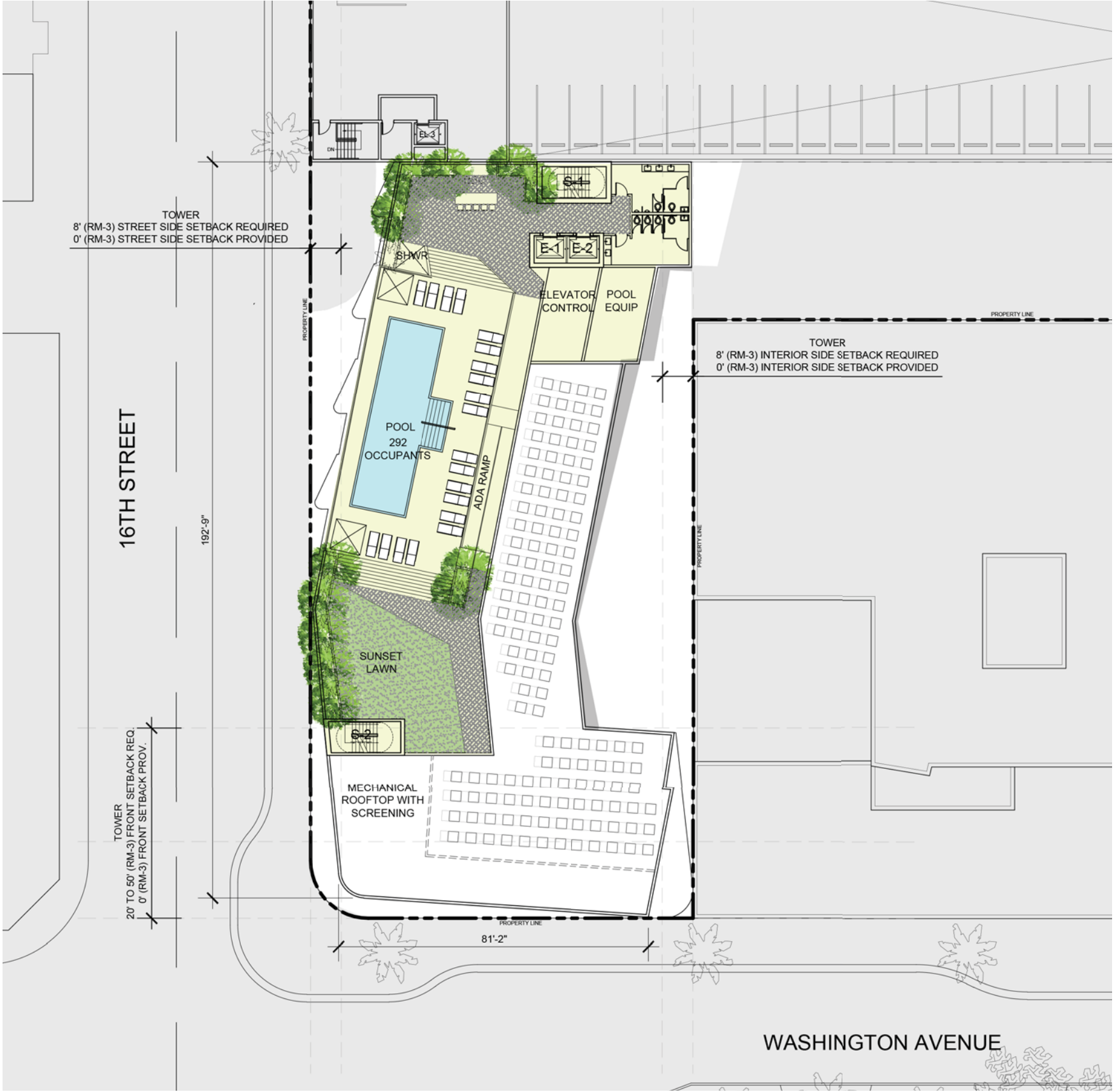
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0' 32' 64'

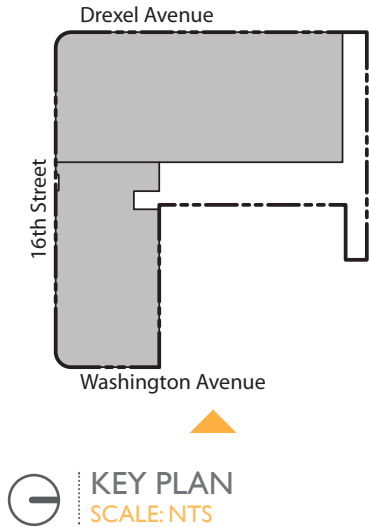
PROPOSED LEVEL 03-10 FLOOR PLAN  
SCALE: 1/32" = 1'-0"



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0' 32' 64'

PROPOSED ROOF LEVEL FLOOR PLAN  
SCALE: 1/32" = 1'-0"



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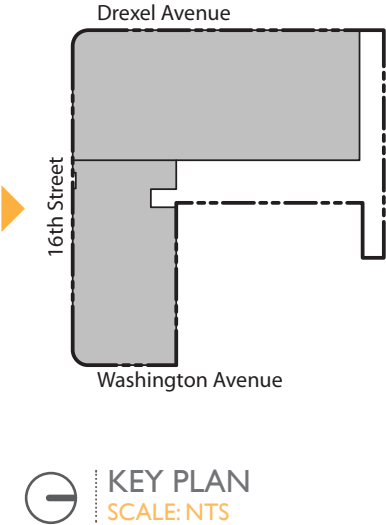
**EAST ELEVATION - PROPOSED**  
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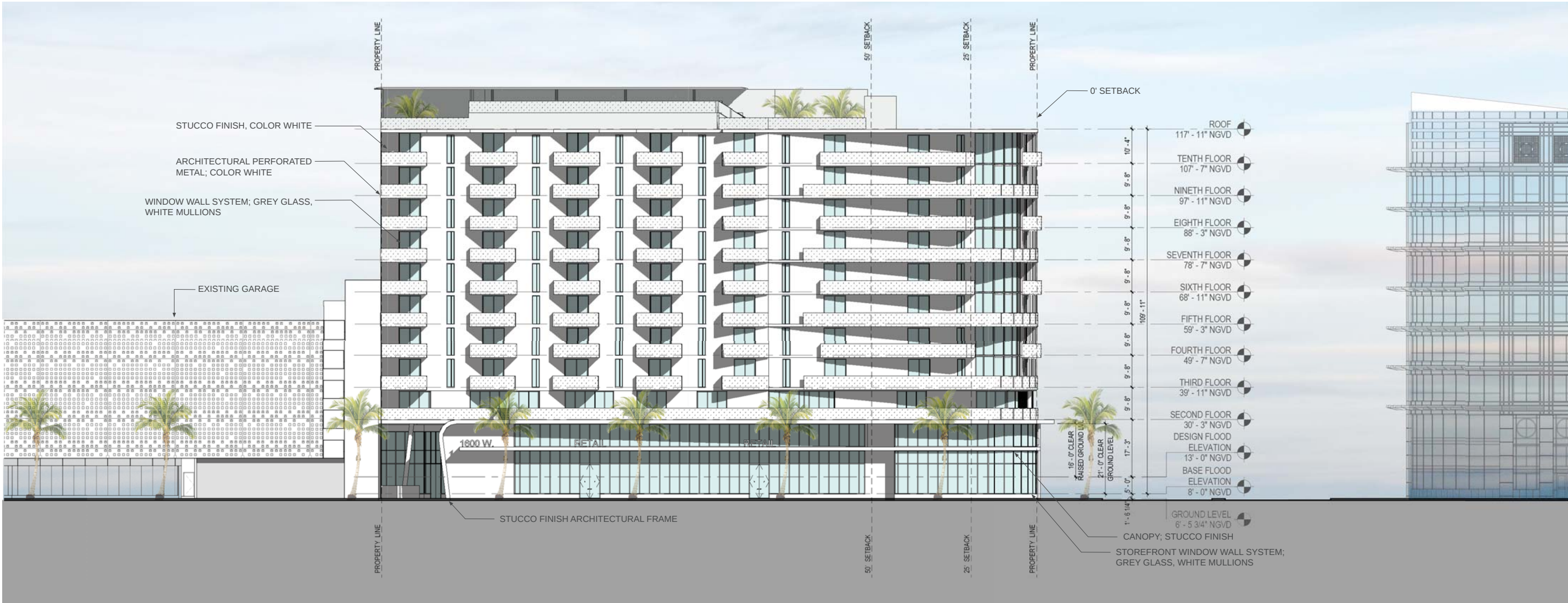
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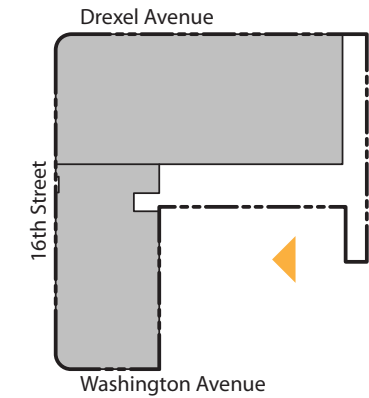


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0' 32' 64'

PROPOSED NORTH ELEVATION



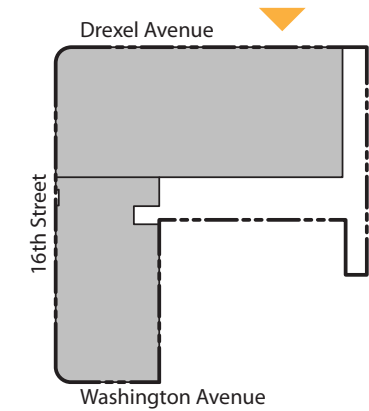
KEY PLAN  
SCALE: NTS

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0' 32' 64'

NORTH ELEVATION - PROPOSED  
SCALE: 1/32" = 1'-0"



KEY PLAN  
SCALE: NTS

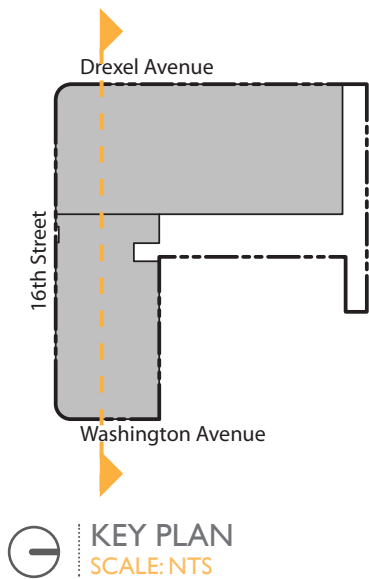
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0' 32' 64'

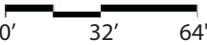
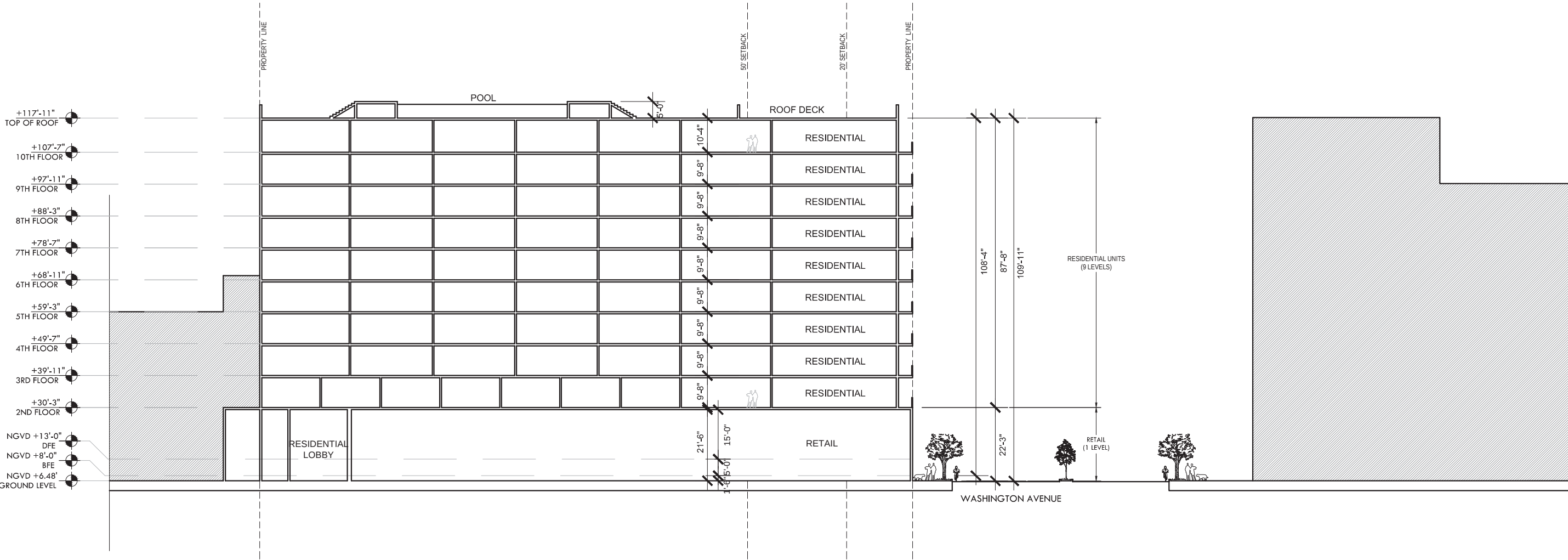
WEST ELEVATION - PROPOSED  
SCALE: 1/32" = 1'-0"

PROPOSED LONGITUDINAL SECTION



KEY PLAN  
SCALE: NTS

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PROPOSED LONGITUDINAL SECTION  
SCALE: 1/32" = 1'-0"

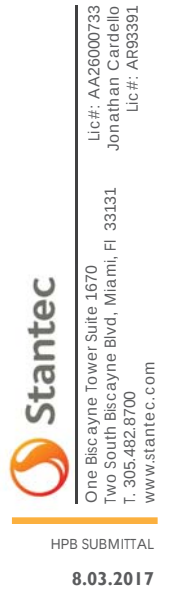
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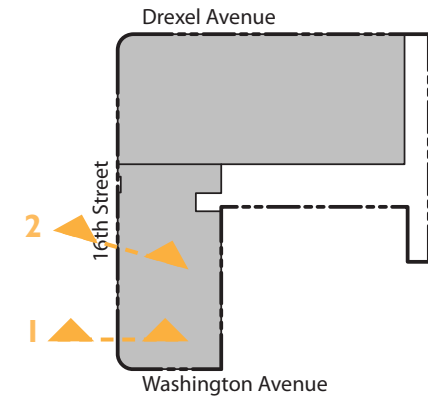
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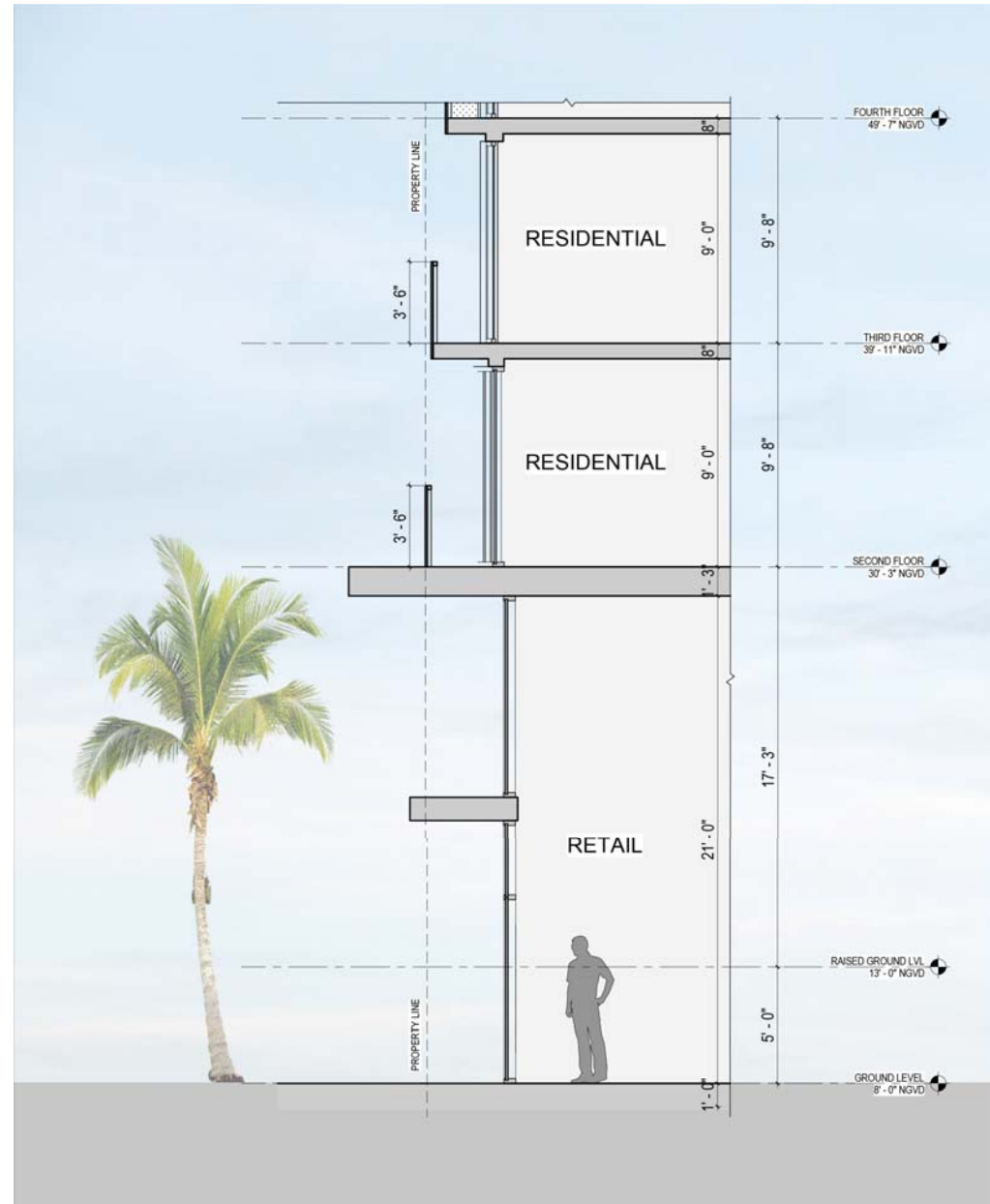
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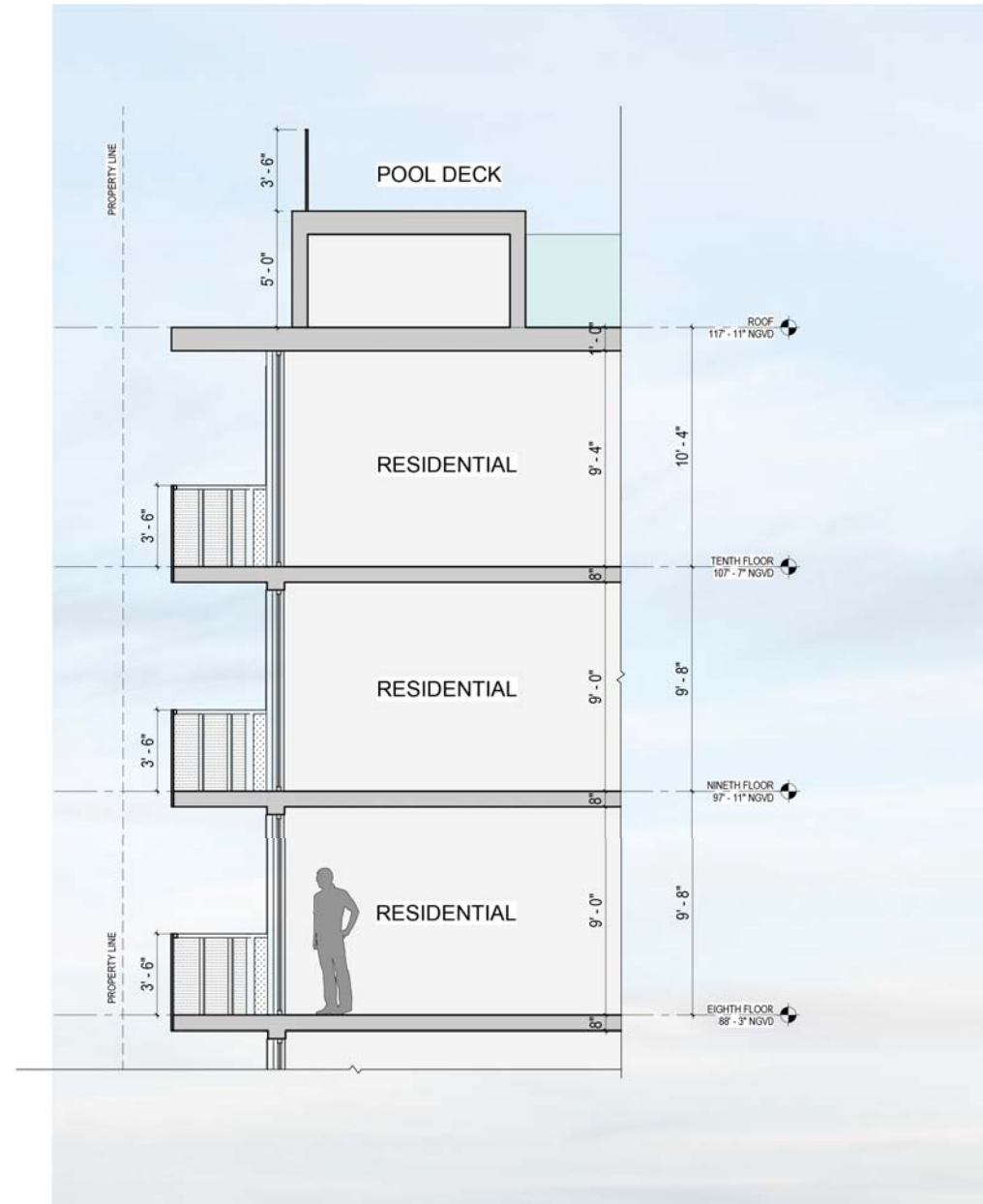


**KEY PLAN**  
SCALE: NTS

**1600 WASHINGTON AVENUE**  
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**1 PROPOSED WALL SECTION**  
SCALE: 1/8" = 1'-0"



**2 PROPOSED WALL SECTION**  
SCALE: 1/8" = 1'-0"

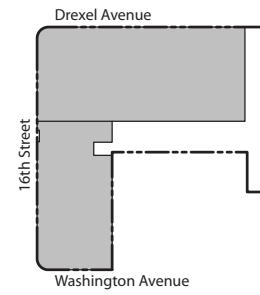
0' 8' 16'



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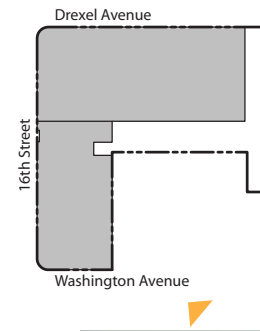


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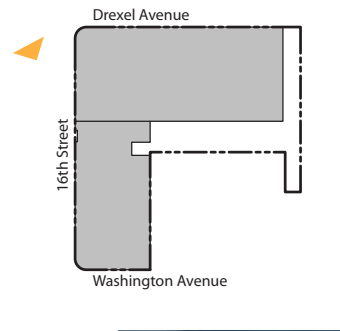
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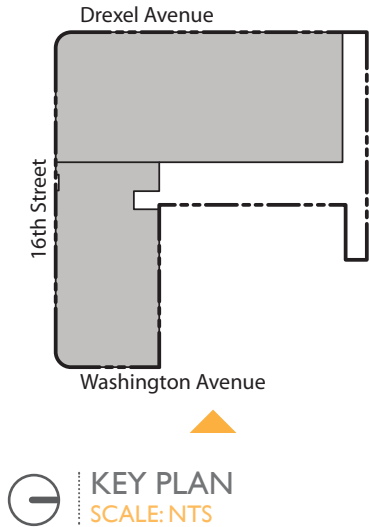


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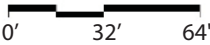
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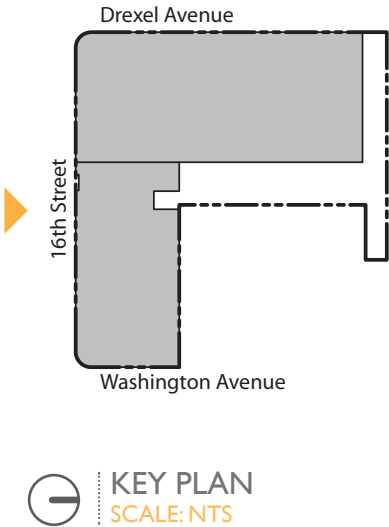
**EAST ELEVATION - LINE OF SIGHT**  
SCALE: 1/32" = 1'-0"



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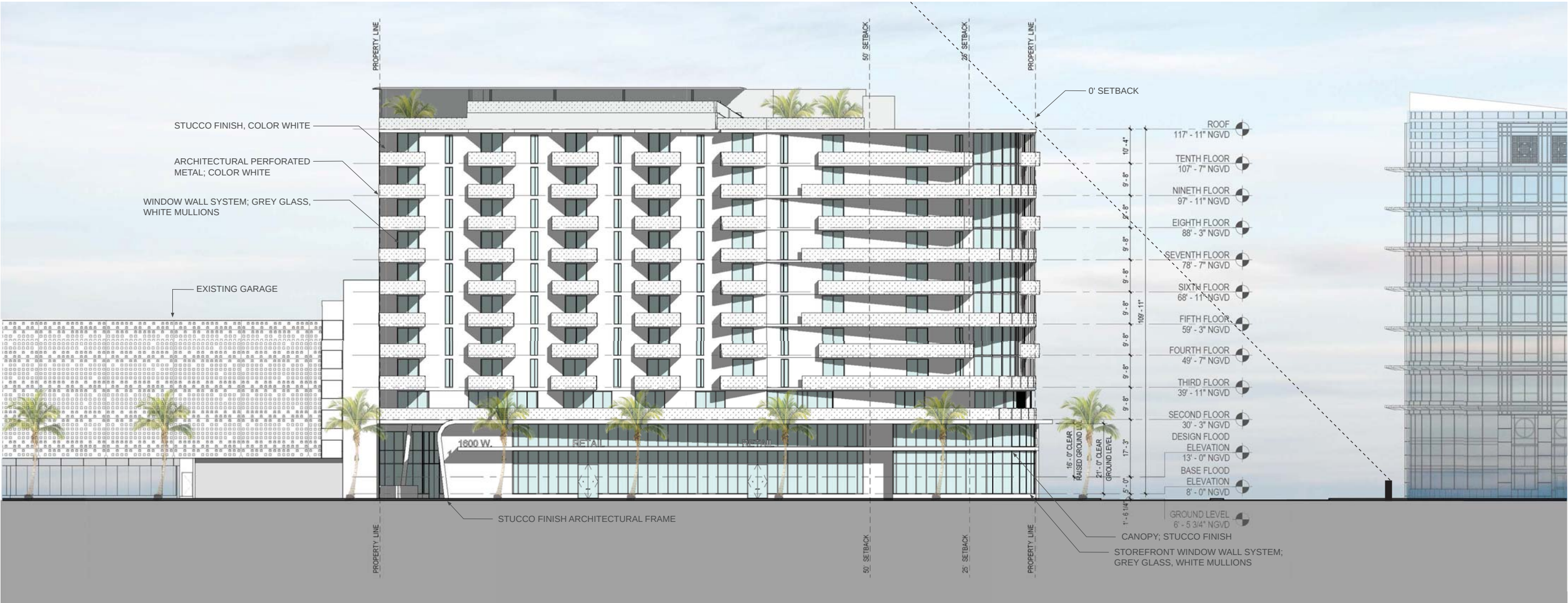
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1600 WASHINGTON AVENUE

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0' 32' 64'

SOUTH ELEVATION - LINE OF SIGHT

SCALE: 1/32" = 1'-0"



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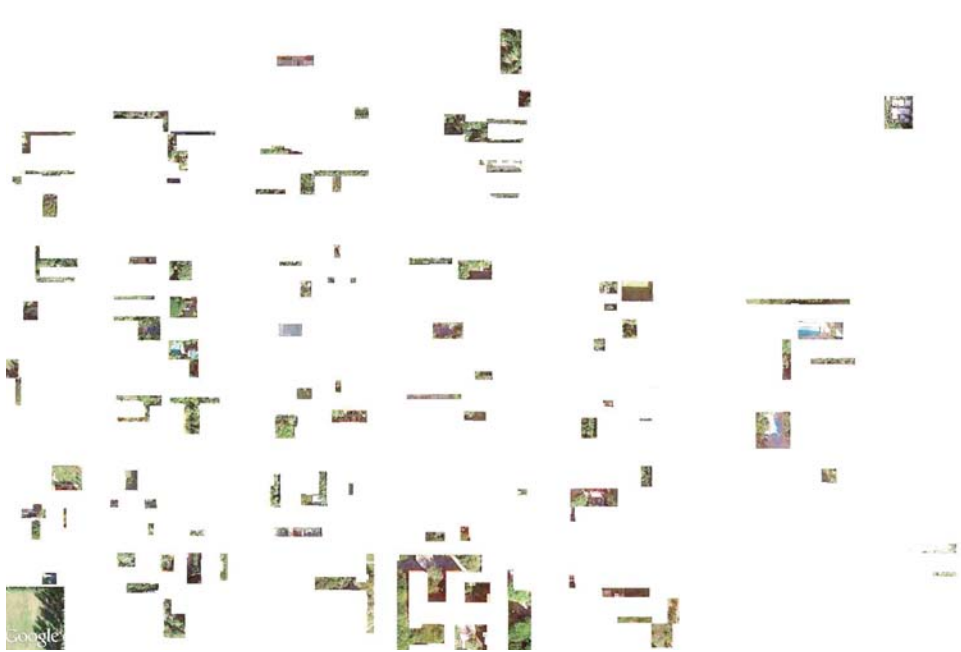
HPB SUBMITTAL

8.03.2017

RELATIONSHIP WITH PLAZA SPACES- existing condition



RELATIONSHIP WITH PLAZA SPACES- existing condition



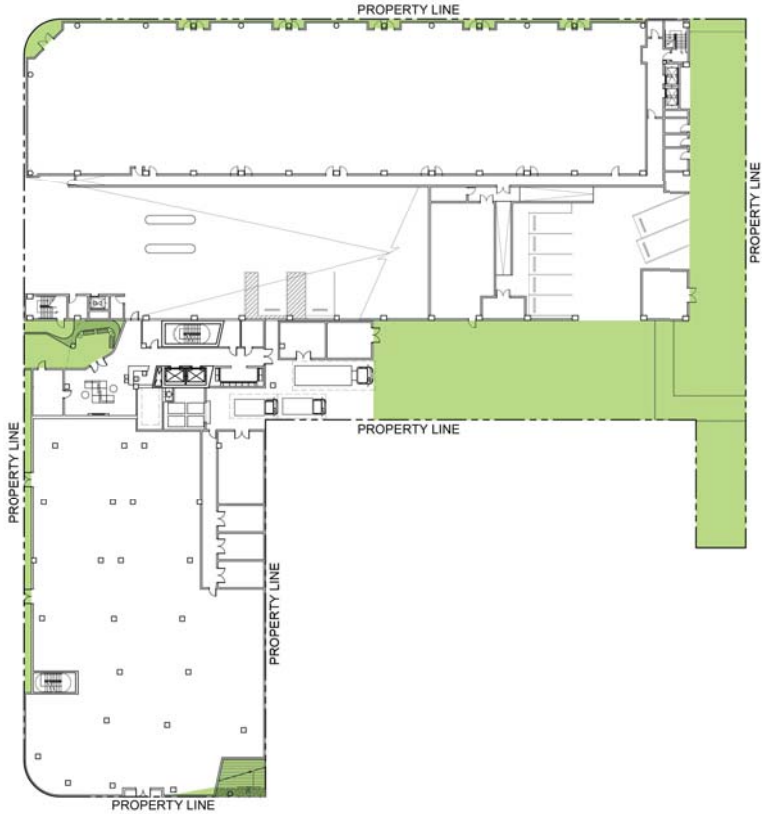
RELATIONSHIP WITH STREET RETAIL AND PLAZA SPACES- private vs public



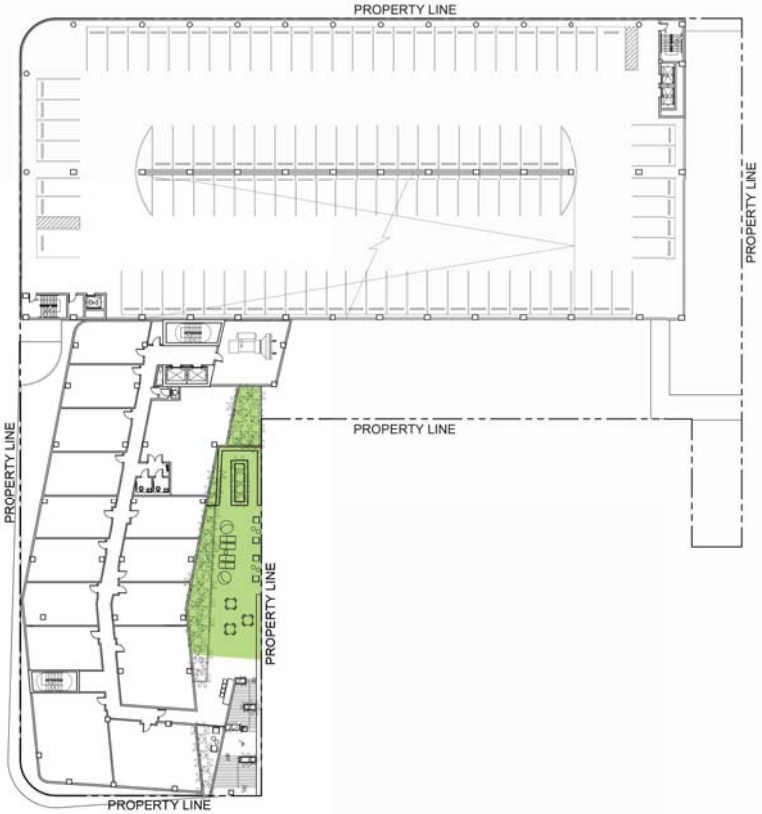
PRIVATE COURTYARD  
CONDITION C

UNION ROAD  
CONDITION

MIXED USE  
CONDITION



1 LEVEL 01 - OPEN SPACE DIAGRAM  
SCALE: 1" = 80'-0"



2 LEVEL 02 - OPEN SPACE DIAGRAM  
SCALE: 1" = 80'-0"

Open Space Percentage:  
14,998 sf / 66,708 sf = .84  
**22% Open Space**



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