

EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

SHEET LIST

#	SHEET NAME	REVISION #1	REVISION #2
A1	EXISTING SITE PLAN		
A2	AERIAL COLOR PHOTOGRAPH		
A3	EXISTING & PROPOSE SIDE ELEVATION (NORTH)		
A4	CURRENT COLOR PHOTOGRAPHS		
A5	CURRENT COLOR PHOTOGRAPHS		
A6	CURRENT COLOR PHOTOGRAPHS		
A7	AREA CALCULATION		
A8	EXISTING GROUND FLOOR PLAN		
A9	PROPOSED GROUND FLOOR PLAN		
A10	EXISTING 2ND FLOOR PLAN		
A11	PROPOSE 2ND FLOOR PLAN		
A12	SECTION A-A		

SCOPE OF WORK:

CONVERT EXISTING COURTYARD FOR LIVING ROOM EXTENSION ADDING ONE EXTERIOR WALL.

LEGEND:

- SODDED / LANDSCAPED AREA
- EXTERIOR TILED SURFACES
- NON-SODDED SURFACES
- INTERLOCKING CONCRETE PAVERS

LEGAL DESCRIPTION:

LOT 9, BLOCK 4, MID GOLF FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 161, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND A PORTION OF LOT 10, BLOCK 4, OF THE AFORESAID SUBDIVISION, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT OF BEGINNING AT THE NORTHEAST CORNER OF LOT 9, RUN NORTHERLY ALONG THE EAST LINE OF LOT 10, FOR A DISTANCE OF 6 FEET TO A POINT, THENCE RUN WESTERLY FOR A DISTANCE OF 150.95 FEET TO THE SOUTHWEST CORNER OF LOT 10, THENCE RUN EASTERLY ALONG THE DIVIDING LINE BETWEEN LOT 9 AND LOT 10 FOR A DISTANCE OF 151.70 FEET TO THE POINT OF BEGINNING.



PROJECT DATA:

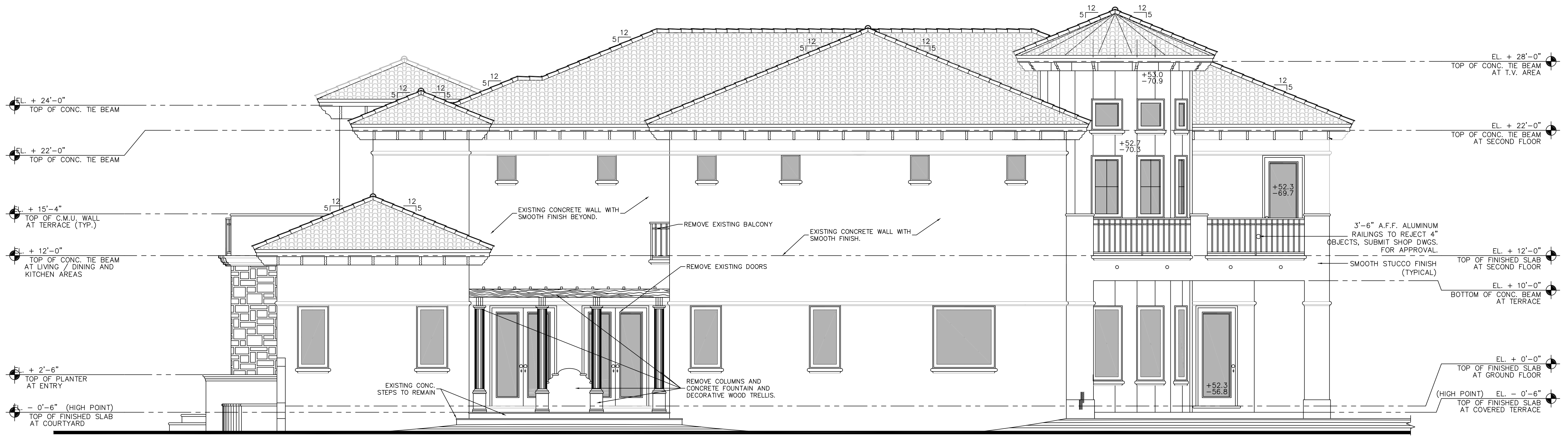
- EXISTING ZONING: RS-4 SINGLE FAMILY RESIDENTIAL
- LAND AREA: 10,205 S.F. (± 0.23 ACRE)
- SETBACKS:

REQUIRED	EXISTING
FRONT: 20'-0"	30'-5"
REAR: 22'-6" (15% OF LOT DEPTH)	31'-9"
SIDES: 7'-6" MIN. (25% OF LOT WIDTH)(SEE SITE PLAN)	17.83' (SEE SITE PLAN)
25% OF 71.15' = 17.78'	
- BUILDING HEIGHT: 33'-0" (MAX. FROM AVERAGE SIDEWALK ELEVATION) vs + 32'-10" (TO CENTER OF AVERAGE ROOF ABOVE AVERAGE SIDEWALK ELEVATION)
- AREA BREAKDOWN:

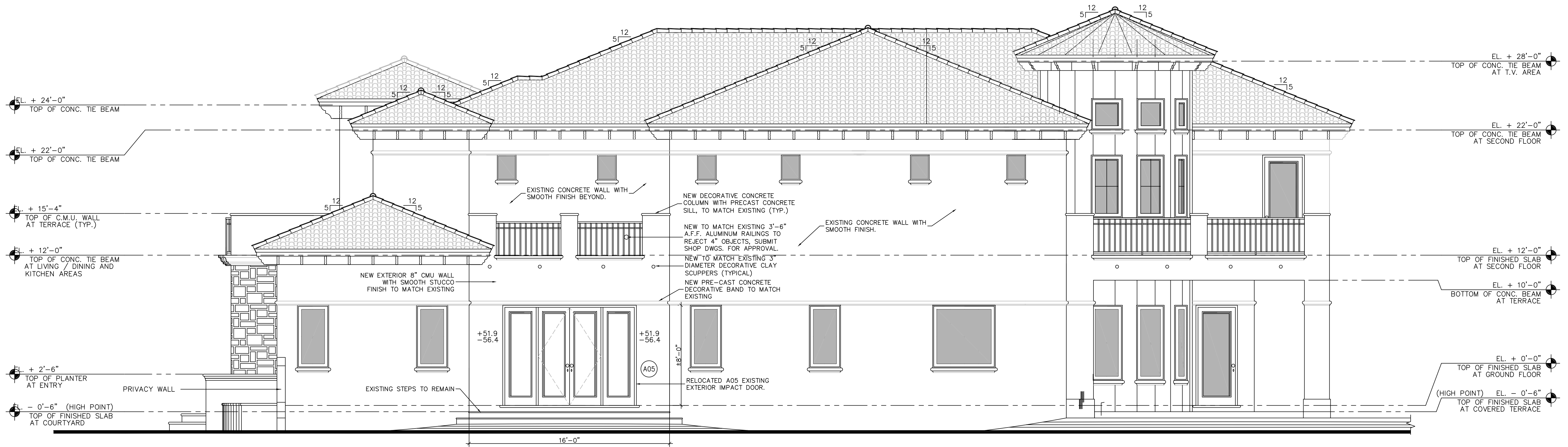
EXISTING	GROUND FLOOR (A/C)	= 2,667 S.F.
	COVERED TERRACES	= 386 S.F.
	GARAGE	= 583 S.F.
	SECOND FLOOR (A/C)	= 2,889 S.F.
	TOTAL	= 6,535 S.F.
- LOT COVERAGE:

ALLOWED	= 3,061 S.F. (30%)
AS BUILT	= 3,646 S.F.
NON-A/C GARAGE AREA DEDUCTION	= - 323 S.F.
TOTAL	= 3,323 S.F.
PROPOSED	= + 256 S.F.
	3,579 S.F. (35.07%)
- FRONT REQUIRED LANDSCAPED AREA:

REQUIRED:	35% OF FRONT SETBACK (1,766 S.F.)
	(25'-0" FROM PROPERTY LINE) = 618 S.F. (35%)
PROVIDED	= 867 S.F. (49%)



1 EXISTING SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

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5610 NW 114 PLACE
DORAL FL. 33178

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PE# 62979

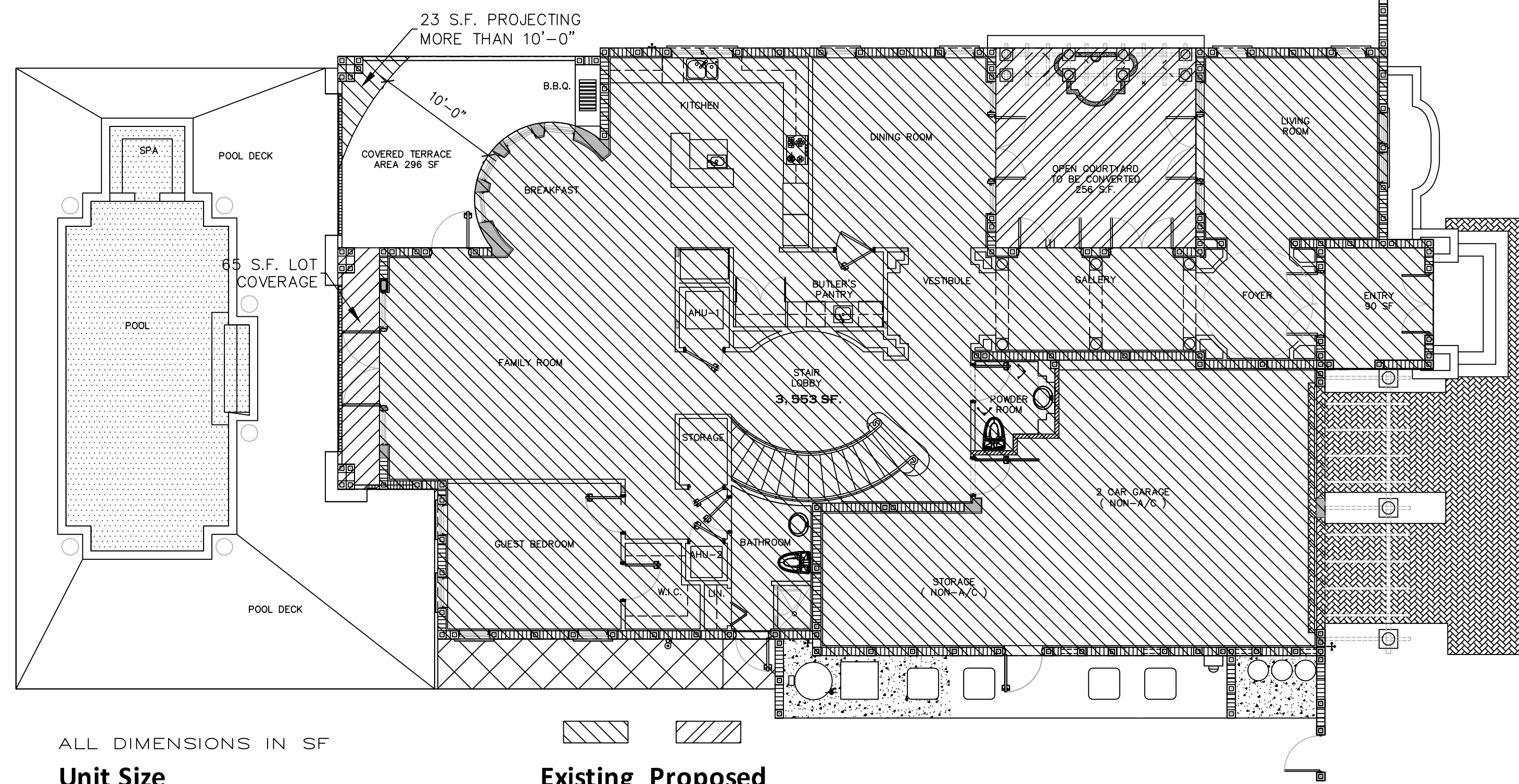
REVISIONS:

PROPOSED COURTYARD CONVERSION TO BABYSITTING ROOM
FOR BEN AVIV RESIDENCE
MIAMI BEACH
FLORIDA 33140
ADDRESS: 3040 PRAIRIE AVE.

DATE: 01/25/17
PROJECT NO: 002017
SHEET: OF 12 **A3**

2017-01-A2

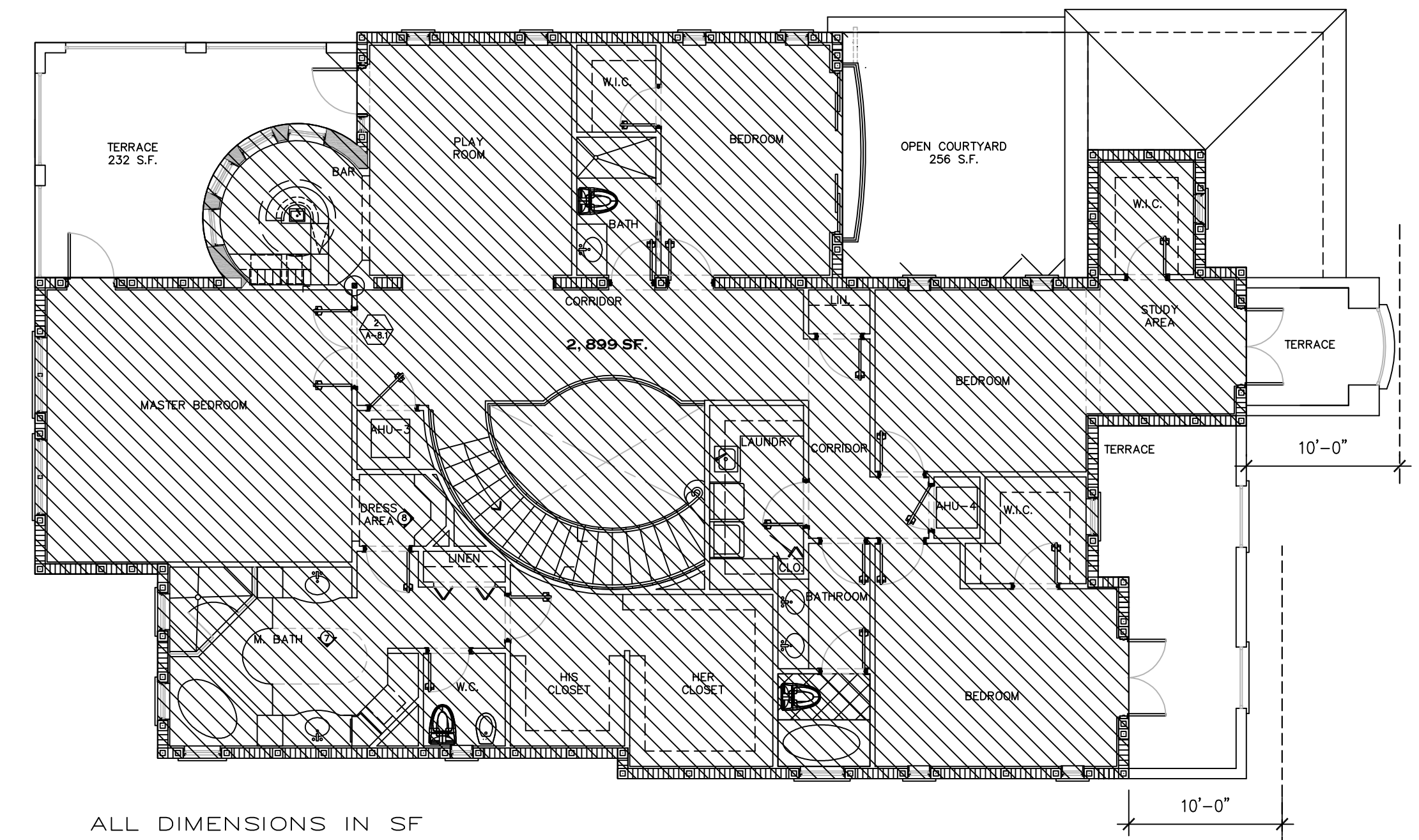
GROUND FLOOR UNIT SIZE



ALL DIMENSIONS IN SF

Unit Size	Existing	Proposed
Ground Floor		
HVAC Area Includes Garage Conversion	2667	2667
Garage Area	593	593
Covered Terrace/Entry Areas	386	386
Enclosed Courtyard Area	0	256
Covered Terrace Deductions	-361	-361
Garage Area Deduction	-500	-500
Total Ground Floor Unit Size	2785	3041

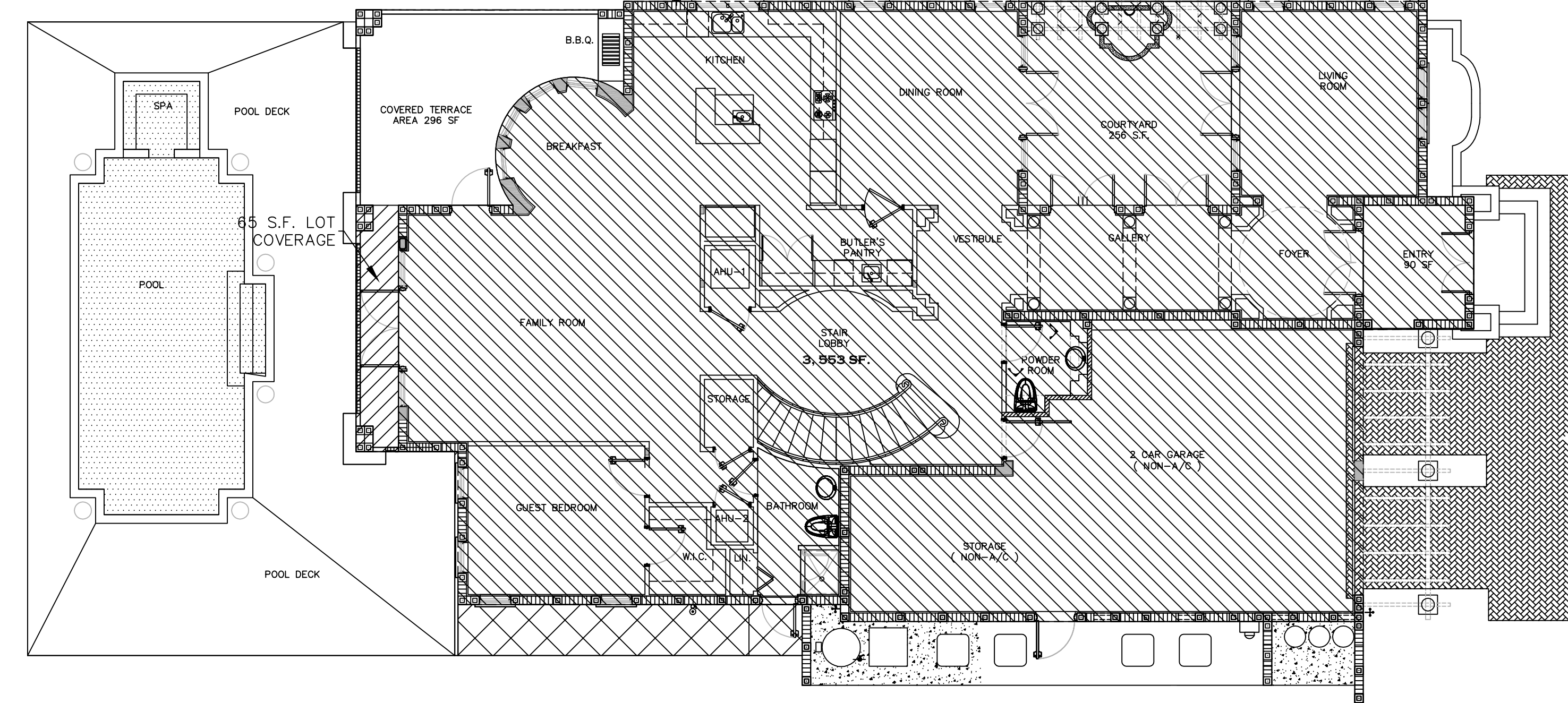
SECOND FLOOR UNIT SIZE



ALL DIMENSIONS IN SF

	Existing	Proposed
Second Floor		
HVAC Area	2889	2889
Total Second Floor Unit Size	2889	2889
Total Unit Size	5674	5930
Percentage	55.60%	58.11%

LOT COVERAGE



ALL DIMENSIONS IN SF

Lot Coverage	Existing	Proposed
HVAC Area Includes Garage Conversion	2667	2667
Garage Area	593	593
Covered Terrace/Entry Areas	386	386
Converted or Enclosed Courtyard Area	256	256
Covered Terrace Deductions	-323	-323
Garage Area Deduction	0	0
Total Ground Floor Unit Size	3579	3579
Percentage	35.07%	35.07%

MIAMI BEACH
Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information	Required	Existing	Proposed	Deficiencies
1	Address:	3040 Prairie Avenue Miami Beach, FL 33140			
2	Folio number(s):	02-3227-016-0190			
3	Board and file numbers :				
4	Year built:	2004			
5	Based Flood Elevation:	8.00'			
6	Adjusted grade (Flood+Grade/2):	n/a			
7	Lot Area:	10,205			
8	Lot width:	69 ft			
9	Max Lot Coverage SF and %:	3,061 SF, 30%			
10	Existing Lot Coverage SF and %:	3,579 SF, 35.07%			
11	Front Yard Open Space SF and %:	2,450 SF, 24.01%			
12	Max Unit Size SF and %:	5,102.5 SF, 50%			
13	Existing First Floor Unit Size:	2,785 SF			
14	Existing Second Floor Unit Size:	2,889 SF			
15					
16					
17	Height:	33' 0"	32' 10"	n/a - no change	
18	Setbacks:				
19	Front First level:	30' 0"	30' 5"	n/a - no change	
20	Front Second level:	30' 0"	30' 5"	n/a - no change	
21	Side 1:	17' 9"	7' 6"	n/a - no change	
22	Side 2 or (facing street):	17' 9"	10' 3"	n/a - no change	
23	Rear:	n/a	30' 4"	n/a - no change	
24	Accessory Structure Side 1:	n/a	n/a		
25	Accessory Structure Side 2 or (facing street):	n/a	n/a		
26	Accessory Structure Rear:	n/a	n/a		
27	Sum of Side yard :	n/a	n/a		
27	Located within a Local Historic District?			Yes or <input checked="" type="checkbox"/>	
28	Designated as an individual Historic Single Family Residence Site?			Yes or <input checked="" type="checkbox"/>	
29	Determined to be Architecturally Significant?			Yes or <input checked="" type="checkbox"/>	

Notes:
If not applicable write N/A
All other data information should be presented like the above format

AREA CALCULATION

SCALE: 1/8" = 1'-0"

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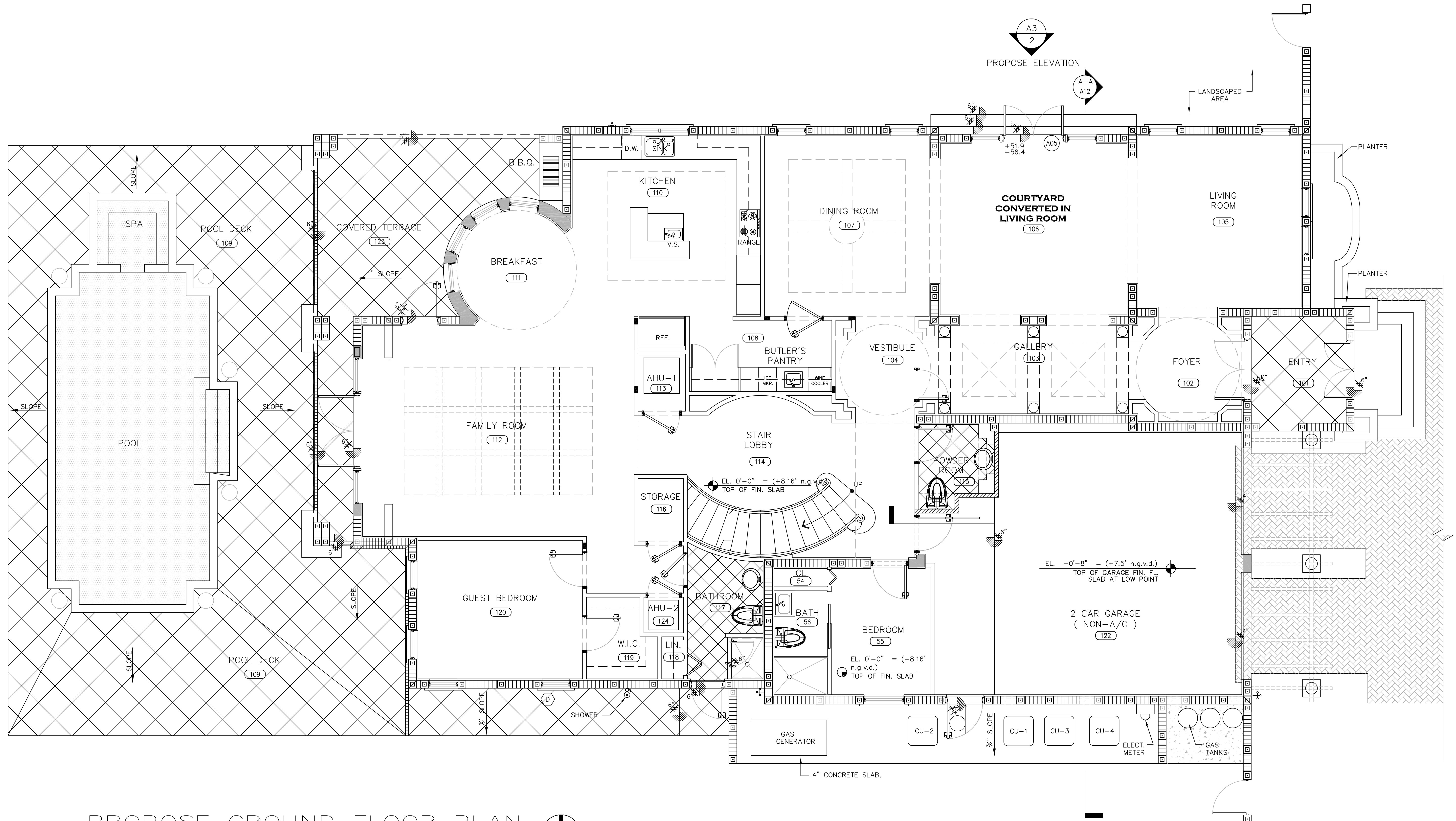
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PROPOSE GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- WALL TYPE LEGEND**
- EXISTING METAL STUD PARTITION WITH 5/8" GYPSUM WALLBOARD EACH SIDE.
 - EXISTING METAL STUD PARTITION—(ONE-HOUR FIRE RATED) WITH 5/8" GYPSUM WALLBOARD EACH SIDE.
 - EXISTING CONCRETE MASONRY WALL.
 - EXISTING CONCRETE COLUMN.
 - EXISTING STEEL COLUMN.

GROUND FLOOR BUILDING AREA:

GROUND A/C	2,459 S.F.
COVERED ENTRY	86 S.F.
CONVERTED COVERED TERRACES	349 S.F.
GARAGE	752 S.F.
TOTAL	3,646 S.F.

DRAWINGS PREPARED BY:
DESIGN & PLANNING Inc.
 1136 Alabama Avenue Fort Lauderdale FL 33312
 Phone: (561) 537-5388 Fax: (866) 687-6385
 Email: Landearth@gmail.com

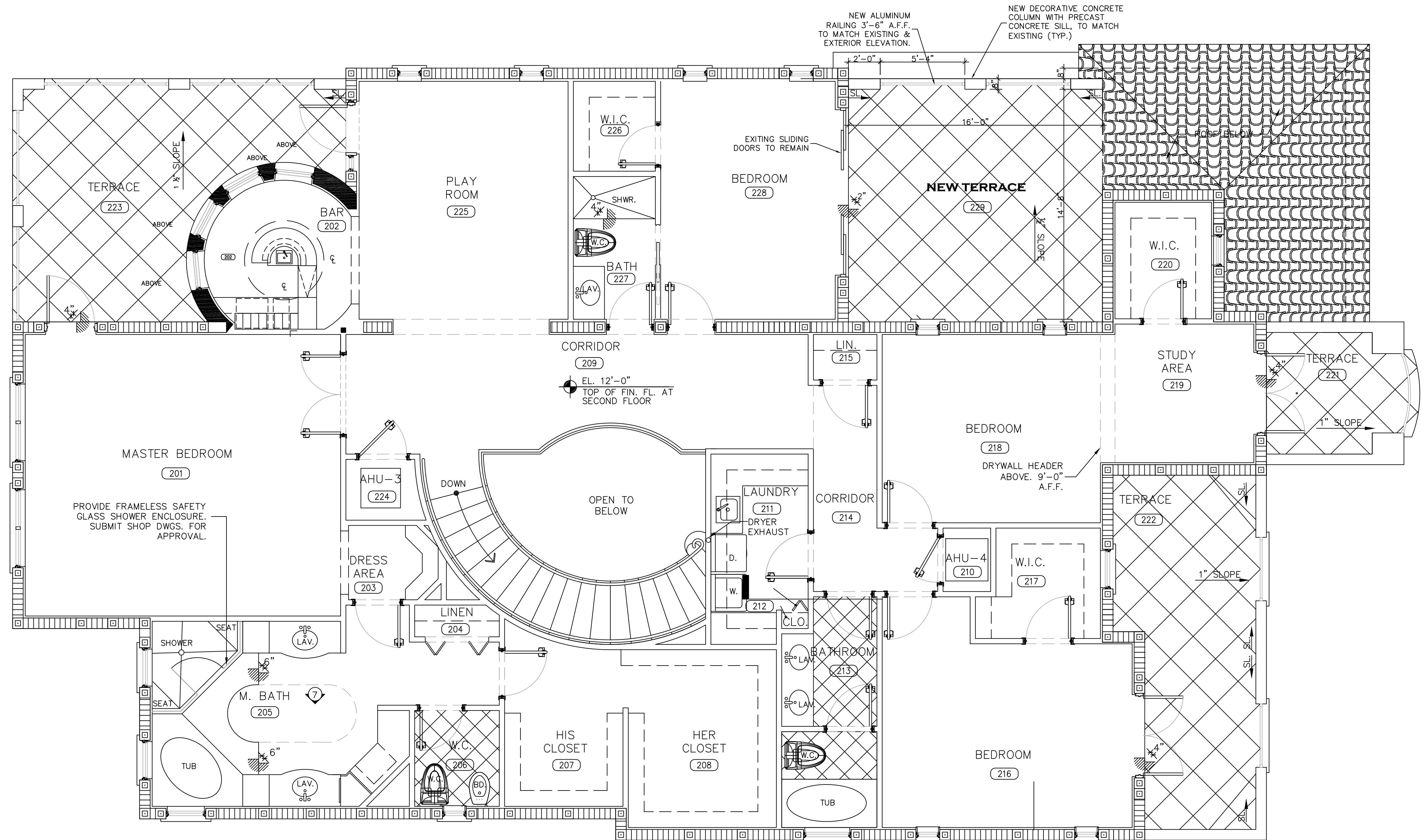
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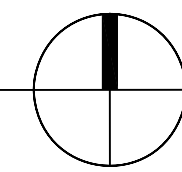
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PROPOSE 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"



WALL TYPE LEGEND

- EXISTING METAL STUD PARTITION WITH 5/8" GYPSUM WALLBOARD EACH SIDE.
- EXISTING METAL STUD PARTITION-(ONE-HOUR FIRE RATED) WITH 5/8" GYPSUM WALLBOARD EACH SIDE.
- EXISTING CONCRETE MASONRY WALL.
- NEW 8" CONCRETE MASONRY COLUMN WITH 2" PRECAST CONCRETE SILL.
- EXISTING CONCRETE COLUMN.
- EXISTING STEEL COLUMN.

EXISTING SECOND FLOOR BUILDING AREA:

SECOND FLOOR A/C : 2,899 S.F.
 TOTAL A/C : 5,358 S.F.

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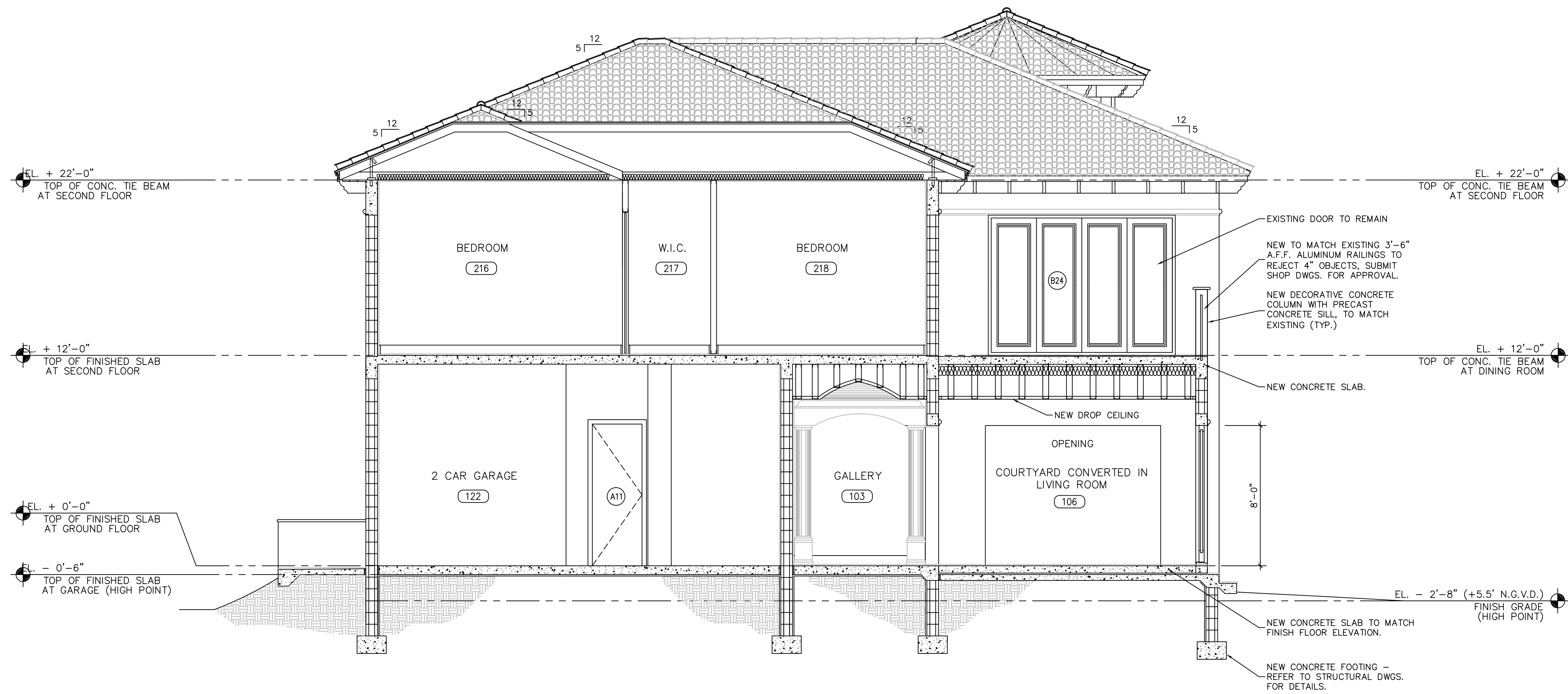
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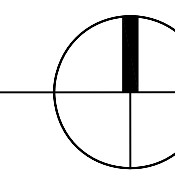
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SECTION A - A

SCALE: 1/4" = 1'-0"



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