

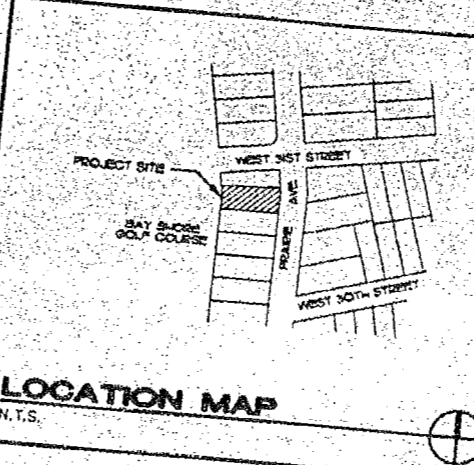
**SITE PLAN**  
SCALE: 1/8" = 1'-0"

48 HOURS PRIOR TO EXCAVATING FACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES  
 (Toll-Free) 1-800-432-4779  
 (Local) 305-673-7080

**PUBLIC WORKS PLAN REVIEW NOTICE**  
 Plans shall be reviewed by the Public Works Department prior to construction.  
 A separate Public Works Department permit shall be obtained.  
 A proof of existing sidewalk, easement, or utility lines shall be provided to the Public Works Department prior to construction.  
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 A proof of existing sidewalk, easement, or utility lines shall be provided to the Public Works Department prior to construction.

- LEGEND:**
- SCALLOPED / LANDSCAPED AREA
  - EXTERIOR TILED SURFACES
  - NON-SCALLOPED SURFACES
  - INTERLOCKING CONCRETE PAVERS

**LEGAL DESCRIPTION:**  
 LOT 9, BLOCK 4, MID GOLF FIRST ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, AT PAGE 151 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND A PORTION OF LOT 10, BLOCK 4, OF THE AFORESAID SUBDIVISION, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 FROM A POINT OF BEGINNING AT THE NORTH-EAST CORNER OF LOT 9, RUN NORTH-EAST ALONG THE EAST LINE OF LOT 9, FOR A DISTANCE OF 6 FEET TO A POINT, THENCE RUN WESTERLY FOR A DISTANCE OF 150.93 FEET TO THE SOUTH-WEST CORNER OF LOT 10, THENCE RUN EASTERLY ALONG THE DIVIDING LINE BETWEEN LOT 9 AND LOT 10 FOR A DISTANCE OF 151.70 FEET TO THE POINT OF BEGINNING.



- SITE NOTES**
1. NO LANDSCAPING SHALL BE PROVIDED WITHIN RIGHT OF WAY.
  2. ALL LANDSCAPING SHALL BE DONE WITHIN SUBJECT PROPERTY AND SHALL COMPLY WITH MIAMI DADE COUNTY ORDINANCE # 18A-98-13.
  3. ALL LANDSCAPING PLANTED WITHIN TRIANGLE OF VISIBILITY SHALL NOT BE ALLOWED TO GROW IN SUCH A MANNER AS TO IMPED VISION BETWEEN A HEIGHT OF 3' AND 6'.
  4. GENERAL CONTRACTOR SHALL GRADE LOT IN ORDER TO RETAIN ALL RUN-OFF WATER WITHIN PROPERTY BOUNDARIES.

**PROJECT DATA:**

1. EXISTING ZONING: RS-4  
 2. LAND AREA: 10,205 SF. (1 ACRE)  
 3. SETBACKS:  
 FRONT: 30'-0"  
 REAR: 25'-0" (MIN. OF LOT DEPTH)  
 SIDES: 7'-6" (MIN. OF LOT WIDTH)  
 4. BUILDING HEIGHT: 33'-0" MAX. FROM AVERAGE SIDEWALK ELEVATION  
 5. AREA OVERLAP:  
 PROPOSED GROUND FLOOR (A/C) ..... 2,459 SF.  
 COVERED TERRACE ..... 435 SF.  
 GARAGE ..... 792 SF.  
 SECOND FLOOR (A/C) ..... 3,022 SF.  
 TOTAL ..... 6,546 SF.  
 6. LOT COVERAGE:  
 ALLOWED ..... 3,571 SF. (30%)  
 PROPOSED ..... 3,564 SF.  
 NON-AVG GARAGE AREA DEDUCTION ..... -100 SF.  
 3,464 SF. (30%)  
 7. FRONT REQUIRED LANDSCAPED AREA:  
 REQUIRED: 345 SF.

**PLUMBING:** [Signature]  
**ELECTRICAL:** [Signature]  
**MECHANICAL:** [Signature]  
**FIRE PREVENTION:** [Signature]  
**ENGINEERING:** [Signature]  
**PUBLIC WORKS:** [Signature]  
**ACCESSIBILITY:** [Signature]  
 REVIEWED FOR CODE COMPLIANCE

**PLAN & PROJECT DATA**

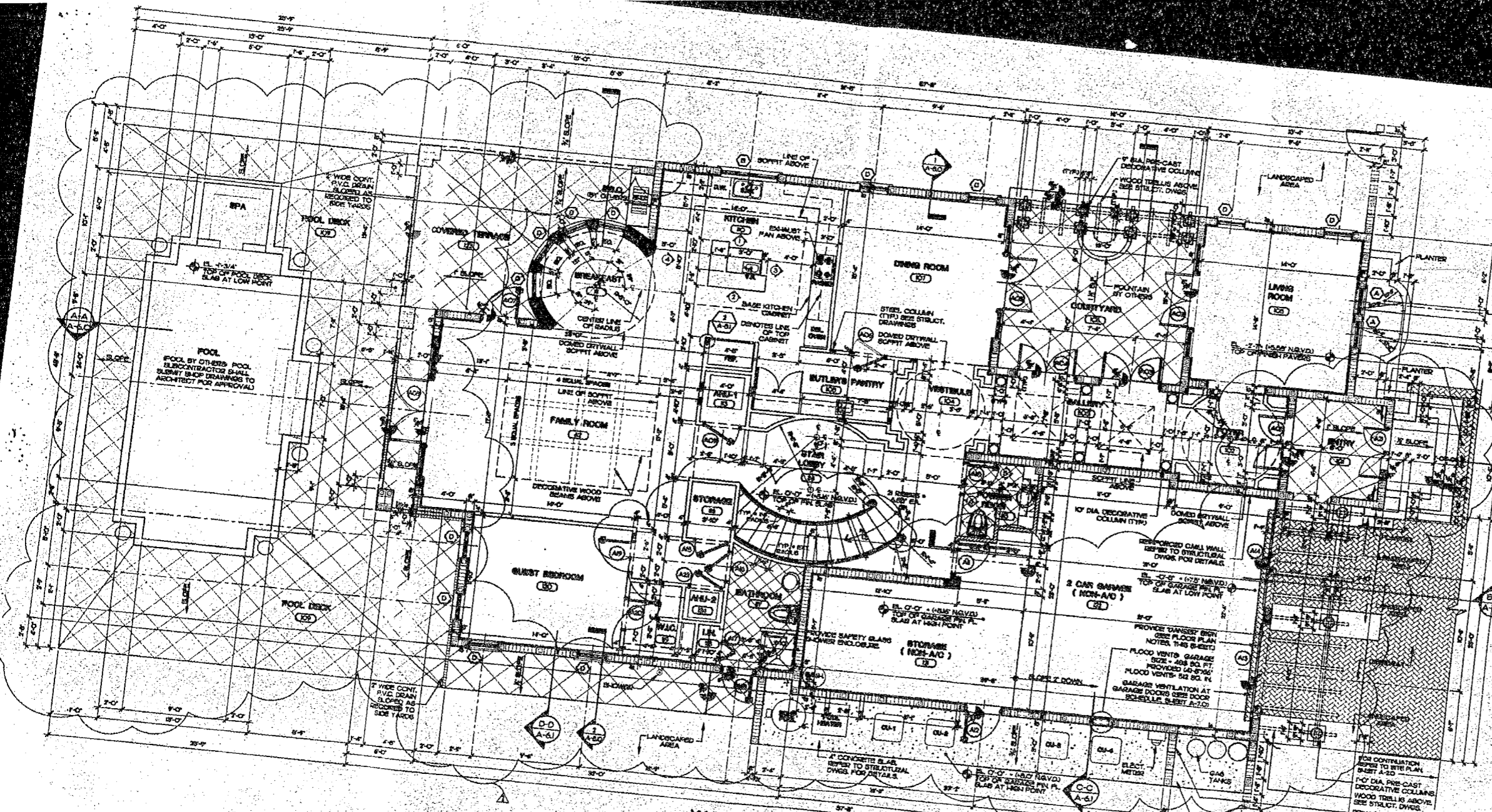
DATE: 12/24/04  
 TIME: 10:00 AM

ANTHONY SEIJAS ARCHITECTS, INC.  
 380 PRINCE AVENUE MIAMI BEACH, FLORIDA 33139  
 TEL: 305-441-1111 FAX: 305-441-1112

RESIDENCE FOR:  
**ANTHONY SEIJAS**  
 380 PRINCE AVENUE MIAMI BEACH, FLORIDA

**CORWILL ARCHITECTS, INC.**  
 1000 BRIDGE ROAD, SUITE 100 - CORAL GABLES, FL 33134  
 LICENSE NO. 14-00000 TELEPHONE: 305-442-1111

2080080  
 1040000



**GROUND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**NOTE:**  
ALL PRE-CAST CONCRETE ITEMS TO BE KEYSSTONE FINISH. CONTRACTOR SHALL INCLUDE INSTALLATION DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION ATTACHMENT TO STRUCTURE. SUCH DRAWINGS SHALL BE REPAIRED, SIGNED AND SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

**WALL TYPE LEGEND**

- 3'-0" OR 6" AT 16" O.C. METAL STUD PARTITION WITH 5/8" GYPUM WALLBOARD EACH SIDE
- 3'-0" AT 16" O.C. METAL STUD PARTITION-CONCRETE OR FIRE RATED WITH 5/8" GYPUM WALLBOARD EACH SIDE
- CONCRETE MASONRY WALL (SEE STRUCTURAL DRAWINGS FOR DETAILS)
- CONCRETE COLUMN (SEE STRUCTURAL DRAWINGS FOR DETAILS)
- STEEL COLUMN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

**GROUND FLOOR BUILDING AREA:**

GROUND AREA	2,459 S.F.
COVERED ENTRY	86 S.F.
COVERED TERRACES	349 S.F.
GARAGE	722 S.F.
TOTAL	3,546 S.F.

**FLOOR PLAN NOTES:**

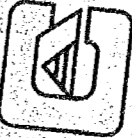
1. REFER TO STRUCTURAL DWGS FOR STRUCTURAL DETAILS
2. FOR WINDOWS AND DOORS ELEVATIONS / DETAILS REFER TO S-SHEET A-10
3. GARAGE NOTES:
  - A1 - PROVIDE PERMANENT SIGN (WITH LETTERS NOT LESS THAN 1/2" DEEP) ON EACH SIDE OF DOOR. DO NOT OPERATE ENGINE OR DOOR CLOSED GARAGE. MONOXIDE EMISSION IS LETHAL.
  - A2 - PROVIDE BURNISHED DRIVEN THROUGH GARAGE DOOR WITH CLEAR EFFECTIVE AREA NOT LESS THAN 80 S.F. IN FIRE MOTOR VEHICLE AREA NOT LESS THAN 7 IN. OF THE 140-BEST PART OF THE FLOOR. COMPLY WITH SECTION E0601 OF F.P.C.
  - A3 - PROVIDE FIRE RATED ASSEMBLY ON WALLS & CEILING BETWEEN GARAGE AND ADJACENT LIVING SPACES.

- BUILDING:** [Signature]
- ENGINEERING:** [Signature]
- PLUMBING:** [Signature]
- ELECTRICAL:** [Signature]
- MECHANICAL:** [Signature]
- DATE:** 07-25-03

DATE: 07/25/03  
PROJECT NO: 912463  
ARCHITECT: CORWILL ARCHITECTS, INC.  
ADDRESS: 1100 N. W. 11TH AVENUE, SUITE 100, MIAMI, FL 33136

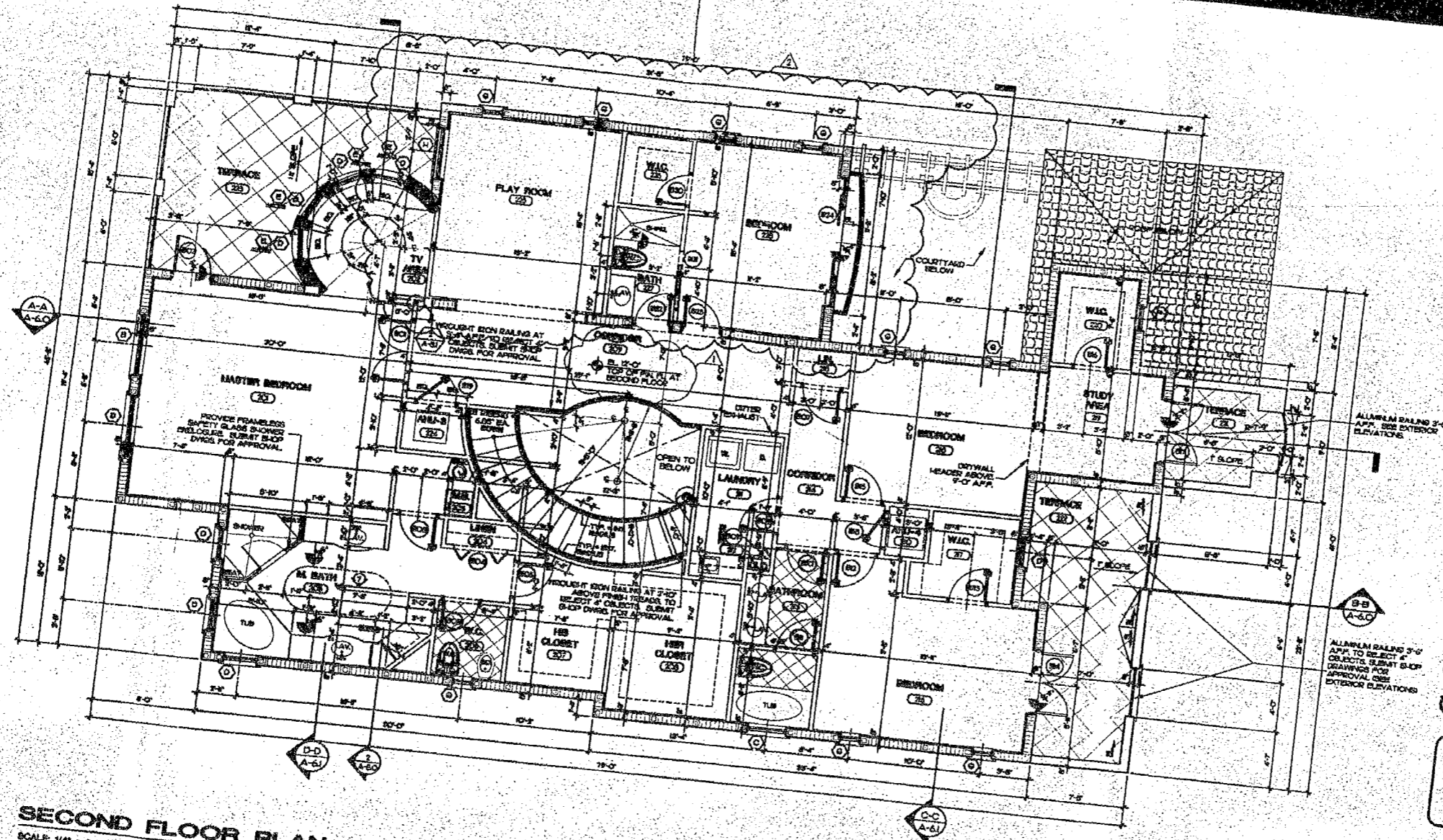
RESIDENCE FOR:  
**ANTHONY SEIJAS**  
3800 PALMER AVENUE MIAMI BEACH, FLORIDA

**CORWILL ARCHITECTS, INC.**  
1100 N. W. 11TH AVENUE, SUITE 100, MIAMI, FL 33136  
TEL: 305.358.1100 FAX: 305.358.1101



DATE: 07-25-03  
PROJECT NO: 912463  
ARCHITECT: CORWILL ARCHITECTS, INC.

GROUND FLOOR PLAN



**SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

**NOTE:**  
ALL POST-CAST CONCRETE ITEMS TO BE KEYSHOTS PERISH. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. FOLLOWING INSTALLATION DRAWINGS DESCRIBING IN DETAIL THE METHOD OF ATTACHMENT TO STRUCTURE. SUCH DRAWINGS SHALL BE PREPARED, SIGNED AND SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

**WALL TYPE LEGEND**

- 3-5/8" OR 4" AT 16" O.C. METAL STUD PARTITION WITH 5/8" GYPUM WALLBOARD EACH SIDE
- 3-5/8" AT 16" O.C. METAL STUD PARTITION-ONE-SIDE GYPUM WALLBOARD EACH SIDE
- CONCRETE MASONRY WALL (SEE STRUCTURAL DRAWINGS FOR DETAILS)
- CONCRETE COLUMN (SEE STRUCTURAL DRAWINGS FOR DETAILS)
- STEEL COLUMN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

**SECOND FLOOR BUILDING AREA:**  
SECOND FLOOR A/G ..... 2,899 SF.  
TOTAL A/G ..... 8,306 SF.

**FLOOR PLAN NOTES:**

1. FOR FLOOR PLAN NOTES, REFER TO SHEET A-3.0.

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
DRW/HP: \_\_\_\_\_  
CONCURRENCY: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_  
PUBLIC WORKS: \_\_\_\_\_  
STRUCTURAL: \_\_\_\_\_  
ACCESSIBILITY: \_\_\_\_\_  
DATE: \_\_\_\_\_

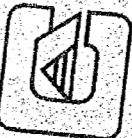
DATE	BY
07-15-08	AS
08-28-08	AS

DATE	BY
08-28-08	AS
09-10-08	AS

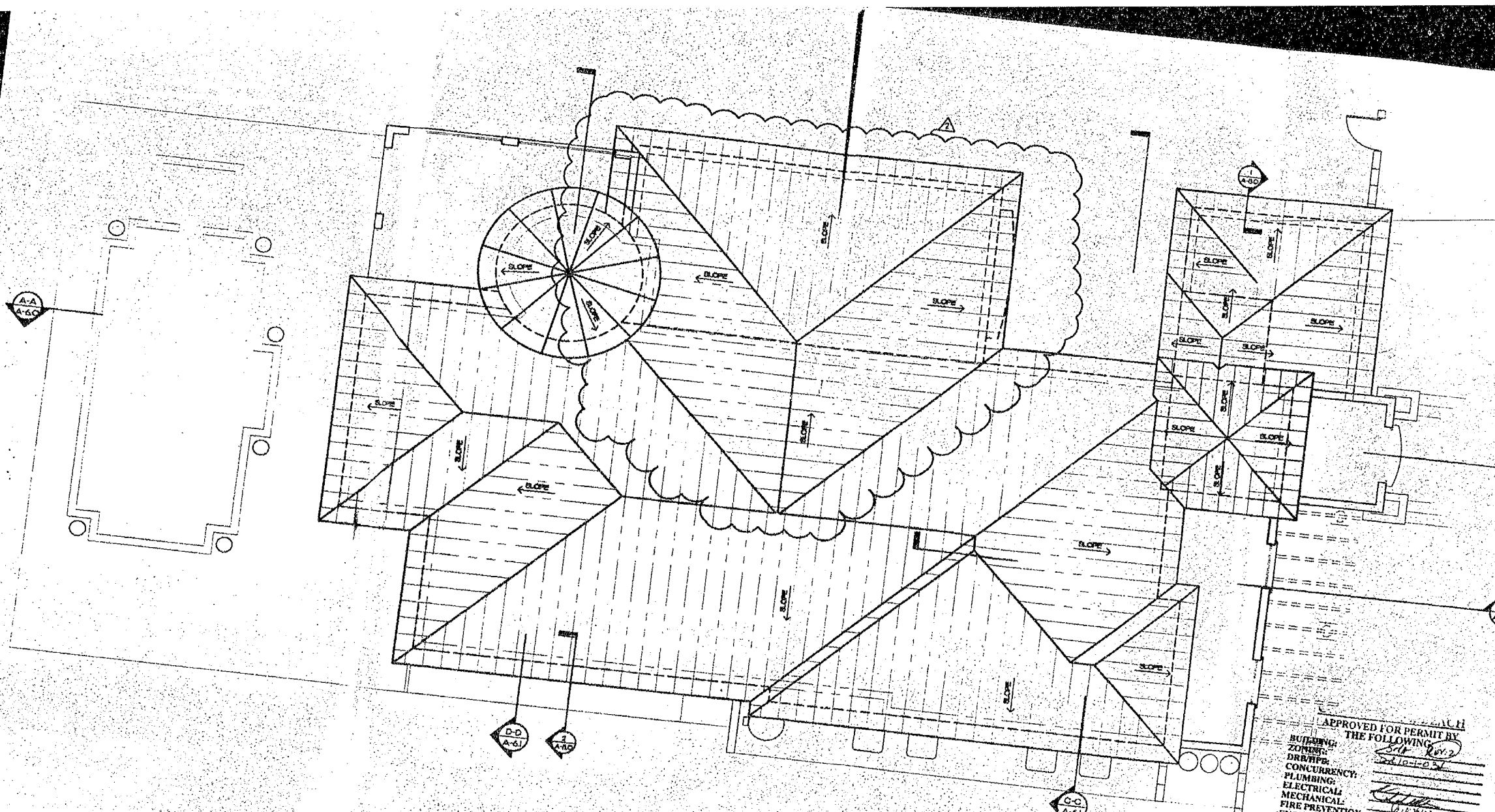
ALL RIGHTS RESERVED  
NO PART OF THIS DRAWING  
IS TO BE REPRODUCED  
WITHOUT THE WRITTEN  
CONSENT OF CORWIL, INC.

RESIDENCE FOR  
**ANTHONY SEBIAS**  
300 WEAVER AVENUE MIAMI BEACH, FLORIDA

**CORWIL ARCHITECTS, INC.**  
100 POWER IN CENTER BLVD. SUITE 400, CORAL GABLES, FL 33134  
TEL: 305.442.1111 FAX: 305.442.1112



SECOND FLOOR PLAN



**ROOF GEOMETRY PLAN**  
SCALE 1/4" = 1'-0"

NOTE:  
FOR COMPLETE ROOF PLAN DETAILS  
REFER TO STRUCTURAL DRAWINGS

APPROVED FOR PERMIT BY  
THE FOLLOWING

BUILDING: *[Signature]*  
 ZONING: *[Signature]*  
 DR/WR: *[Signature]*  
 CONCURRENCY: *[Signature]*  
 PLUMBING: *[Signature]*  
 ELECTRICAL: *[Signature]*  
 MECHANICAL: *[Signature]*  
 FIRE PREVENTION: *[Signature]*  
 ENGINEERING: *[Signature]*  
 PUBLIC WORKS: *[Signature]*  
 STRUCTURAL: *[Signature]*  
 ACCESSIBILITY: *[Signature]*  
 ELEVATION: *[Signature]*

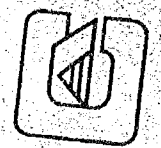
**GENERAL ROOFING NOTES:**

1. THE ROOFING PLAN IS GENERAL IN NATURE AND INDICATES APPROXIMATE CONDITIONS AT THE PROJECT SITE AT THE TIME THE ROOFING IS READY TO BE INSTALLED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
2. CONTRACTOR SHALL PROVIDE ALL SUPPLEMENTAL MATERIALS REQUIRED TO PROPERLY INSTALL SUPPORT AND RAISE ALL ITEMS AND COMPONENTS WITHIN THE WORK, IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
3. GENERAL CONTRACTOR TO COORDINATE WITH TRUSS MANUFACTURER AND MECHANICAL CONTRACTOR THE PROVISION OF ALL A/C DUCT WORK OPENINGS THROUGH TRUSSES. SUBMIT SHOP DWGS. TO ARCHITECT FOR APPROVAL.
4. GENERAL CONTRACTOR AND TRUSS MANUFACTURER TO COORDINATE ALIGNMENT OF TRUSSES. IN ANY DISCREPANCIES, CONTACT ARCHITECT PRIOR TO FABRICATION OF TRUSSES.
5. SPANNS OF CLAY TILE (GLENAT PRODUCT CONTROL APPROVAL) SET W/ MORTAR AND ADHESIVE OVER 20# TYPE II ASPHALT SATURATED W/ TA CAPS AND UNDERL SURFACE CLAY SHEET THROUGHOUT MORTAR BETWEEN SHEETS W/ A BITUMINOUS COMPOLAD.

SCALE  
*[Signature]*  
ANTHONY SEIDAS  
REGISTERED ARCHITECT  
FLORIDA LICENSE NO. 12463

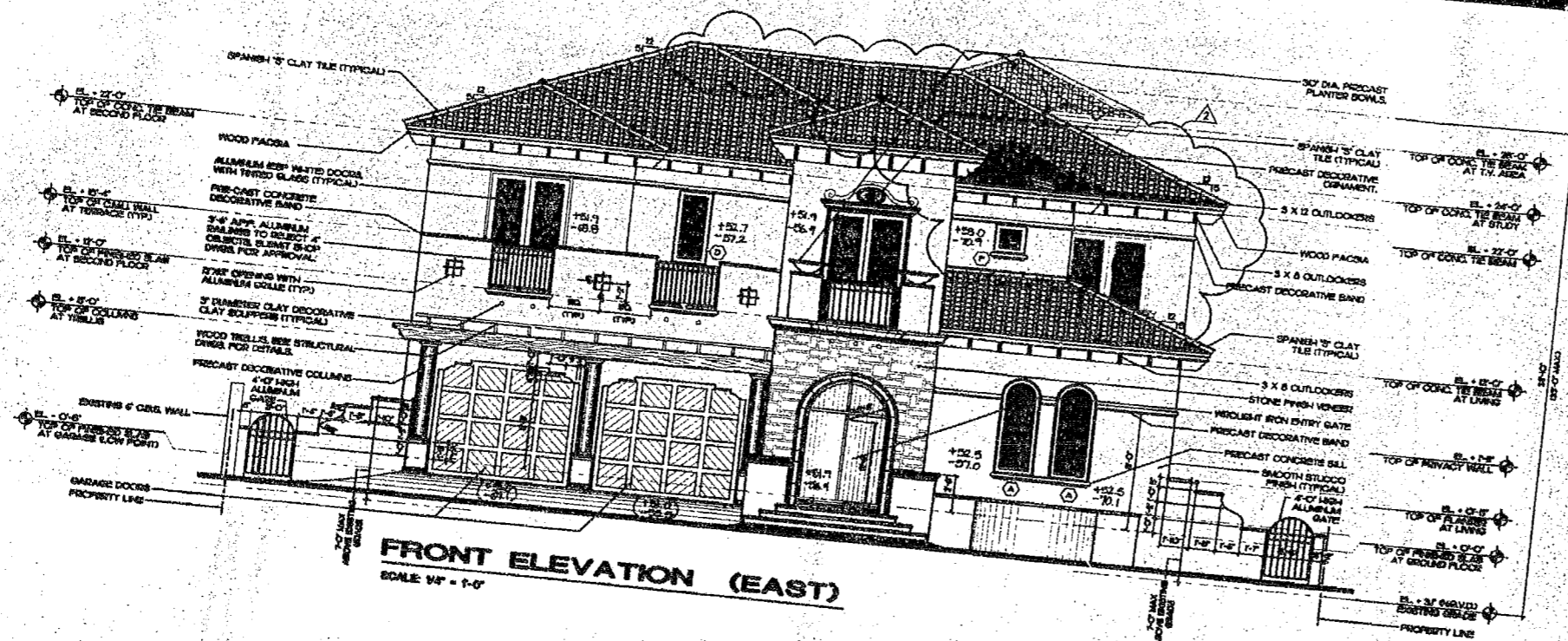
RESIDENCE FOR  
**ANTHONY SEIDAS**  
310 WALKER AVENUE - MIAMI BEACH, FLORIDA

**CORWIL ARCHITECTS, INC.**  
10000 W. LINDEN BLVD. SUITE 100 - MIAMI GARDENS, FL 33167  
LICENSE NO. 14-000000 TELEPHONE 305-447-1234



DATE: 09-25-01  
BY: [Signature]  
CONSTRUCTION SUPERVISOR

CORWIL ARCHITECTS, INC.		ROOF GEOMETRY PLAN	
DATE:	09-25-01	PROJECT TITLE:	ROOF GEOMETRY PLAN
JOB NO.:	200-9	DESIGNER BY:	[Signature]
SCALE:	AS SHOWN	DATE:	09-25-01
FILE:	200-9-444	REVISION NO.:	A-4.0

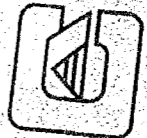


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MAIL  
*Anthony Sillas*  
 ARCHITECT  
 390 PALM BEACH AVENUE  
 WEST PALM BEACH, FLORIDA 33411  
 (407) 833-1111

RESIDENCE FOR  
**ANTHONY SILLAS**  
 390 PALM BEACH AVENUE WEST PALM BEACH, FLORIDA

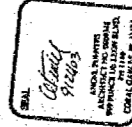
**CORWILL**  
 ARCHITECTS, INC.  
 1000 N. W. 10TH AVENUE, SUITE 1000 - CORAL GABLES, FL 33134  
 LICENSE NO. 14-00000 TELEPHONE 358-4028



APPROVED FOR THE FOLLOWING:  
 BUILDING: \_\_\_\_\_  
 ZONING: \_\_\_\_\_  
 DR/HP: \_\_\_\_\_  
 CONCURRENCY: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 ELECTRICAL: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 FIRE PREVENTION: \_\_\_\_\_  
 ENGINEERING: \_\_\_\_\_  
 PUBLIC WORKS: \_\_\_\_\_  
 STRUCTURE: \_\_\_\_\_

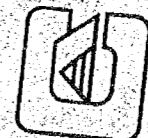
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FOR NO.	
SEARCH BY	
REMARKS	



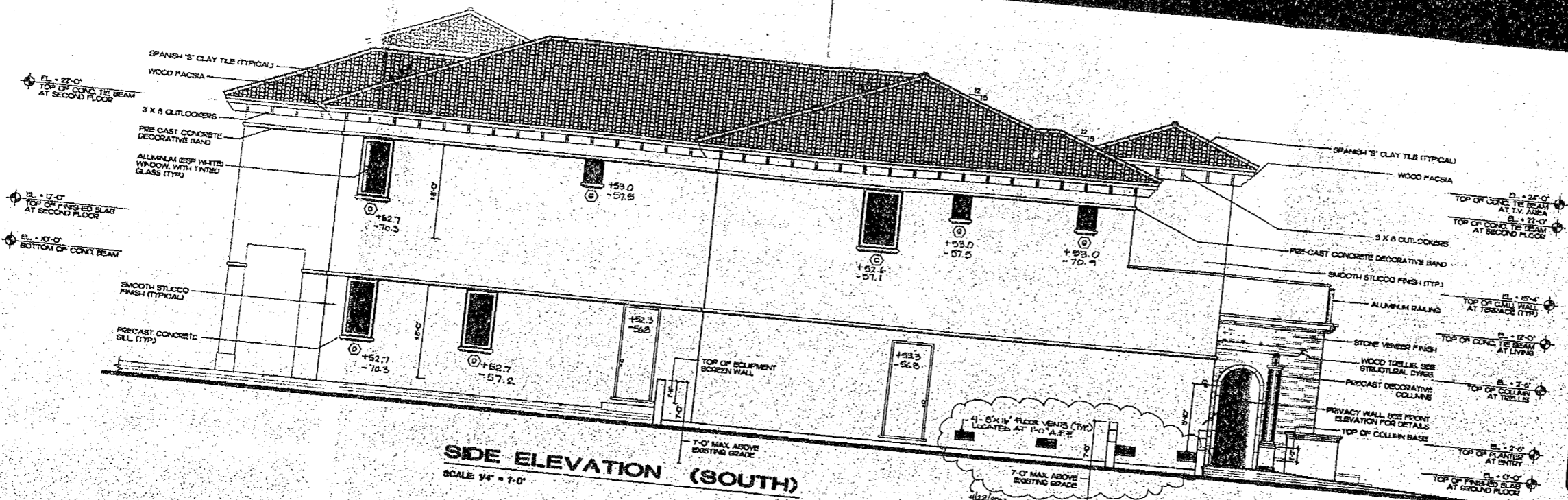
RESIDENCE FOR  
**ANTHONY SEDAS**  
 MIAMI BEACH, FLORIDA  
 300 PRINCE AVENUE

**CORWIL ARCHITECTS, INC.**  
 10000 BAYVIEW BLVD. SUITE 100 - CORAL GABLES, FL 33134  
 TEL: 305-441-1400 FAX: 305-441-1401

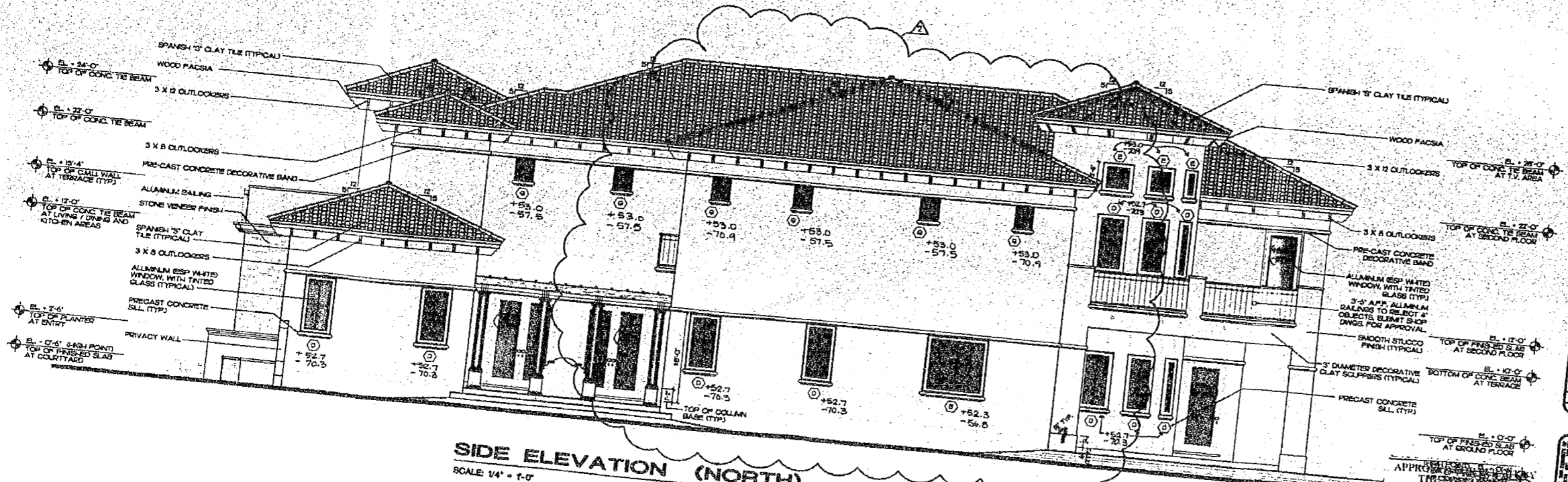


NO. 10	CONSTRUCTION DOCUMENTS
DATE	10-25-01

DATE	10-25-01
DESIGNER	AS
CHECKED BY	AS
DATE	10-25-01
DESIGNER	AS
CHECKED BY	AS
DATE	10-25-01
DESIGNER	AS
CHECKED BY	AS
DATE	10-25-01
DESIGNER	AS
CHECKED BY	AS



**SIDE ELEVATION (SOUTH)**  
 SCALE 1/4" = 1'-0"



**SIDE ELEVATION (NORTH)**  
 SCALE 1/4" = 1'-0"

**NOTE:**  
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BUILDING	AS
ZONING	AS
DRIBTIN	AS
CONCURRENCY	AS
PLUMBING	AS
ELECTRICAL	AS
MECHANICAL	AS
FIRE PREVENTION	AS
ENGINEERING	AS
PUBLIC WORKS	AS
STRUCTURAL	AS
ACCESSIBILITY	AS