

FOLIO NUMBER

02-4205-002-0460

CODE SUMMARY:

APPLICABLE CODES:

Florida Building Code, Existing - 2014
Florida Fire Prevention Code - 5th Edition
City of Miami Beach zoning code - Latest edition

LEGAL DESCRIPTION:

RIVIERA 1ST & 2ND ADDN AMD
PB 32-37 LOTS 55 & 56 BLK 2 B
LOT SIZE 13323 SQ FT OR 20306-3335 03 2002 1

OCCUPANCY:

RS-4 , SINGLE FAMILY RESIDENCE

ZONING DATA:

OCCUPANCY: RS-4 SINGLE FAMILY RESIDENCE
TOTAL SITE AREA: 13,323 SF

SCOPE OF WORK:

1. INTERIOR DEMOLITION OF SOME PARTITION WALLS, REMOVAL OF KITCHEN FIXTURES, APPLIANCES, CABINETS & COUNTERS. REMOVAL OF BATHROOM'S FIXTURES & CABINETS.
2. NEW PARTITION WALLS
3. NEW INTERIOR DOORS & FRAMES
4. NEW CEILINGS
5. NEW BATHROOM LAYOUTS. NO BATHROOMS ADDED
6. NEW KITCHEN CABINETS
7. REPAIR ALL EXISTING METAL HANDRAILS, GUARDRAILS, IRONWORK, ETC.
8. NEW FLOORING
9. NEW ROOF CLAY TILES & REPAIRS
10. EXTERIOR: REPAIR ALL EXT. EXISTING METAL HANDRAILS, GUARDRAILS, & IRONWORK. PATCH/INFILL CONC. WALKWAYS (WHERE INDICATED).

SETBACKS:	ALLOWED:	EXISTING:	PROPOSED:
FRONT (SOUTH)	20'-0"	22.52'	20'-1"
FRONT (NORTH)	20'-0"	4.14'	4.14'
EAST SIDE	18'-0"	22'-0"	37'-11"
WEST SIDE	26'-0"	49.81'	23'-9 3/4"

BUILDING HEIGHT:

# OF STORIES:	ALLOWED:	PROVIDED:
2 STORIES (27')		2

FLOOD CRITERIA:

FLOOD ZONE: 'AE' (PER MAP NO. 12086C0316L REV. 9/11/09)
BASE FLOOD ELEVATION: +9' NGVD

REMODELING & ADDITION
291 PALM AVE.
MIAMI BEACH, FL 33139



ARCHITECT

3
DESIGN
ARCHITECTURE

3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

LANDSCAPE ARCHITECT

H.L. Martin
Landscape Architect, PA
5965 SW 38th Street, Miami, FL 33155
(305) 798-4372

INDEX OF DRAWINGS
GENERAL

BOA-0.0 COVER SHEET, PROJECT DATA AND INDEX OF DRAWINGS NTS
AH-5513 BOUNDARY SURVEY NTS

LANDSCAPE

LA-1.0 LANDSCAPE PLAN AS SHOWN
LA-1.1 LANDSCAPE PLAN AS SHOWN

ARCHITECTURE

BOA-0.1 EXISTING LOT COVERAGE DIAGRAM AS SHOWN
BOA-0.2 1ST FLOOR PROPOSED LOT COVERAGE & SETBACK DIAGRAMS AS SHOWN
BOA-0.3 EXISTING UNIT SIZE DIAGRAMS & CALCULATION AS SHOWN
BOA-0.4 PROPOSED UNIT SIZE DIAGRAMS & CALCULATION AS SHOWN
BOA-0.5 EXISTING / NEW OPEN SPACE CALCULATIONS AS SHOWN
BOA-0.6 SECOND FLOOR PROPOSED ROOF PLAN AS SHOWN
BOA-0.7 VARIANCES DIAGRAM AS SHOWN
BOA-01 EXISTING ARCHITECTURAL SITE PLAN 1/8"=1'-0"
BOA-02 EXISTING FIRST FLOOR & DEMOLITION PLAN 1/4"=1'-0"
BOA-03 EXISTING SECOND FLOOR PLAN 1/8"=1'-0"
BOA-04 PROPOSED ARCHITECTURAL SITE PLAN 1/8"=1'-0"
BOA-05 FIRST FLOOR PLAN 3/16"=1'-0"
BOA-06 PROPOSED ROOF PLAN 3/16"=1'-0"
BOA-07 EXISTING ELEVATIONS 3/16"=1'-0"
BOA-08 PROPOSED ELEVATIONS 3/16"=1'-0"
BOA-09 ELEVATIONS SIGHT LINE 1/8"=1'-0"
BOA-10 PROJECT BUILDING SECTIONS 1/4"=1'-0"
BOA-11 PROJECT INTERIOR ELEVATIONS AS SHOWN
BOA-12 PROJECT EXTERIOR ELEVATIONS AS SHOWN
BOA-13 PROJECT EXTERIOR ELEVATIONS AS SHOWN
BOA-14 CONTEXT ELEVATIONS AS SHOWN
BOA-15 CONTEXT ELEVATIONS AS SHOWN
BOA-16 CONTEXT ELEVATIONS AS SHOWN
BOA-17 CONTEXT ELEVATIONS AS SHOWN
BOA-18 RENDERINGS AS SHOWN

SITE



AERIAL MAP
SCALE: N.T.S.

PAPER FINAL SUBMITTAL, B.O.A., DEADLINE 7/27/2017
2ND VERSION, BOARD OF ADJUSTMENT, DEADLINE 7/18/2017
1ST VERSION, BOARD OF ADJUSTMENT, DEADLINE 7/05/2017



AA0003569
ANTHONY LEON
08/05/12

3
DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSTRUED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-0.0
COVER SHEET &
PROJECT DATA

LEGEND FOR PROPOSED LOT COVERAGE :

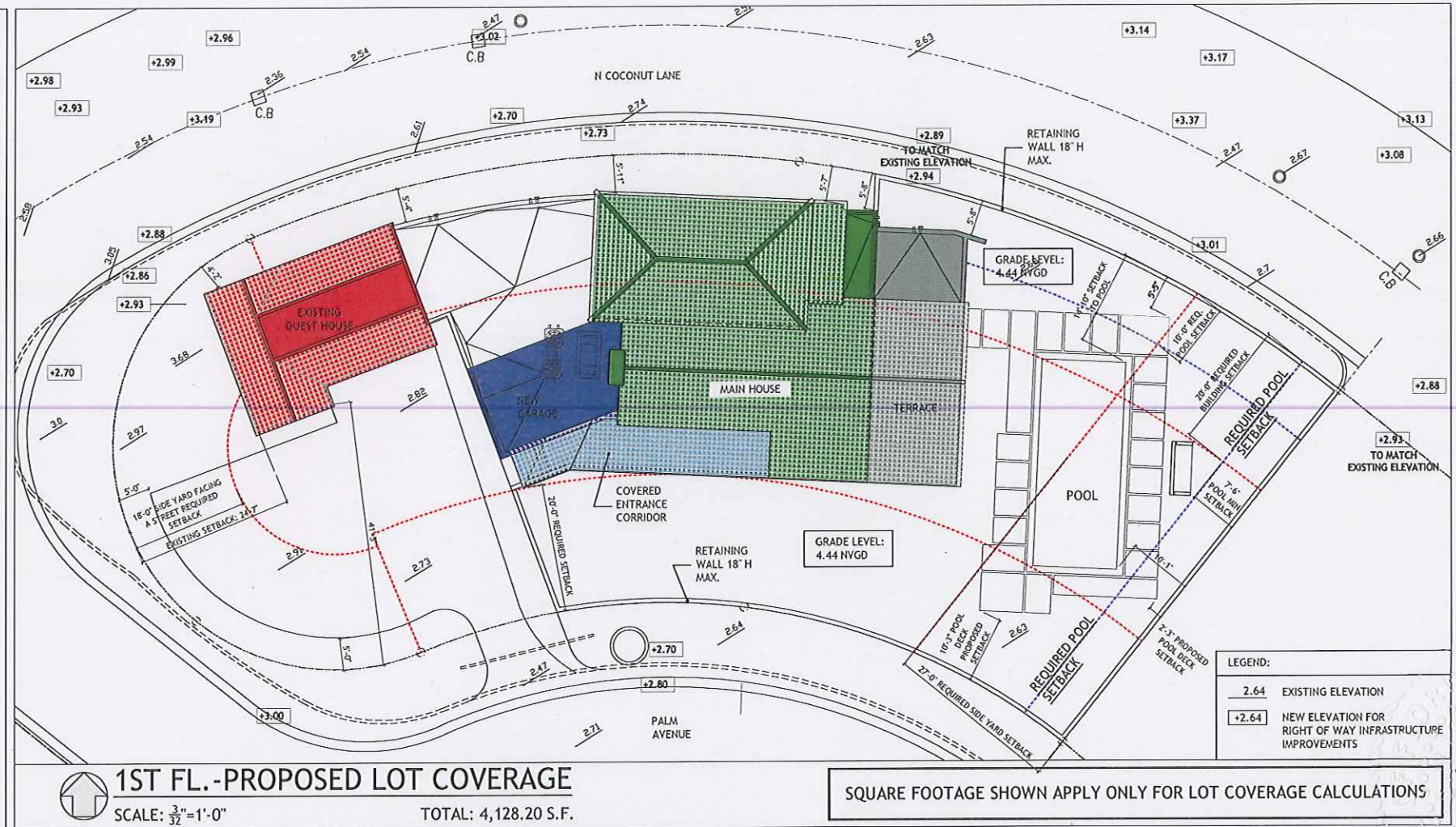
EXISTING GUEST HOUSE
635.52 S.F.

NEW GARAGE
(AS PER DIVISION 2-4.B.5)
284.51 S.F.

COVERED ENTRANCE CORRIDOR
286.05 S.F.

MAIN HOUSE
1,854.15 S.F.

MAIN TERRACE
(AS PER DIV. 142-105.5.2)
0.00 S.F.



1ST FL.-PROPOSED LOT COVERAGE
SCALE: 3/32"=1'-0"
TOTAL: 4,128.20 S.F.

SQUARE FOOTAGE SHOWN APPLY ONLY FOR LOT COVERAGE CALCULATIONS

LOT WIDTH CALCULATION FOR REQUIRED SIDE YARDS:

SUM OF LOT NORTH & SIDE LENGTH: 226.5' + 133.5' = 360'-0"
DETERMINED LOT WIDTH AVERAGE = 180'-0"

AS PER CODE, SEC. 142-106, No.2 SIDE YARDS
A. THE SUM OF THE REQUIRED SIDE YARDS SHALL BE AT LEAST 25% OF THE LOT WIDTH.

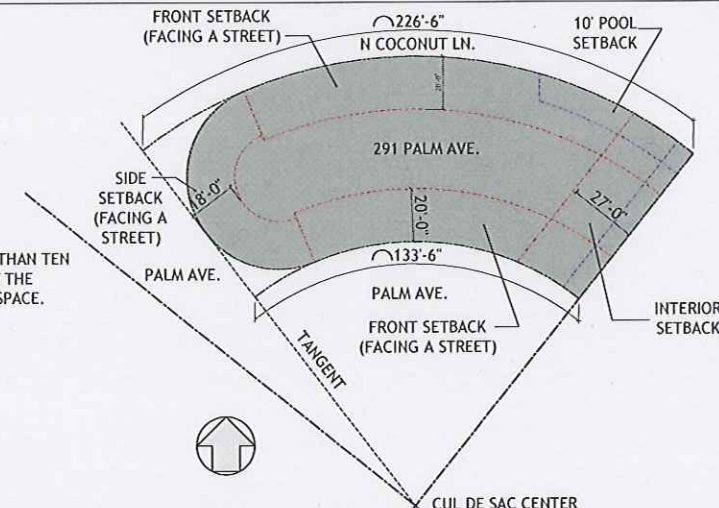
SIDE YARDS WILL BE 25% OF THE DETERMINED LOT WIDTH: 45'-0"

b. SIDE, FACING A STREET. EACH REQUIRED SIDE YARD FACING A STREET SHALL BE NO LESS THAN TEN PERCENT OF THE LOT WIDTH OR 15 FEET, WHICH EVER IS GREATER. ALSO, AT LEAST 50% OF THE REQUIRED SIDE YARD FACING A STREET SHALL BE SODDED OR LANDSCAPED PERVIOUS OPEN SPACE.

REQUIRED SETBACK FOR A SIDE YARD FACING A STREET: 18'-0"

REQUIRED SETBACKS DIAGRAM & LOT WIDTH

SCALE: 1/32"=1'-0"



PROPOSED SETBACKS:	MIN REQD	EXISTING	PROPOSED
FRONT (SOUTH SIDE)	20'-0"	22.52' MIN./27'-10" MAX.	20'-1" MIN.
FRONT (NORTH SIDE)	20'-0"	4.14' MIN./5.90' MAX.	4.14' MIN.
STREET SIDE (WEST)	18'-0"	9'-0" MIN./23'-10" MAX.	9'-0" MIN.
INTERIOR SIDE (EAST)	27'-0"	49.81' MIN./79'-2.5" MAX.	37'-11" MIN.

POOL DECK SETBACK	MIN REQD	EXISTING	PROPOSED
EAST SIDE	7'-6"	0.00'	2'-3" MIN./24'-5" MAX.
FRONT (NORTH SIDE)	10'-0"	0.00'	5'-5" MIN.
FRONT (SOUTH SIDE)	20'-0"	0.00'	10'-3" MIN./26'-8" MAX.

LOT WIDTH AVERAGE: 180'-0"
SIDE YARDS MUST BE 25% OF LOT WIDTH: 45'-0"
* LEFT SIDE SETBACK MUST BE NO LESS THAN 10% OF THE 25% LOT WIDTH.
* RIGHT SIDE SETBACK MUST NO LESS THAN 10% OF THE 25% LOT WIDTH.
**AS ESTABLISHED IN DIVISION 2 - RS-1, RS-2, RS-3, RS-4 SINGLE-FAMILY RESIDENTIAL DISTRICTS, SECTION 142-106
* POOL SETBACK IN HOMES WITH 2 FRONTS: LOT WITH TWO FRONTS, AS DEFINED BY SECTION 114-1 OF THE CITY CODE, SHALL BE PERMITTED TO PLACE A POOL AND POOL DECK, WITH A MINIMUM TEN FOOT SETBACK FROM THE FRONT PROPERTY LINE, AT THE FUNCTIONAL REAR OF THE HOUSE.

CONSTRUCTION ON SETBACKS:	SETBACK AREA	EXISTING CONSTRUCTION	NEW CONSTRUCTION BUILDING ADDITION	NEW CONSTRUCTION POOL DECK	NEW CONSTRUCTION ENTRANCE DRIVEWAY	% OF AREA USED
FRONT (SOUTH SIDE)	2,350.59 S.F.	----- S.F.	----- S.F.	88.46 S.F.	----- S.F.	3.76 %
FRONT (NORTH SIDE)	3,419.04 S.F.	1,394.26 S.F.	489.12 S.F.	27.44 S.F.	----- S.F.	55.89 %
SIDE SIDE (WEST)	1,470.31 S.F.	----- S.F.	----- S.F.	----- S.F.	533.45 S.F.	36.28 %
INTERIOR SIDE (EAST)	1,903.80 S.F.	----- S.F.	----- S.F.	27.58 S.F.	----- S.F.	1.45 %

** CONSTRUCTION CALCULATION INCLUDES POOL DECK AT FRONT, INTERIOR & SIDE YARDS**

PROPOSED LOT COVERAGE:

LOT AREA 13,323 s.f x .30 = ALLOWED: 3,996.00 S.F. PROPOSED: 4,128.20 S.F.
MINUS 500 S.F. (GARAGE) AS PER DIVISION 2-4.B.5 3,628.20 S.F.
MINUS 567 S.F. (COVERED TERRACE) AS PER DIV. 142-105.5.2 (WHEN STRUCTURE PROJECTING 10'-0" OR MORE DO NOT EXCEED 2% OF LOT COVERAGE) . 3,061.20 S.F.
PROPOSED LOT COVERAGE (22.97%) 3,061.20 S.F.

SITE PLAN INFORMATION:

ZONING DESIGNATION: RS-4
LOT AREA 13,323 S.F. (MINIMUM 6,000 S.F.)
MAXIMUM HEIGHT: 27'-0" FOR SLOPED ROOF
MAXIMUM UNIT SIZE (% OF LOT AREA): 50 %

DRAWN BY:
REVISIONS:

AA0000569
ANTHONY LEON
010752

DESIGN
ARCHITECTURE
3260 NW 7 TH ST. MIAMI, FL 33125
P: 305.438.0377 | F: 305.438.0370

JUL 24 2017
SEAL

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-0.2
1st FLOOR PROPOSED
LOT COVERAGE &
SETBACK DIAGRAMS

**LEGEND FOR PROPOSED
UNIT SIZE DIAGRAM :**

EXISTING GUEST HOUSE
635.52 S.F.

NEW GARAGE
784.51 S.F.

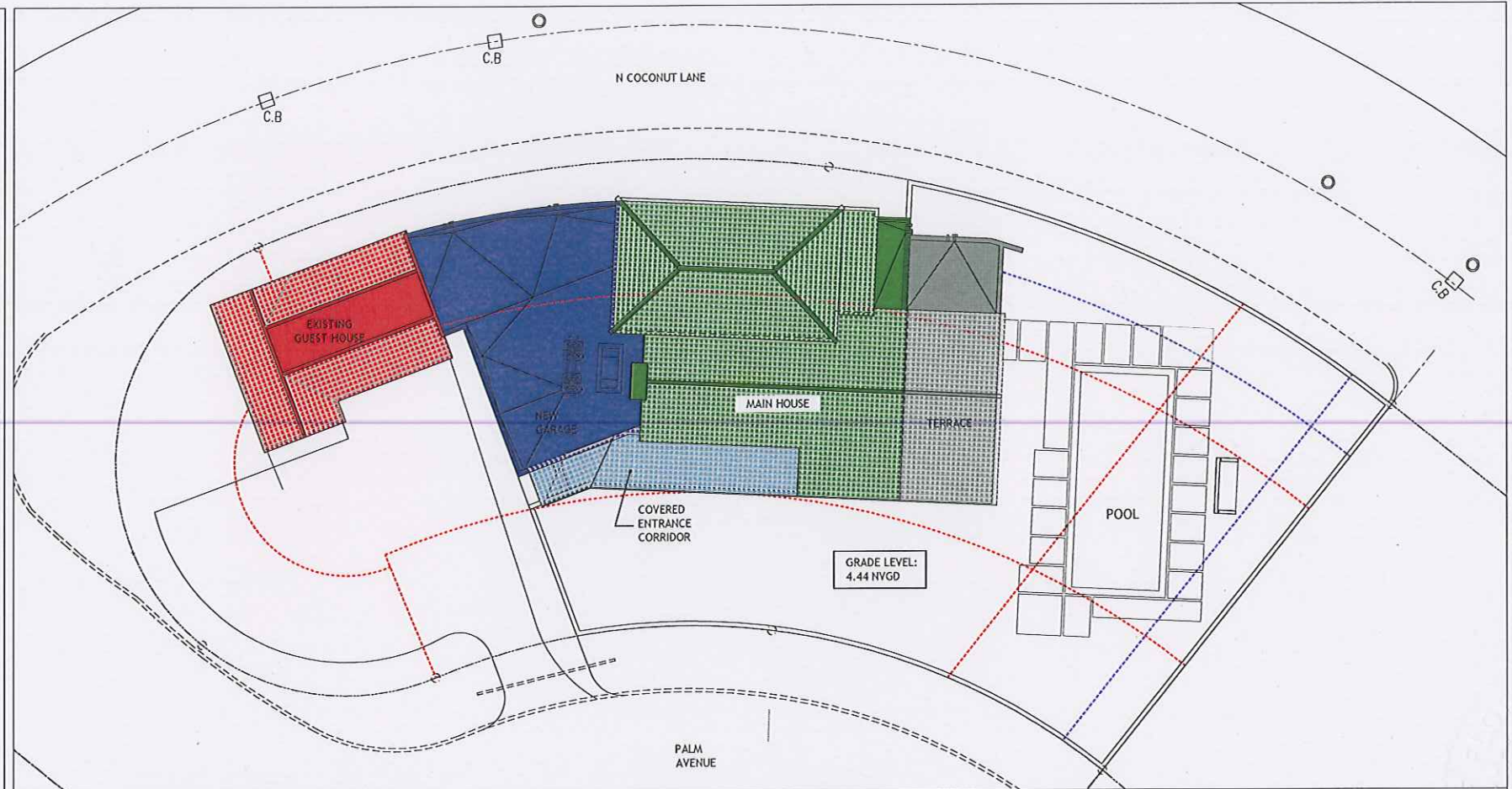
COVERED ENTRANCE CORRIDOR
286.05 S.F.

MAIN HOUSE
1,854.15 S.F.

MAIN TERRACE
567.80 S.F.

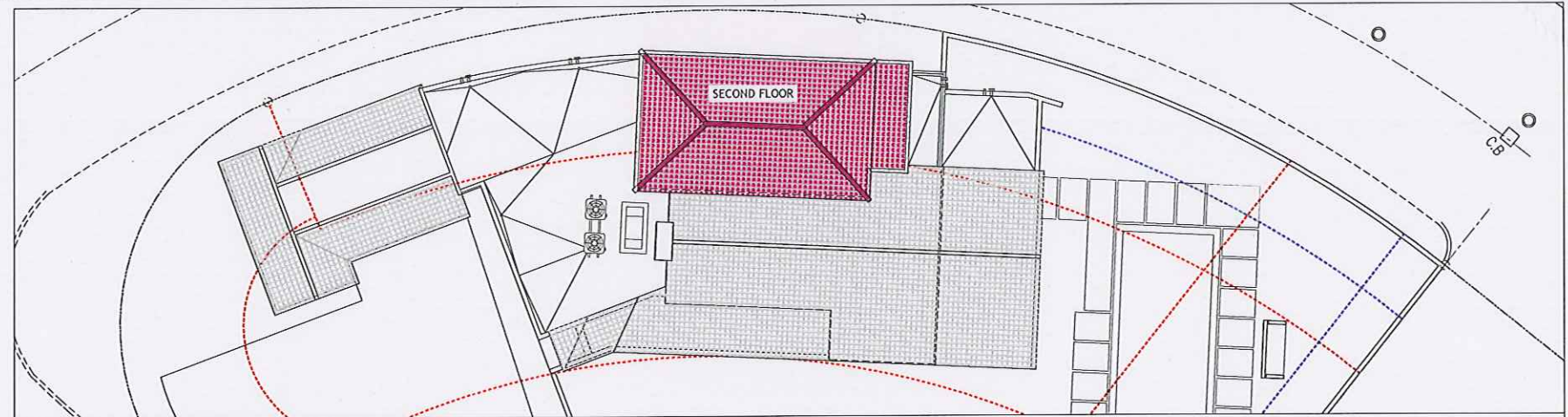
SECOND FLOOR
729.29 S.F.

UNIT SIZE: 4,857.32 S.F.



FIRST FLOOR UNIT SIZE

SCALE: $\frac{3}{32}'' = 1'-0''$



SECOND FLOOR UNIT SIZE

SCALE: $\frac{3}{32}'' = 1'-0''$

DRAWN BY:

REVISIONS:

AA0003568
ANTHONY LEON
08/07/12

3 DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

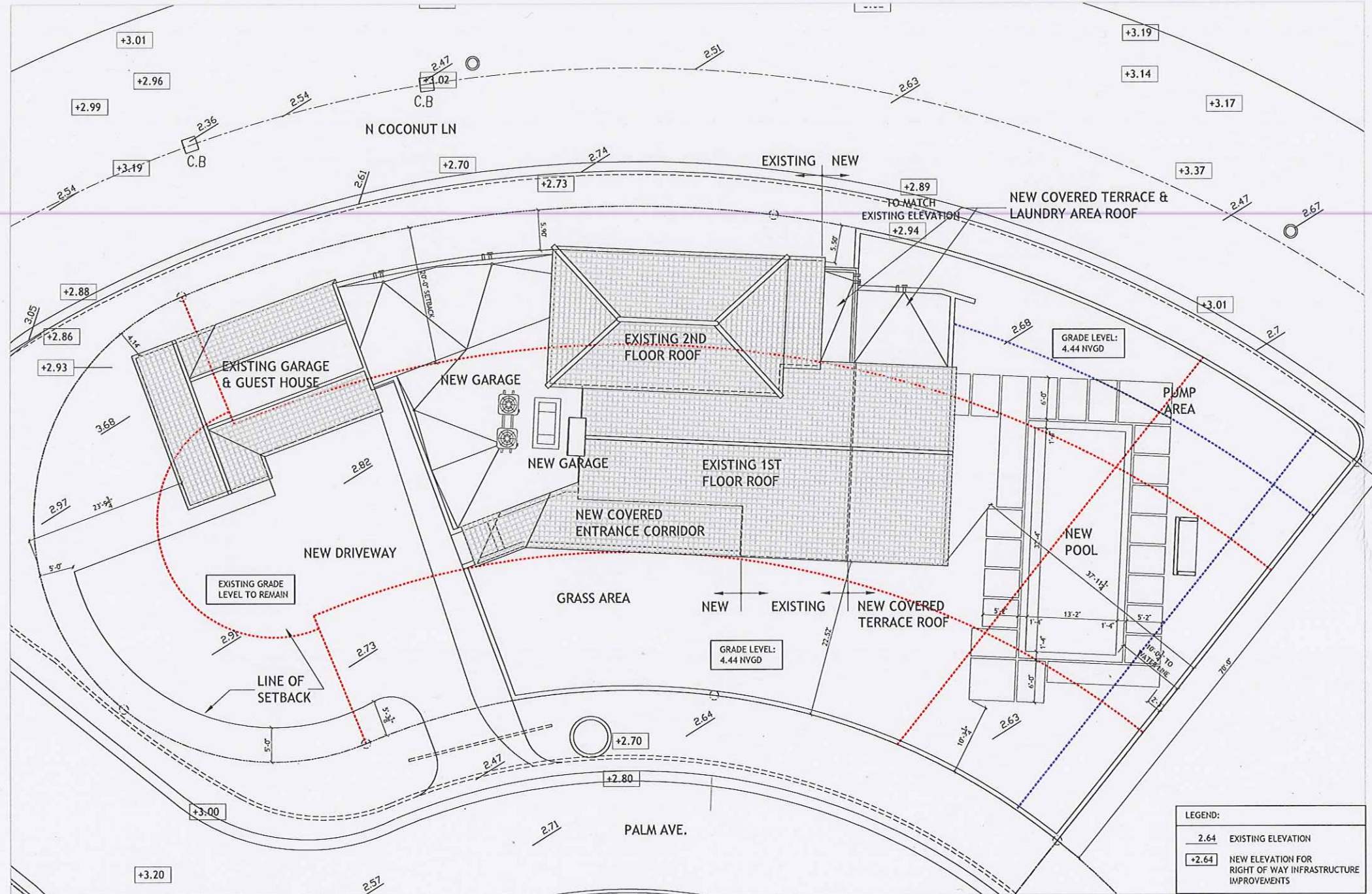
JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-0.4

UNIT SIZE DIAGRAMS
& LOT COVERAGE



PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

DRAWN BY:
REVISIONS:

AA0003560
ANTHONY LEON
08/05/2

3 DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

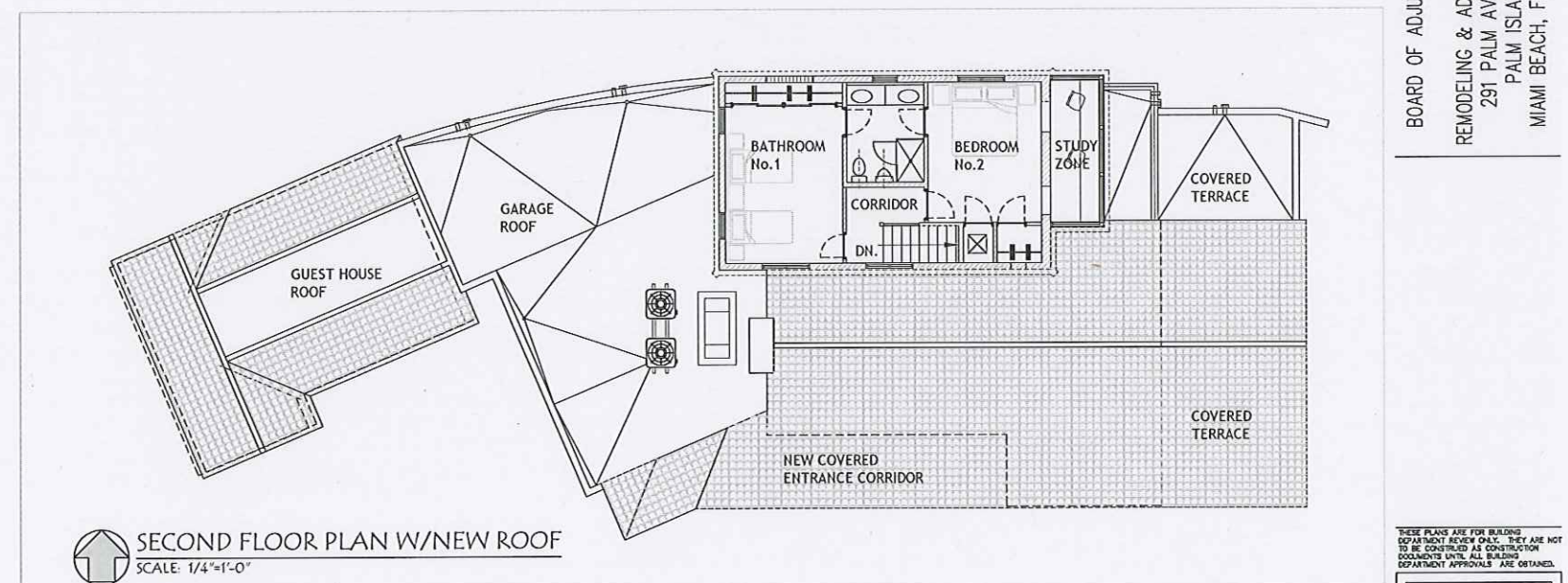
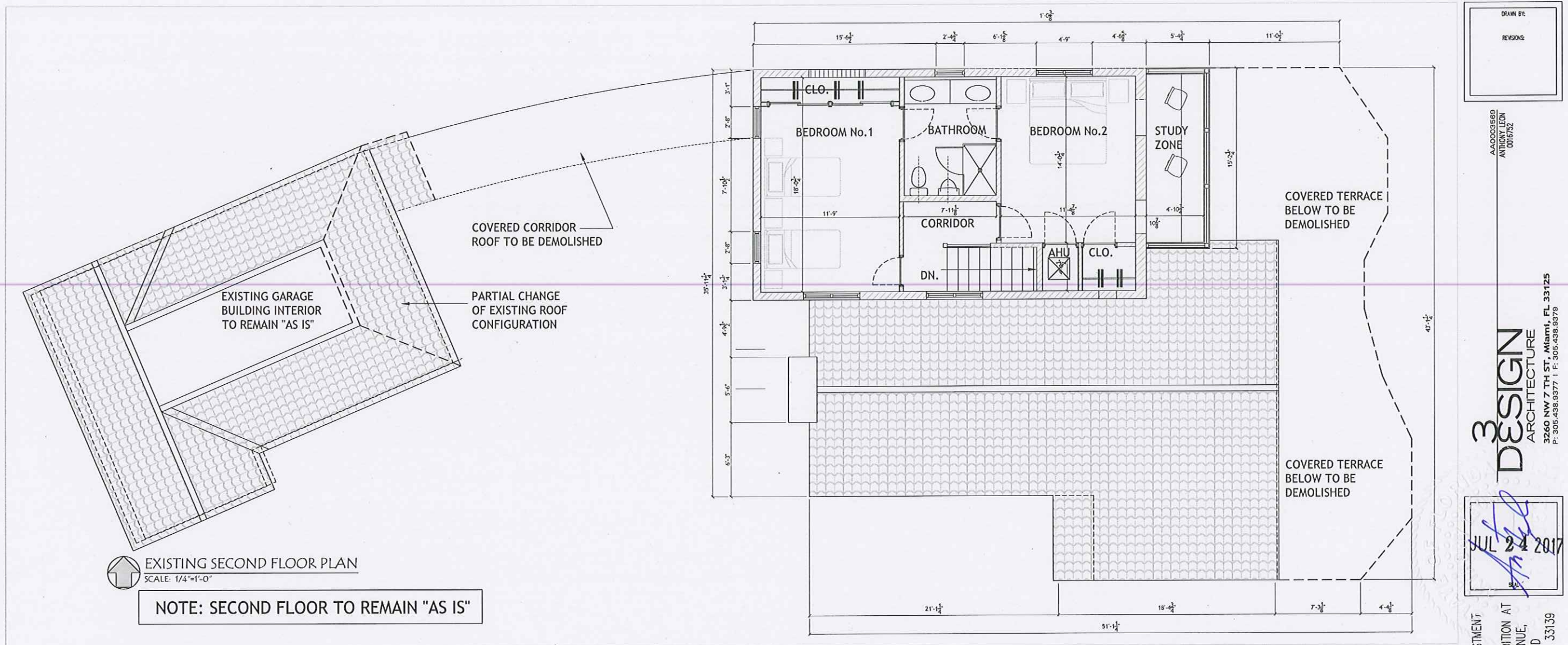
JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-04

PROPOSED
ARCHITECTURAL
SITE PLAN



DATE	BY	REVISIONS

ASAC003563
ANTHONY LECHE
0010752

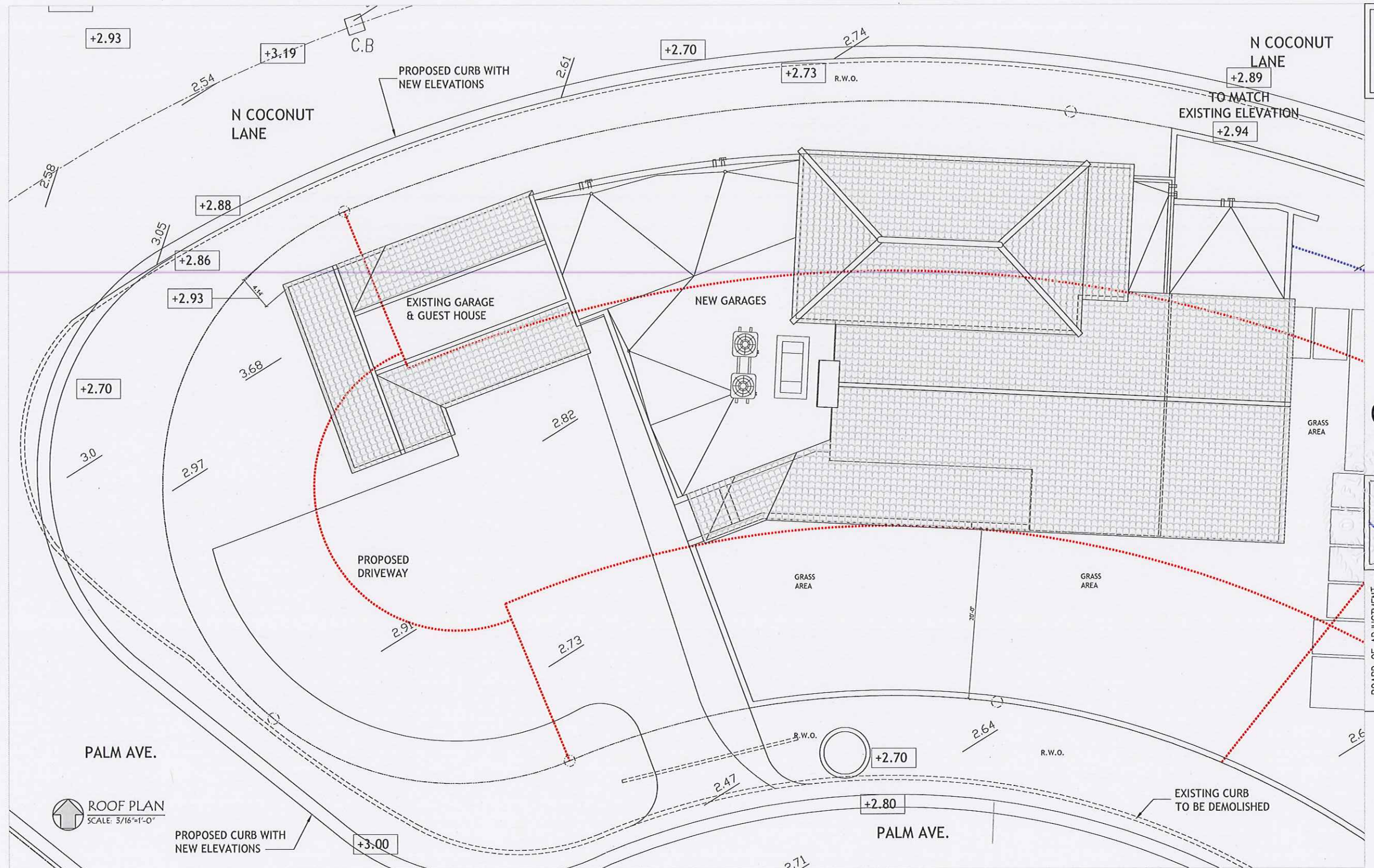
3
DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNLESS ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-03
EXISTING SECOND
FLOOR



ROOF PLAN
SCALE: 3/16"=1'-0"

LEGEND:	
2.64	EXISTING ELEVATION
+2.64	NEW ELEVATION FOR RIGHT OF WAY INFRASTRUCTURE IMPROVEMENTS

DRAIN BY:
REVISIONS:

AA0003569
ANTHONY LEON
01/01/12

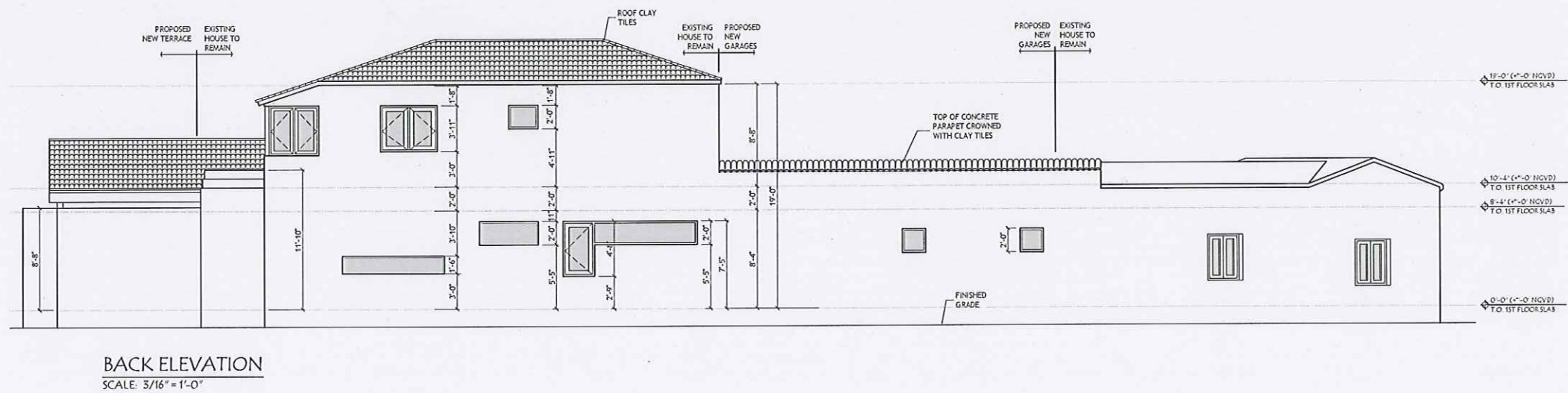
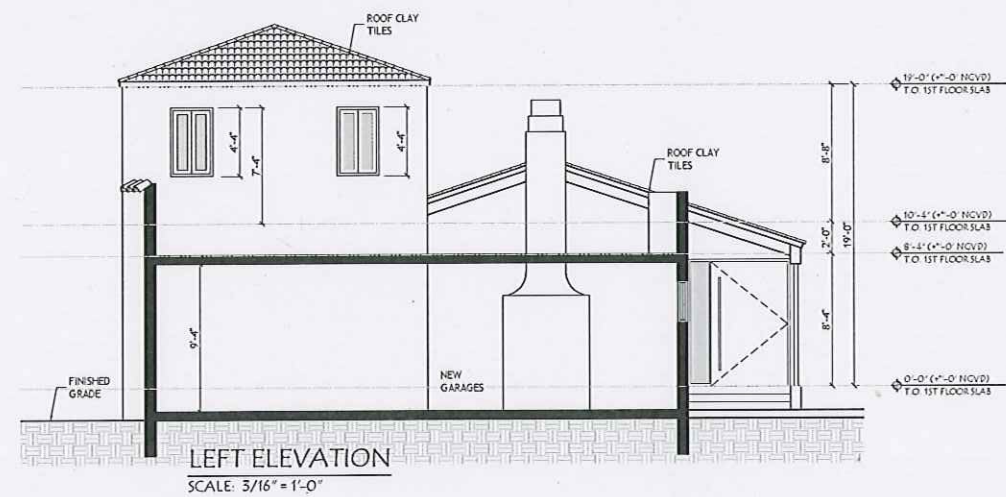
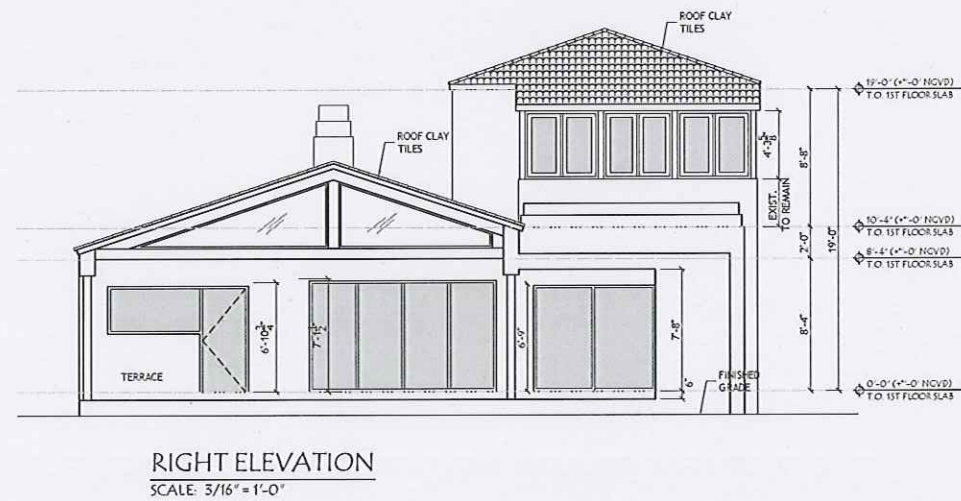
3 DESIGN
ARCHITECTURE
3260 NW 7 TH ST, MIAMI, FL 33125
P: 305.438.9377 | F: 305.438.9379

JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

BOA-06
PROPOSED ROOF
PLAN

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.



DATE	REVISIONS

AA0003660
ANTHONY LEON
000762

3 DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

JUL 24 2017

REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNLESS ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-08
PROPOSED
ELEVATIONS

DRAWN BY REVISIONS

A24000360
 ANTHONY LEON
 0010752

3 DESIGN
 ARCHITECTURE
 3260 NW 7 TH ST, Miami, FL 33125
 P: 305.438.9377 | F: 305.438.9379

JUL 24 2017
Anthony Leon
 SEAL

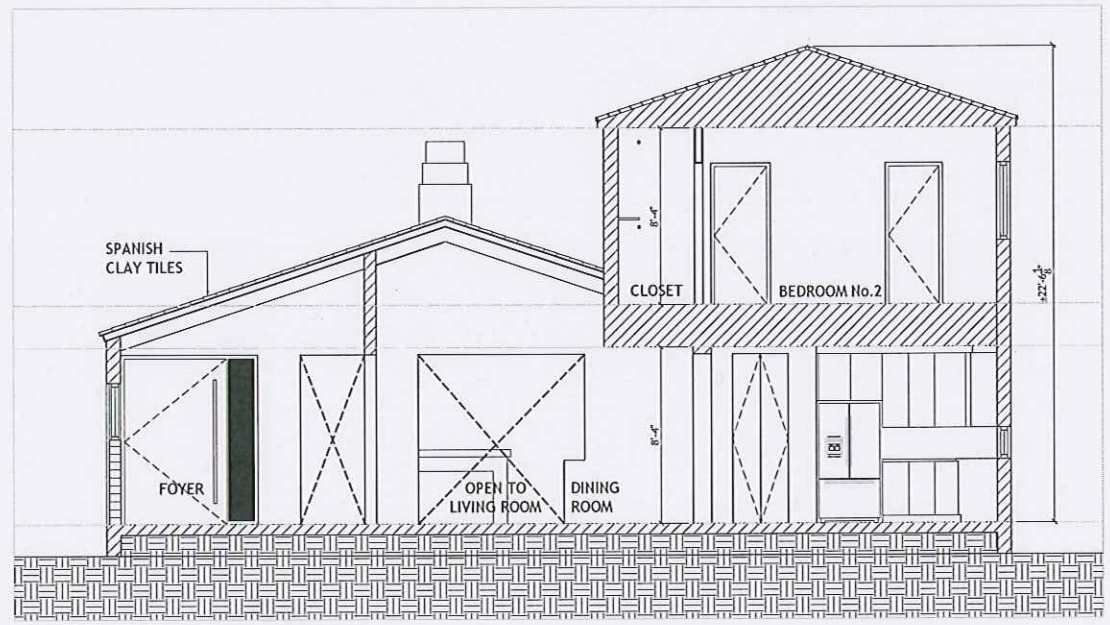
BOARD OF ADJUSTMENT
 REMODELING & ADDITION AT
 291 PALM AVENUE,
 PALM ISLAND
 MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
 DEPARTMENT REVIEW ONLY. THEY ARE NOT
 TO BE CONSTRUED AS CONSTRUCTION
 DOCUMENTS UNTIL ALL BUILDING
 DEPARTMENT APPROVALS ARE OBTAINED.

BOA-10
 PROPOSED BUILDING
 SECTIONS



BUILDING SECTION A-A
 SCALE: 3/16"=1'-0"



BUILDING SECTION B-B
 SCALE: 3/16"=1'-0"



PALM AVE ENTRANCE VIEW



PALM AVE - SOUTHEAST VIEW



NORTH COCONUT LANE - BACK VIEW

DRAWN BY: REVISIONS:

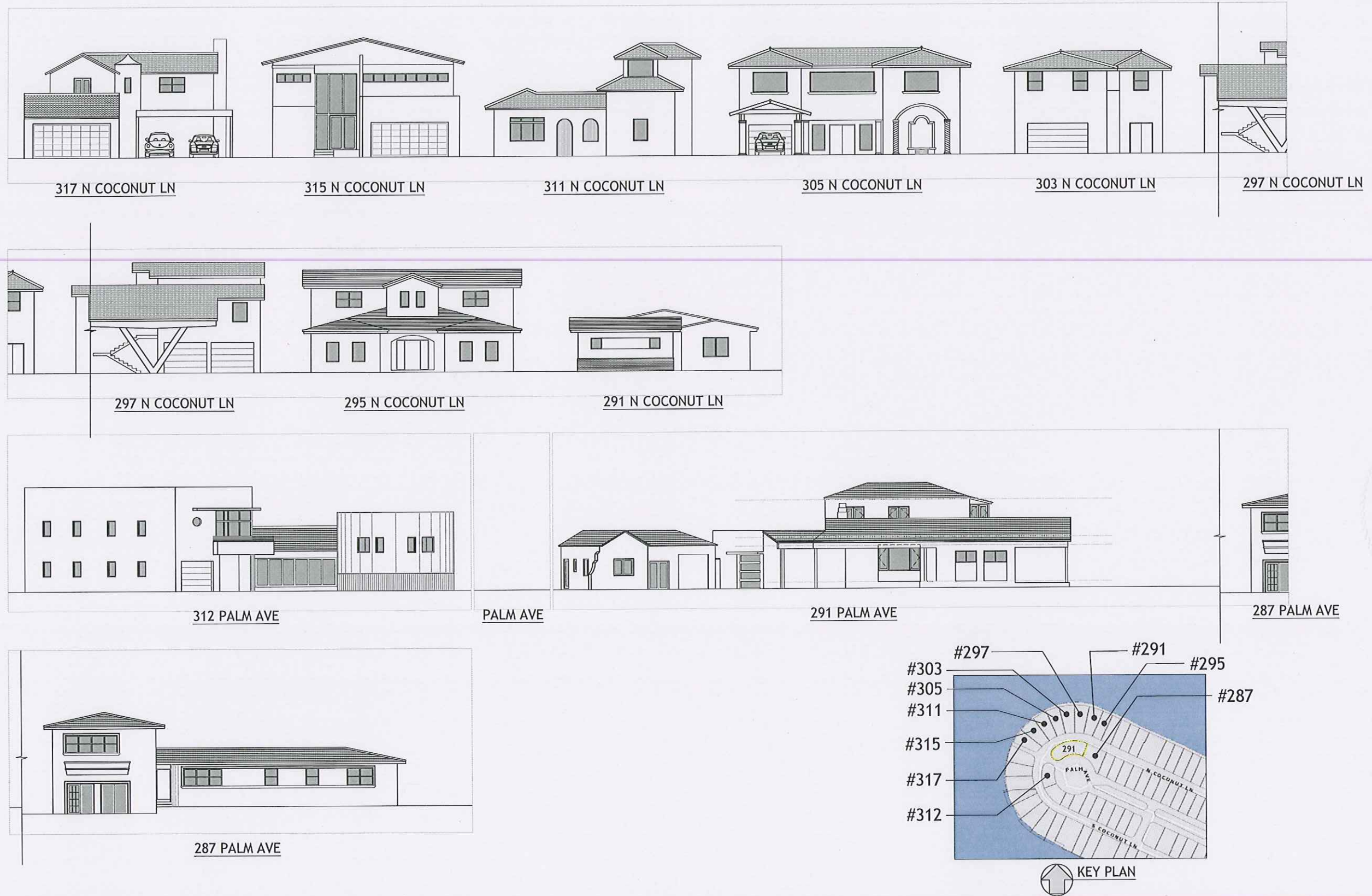
AS ASSOCIATES
 ANTHONY LEN
 001752
3 DESIGN
 ARCHITECTURE
 3260 NW 7 TH ST, Miami, FL 33125
 P: 305.438.9377 | F: 305.438.9379

JUL 24 2017
 SEAL

BOARD OF ADJUSTMENT
 REMODELING & ADDITION AT
 291 PALM AVENUE,
 PALM ISLAND
 MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
 DEPARTMENT REVIEW ONLY. THEY ARE NOT
 TO BE CONSTRUED AS CONSTRUCTION
 DOCUMENTS UNTIL ALL BUILDING
 DEPARTMENT APPROVALS ARE OBTAINED.

BOA-18
 RENDERINGS



CONTEXT ELEVATIONS
SCALE: 3/32" = 1'-0"

DRAWN BY REVISIONS

AA0003569
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305-438-0377 | F: 305-438-9379

JUL 24 2017
SEA

REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONTROLLED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-14
CONTEXT
ELEVATIONS

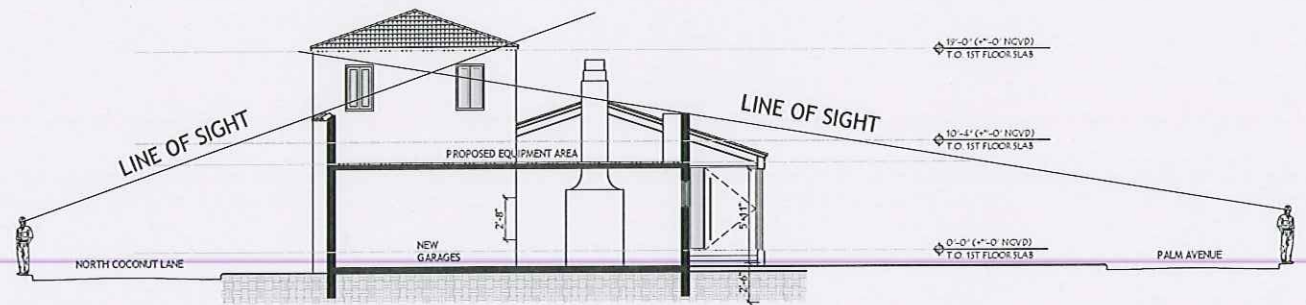
DRAWN BY: REVISIONS:

A40003569
 ANTHONY LEON
 0010152

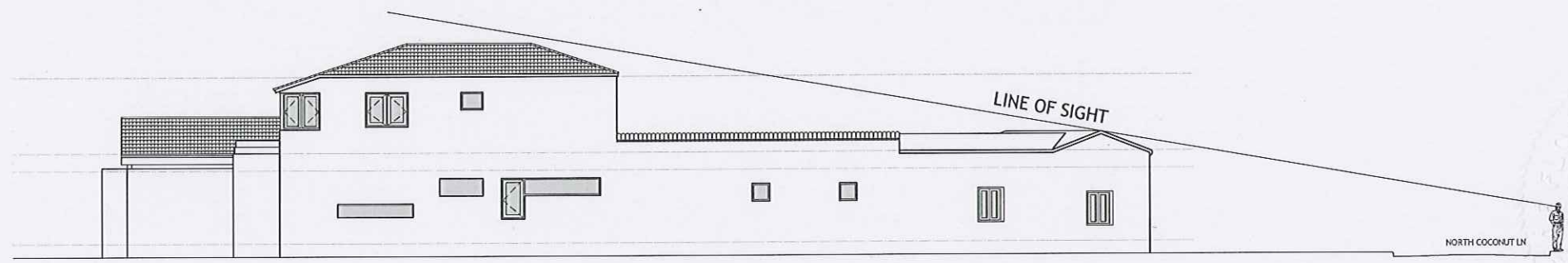
3 DESIGN
 ARCHITECTURE
 3260 NW 7 TH ST, Miami, FL 33125
 P: 305.438.9377 | F: 305.438.9379

JUL 24 2017
[Signature]

REMODELING & ADDITION AT
 291 PALM AVENUE,
 PALM ISLAND
 MIAMI BEACH, FL 33139



FRONT & REAR SIGHT LINES
 SCALE: 1/8" = 1'-0"



WEST SIGHT LINE - REAR ELEVATION
 SCALE: 1/8" = 1'-0"



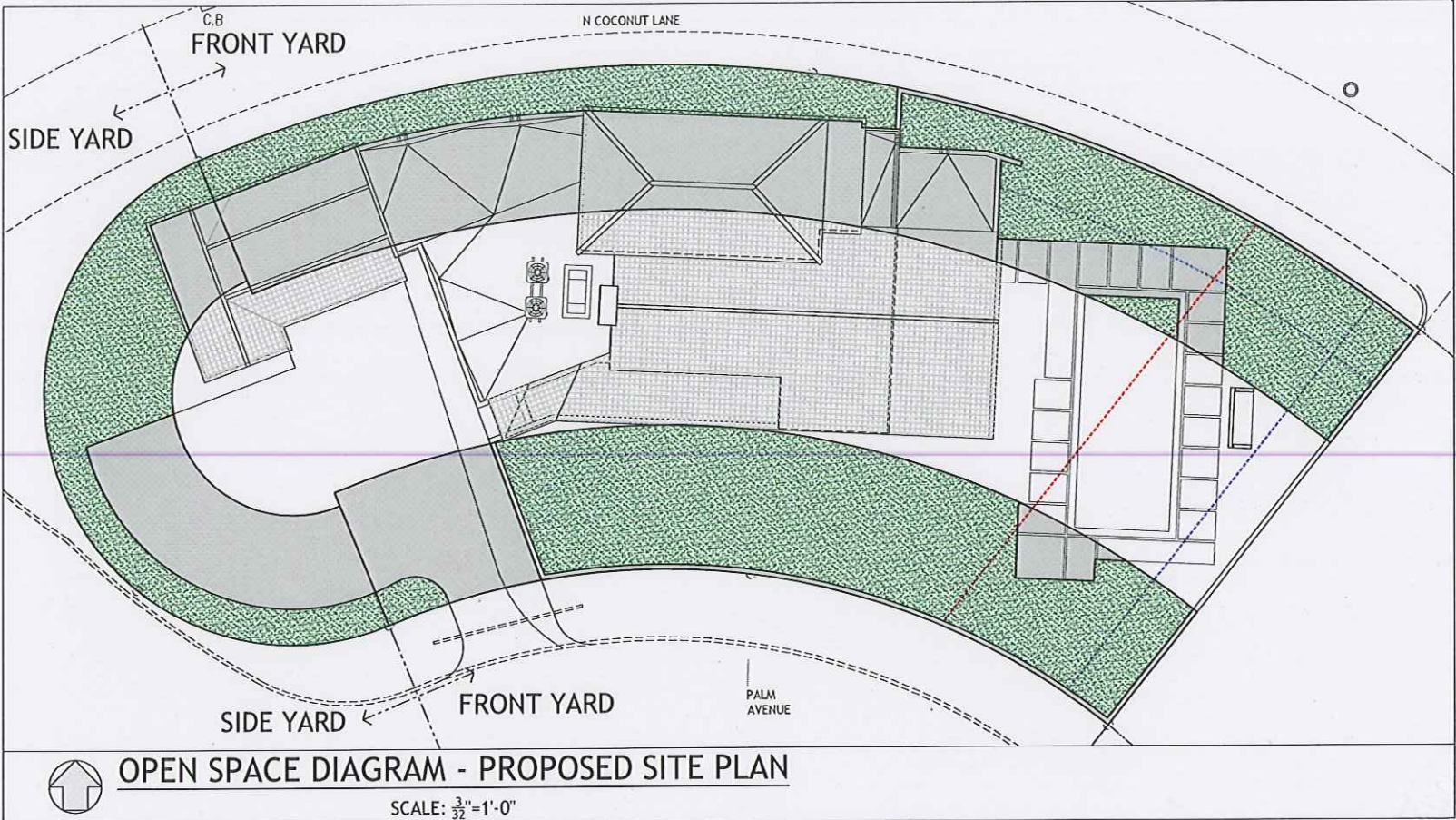
WEST SIGHT LINE - FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

THESE PLANS ARE FOR BUILDING
 DEPARTMENT REVIEW ONLY. THEY ARE NOT
 TO BE CONSTRUED AS CONSTRUCTION
 DOCUMENTS UNTIL ALL BUILDING
 DEPARTMENT APPROVALS ARE OBTAINED.

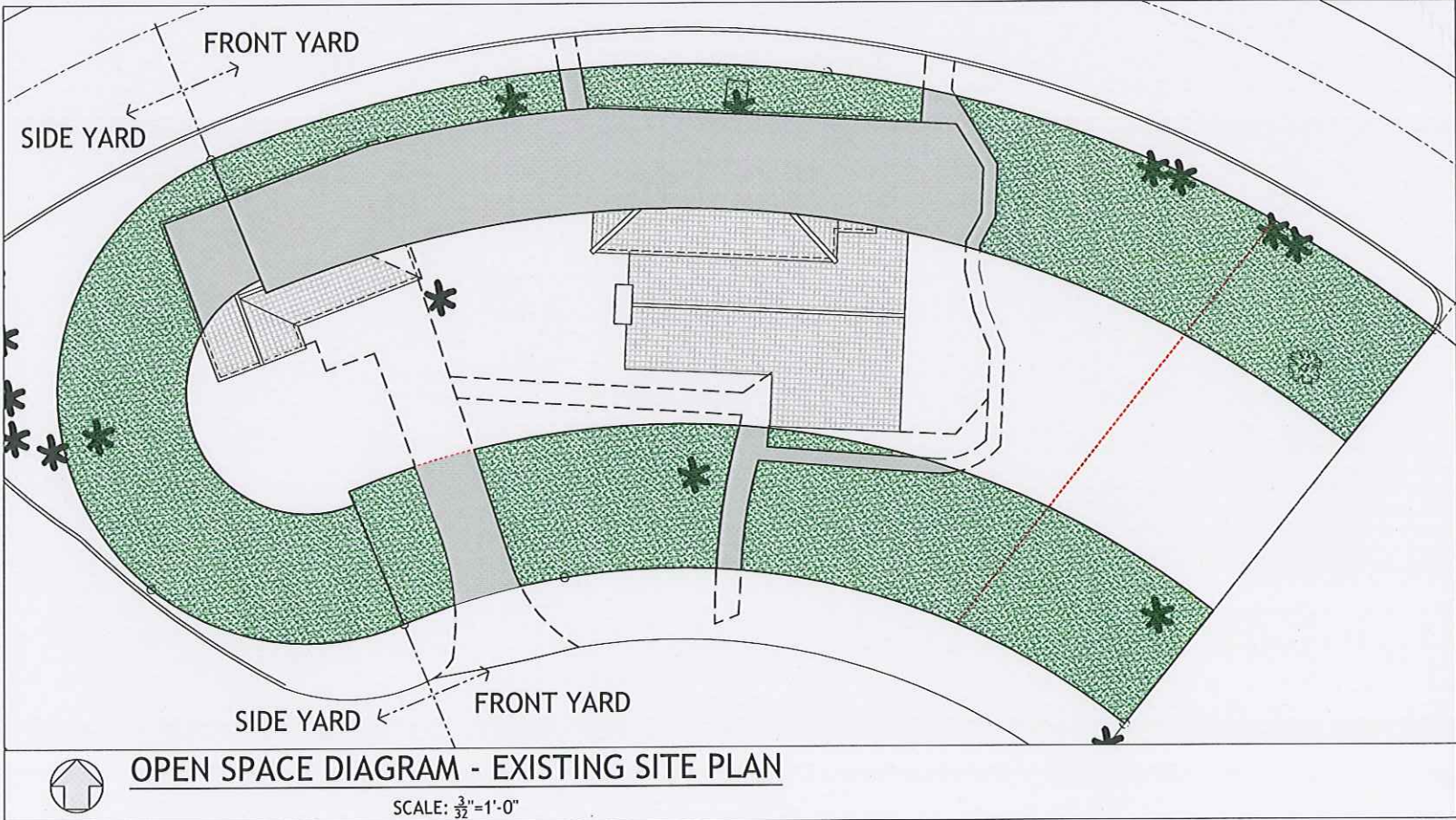
BOA-09
 ELEVATIONS
 SIGHT LINE

PROPOSED OPEN SPACE CALCULATION (PERVIOUS AREA)				
	SETBACK AREA	PERVIOUS AREA	%	% REQ.
FRONT (SOUTH)	2,350.59 S.F.	1,762.72 S.F./74.99 %		50 %
FRONT (NORTH)	3,419.04 S.F.	1,566.31 S.F./45.81 %		50 %
SIDE (WEST)	1,470.31 S.F.	806.91 S.F./54.88 %		50 %

EXISTING OPEN SPACE CALCULATION (PERVIOUS AREA)				
	SETBACK AREA	PERVIOUS AREA	%	% REQ.
FRONT (SOUTH)	2,350.59 S.F.	2,056.05 S.F./87.46 %		50 %
FRONT (NORTH)	3,419.04 S.F.	1,859.10 S.F./54.37 %		50 %
SIDE (WEST)	1,470.31 S.F.	1,340.27 S.F./91.15 %		50 %



IMPERVIOUS AREA OPEN SPACE (PERVIOUS) LINE OF REQUIRED SETBACK LINE OF POOL REQUIRED SETBACK



DESIGN BY
REVISIONS

AA0003860
ANTHONY LEON
0010752

3 DESIGN
ARCHITECTURE
3260 NW 7 TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

JUL 24 2017

BOARD OF ADJUSTMENT
REMODELING & ADDITION AT
291 PALM AVENUE,
PALM ISLAND
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNLESS ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

BOA-0.5
EXISTING / NEW
OPEN SPACE
CALCULATIONS