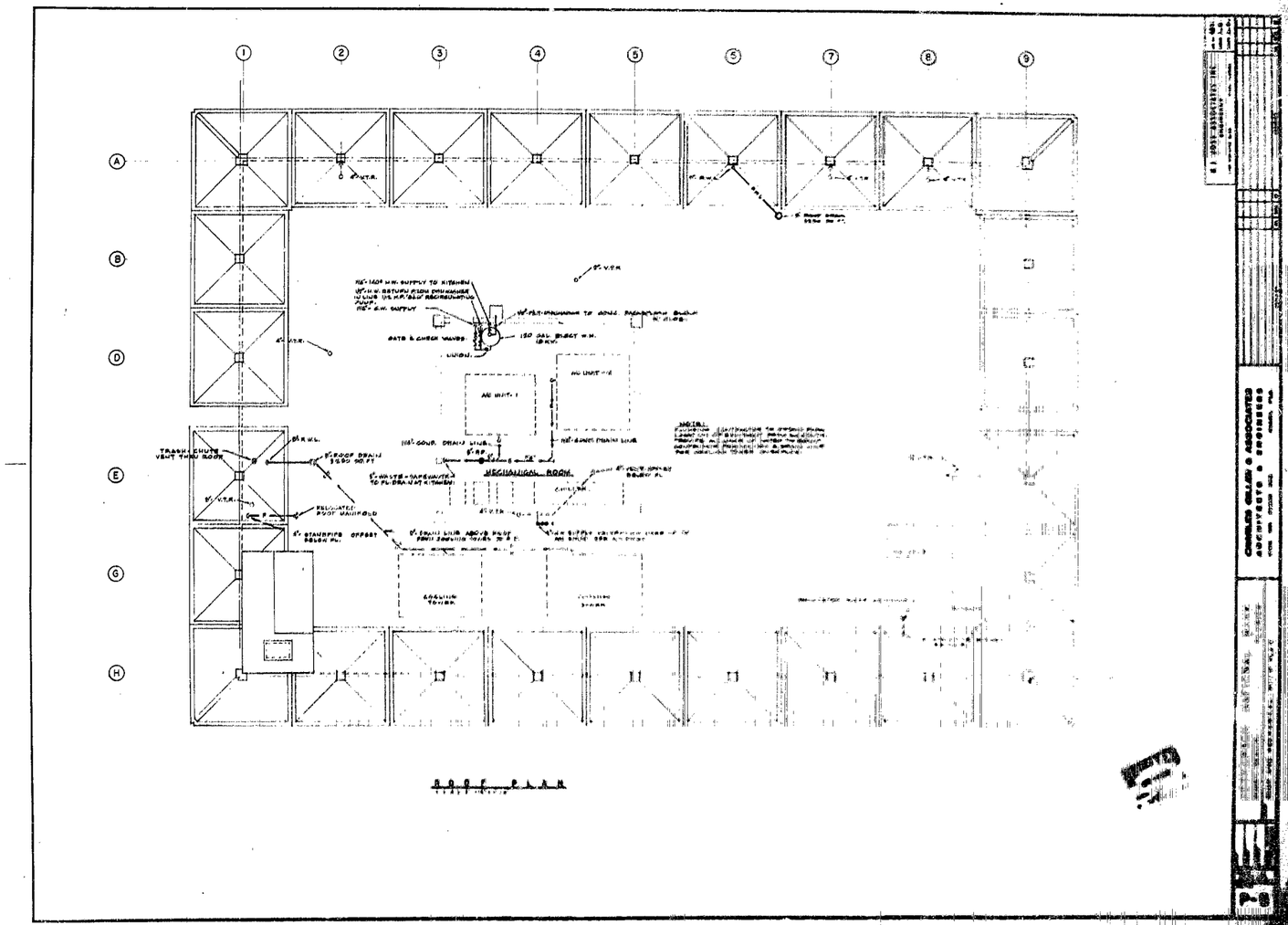
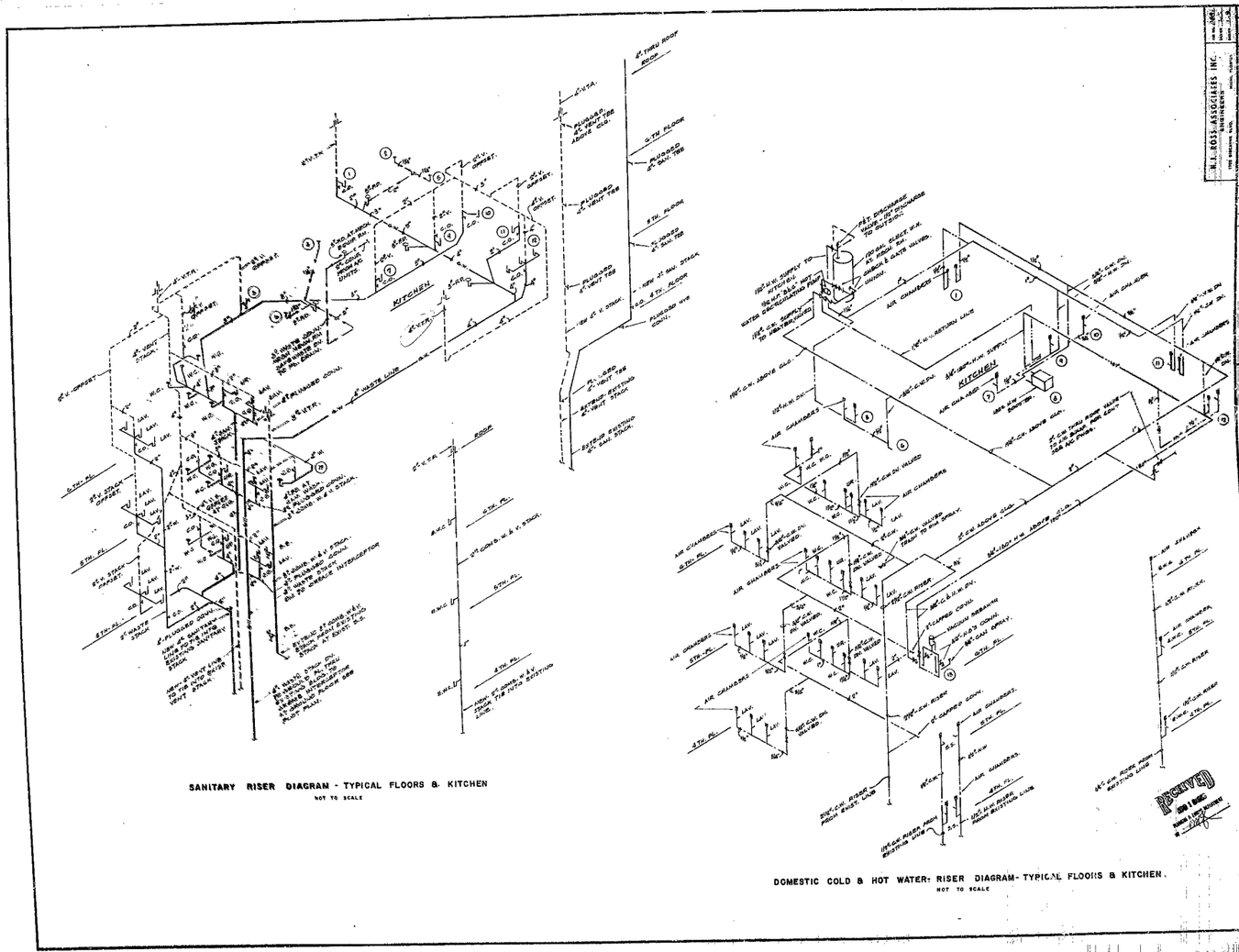
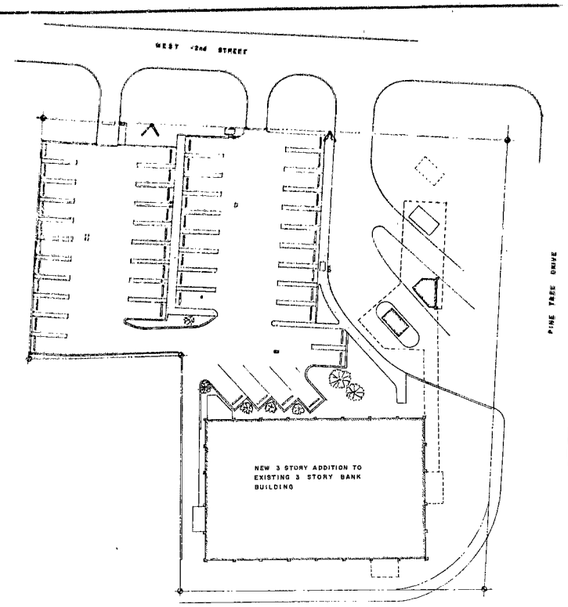


81728 P-5


KITCHEN
KITCHEN
SANITARY RISER DIAGRAM - TYPICAL FLOORS & KITCHEN
NOT TO SCALE
DOMESTIC COLD & HOT WATER RISER DIAGRAM - TYPICAL FLOORS & KITCHEN.
NOT TO SCALE
W.J. ROSS ASSOCIATES INC.
CONSULTING ENGINEERS
CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
ISOMETRIC RISER DIAGRAMS
P-6

81728 P-6



PLOT PLAN

SCALE 1/16"=1'-0"

GENERAL NOTES, ALL ELECTRICAL DRAWINGS

1.- THE ELECTRICAL INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND SOUTH FLORIDA BUILDING CODES, LATEST EDITIONS.

2.- CONDUIT & RACEWAYS SHALL BE AS CALLED FOR IN SPECIFICATIONS.

3.- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY (UNLESS OTHERWISE NOTED) EXACT LOCATION SHALL BE DETERMINED IN FIELD

4.- UNLESS OTHERWISE NOTED ON PLAN, SIZE CONDUIT IN ACCORDANCE WITH NATIONAL ELECTRIC CODE.

5.- ALL ABOVE GRADE CONDUIT SHALL BE "SECURELY CLAMPED OR STRAPPED ON MAXIMUM OF 8'-0" CENTERS. NO CONDUIT SHALL BE "LAID IN PLACE" WITHOUT STRAPPING OR CLAMPING.

6.- OUTDOOR ELECTRICAL WORK SHALL BE WEATHERPROOF

7.- CONDUCTOR INSULATION FOR #12 AWG & SMALLER TO BE TYPE "THW", ABOVE #12 TO BE TYPE THW.

8.- CONTROL WIRING FOR AIR CONDITIONING IS PART OF THE ELECTRICAL CONTRACT BUT IS NOT SHOWN ON ELECTRICAL DRAWINGS, SEE AIR CONDITIONING DRAWINGS FOR DETAILS

LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	MANUFACTURER	CAT. NO.	VOLTAGE	LAMPS	REMARKS
(A)	PLUG	———	———	CLG.	[illegible]	[illegible]
(B)	PLUG	LIGHTOLIER	[illegible]	WALL	[illegible]	
(C)	MONO	HARDED	[illegible]	CLG.	[illegible]	
(D)	PLUG	MILLER	[illegible]	CLG.	[illegible]	
(E)	MONO	DUAL-LITE	[illegible]	CLG.	[illegible]	[illegible]
(F)	PLUG	MILLER	[illegible]	CLG.	[illegible]	
(G)	MONO	LIGHTOLIER	[illegible]	CLG.	[illegible]	[illegible]
(H)	PLUG	MILLER	[illegible]	CLG.	[illegible]	
(J)	MONO	———	———	CLG.	[illegible]	[illegible]
(K)	MONO	LIGHTOLIER	[illegible]	[illegible]	[illegible]	[illegible]
(L)	MONO	MILLER	AE [illegible]	[illegible]	[illegible]	
(M)	MONO	GLASSER	[illegible]	CLG.	[illegible]	[illegible]

LEGEND

[illegible]

NOTES TO ELECTRICAL DRAWINGS

[illegible]

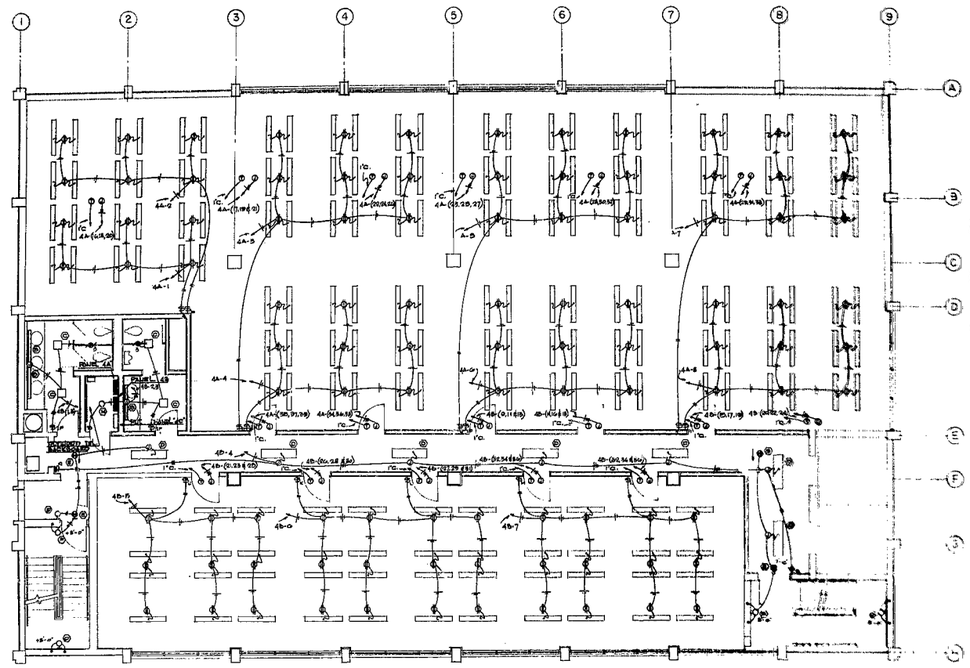
RECEIVED [illegible]

U.S. BOSS ASSOCIATES ENGINEERS

CHARLES GILLER & ASSOCIATES ARCHITECT & ENGINEERS

JEFFERSON NATIONAL BANK OF PALM BEACH

81728 E-1



FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"

NOTES:
1- ALL LIGHTING FIXTURES ON THIS DRAWING TYPE A EXCEPT AS OTHERWISE NOTED
2- FOR LOCATION OF LIGHTING FIXTURES OVER MIRRORS SEE ARCHITECTURAL DWG A-10
3- SEE DWG E-3 FOR LEGEND AND SCHEDULE OF FIXTURES
4- ALL FLUORESCENT FIXTURES EXCEPT TOILET MIRROR LIGHTS AND CORRIDOR LIGHTS, ARE TO BE WIRED WITH 3C CORD & GROUNDING TYPE PLUG

PANEL 4A	
TYPE NAB	MAINS 125A C/B
MOUNTING SURFACE	BUS RATING 125A
	VOLTAGE 120/208-3Ø-4W
45 - 20A. 1 POLE BRANCH BREAKERS	
8 - LIGHTING	
3 - SPARES @ 1080 VA EACH	
31 - RECEPTACLES	
TOTAL CONNECTED LOAD = 38.7 KVA = 110 AMPS	

PANEL 4B	
TYPE NAB	MAINS 100A C/B
MOUNTING SURFACE	BUS RATING 100A
	VOLTAGE 120/208-3Ø-4W
45 - 20A. 1 POLE BRANCH BREAKERS	
7 - LIGHTING	
4 - SPARES @ 1080 VA EACH	
31 - RECEPTACLES	
TOTAL CONNECTED LOAD = 33.5 KVA = 95 AMPS	

SCHEMATIC WIRING
STAIR, NSE LIGHTING

NOTES:

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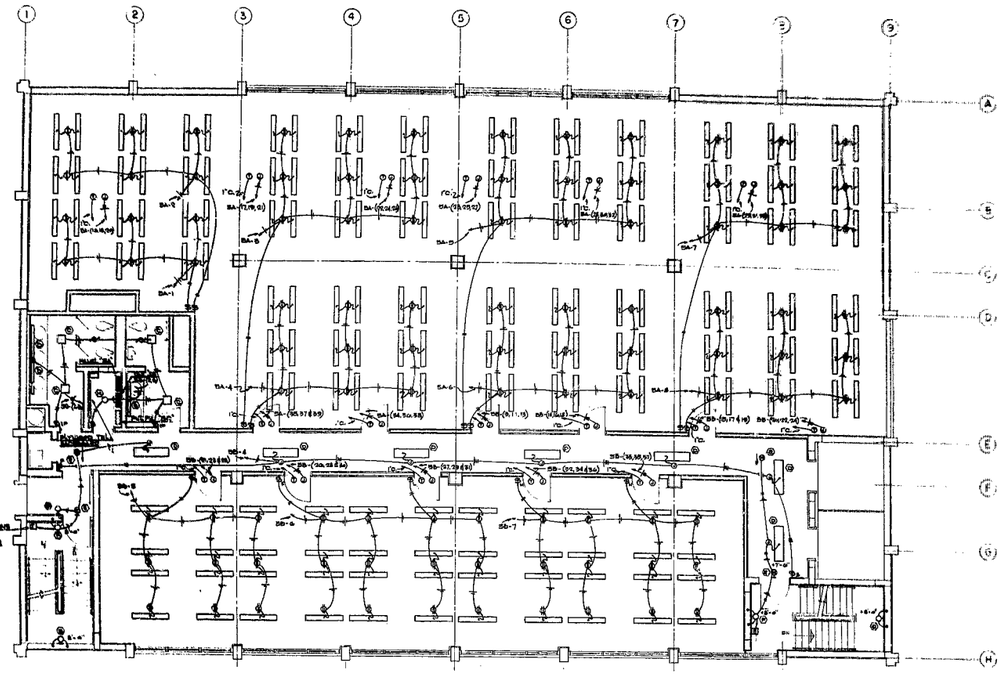
E-2

81728 E-2



FIFTH FLOOR PLAN

NOTES:

1.- ALL LIGHTING FIXTURES ON THIS DWG. ARE TYPE (1) EXCEPT AS OTHERWISE NOTED.
2.- FOR LOCATION OF LIGHTING FIXTURES OVER TOILET MIRRORS SEE ARCHITECTURAL DWG. A-8
3.- SEE DWG. E-1 FOR SCHEDULE & FIXTURE SCHEDULE
4.- ALL FLUORESCENT FIXTURES (EXCEPT TOILET MIRROR LIGHTS & CORRIDOR LIGHTS) TO BE WIRED W/ SC-CORD & GROUNDING TYPE PLUG.
5.- SEE DWG. E-3 FOR SCHEMATIC OF EMERGENCY LIGHTING.

PANEL 8A

TYPE NAB	MAINS 100A MB
	BUS RATING 100A
MOUNTING SURFACE	VOLTAGE 120/208 3Ø-4W

41- 10A - 1 POLE BRANCH BREAKERS
1 - LIGHTING
31- SPARES @ 1080 VA EACH
9 - RECEPTACLES
TOTAL CONNECTED LOAD - 36.1 KVA (TRANSF.)

PANEL 8B

TYPE NAB	MAINS 100A MB
	BUS RATING 100A
MOUNTING SURFACE	VOLTAGE 120/208 3Ø-4W

41- 10A - 1 POLE BRANCH BREAKERS
1 - LIGHTING
31- SPARES @ 1080 VA EACH
9 - RECEPTACLES
TOTAL CONNECTED LOAD - 33.3 KVA (TRANSF.)

RECEIVED

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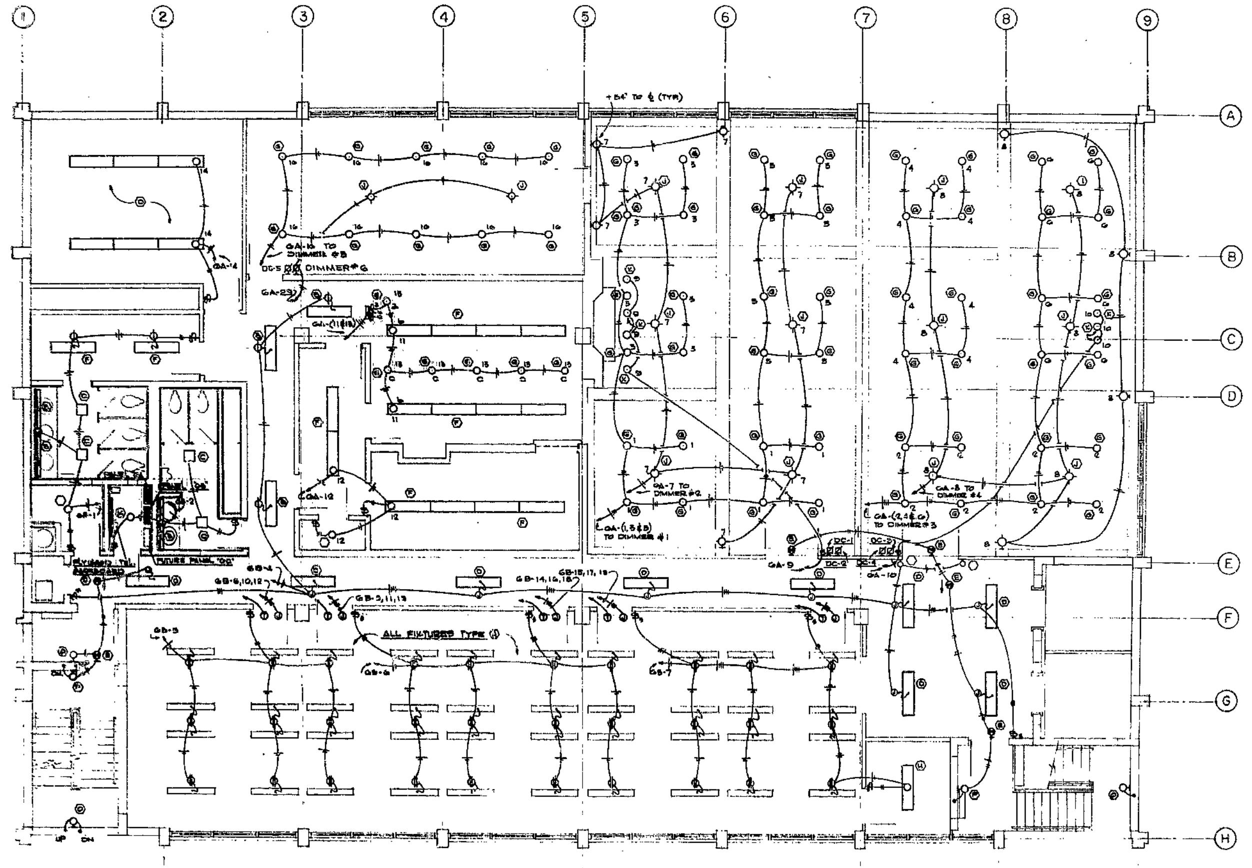
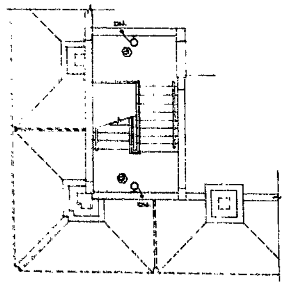




SIXTH FLOOR PLAN
SCALE 1/8" = 1'-0"

DIMMER DIMMER SCHEDULE						
DIMMER NO.	MANUFACTURER	CATALOG NO.	KW.	REMOTE C. UNIT	CIRCUIT OF TIE-INS	AREA CONTROLLED
1	HUNT	MDS 1001/6-3	6.0	RS 2	6A-1,3,5	DINING ROOM WEST DOWN LIGHTS
2	HUNT	PC 20 1R	2.0	CSI-1	6A-7	DINING ROOM WEST CHAND. & WALL SCONCES
3	HUNT	MDS 1001/6-3	6.0	RS 2	6A-2,4,6	DINING ROOM EAST DOWN LIGHTS
4	HUNT	PC 20 1R	2.0	CSI-1	6A-8	DINING RM. WEST CHAND. & WALL SCONCES
5	HUNT	PC 20 1R	2.0	CSI-1	6A-16	EXEC. DINING ROOM DOWN LIGHTS
6	HUNT	PC-6-1R UL	.6	—	6A-29	DINING ROOM CHAND.

PANEL 6A
TYPE NAB
MOUNTING SURFACE
MAINS 100A C/B
BUS RATING 100A
VOLTAGE 120/208-3φ-4W
32 - 20A - 1 POLE BRANCH BREAKERS
17 - LIGHTING
4 - SPARES @ 1000 VA EACH
11 - RECEPTACLES
TOTAL CONNECTED LOAD: 31.1 KVA - 57 AMPS.

PANEL 6B
TYPE NAB
MOUNTING SURFACE
MAINS 225A C/B
BUS RATING 225A
VOLTAGE 120/208-3φ-4W
42 - 20A - 1 POLE BRANCH BREAKERS
6 - LIGHTING
14 - SPARES @ 1080VA EACH
22 - RECEPTACLES
TOTAL CONNECTED LOAD - 39.7 KVA - 110 AMPS

H. J. ROSS ASSOCIATES, INC.
ENGINEERS
1730 BISCAYNE BLVD. MIAMI, FLORIDA

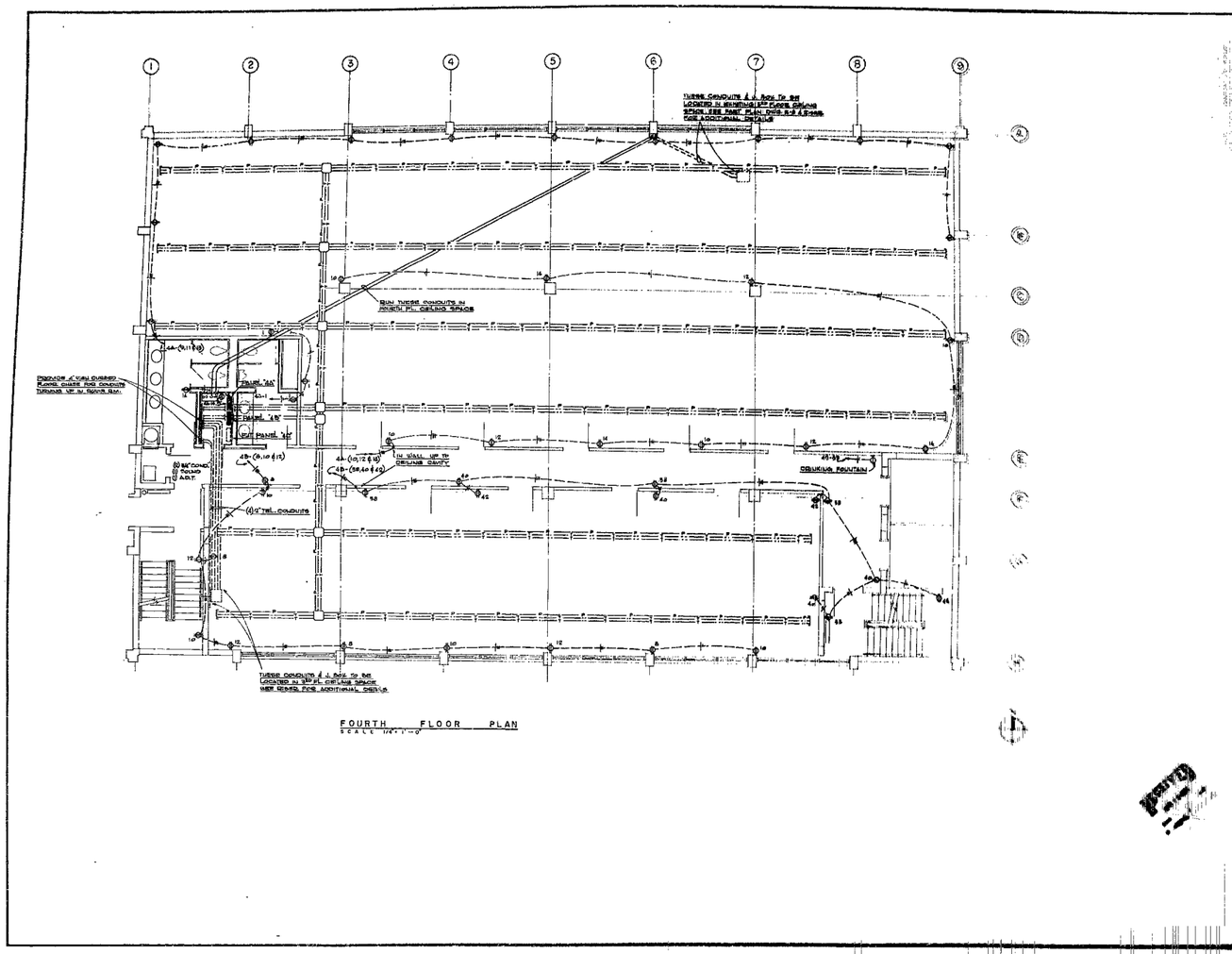
NO.	DATE	BY	REVISION	NO.	DATE	BY

CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
4100 NO. MIAMI AVE. MIAMI, FLA.

JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
SIXTH FLOOR CEILING, FLOOR LIGHTS, SOUND

E-4

81728 E-4



FOURTH FLOOR PLAN

SCALE 1/8"=1'-0"

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ARCHITECTS & ENGINEERS
MIAMI, FLA.

R.J. DOVE ASSOCIATES, INC.
ENGINEERS

JEFFERSON NATIONAL BANK
TAMPA

81728 E-5

1
2
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6
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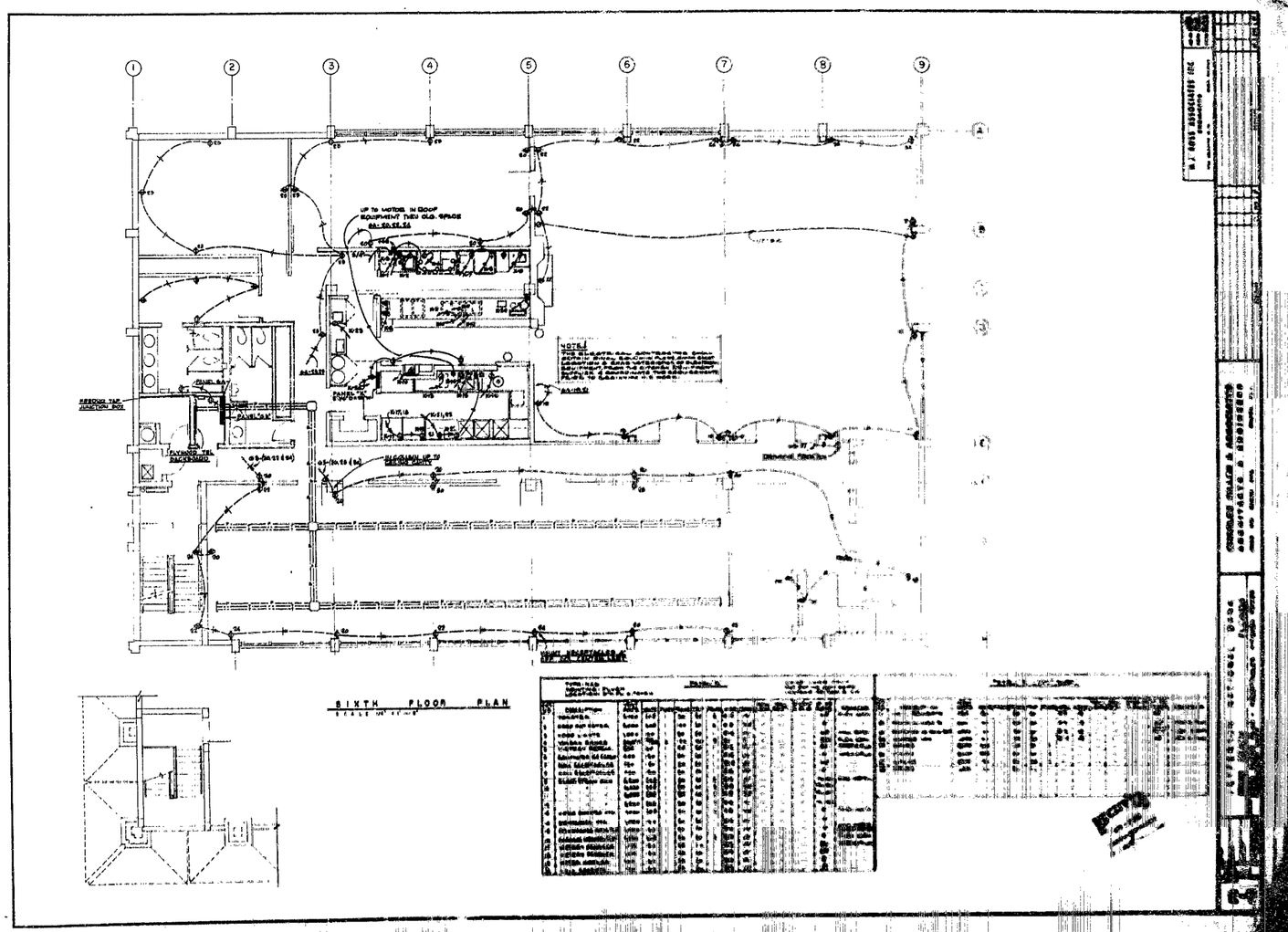
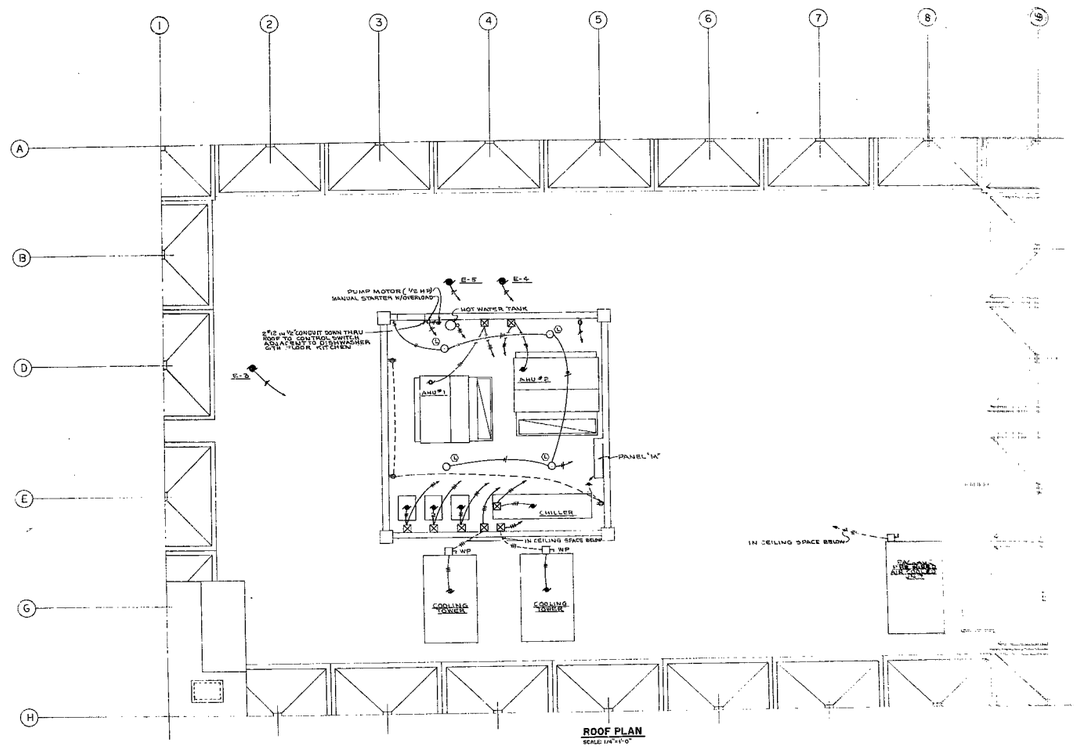
A
B
C
D
E
F
G
H
FIFTH FLOOR PLAN
N
E.I. ROSS ASSOCIATES INC.
ENGINEERS
CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
MIAMI, FLA.
JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
FIFTH FLOOR PLAN - RECEPTACLES - UNDERFLOOR DUCT
E-6

81728 E-6



81728 E-7



ROOF PLAN
SCALE: 1/4"=1'-0"

NOTE
1- FOR EXACT LOCATION OF EQUIPMENT SHOWN SEE A/C CONDITIONING DWGS.
2- SEE RISER DIAGRAM DWG E-9 FOR ADDITIONAL DETAILS

PANEL M

TYPE CCB
MOUNTING SURFACE
LOCATION ROOF-MECH. EQUIPRM

MAINS
BUS AMPS
VOLTAGE 120/208

CTR. NO.	LOAD SERVER	KVA.	FULL LD AMPS	NO. OF POLES	PHASE	FRAME SIZE	TRIP	WIRE	CONDUIT
1	CHILLER	68.0	188.0	3	3	400	400	3# 250 MCM	2½"
2	CONDENSING UNIT	39.0	108.0	3	3	225	225	3# 1/0	2"
3	WATER HEATER	19.0	51.0	3	3	100	70	3# 6	1"
4	C/T FAN (2-HP)	2.45	6.4	3	3	100	20	3# 12	¾"
5	C/T FAN (2-HP)	3.25	9.0	3	3	100	20	3# 12	¾"
6	AHU #1 (3-HP)	3.25	9.0	3	3	100	20	3# 12	¾"
7	AHU #2 (3-HP)	2.45	6.8	3	3	100	20	3# 12	¾"
8	PUMP #1 (5-HP)	3.25	18.0	3	3	100	20	3# 12	¾"
9	PUMP #2 (5-HP)	3.25	18.0	3	3	100	20	3# 12	¾"
10	PUMP #3 (5-HP)	3.25	18.0	3	3	100	20	3# 12	¾"
11	STRIP HEAT 1-A	10.48	29.0	3	3	100	40	3# 8	1"
12	" " 1-B	9.40	26.0	3	3	100	40	3# 8	1"
13	" " 1-C	9.40	26.0	3	3	100	40	3# 8	1"
14	" " 2-A	9.61	26.7	3	3	100	40	3# 8	1"
15	" " 2-B	9.40	26.1	3	3	100	20	3# 12	¾"
16	" " 2-C	9.39	26.0	3	3	100	40	3# 8	1"
17	" " 2-D	6.98	19.3	3	3	100	30	3# 10	¾"
18	" " 2-E	2.70	6.7	3	3	100	20	3# 12	¾"

PANEL M
CONT.

CTR. NO.	LOAD SERVER	KVA.	FULL LD AMPS	NO. OF POLES	PHASE	FRAME SIZE	TRIP	WIRE	CONDUIT
19	STRIP HEAT 2-F	9.33	25.8	3	3	100	40	3# 8	1"
20	" " 2-G	6.93	19.3	3	3	100	30	3# 10	¾"
21	SPACE	5.0	—	3	3	100	—	—	—
22	SPACE	5.0	—	3	3	100	—	—	—
23	SPACE	5.0	—	3	3	100	—	—	—
24	SPACE	5.0	—	3	3	100	—	—	—
25		1.1	9.2						
26		1.1	9.2						
27		1.1	9.2						
28		1.1	9.2						
29		1.1	9.2						
30		1.1	9.2						
31		1.1	9.2						
32		1.1	9.2						

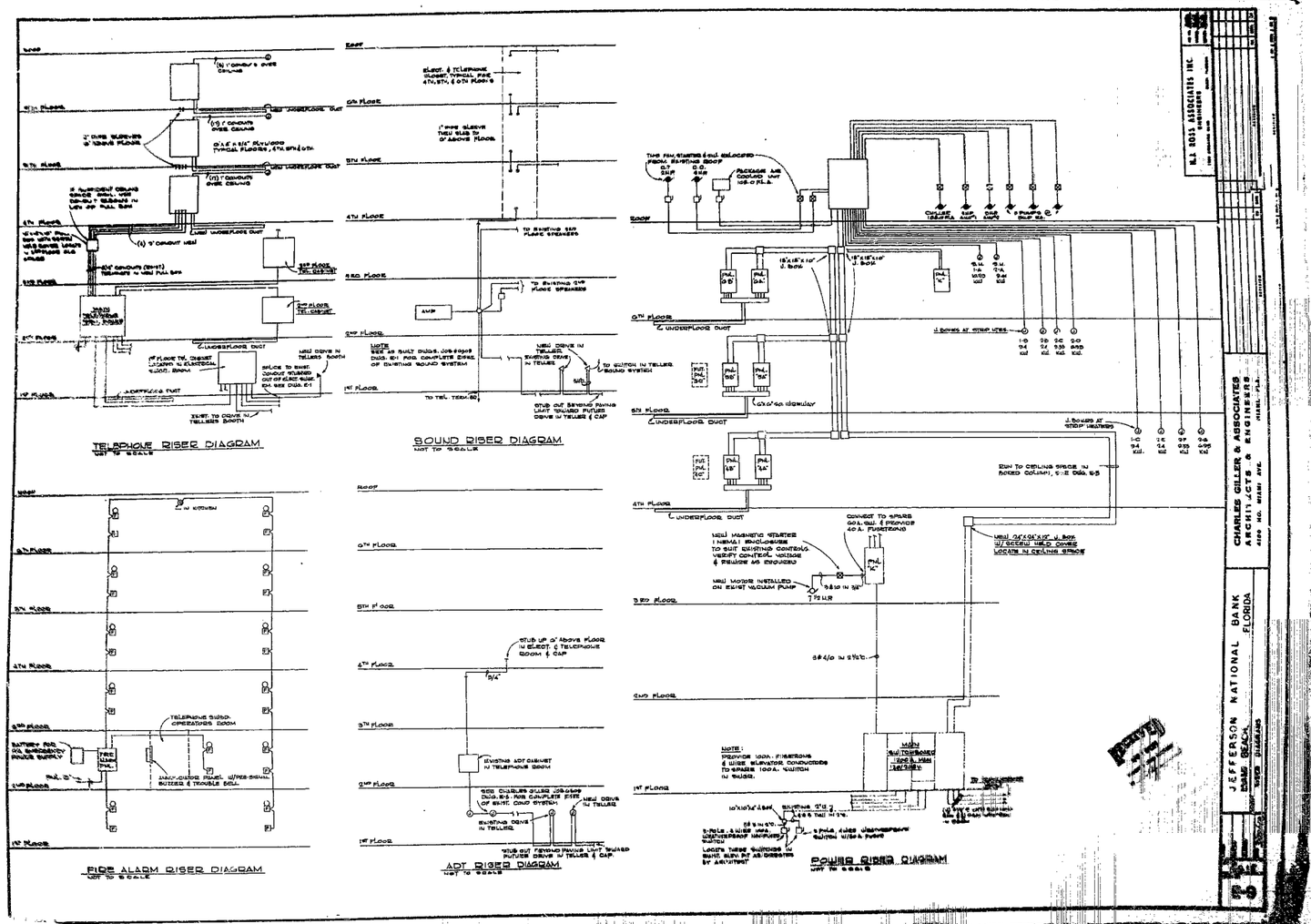
H.J. ROSS ASSOCIATES INC.
ENGINEERS
1776 BROADWAY, NEW YORK, N.Y. 10019

CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
4396 N.W. 167th AVE. MIAMI, FLA.

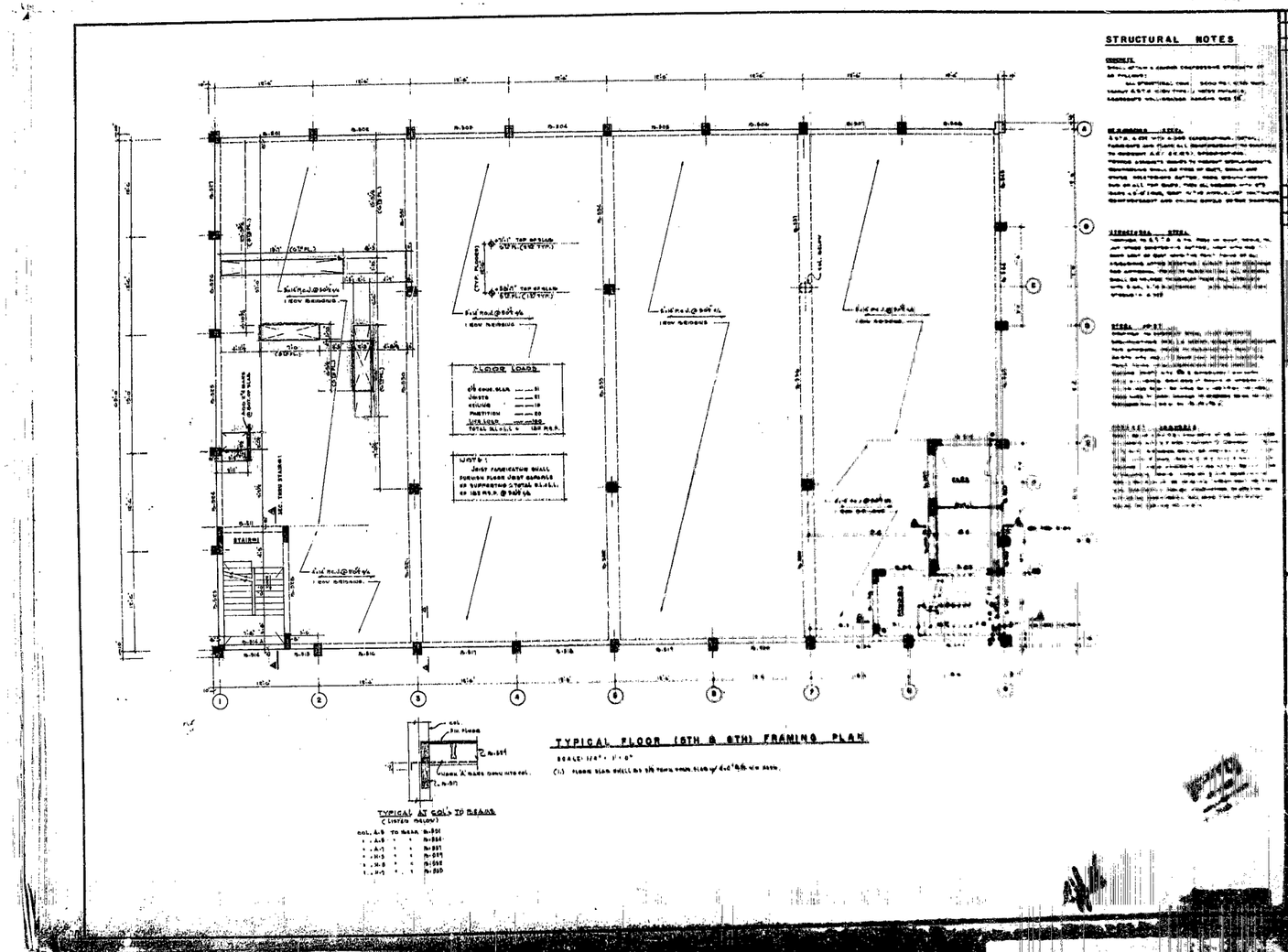
NATIONAL BANK
JEFFERSON
GULAY - TECKS
ROOF PLAN - MECHANICAL EQUIPMENT WIRING DETAILS

DATE 2-6-79
SCALE 1/4"=1'-0"
DRAWN
CHECKED
JOB NO. 2615
DWG. NO. E-8

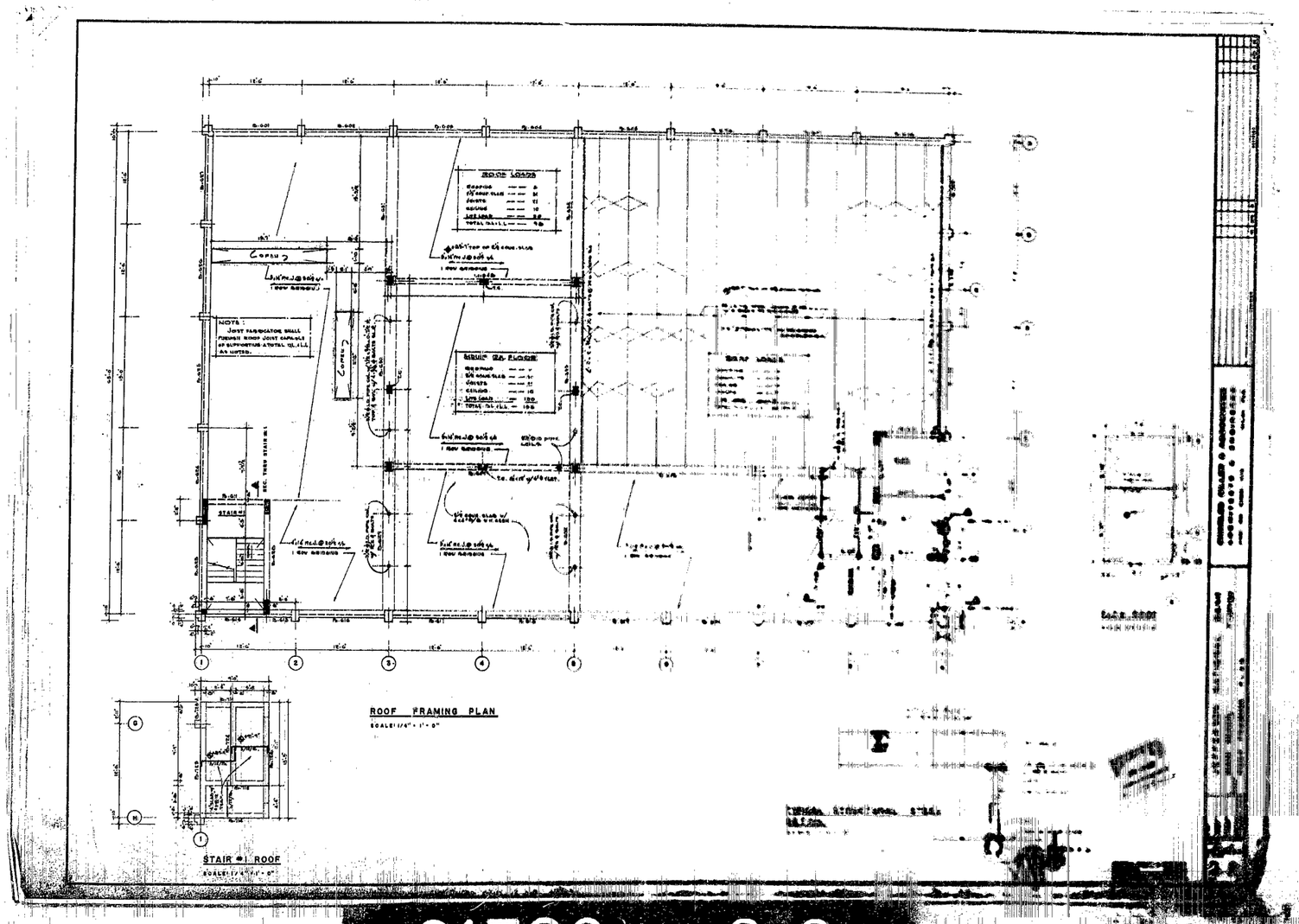
81728 E-8


TELEPHONE RISER DIAGRAM
NOT TO SCALE
SOUND RISER DIAGRAM
NOT TO SCALE
FIRE ALARM RISER DIAGRAM
NOT TO SCALE
ADT RISER DIAGRAM
NOT TO SCALE
POWER RISER DIAGRAM
NOT TO SCALE
N.A. ROSS ASSOCIATES INC
CONSULTING ENGINEERS
CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
JEFFERSON NATIONAL BANK
DELRAY BEACH, FLORIDA
RISER DIAGRAMS

81728 E-9


STRUCTURAL NOTES
TYPICAL FLOOR (5TH & 6TH) FRAMING PLAN
TYPICAL AT COLS TO BEAMS
FLOOR LOADS
STAIRS
JEFFERSON NATIONAL BANK

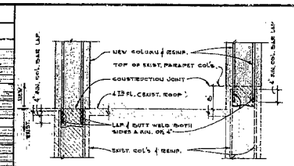
81728 S-1


ROOF LOADS
NOTE:
JOIST FABRICATOR SHALL PROVIDE ROOF JOIST CAPACITIES AT SUPPORTS: A TOTAL OF 1,000 LBS. AS NOTED.
ROOF FRAMING PLAN
STAIR #1 ROOF

81728 S-2

BEAM SCHEDULE

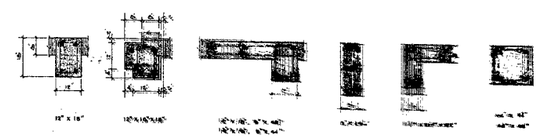
MARK	ELEV. TOP	SIZE	REINFORCING A	B	C	D	E	Ø'S STIRRUPS NO.	SPACING (A END)	REMARKS
[illegible]		[illegible]	[illegible]		[illegible]			[illegible]	[illegible]	[illegible]



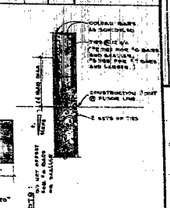
DETAIL: OF WELDED COLUMN REINFORCING EXTENSION

COLUMN SCHEDULE

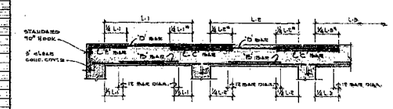
MARK	[illegible]
18'-0" ROOF	[illegible]
12'-0" 8TH FLOOR	[illegible]
18'-0" 5TH FLOOR	[illegible]
14'-0" 4TH FLOOR	[illegible]



TYPICAL COLUMN DETAILS



TYPICAL SPLICE



STEEL PLACING DIAGRAM

TOP STEEL
BEAMS — 3" CLEAR (LONG. GIRDER)
SLABS

BOTTOM STEEL
BEAMS — 3" CLEAR (LONG. GIRDER)
SLABS
COLUMNS — 2" CLEAR (LONG. GIRDER)

NOTE: BEAMS 36" DEEP OR MORE, ADD 6" COUT. AT MID. POINT OF BEAM DEPTH.

NOTE: 1. [illegible]

CHARLES GILLER & ASSOCIATES
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JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
SCHEDULES: BEAM & COLUMN

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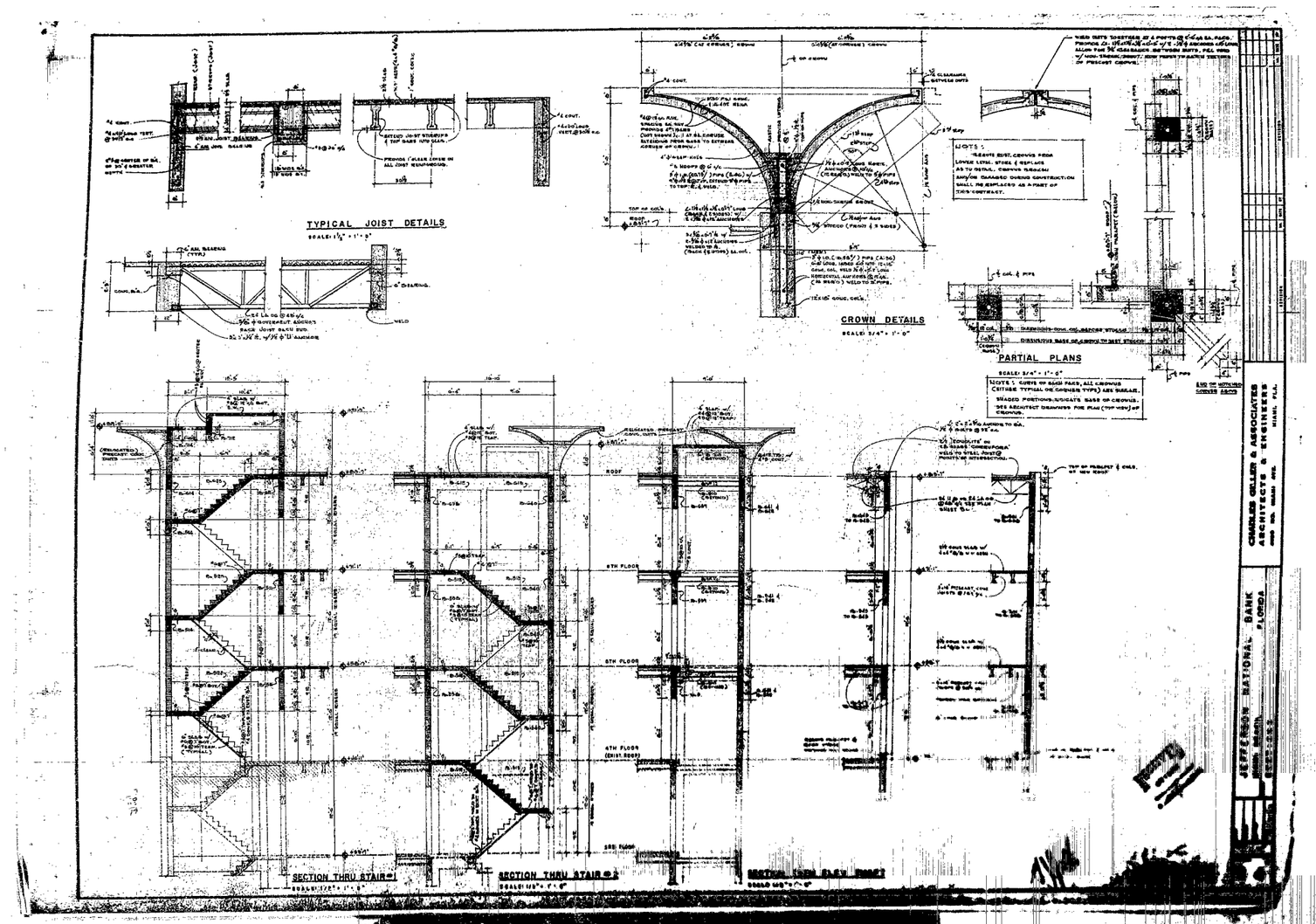
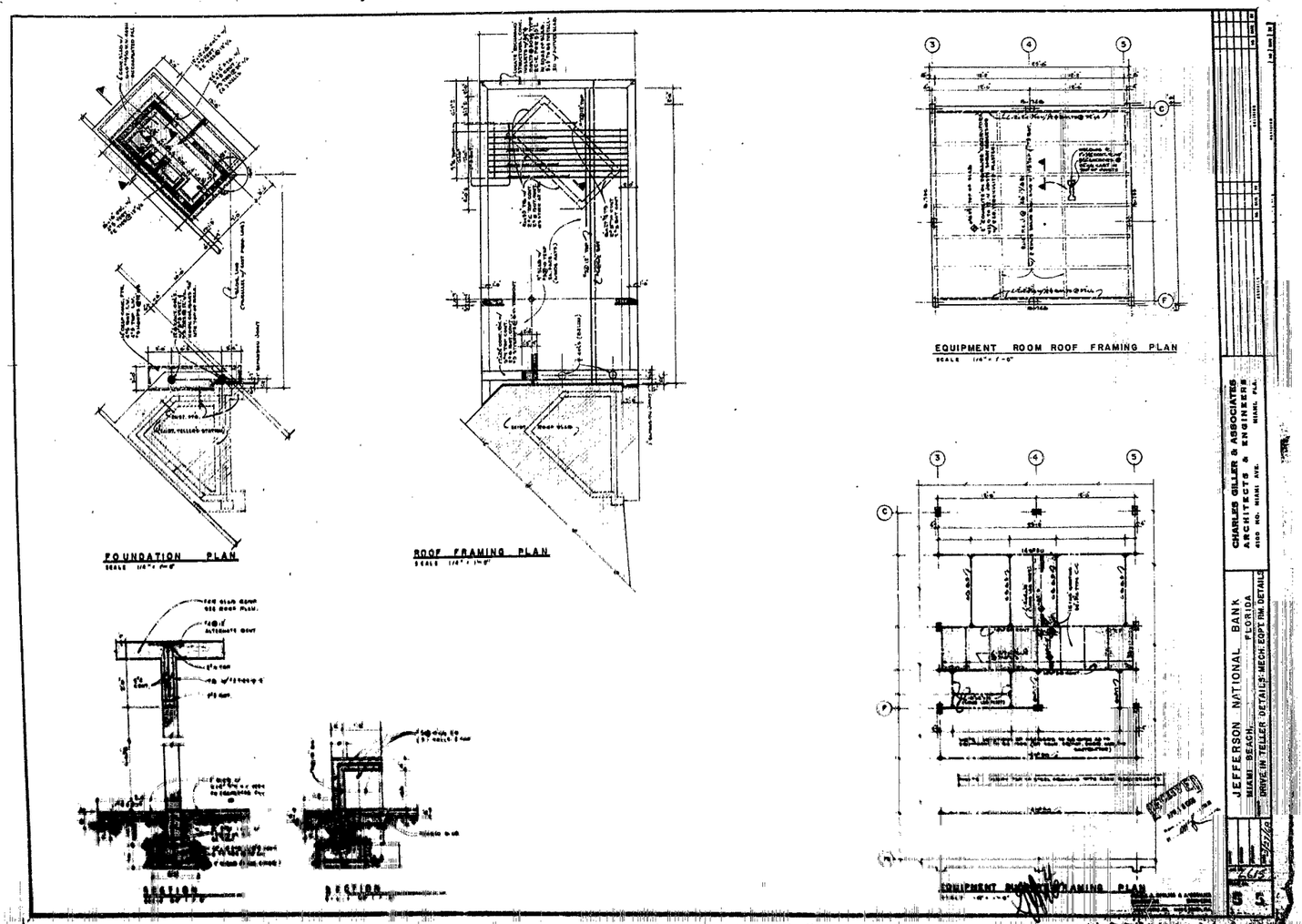

TYPICAL JOIST DETAILS
CROWN DETAILS
PARTIAL PLANS
SECTION THRU STAIR #1
SECTION THRU STAIR #2
JEFFERSON NATIONAL BANK
MIAMI, FLORIDA
CHARLES GELLER & ASSOCIATES
ARCHITECTS & ENGINEERS

81728 S-4


FOUNDATION PLAN
ROOF FRAMING PLAN
EQUIPMENT ROOM ROOF FRAMING PLAN
SECTION
SECTION
CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
4100 NO. MIAMI AVE. MIAMI, FLA.
JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
DRIVE IN TELLER DETAILS-MECH.EQPT.FIN.DETAILS

81728 S-5

AIR HANDLING UNIT SCHEDULE

UNIT DESIGNATION		AHU-1	AHU-2
QUANTITY REQUIRED		1	1
AREA SERVED		NEW PLANT	
OPERATING WEIGHT, LBS		[illegible]	[illegible]
LOCATION		A.C. MECH. ROOM	
UNIT TYPE		MULTIZONE	
UNIT POSITION		HORIZ.	
FAN	TOTAL AIR CFM	9600	13450
	VENT. AIR CFM	1470	2020
	EXT. S. PRESS., IN. OF H_2O, IN	0.45	0.40
	FAN MOTOR HP (NON OVERLOAD)	5.0	5.0
	FAN SPEED, R.P.M.	747	707
	STARTER TYPE	MAGNETIC FULL VOLTAGE	
	STARTER FURNISHED BY	A.C. CONTR.	
	ELECTRICAL SERVICE AVAILABLE	[illegible]/3/60	
FILTERS	TYPE	2" PERMANENT WASHABLE	
	MINIMUM AREA, SQ. FT. NET	24.0	32.2
	RESISTANCE (CLEAN) IN. OF H_2O MAX.	0.10	0.10
COOLING	COOLING COIL REQUIRED	[illegible]	
	CHILLED WATER TEMP AVAILABLE °F	45°	45°
	CHILLED WATER QUANTITY, G.P.M.	44.5	71.5
	CHILLED WATER PRESS. DROP FT. OF H_2O	6.0	7.50
	ROWS OF COIL, MIN./FINS PER INCH, MAX.	4/12	4/12
	FACE VELOCITY, FPM MAX/DESIGN	500/[illegible]	500/[illegible]
	DESIGN AIR ACROSS COIL, CFM	9600	13450
	GRAND TOTAL CAPACITY, BTU/HR	301,880	412,140
	TOTAL SENSIBLE CAPACITY, BTU/HR	241,880	301,440
	ENTERING AIR TEMP °F, DB/WB	77.4/64.2	77.6/65.4
	LEAVING AIR TEMP °F, DB/WB	54.5/52.6	56.5/54.9
	ENTERING SPACE TEMP °F, DB/WB	54.5/52.6	56.5/54.9
DESIGN MANUFACTURER		TRANE	
DESIGN MFG. MODEL NO.		NO. 17	NO. 25
		-	-
ACCESSORIES	MFG. OR FIELD FABR. MIX. PLENUM	NO	NO
	95% EFFICIENT SPRING VIBR. ISOLATORS	YES	YES
	COMBINATION FILTER & MIXING BOX	YES	YES

AIR DISTRIBUTION BY ZONES - CFM

UNIT NO.	ZONE A	ZONE B	ZONE C	ZONE D	ZONE E	ZONE F	ZONE G
AHU-1	3500	2750	3350	-	-	-	-
AHU-2	3025	1200	2700	1500	1800	2300	1500

WATER PUMP SCHEDULE

UNIT DESIGNATION		CWP-1	CWP-2	CHP-1
QUANTITY REQUIRED		1	1	1
LOCATION		A.C. MECH. ROOM		
OPERATING WEIGHT, LBS. INC. INERTIA BASE		500	600	600
PUMP SERVICE		CONDENSER WATER		CHILLED H_2O
PUMP TYPE		END SUCTION		
CAPACITY	WATER FLOW GPM	187	100	160
	TOTAL DYNAMIC HEAD, FT. OF H_2O	75.3	55.4	45.5
	MAX. PUMP SPEED, RPM	1750	1750	1750
	DESIGN EFFICIENCY, %	74	66	75
	SHUT OFF HEAD, FT. OF H_2O	74	65	45
	CUT OFF CAPACITY GPM/FT OF H_2O	550/11	445/55	160 @ 54
	APPROX. PRESS. @ PUMP DISCHARGE			
MOTOR-STARTER	MOTOR TYPE	ENCAP. CLASS B, INSUL., [illegible]		
	MOTOR SIZE, HP NOM.	7.5	5.0	5.0
	TOTAL UNIT AMPS., F.L./L.R.	N.A.		
	ELECTRICAL SERVICE AVAILABLE	208/3/60		
	MAGNETIC STARTER TYPE	MAGNETIC FULL VOLTAGE		
	STARTER FURNISHED BY	A.C. CONTR.		
DESIGN MFR.		AURORA TYPE 6 SHA		
DESIGN MFR. MOD NO.		[illegible]	[illegible]	[illegible]
ACCESSORIES	BASE	STEEL		
	COUPLING GUARD		N.A.	
	SHAFT SEAL		STD. MECH.	
	SUCTION AND DISCH. GAGE TAPPING		YES	
	FITTINGS		N.A.	
	95% EFFICIENCY VIBRATION ISOLATORS	YES		

AIR DISTRIBUTION SCHEDULE

MBOL	MFG'R.	MODEL NO.	CFM	USE	ACCESSORIES
A	ARMSTRONG	C-40	110	SUPPLY AIR	SUPPLY AIR [illegible]
B	"	"	[illegible]	"	"
C	"	"	85	"	"
D	"	"	60	"	
E	"	"	54	SUPPLY AIR	SUPPLY AIR [illegible]
F	"	"	140	RETURN AIR	"
G	ARMSTRONG	C-40	60	"	"
H	TITUS	THDC-44-44	SEE DWGS	SUPPLY	AG-95
I	"	THDC-44-35	"	"	
J	"	THDC-44-15	"	"	
K	"	AL 877	"	SUPPLY	"
L	"	[illegible]	"	RETURN AIR	"
M	"	[illegible]	"	EXHAUST AIR	"
N	TITUS	[illegible]	"	[illegible]	"

DUCT HEATER SCHEDULE

COIL NO.	KW	BTU/HR	CFM	VOLTS	PHASE	STAGES	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
1-A	12.55	54,920	3500	208	3	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
1-B	9.40	32,130	2750	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
1-C	9.40	32,090	3350	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-A	9.61	32,860	3025	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-B	2.40	8,160	1200	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-C	9.35	31,810	2700	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-D	4.95	16,890	1500	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-E	2.4	8,160	1800	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-F	3.55	11,810	2300	"	"	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
2-G	4.95	16,890	1500	208	3	1	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

PACKAGED WATER CHILLER SCHEDULE

QUANTITY REQUIRED		[illegible]
LOCATION		[illegible]
COMPRESSOR	TYPE	[illegible]
	MOTOR OPER. SPEED, RPM	[illegible]
	CAPACITY UNLOADING	[illegible]
	MOTOR KW INPUT, MAX	[illegible]
	MOTOR FULL LOAD/LOCKED ROTOR AMPS	[illegible]
	TYPE STARTING	[illegible]
	ELECTRICAL SERVICE AVAILABLE	[illegible]
	REFRIGERANT	[illegible]
CHILLER	MINIMUM RATED CAP. TONS [illegible]	[illegible]
	WATER FLOW, GPM	[illegible]
	ENTERING WATER TEMP °F	[illegible]
	LEAVING WATER TEMP °F	[illegible]
	NUMBER OF WATER PASSES	[illegible]
	MAXIMUM WATER PRESSURE DROP FT. H_2O	[illegible]
	MAXIMUM WATER VELOCITY, FPS	N.A.
	SCALE FACTOR	[illegible]
	MINIMUM EXTERNAL TUBE SURFACE [illegible]	N.A.
	MINIMUM REFRIG. [illegible] EVAP TEMP °F	[illegible]
CONDENSER	WATER FLOW, GPM	[illegible]
	ENTERING WATER TEMP °F	[illegible]
	LEAVING WATER TEMP °F	[illegible]
	NUMBER OF WATER PASSES	[illegible]
	MAXIMUM WATER PRESS. DROP FT. OF H_2O	[illegible]
	MAXIMUM WATER VELOCITY, FPS	N.A.
	SCALE FACTOR	[illegible]
	MINIMUM EXTERNAL TUBE SURF. [illegible]	N.A.
	MAXIMUM REFRIG. COND TEMP °F	[illegible]
OPERATING WEIGHT, LBS		[illegible]
TYPE OF CONTROL SYSTEM		SEE SPECS
DESIGN MANUFACTURER		[illegible]
MANUFACTURER MOD. NUMBER		[illegible]

PACKAGED ROOF TOP A.C. UNIT SCHEDULE

UNIT DESIGNATION		AC-1
QUANTITY REQUIRED		1
AREA SERVED		[illegible]
OPERATING WEIGHT, LBS		[illegible]
LOCATION		[illegible]
ELECTRICAL SERVICE AVAILABLE		[illegible]
UNIT TOTAL AMPS, F.L./L.R.		[illegible]
COOL.	TOTAL AIR, CFM	[illegible]
	VENT AIR, CFM	[illegible]
	EXTERNAL STATIC PRESS. IN OF H_2O	[illegible]
	FAN MOTOR HP (NON-OVERLOAD)	[illegible]
	COIL FACE VELOCITY, FPM MAX/DESIGN	[illegible]
	TOTAL COOLING CAP., BTU/HR (MIN.)	[illegible]
	ENTERING AIR TEMP °F, DB/WB	[illegible]
	LEAVING AIR TEMP °F, DB/WB	[illegible]
	TOTAL SENSIBLE CAP. BTUH	[illegible]
HEAT	COIL TYPE	ELECTRIC [illegible]
	NO. OF HEATING CIRCUITS	[illegible]
	TOTAL CAPACITY BTUH (MIN)/KW	[illegible]
	ELECTRICAL SERVICE	[illegible]
	NO. OF STEPS	[illegible]
COMPRES. CONDENS.	NOMINAL TOTAL COMPRESSOR HP	N.A.
	NOMINAL TOTAL FAN H.P.	[illegible]
	AMBIENT AIR TEMP °F, DB	[illegible]
	CONDENSING TEMP °F, MAX. (Capacity)	[illegible]
DESIGN MANUFACTURER		[illegible]
DESIGN MANUFACTURER MODEL NO.		[illegible]

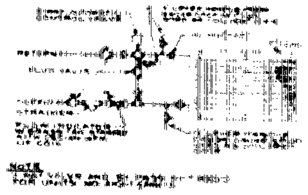
DUCT INSULATION SCHEDULE

▭	FIBERGLASS INSUL.
▭	GALV. SHEET METAL DUCT NO INSULATION
■	GALV. SHEET METAL WITH INSULATION & WEATHER PROOFING

COOLING TOWER SCHEDULE

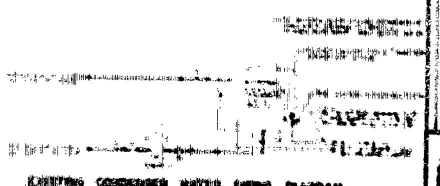
UNIT DESIGNATION		[illegible]
QUANTITY REQUIRED		[illegible]
LOCATION		ROOF
OPERATING WEIGHT, LBS		[illegible]
FEATURES	TOTAL NO. OF CELLS	[illegible]
	TYPE	[illegible]
	FILL	[illegible]
	BASIN & STRUCTURAL MEMBERS	[illegible]
	CASING	[illegible]
	AIR INLET SCREENS	[illegible]
	HARDWARE	[illegible]
CAPACITY	WATER FLOW, GPM	[illegible]
	WATER TEMP °F [illegible]	[illegible]
	AMBIENT TEMP °F, WB	[illegible]
	PUMP HEAD REQ'D, FT OF H_2O	[illegible]
FAN AND DRIVE	TYPE DRIVE	[illegible]
	NO. OF FAN SECTIONS	[illegible]
	FAN WHEEL TYPE	[illegible]
	FAN DIAMETER	[illegible]
	FAN TIP SPEED, FPM MAX.	[illegible]
	FAN MOTOR TYPE	[illegible]
	FAN MOTOR HP	[illegible]
	FAN MOTOR SPEED, RPM	[illegible]
	FAN MOTOR STARTER TYPE	[illegible]
	STARTER FURNISHED BY	[illegible]
	ELECTRICAL SERVICE AVAIL.	[illegible]
DESIGN MANUFACTURER		[illegible]
MANUFACTURER MOD. NO.		[illegible]
ACCESSORIES	[illegible]	YES

VENTILATION FAN SCHEDULE



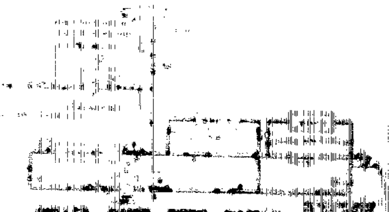
TYPICAL PIPE CONN. FOR CHILLED WATER COILS

GENERAL NOTES



EXISTING CONDENSER WATER PIPING DIAGRAM

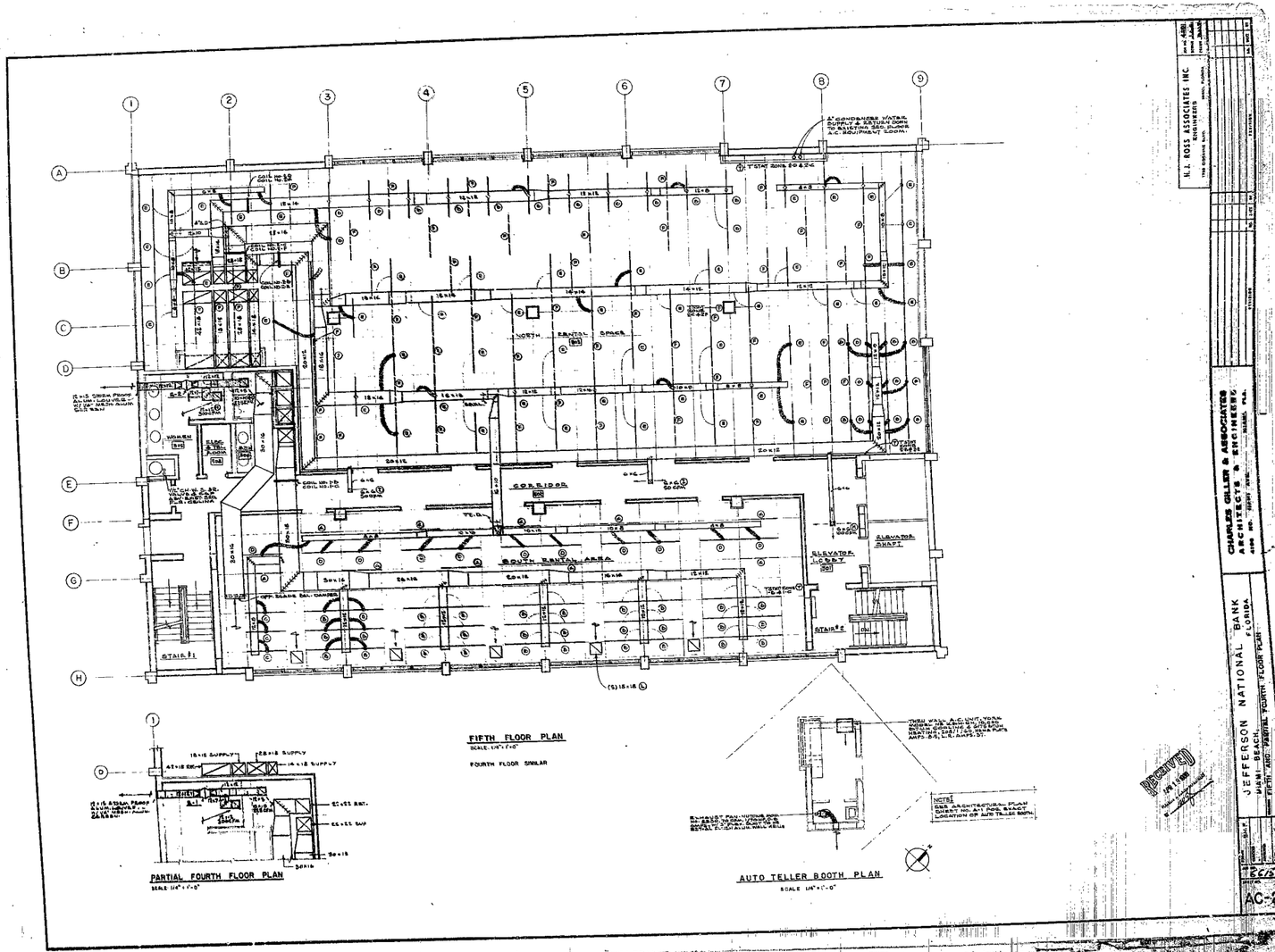
NEW CONDENSER WATER PIPING DIAGRAM



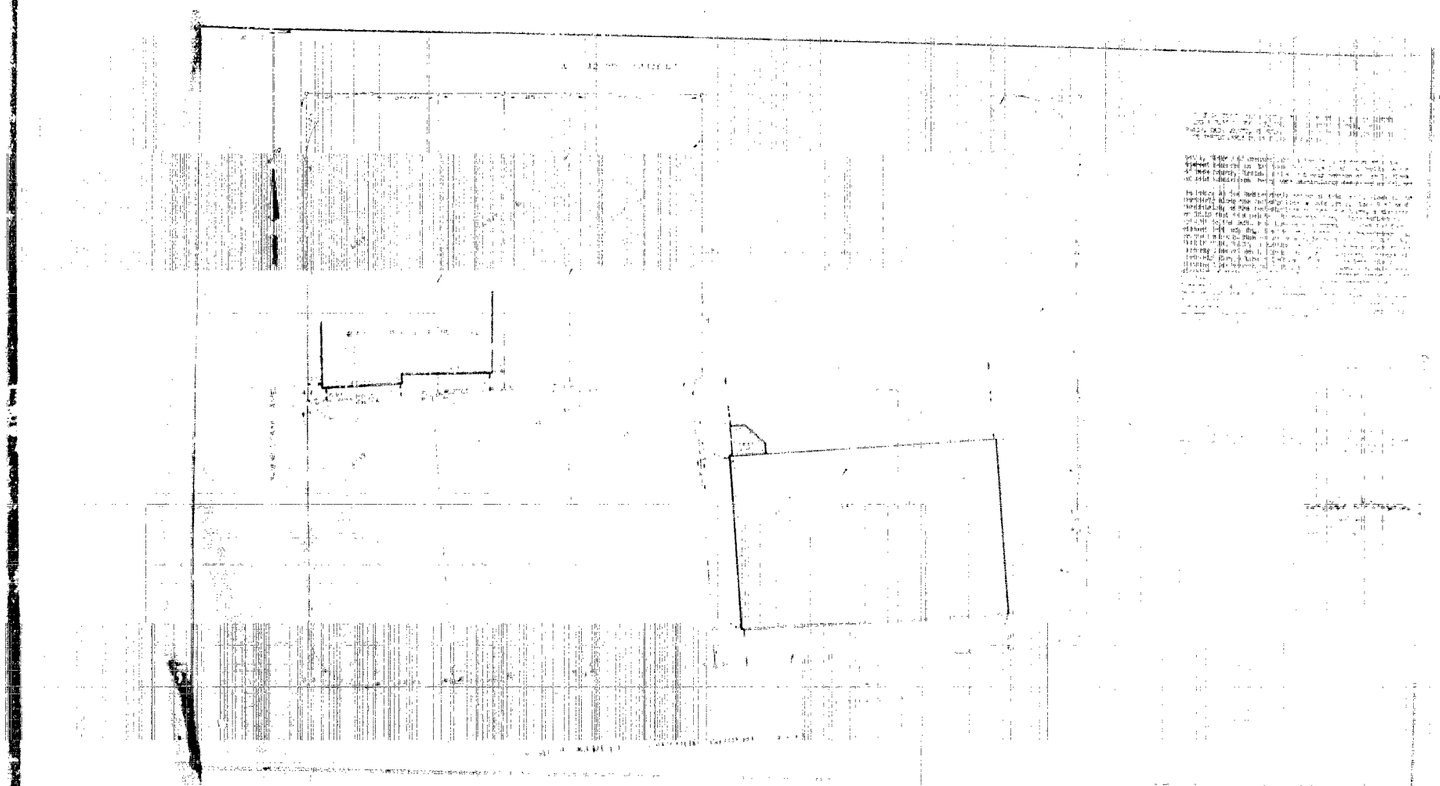
CHILLED WATER PIPING DIAGRAM

AC-1

81728 AC-1


FIFTH FLOOR PLAN
FOURTH FLOOR SIMILAR
PARTIAL FOURTH FLOOR PLAN
AUTO TELLER BOOTH PLAN
CORRIDOR
SOUTH CENTRAL AREA
NORTH CENTRAL SPACE
ELEVATOR SHAFT
ELEVATOR LOBBY
STAIRS
WOMEN
MEN
H.I. ROSS ASSOCIATES INC.
ENGINEERS
CHARLES GILLER & ASSOCIATES
ARCHITECTS & ENGINEERS
JEFFERSON NATIONAL BANK
MIAMI BEACH, FLORIDA
FIFTH AND PARTIAL FOURTH FLOOR PLANS
AC-2

81728 AC-2



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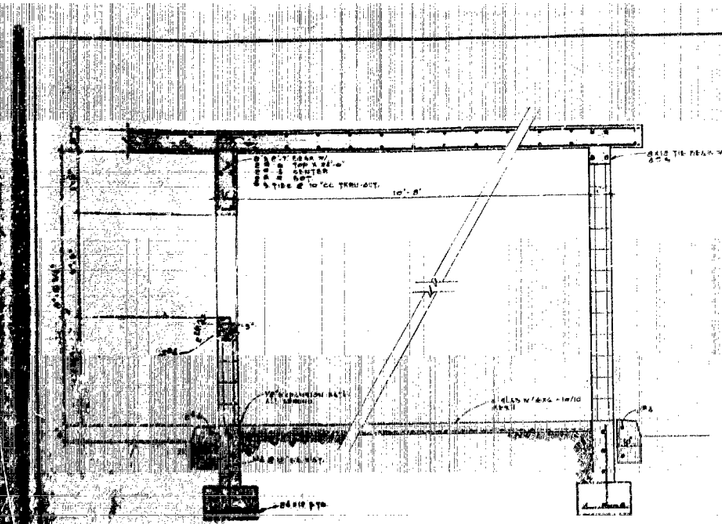
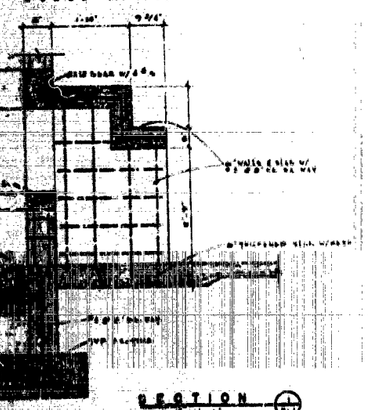


TYPICAL SECTION THRU TELLER STATION



SECTION

CITY OF MIAMI BEACH
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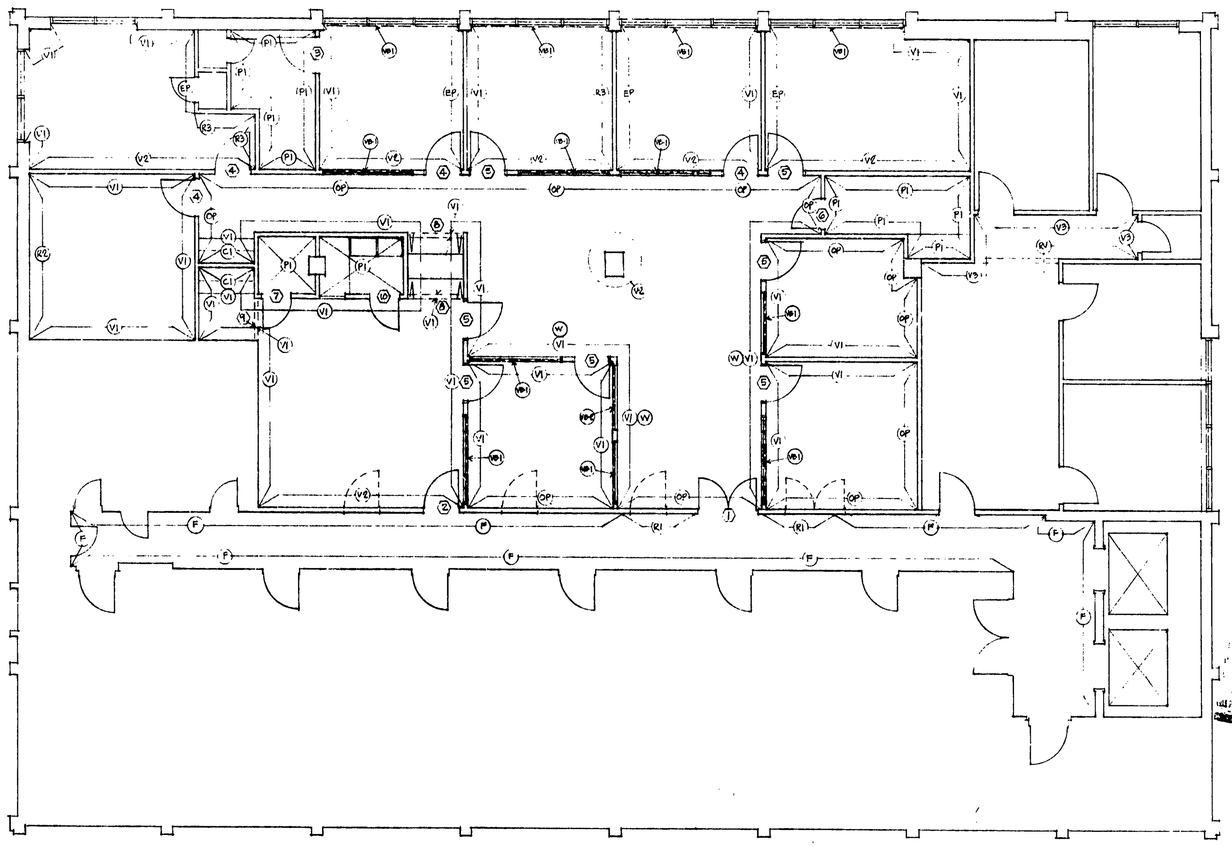
88656



PANELING

(V) OAK WAINSCOT - SEE (OP) MTX SPEC.

(P) EXIST PANELING TO REMAIN

(R1) RELOCATE EXIST PANELING - SEE NOTE 12, SHEET 1 OF 2, AND NOTATION BUBBLE 12B INDICATED ON THE PLAN

(R2) RELOCATE EXIST PANELING - SEE NOTE 12, SHEET 1 OF 2, AND NOTATION BUBBLE 12A INDICATED ON THE PLAN

(R3) RELOCATE EXIST PANELING - SEE NOTE 12, SHEET 1 OF 2, AND NOTATION BUBBLE 12A INDICATED ON THE PLAN

(OP) NEW OIL STAINED OAK PANELING TO MATCH ARCHITECT'S SAMPLE. SEE (OP) MTX SPEC. FOR FINISH TO BE APPLIED. (OAK DOOR FRAMES AND OAK WINDOW FRAMES)

VINYL WALL COVER

(V1) GREEN STARLIGHT, TYPE II, #2-55-04 GRAY

(V2) GREEN STARLIGHT, TYPE II, #2-56-69 CUSHION

(V3) BLAU HERITAGE I PEARL GRAY

PAINT (VA-AG)

(V4) TWO COATS VINYL STIPPLED EGGSHELL TO MATCH COLOR OF VINYL WALL COVER V1

TEMPORARY FINISHES - WALLS TO RECEIVE VINYL WALL COVER SHALL BE PAINTED TO MATCH VINYL WALL COVER. (VA-AG) (ALL VINYL WALL COVER SHALL BE APPLIED IN A LATER DATE) PAINT SHALL BE TWO COATS OIL EGGS STIPPLED EGGSHELL.

DOORS, DOOR FRAMES & WINDOW FRAMES

OAK - OIL STAIN, TO MATCH ARCHITECT'S SAMPLE. SEE FINISH AS SPECIFIED INDICATED FOR VIEW OAK PANELING.

DOOR (2) DOOR & FRAME SHALL BE PAINTED WITH TWO COATS VINYL STIPPLED EGGSHELL PAINT TO MATCH VINYL WALLCOVER V2

DOORS (3) (4) & (5) DOORS & FRAMES SHALL BE PAINTED WITH TWO COATS VINYL STIPPLED EGGSHELL PAINT TO MATCH VINYL WALLCOVER V1

VERTICAL BLINDS

(VB) LOUVOLUXAFE - COLOR #212 LINEN AS DISTRIBUTED BY COMFORT WORKSHOP INC PHONE 621-5730

ALL LAM PLASTIC SURFACES SHALL BE WILSON ART #D91-6 BURLIT WHEAT

(C1) SEE CARPET PLAN MTX C1 SPEC. CARPET AT WALL BETWEEN SPLASH & UPPER CAB. (WALL VINYL V1 BELOW UPPER CAB)

CITY OF MIAMI BEACH
APPROVED
TO BE DETERMINED AT A LATER DATE
DATE

4-15-83

OFFICE COPY

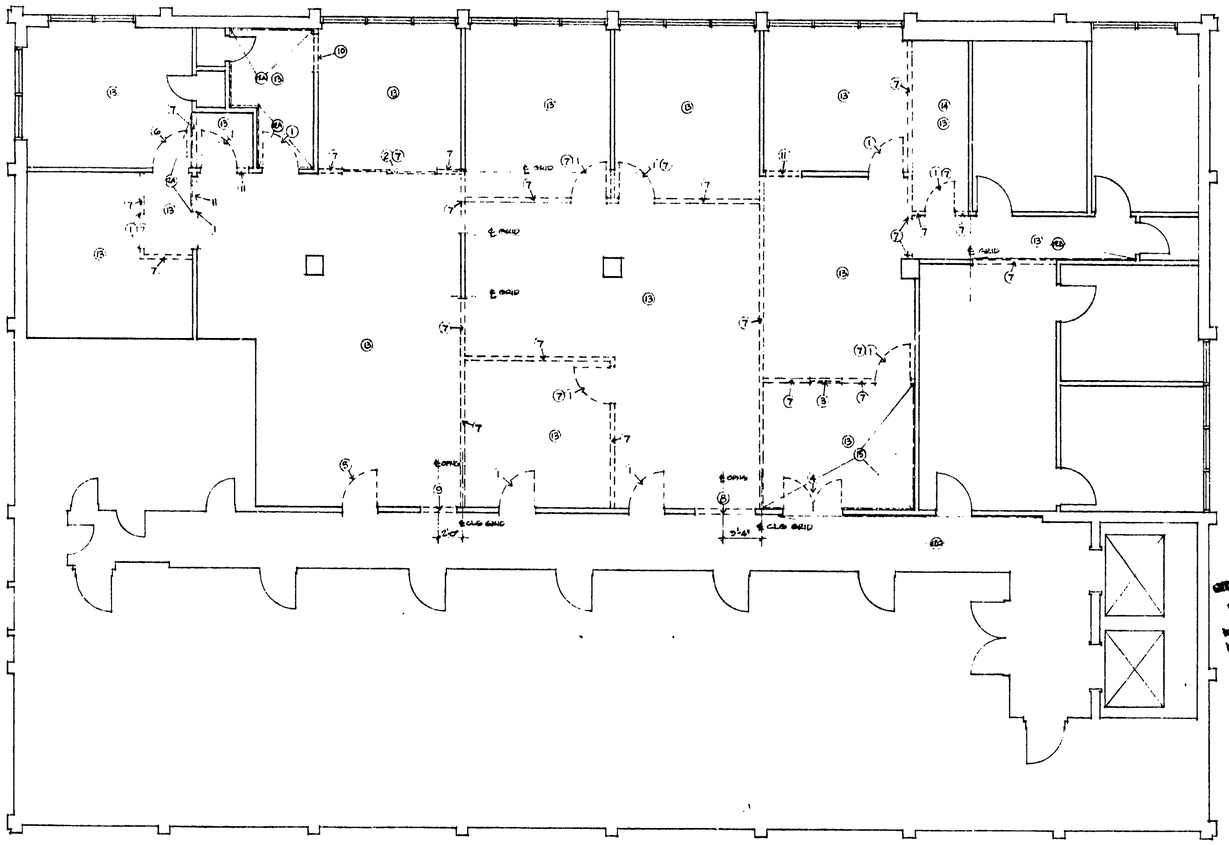
NOTICE
Interior finish shall co. form to Section 3702.2 of the Building Code
OCCUPANCY STATUS
Class A - 0-25 ☐
Class B - 26-50 ☐
Class C - 76-300 ☒
Class D - 301-500 ☐
Class E - Over 500 ☐

Memo of Agreed & Entered revisions leading thru 6 of Tenant occupancy therefrom

General office

JEFFERSON BANK CORPORATION
419 FLOOR OFFICE - 501 - 11TH STREET
MIAMI BEACH, FLORIDA - 33140
SCALE 1/4" = 1'-0" | APPROVED BY: | DRAWN BY: STEW
DATE: 4 MAR '83 | REVISED
ARCHITECTONICS INC.
MAIN OFFICE: THE WOOLTE BUILDING - 8300 NE 2ND AVE
MIAMI BEACH, FLORIDA 33138 (305) 757-7711
FINISH PLAN & SCHEDULE
DRAWING NUMBER

908912



DEMOLITION NOTES

DOORS, WINDOWS & FRAMES:

1. REMOVE EXIST. DOOR AND/OR FRAME.
2. REMOVE EXIST. GLAZED SLIDING ALUM. DOORS, ALUM. FRAME AND THRESHOLD.
3. REMOVE EXIST. FACE-THRU WINDOW & FRAME.
4. REMOVE EXIST. DOOR OR DOORS & FRAME FOR RE-LOCATION (SEE CONSTRUCTION PLAN, DOOR (1), SHEET 2 of 6 FOR LOCATION)
5. REMOVE EXIST. DOOR & FRAME FOR RE-LOCATION (SEE CONSTRUCTION PLAN, DOOR (8), SHEET 2 of 6 FOR LOCATION)
6. REMOVE EXIST. DOOR & FRAME FOR RE-LOCATION (SEE CONSTRUCTION PLAN, DOOR (9), SHEET 2 of 6 FOR LOCATION)

PARTITIONS:

7. REMOVE EXIST. PARTITION FROM FLOOR TO CEILING.
8. REMOVE PORTION OF EXIST. PARTITION TO RECEIVE RE-LOCATED PAIR OF DOORS (1) & FRAME. (SEE NOTE (4), THIS SHEET)
9. REMOVE PORTION OF EXIST. PARTITION TO RECEIVE RELOCATED DOOR & FRAME (SEE NOTE (5), THIS SHEET)
10. REMOVE PORTION OF EXIST. PARTITION TO RECEIVE RELOCATED DOOR & FRAME (SEE NOTE (6), THIS SHEET)
11. REMOVE PORTION OF EXIST. PARTITION TO RECEIVE NEW DOOR & FRAME.
12. REMOVE EXIST. PANELING TO BE RE-LOCATED. (SEE SHEET 6 of 6 "FINISH PLAN & SCHEDULE" FOR RE-INSTALLATION LOCATION)
13. REMOVE EXIST. FINISH FLOORING MATERIAL
14. REMOVE EXIST. BUILT-IN SHELVING IN EXIST. ROOM.
15. REMOVE EXISTING PANELING & SUPPLY IN VACANT FIELD FOR FUTURE USE.

GENERAL NOTES:

DOTTED LINES INDICATE EXISTING CONFIGURATION TO BE REMOVED.

REMOVE EXIST. WALL-COVERING ON EXIST. WALLS WHICH ARE TO RECEIVE NEW WALL FINISHES. (SEE SHEET 6 of 6 "FINISH PLAN AND SCHEDULE")

FOR RELOCATION OF CEILING HOUSES, CEILING LIGHT FIXTURES & OTHER CEILING MOUNTED ITEMS, SEE RELOCATED CEILING PLAN, SHEET 3 of 6.

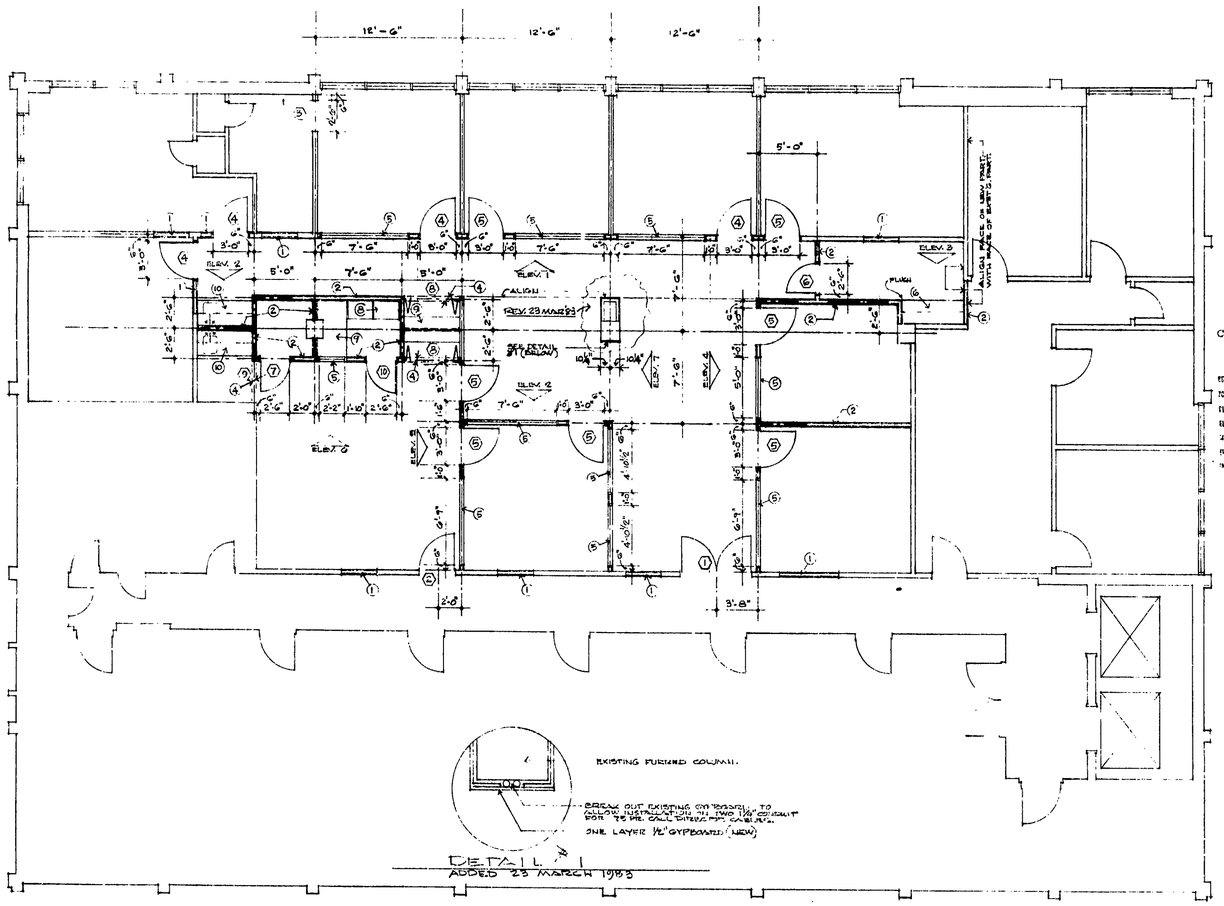
CITY OF MIAMI BEACH
APPROVED
DATE 4/12/83
BUILDING BY
PLANNING BY
PLANNING BY
ELECTRICAL BY
MECHANICAL BY
FIRE PREVENTION BY
PUBLIC WORKS

OFFICE COPY

RESUBMITTED 9 MAR '83

JEFFERSON BANK CORPORATION 4TH FLOOR OFFICES, 301 41ST STREET MIAMI BEACH, FLORIDA 33140	
SCALE 1/4" = 1'-0"	DRAWN BY GEW
DATE 1 MAR '83	REVISED 9 MAR 83
ARCHITECTONICS, INC. SUITE 208 THE KOSER BUILDING 8075 NW 12 ST. MIAMI, FLORIDA 33126 (305) 592-2711	
DEMOLITION PLAN	1 of 6

908912



WORK SCHEDULE

(1) WALKS, TWIST LOCK & HEADER HAS BEEN REMOVED. INSTALL NEW OPENING BOND BACK 5 OR OF NEW METAL STUDS WITH NEW BOTTOM SUNNER, HEADER & FIRE STOP. NEW MATERIALS SHALL MATCH EXIST MATERIALS AS TO TYPE, SIZE, THICKNESS, FIRE RATING, FAINT, ETC.

(2) INSERT NEW METAL STUD PARTITION TO MATCH EXIST PARTITIONS. USE 1" BACK, 3/4" THK FIRE RATED STUDS, 24" EACH, 1-1/2" OF SUN METAL STUDS, 3/4" THK, TAPED, SANDED & FINISHED. SEE DETAILS ON SHEET 6 OF 6 (MISCELLANEOUS ELEVATIONS & DETAILS)

(3) REMOVE EXIST. WALL TO EXIST. STUDS. NEW TO MATCH EXIST. INSERT NEW METAL STUDS, 1 HR FIRE RATED GYPSUM BOARD ON 3 SIDES. SEE DETAILS

(4) INSERT NEW METAL STUD PARTITION. HEADER WILL BE EXIST. FAIR FACE CONCRETE. FIRE RATED GYPSUM BOARD BACK SIDE. "A" TO "B" METAL STUDS (3 5/8") & CONTINUOUS ANGLE WITH 2" DEEP LEG. SEE DETAILS ON SHEET 6 OF 6 (MISCELLANEOUS ELEVATIONS & DETAILS)

(5) 1/2" THICK CLEAR HARDENED PLATE GLASS VIEW WINDOW IN WITH FRAME - MOUNTED IN NEW METAL STUD PARTITION WITH 3/8" THK FIRE RATED GYPSUM BOARD BACK. FRAME LIKE OF 3 5/8" METAL STUDS (3 5/8") AND WITH CONTINUOUS ANGLE (3 5/8") & ROLLFORM. REMOVE WINDOW. SEE DETAILS ON SHEET 6 OF 6 (MISCELLANEOUS ELEVATIONS & DETAILS)

(6) REMOVE NEW COUNTER WITH OWN CABINETS ABOVE AND SINK. SEE DRAWING BELOW. SEE ELEVATIONS ON SHEET 6 OF 6 (MISCELLANEOUS ELEVATIONS & DETAILS) (FULL LENGTH OF PLACE)

(7) PROVIDE PLANTER AS DETAILED ON SH 6 OF 6

(8) PROVIDE STORAGE CABINET AS SHOWN ON ELEV 8 & 9, SHEET 6 OF 6

(9) REMOVE L.H. FIRE COUNTER AS SHOWN ON ELEV 8 & 9, SHEET 6 OF 6

(10) REMOVE CONNECT COUNTER, SINK ETC AS SHOWN ON ELEV 2, SHEET 6 OF 6 (1-RH & 1-LH)

CITY OF MIAMI BEACH
APPROVED
DATE
PLANNING BY
ZONING BY
STRUCTURAL BY
ELECTRICAL BY
MECHANICAL BY
FIRE PREVENTION
TRAFFICWAYS

OFFICE COPY

NORTH

LOCKS

(1) KEYGATE LOCKS & FRAME (RH & LH)

(2) KEYGATE LOCK & FRAME (RH)

(3) KEYGATE LOCK & FRAME (RH)

(4) NEW, AMERICAN PUSH SALL GAGE 3'-0"x7'-0"x1 3/4" (LH)

(5) SAME AS (4) EXCEPT (LH)

(6) NEW, AMERICAN PUSH SALL GAGE 2'-6"x7'-0"x1 3/4" (RH)

(7) SAME AS (6) EXCEPT (LH)

(8) DETAILS, BI-FOLD, FINISH LOCK UNIT, WALL PAIR 4'-7" x 7'-0" H.M. SAME AS (4) (LH)

(9) PUT SE ACCORDION LOCK, 3'-6" x 7'-0" WIDE x 7'-0" H SUBMIT NAMPLES, MFR. DETAILS & SHOP DWG FOR APPROVAL. HEAD LOCK SIMILAR TO LOCK C ON SHEET 6 OF 6.

(10) NEW KNOX SECURE PUSH 2'-6" x 7'-0" x 1 3/4"

REV 23 MAR 83

REV 1 9 MAR 83 - CHANGED COTA 3 TO 2'-6" - CHANGED LOCK #8 TO KNOX SECURE - REVISE MATERIAL

REV 2 [illegible] - NEW LOCK 10 ADD [illegible] TO LOCK 8 - LOCATION [illegible]

JEFFERSON BANK CORPORATION
4TH FLOOR OFFICES, 201 41ST STREET
MIAMI BEACH, FLORIDA - 33140

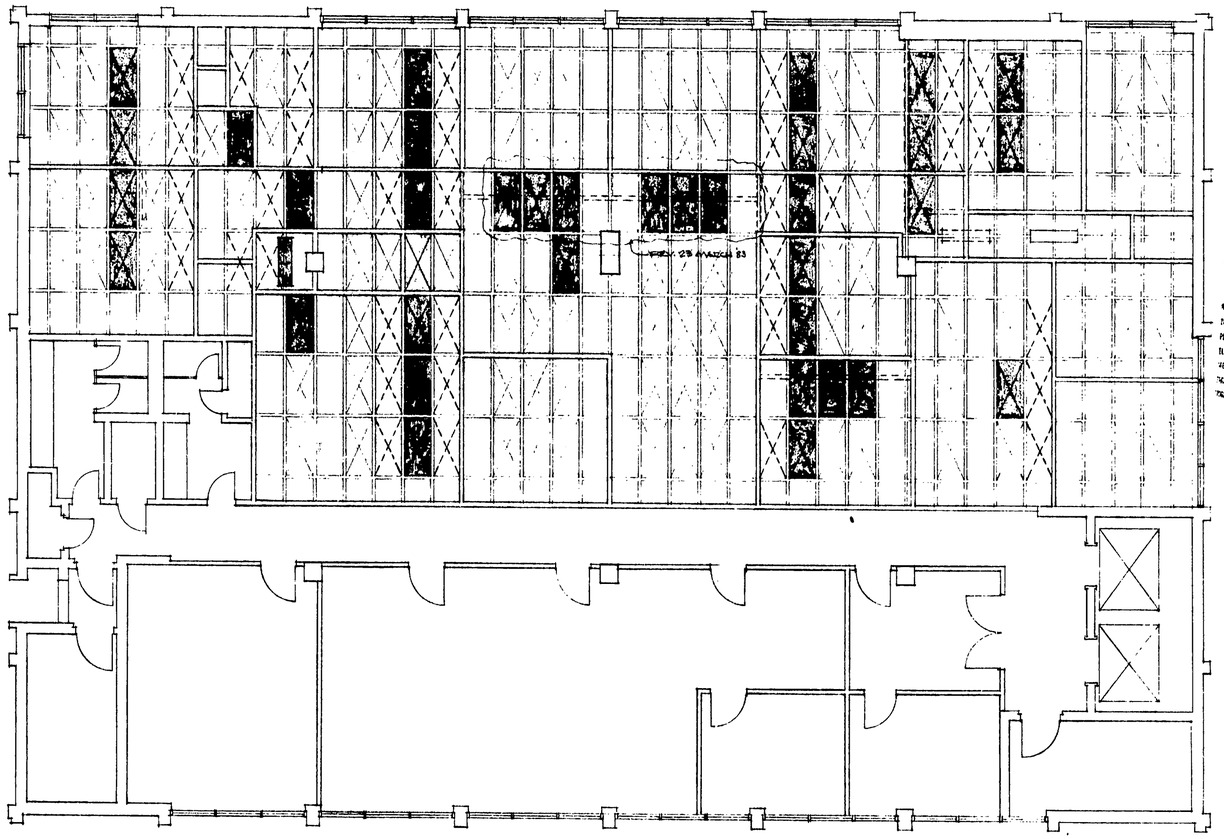
SCALE 1/4"=1'-0"	DRAWN BY GEW
DATE MAR. '83	REVISED NOV. '83

ARCHITECTONICS, INC.
FOR THE BEACH BUILDING 1676 NORTH BAY ROAD ST.
MIAMI, FLORIDA - 33132 534-5312-2711

CONSTRUCTION DOCS

DRAWING NUMBER
2 of 2

910892



CITY OF MIAMI BEACH
APPROVED
DATE

OFFICE COPY

NORTH

ELECTRICAL LIGHTING LEGEND

- EXISTING CEILING COFFER W/LIGHT TO REMAIN AT PRESENT LOCATION.
- EXISTING CEILING COFFER W/LIGHT TO BE RELOCATED.
- RELOCATED CEILING COFFER W/LIGHT.
- EXISTING SURFACE MTD FIXTURE TO REMAIN AT PRESENT LOCATION.
- EXISTING SURFACE MTD FIXTURE TO BE RELOCATED
- RELOCATED SURFACE MTD FIXTURE.

REVISED 23 MAR 1983
REVISED 9 MAR 83

NOTES:

1. THE NUMBER OF LIGHTING FIXTURES IS UNCHANGED, THEREFORE ELECTRICAL POWER REQUIRED FOR LIGHTING IS UNCHANGED.
2. TIE RELOCATED LIGHTING FIXTURES TO EXISTING LIGHTING POWER-GRID CIRCUITS
3. COMPLY WITH ALL ELECTRICAL CODES AND ORDINANCES APPLICABLE AT THE JOB SITE.

JEFFERSON BANK CORPORATION
[illegible] STREET
MIAMI BEACH, FLORIDA 33139

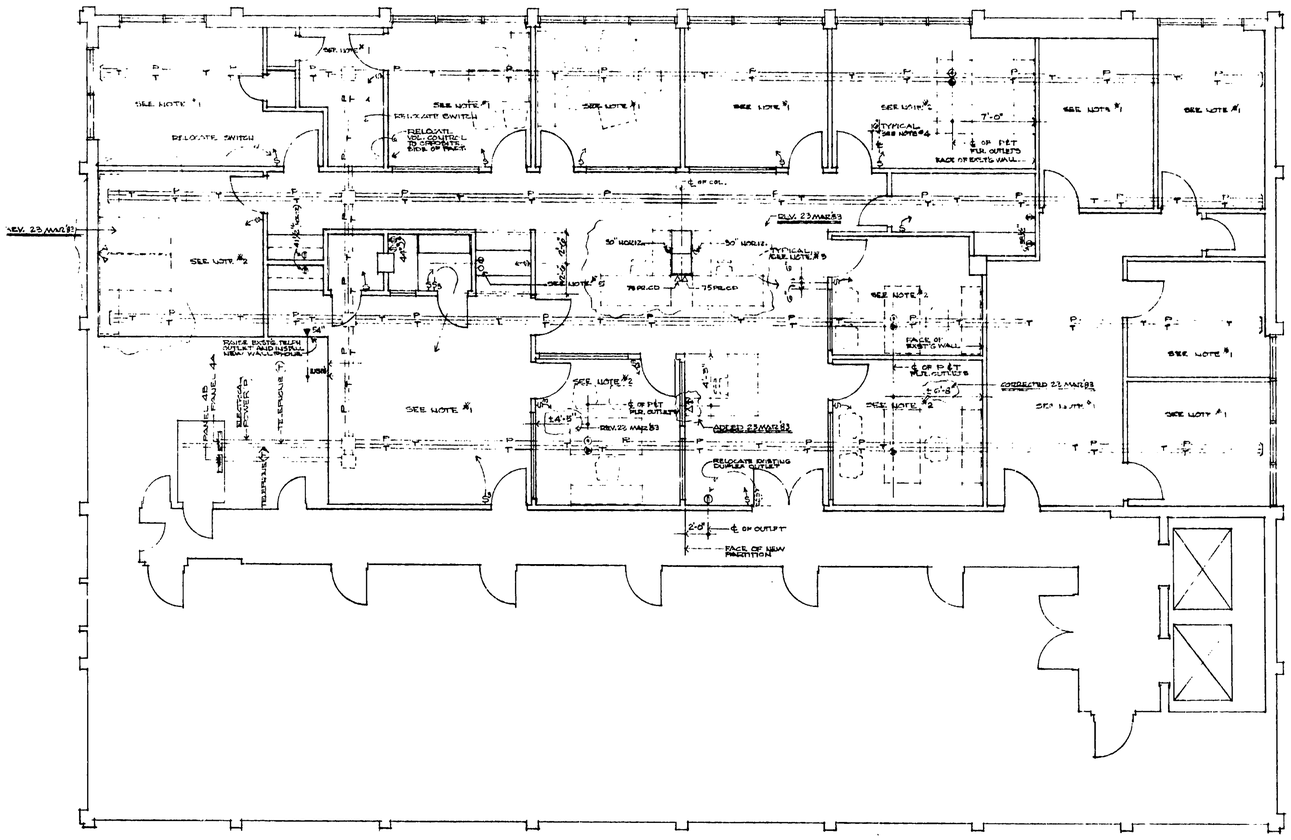
SCALE 1/8"=1'-0" | APPROVED BY: | DRAWN BY: R.E.W.
DATE: 1 MAR 83 | REVISED 5 MAR 83

ARCHITECTON [illegible] INC.
[illegible] STREET
MIAMI BEACH, FLORIDA 33139 [illegible]

REFLECTED CEILING PLAN

DRAWING NUMBER 3 of 6

908912



NOTES:

1. REMOVE (TENTAKWISE NOTED) EXISTING ELECTRICAL & TELEPHONE FLOOR OUTLETS, WALL OUTLETS & SWITCHES. IN THE ROOM SHALL REMAIN IN SERVICE AT EXISTING LOCATIONS.
2. DISCONNECT AND CAP EXISTING ELECTRICAL AND TELEPHONE FLOOR OUTLETS. RELOCATE EXIST'G 120V UTILITY AND/OR INSTALL NEW FLOOR OUTLETS AT LOCATIONS INDICATED BY DASHED LINES.
3. REMOVE NEW LIGHT SWITCH (NTS S + 44) FOR THIS ROOM. CENTER SWITCH BETWEEN DOOR FRAME & WINDOW FRAME AS DWG.
4. REMOVE NEW LIGHT SWITCH (NTS S + 44) FOR THIS ROOM. LOCATE & SWITCH S + 44 FROM DOOR SIDE OF FRAME
5. REMOVE FLOOR OUTLET FOR CONVERTED J BOX W/ 1/2" CONDUIT. MOUNT S + 22

CITY OF MIAMI BEACH
APPROVED
DATE
BUILDING DIV. 4/13/87
ZONING DIV.
PLANNING DIV.
ELECTRICAL DIV.
MECHANICAL DIV. 4-15-83
FIRE DEPARTMENT
PUBLIC WORKS

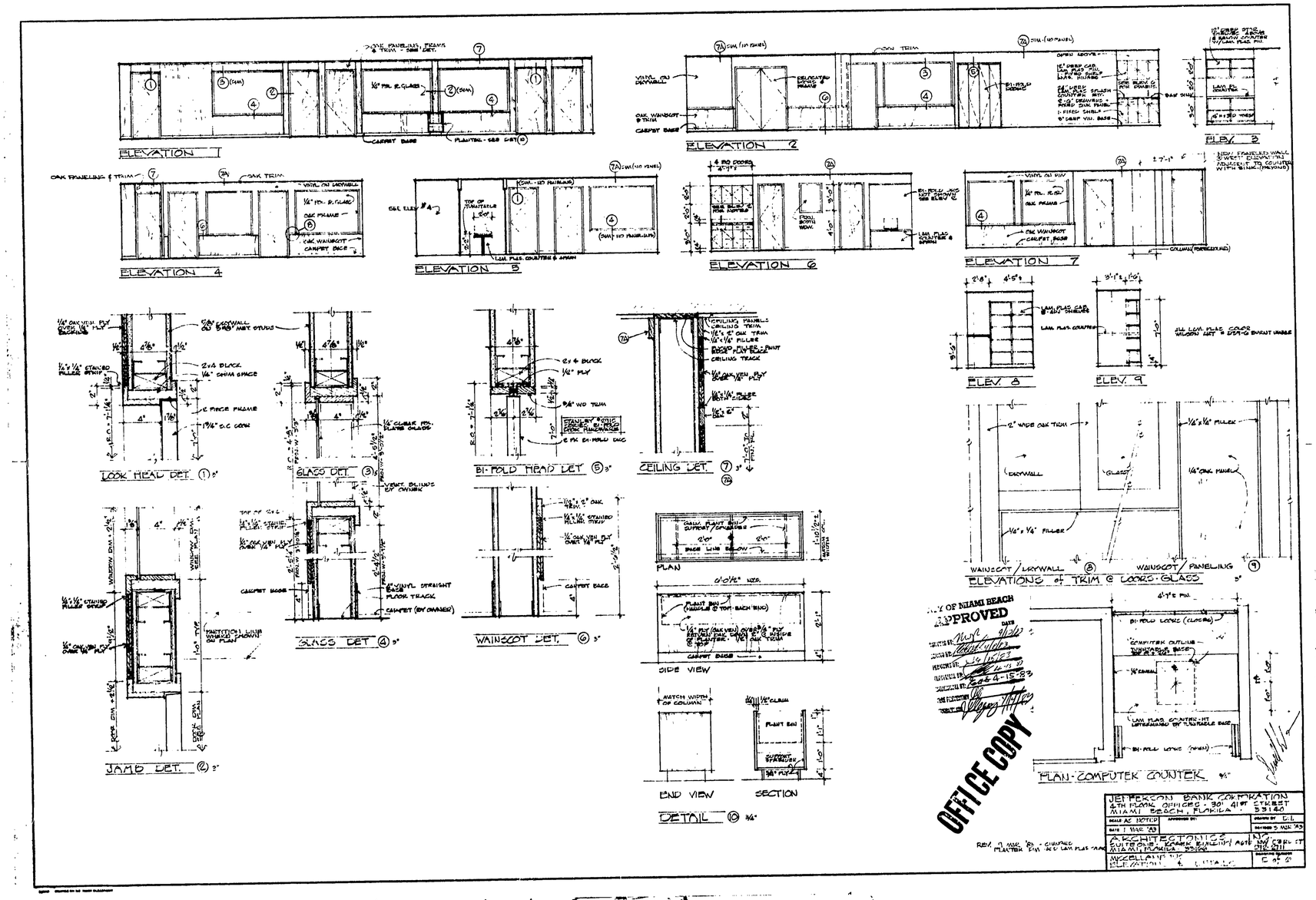
OFFICE COPY

REVISED 23 MAR. 1983
REVISED 9 MAR '83

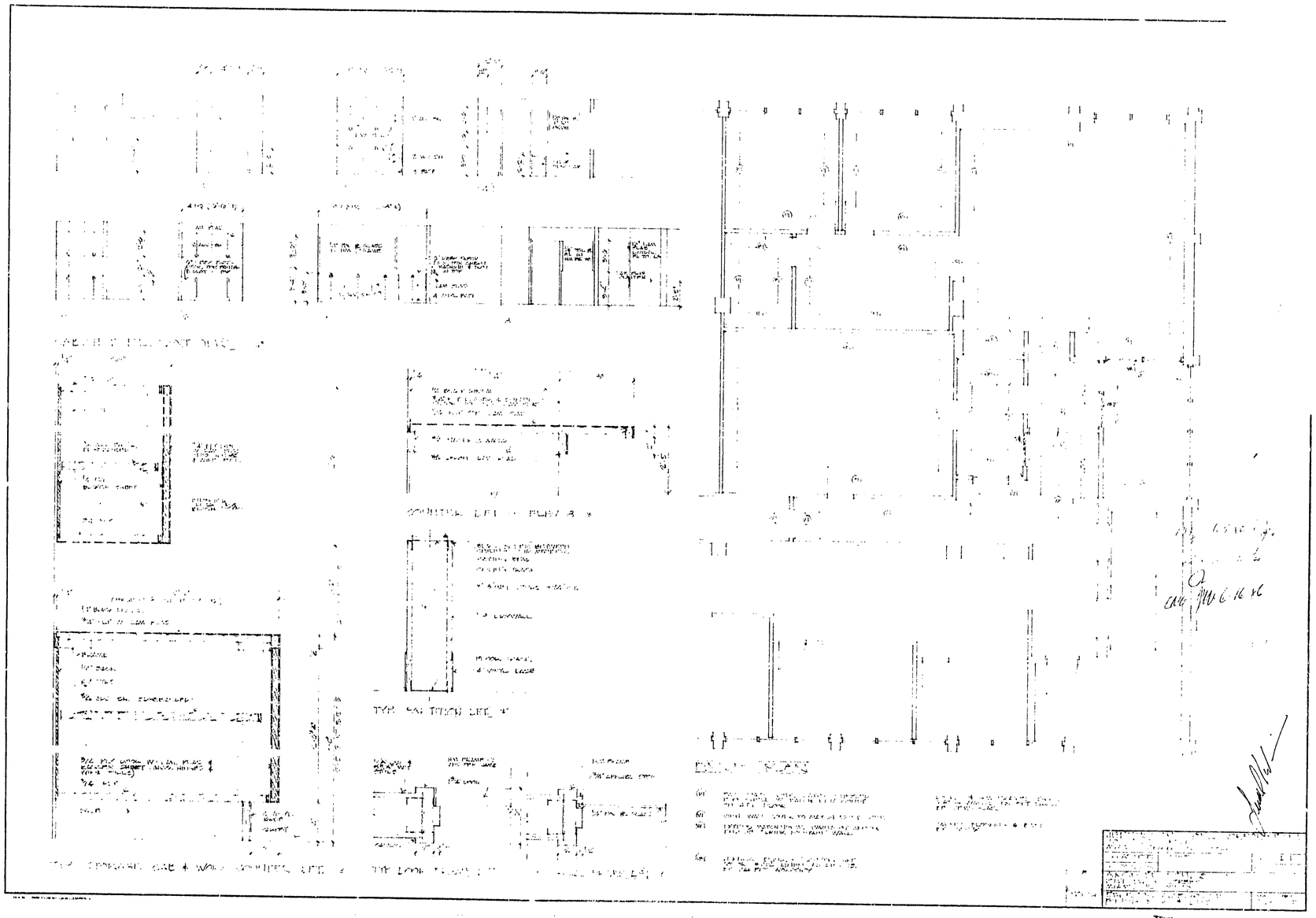
JEFFERSON BANK CORPORATION
4TH FLOOR OFFICES: 301 41ST STREET
MIAMI BEACH, FLORIDA 33140

SCALE: 1/8" = 1'-0"	APPROVED BY:
DRAWN BY: GEW	
DATE: 1 MAR 83	REVISED: 5 MAR 83
ARCHITECTONICS INC. SUITE 216-218 MERCHE BUILDING, 3010 N.W. 8th STREET MIAMI, FLORIDA 33125 (305) 592-2711	
ELECTRICAL PLAN	DRAWING NUMBER 4 of 6

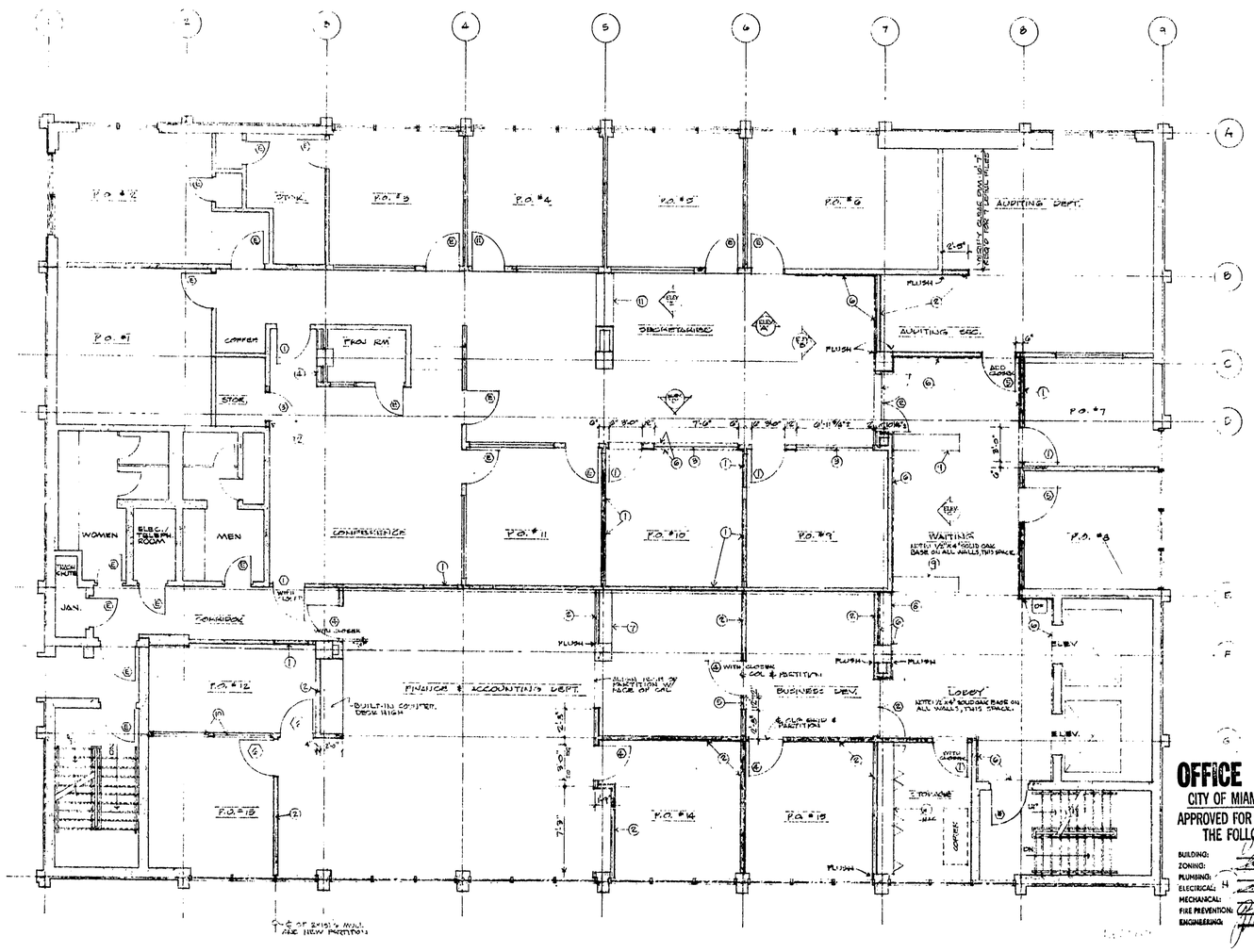
90892


ELEVATION 1
ELEVATION 2
ELEV. 3
ELEVATION 4
ELEVATION 5
ELEVATION 6
ELEVATION 7
ELEV. 8
ELEV. 9
LOOK HEAD DET. (1)
GLASS DET. (3)
BI-FOLD HEAD DET. (5)
CEILING DET. (7)
JAMB DET. (2)
GLASS DET. (4)
WAINSCOT DET. (6)
PLAN
SIDE VIEW
END VIEW
SECTION
DETAIL (10)
ELEVATIONS of TRIM @ DOORS-GLASS
WAINSCOT / DRYWALL (8)
WAINSCOT / PANELING (9)
PLAN-COMPUTER COUNTER
CITY OF MIAMI BEACH
APPROVED
OFFICE COPY
JEFFERSON BANK CORPORATION
4TH FLOOR OFFICES - 301 41ST STREET
MIAMI BEACH, FLORIDA 33140
SCALE AS NOTED
DATE 1 MAR '83
DRAWN BY C.L.
REVISED 5 MAR '83
ARCHITECTONICS
SUITE 215 - BANK BUILDING
MIAMI, FLORIDA 33166
NO. OF SHTS. 10
SHT. NO. 1
DRAWING NUMBER
E of 10

90892



91802



CONSTRUCTION NOTES

1. WHERE EXIST. WOOD, VINYL & FRAMES (TYP.) ARE REMOVED, INSTALL NEW WOOD SOLID BLOCK OF NEW METAL STUDS (W/ NEW BOTTOM & TOP TRACKS. (NEW MATERIALS SHALL MATCH EXIST. MATERIALS AS TO TYPE, SIZE, THICKNESS, FINE FASTENING, ETC.
2. BARRIER NEW METAL STUD WALL TO MATCH EXIST. CONDITIONS 3 5/8" (1 HR. FIRE RATING SYSTEM) SOUND BLOCK BLOCK OF 3 5/8" METAL STUDS & 3 5/8" 25 TAPED, SANDED AND READY TO RECEIVE WALLCOVERING.
3. 1/4" PLEX GLASS POLISHED PLATE GLASS VIEW WINDOW IN VERT. FRAME MOUNTED (W) NEW METAL STUD MATCHED W/ 3 5/8" 1 HR FIRE RATING SYSTEM SMALL EACH SIDE OF 3 5/8" METAL STUDS & 3 5/8" 25
4. PULL OUT PLUSH WITH FACE OF CAB.
5. REMOVE AND CLOSE FRAME W/ FULL HEIGHT SHEETROCK 1/4" TRIM, CLEAN FOR R
6. PROVIDE OAK TRIM AT CEILING TO MATCH EXIST.
7. REMOVE STORAGE SHELVES AS DETAILED (SEE SHEET A-2)
8. REMOVE STORAGE CAB. W/ SHELVES AS DETAILED (SEE SHEET A-2)
9. PROVIDE ELECTRIC AS DETAILED (SEE SHEET A-2)
10. RELOCATE EXIST. WINDOWS AS SHOWN (SEE SHEET A-2)
11. BOXED STOREWALL TO MATCH ABOVE (SEE SHEET A-2)

NOTES

1. NEW ACOUSTICAL CEILING TILE SYSTEM (SEE SHEET A-2)
2. SEAMLESS CARPET (SEE SHEET A-2)
3. RELOCATE ELEC. OUTLET FROM ADJACENT PARTITION.
4. 3 5/8 & 6 1/2 PLUS (2) 1 1/2 FIRE RATED SOLID WOOD FRAME REMOVE & HOLLOW METAL FRAME REMOVE EXIST. WHERE PROVIDED.
5. RELOCATE EXIST. 3 5/8" TRIM DOOR & FRAME
6. RELOCATE EXISTING SANITARY DOOR AND FRAME.
7. EXIST. DOOR/FRAME TO REMAIN

OFFICE COPY
CITY OF MIAMI BEACH
PROVIDE & REPAIR ALL SURFACES DAMAGED DUE TO DEMOLITION AND/OR NEW CONSTRUCTION.

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION: 02-21-19
ENGINEERING:

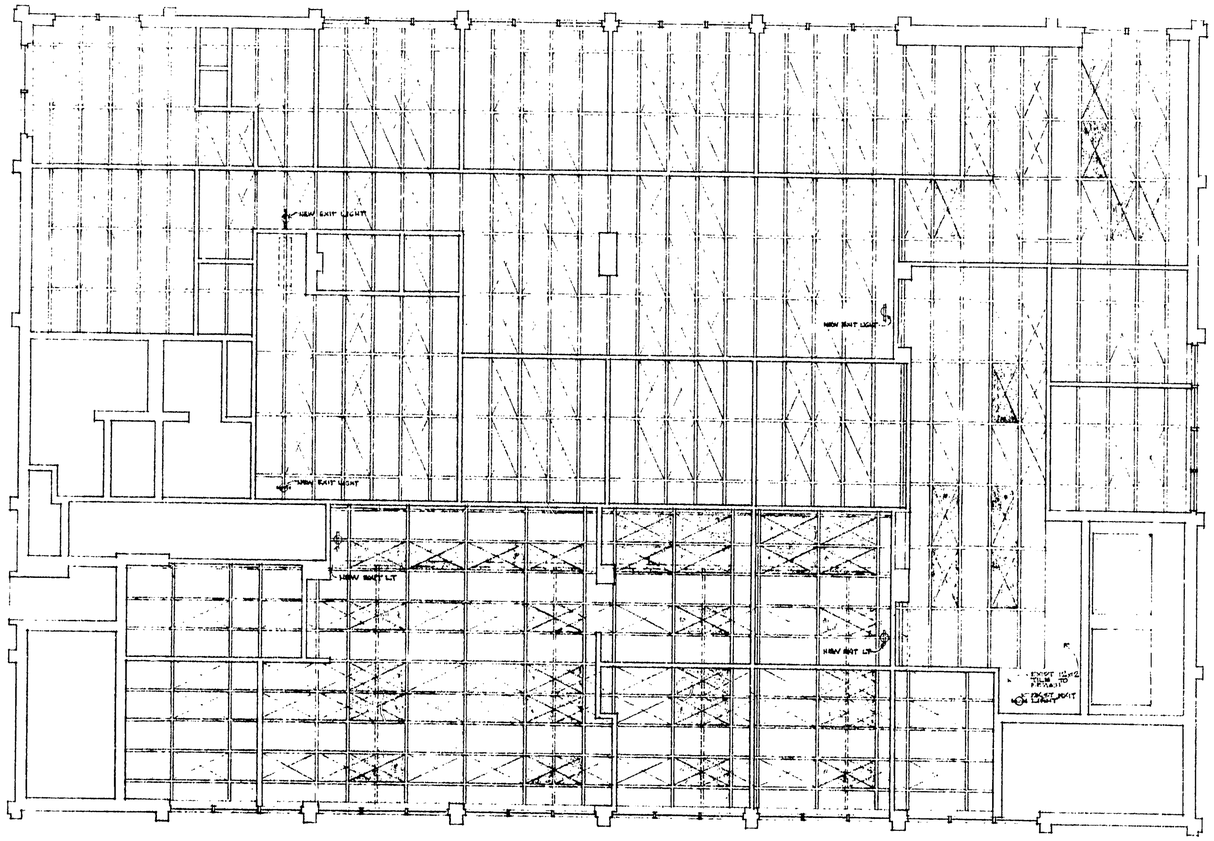
JEFFERSON BANK CORPORATION
801 1ST COURT
MIAMI BEACH, FL. 33139

DATE 1/8/90 | DRAWN BY V.C.
REVISED

ARCHITECTONICS, INC.
1021 SW 99 STREET
MIAMI, FL. 33176
274-2768

NORTH | 4TH FLOOR ALTERATIONS
ARCHITECTURAL PLAN

91802



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

LEGEND

EXISTING CEILING CONTROL W/LIGHT TO REMAIN

EXISTING CEILING CONTROL W/LIGHT TO BE RELOCATED

RELOCATED CEILING CONTROL W/LIGHT

EXISTING LIGHTING FIXTURE TO BE REMOVED

NOTES:

1. ADDITIONAL LIGHT CONTROL FIXTURES SHALL BE OBTAINED FROM AREAS DESIGNATED ON 6TH FLOOR.
2. TIE RELOCATED LIGHTING FIXTURE TO EXISTING LIGHTING POWER AND CONTROL.
3. COMPLY WITH ALL ELECTRICAL CODES AND ORDINANCES APPLICABLE AT JOB SITE.

JEFFERSON BANK CORPORATION
801 41ST STREET
MIAMI BEACH, FL. 33140

SCALE 1/4" = 1'-0" | APPROVED | DRAWN: D.L.
DATE | REVISED

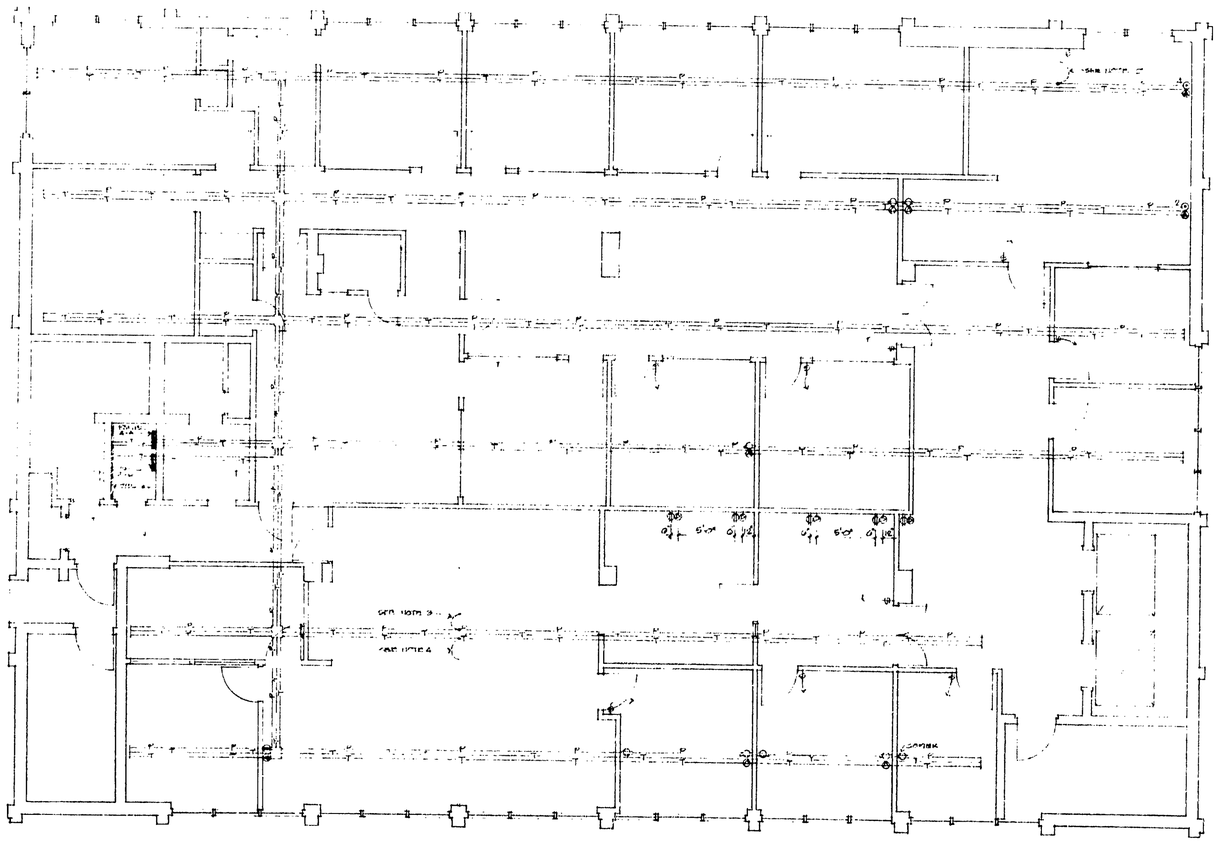
ARCHITECTONICS, INC.
0121 SW 80 STREET
MIAMI, FL. 33173 | 274-5768

NORTH

6TH FLOOR ALTERATIONS
REFLECTED CEILING PLAN

DRAWING NUMBER A-3

91802



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

JEFFERSON BANK CORPORATION
801 41ST STREET
MIAMI BEACH, FL. 33140

SCALE: 1/4"=1'-0" | DRAWN: E.L.
DATE | REVISED

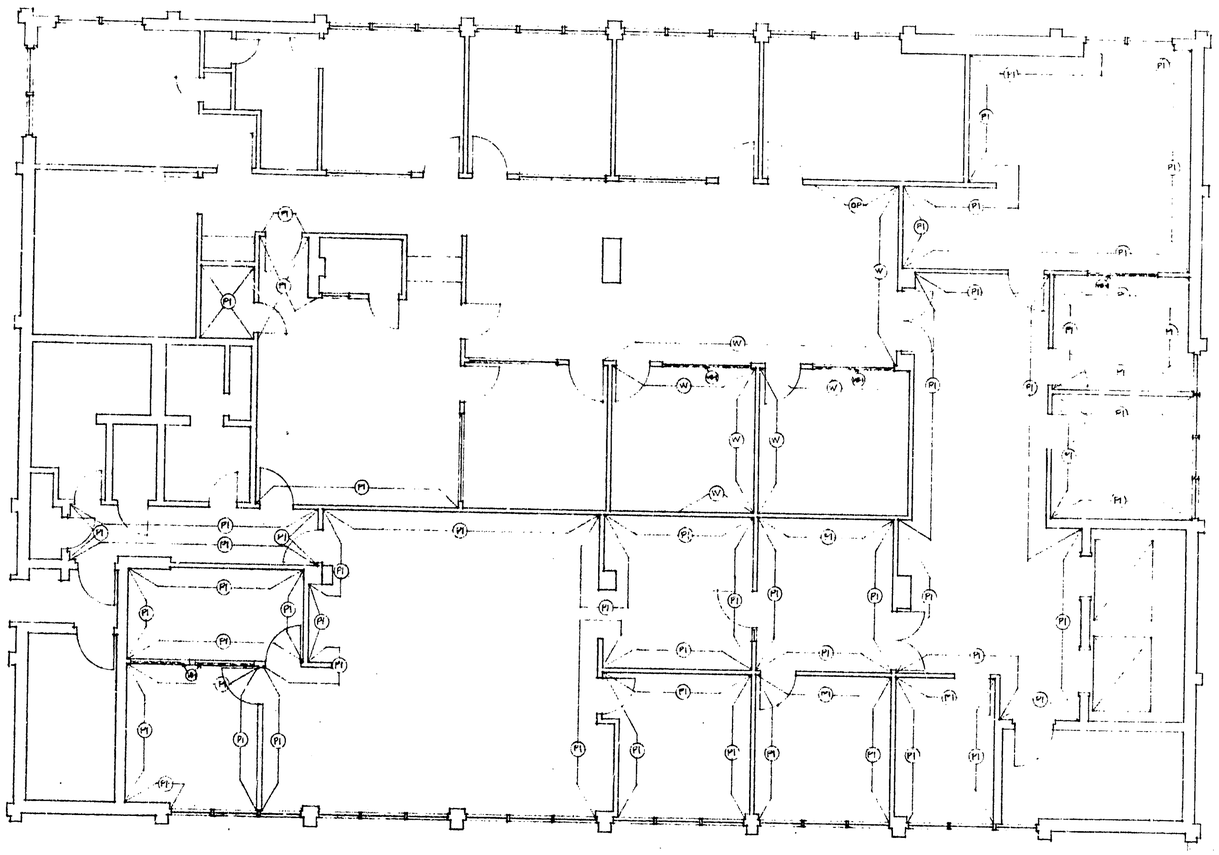
ARCHITECTURES, INC.
1010 SW 1ST STREET
MIAMI, FL. 33130
274-2760

NORTH

4TH FLOOR ALTERATIONS
FLOOR PLAN

DRAWING NUMBER: A-1.1

91802



FINISH SCHEDULE

(P1) TOP COAT VINYL LATEX ETIMPLEC MATCHED TO MATCH P-1.

NOTES HOLLOW METAL FRAMES & DOOR WITHIN H.V. FRAME SHALL BE PAINTED TO MATCH WALLS EXCEPT SHALL BE DEAR GLASS FINISH.

EXCEPT BLOCKING & BASE BY OWNER.

(W) VERTICAL BLINDS "LOUVOLEAVE" COLOR & SIZE WITH AS DISTRIBUTED BY SANFORT WINDSOR INC.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

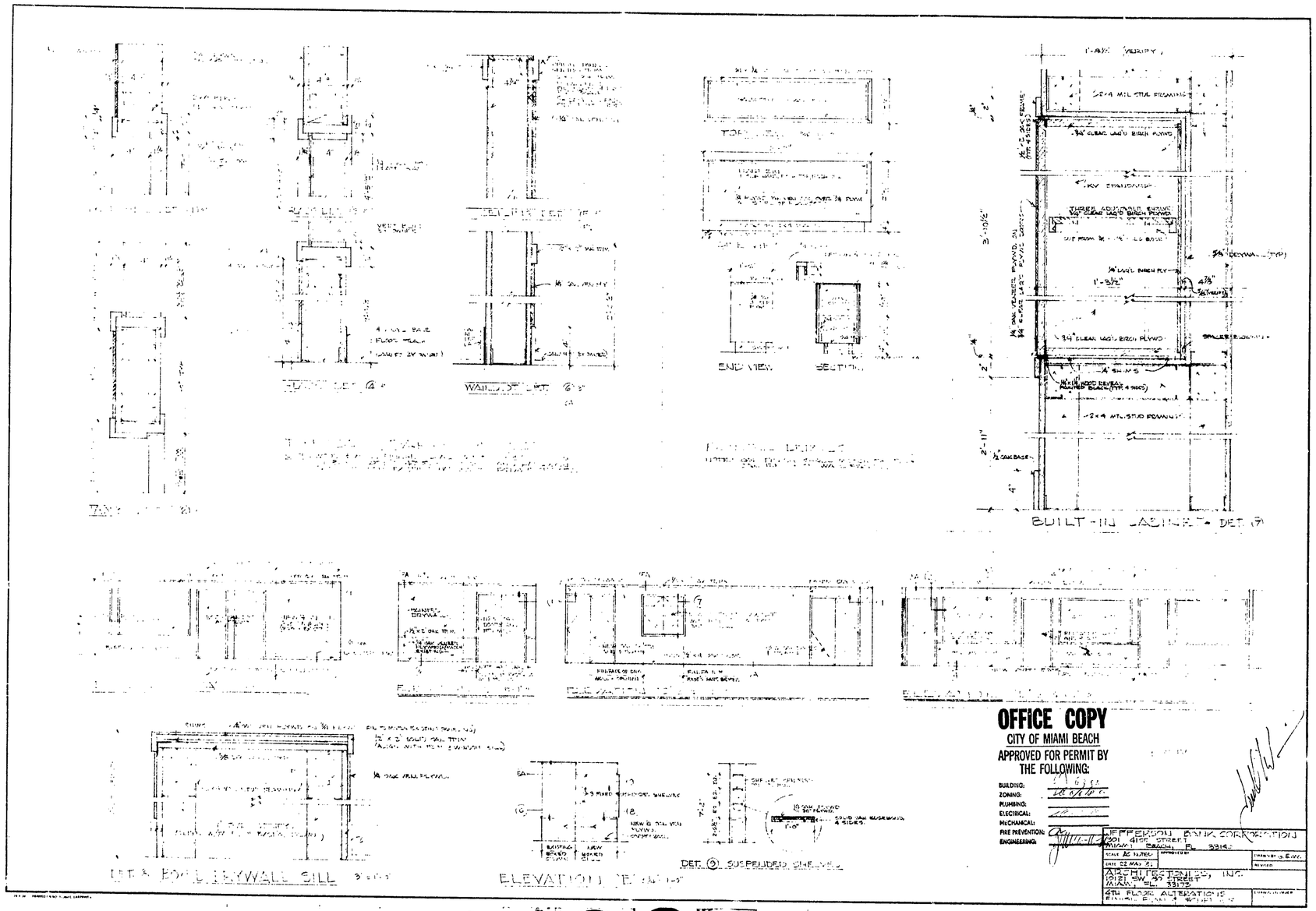
JEFFERSON BANK CORPORATION
301 41ST STREET
MIAMI BEACH, FL 33140

SCALE: 1/4"=1'-0" | APPROVED BY: | DRAWN BY: D.T.
DATE: | REVISED:

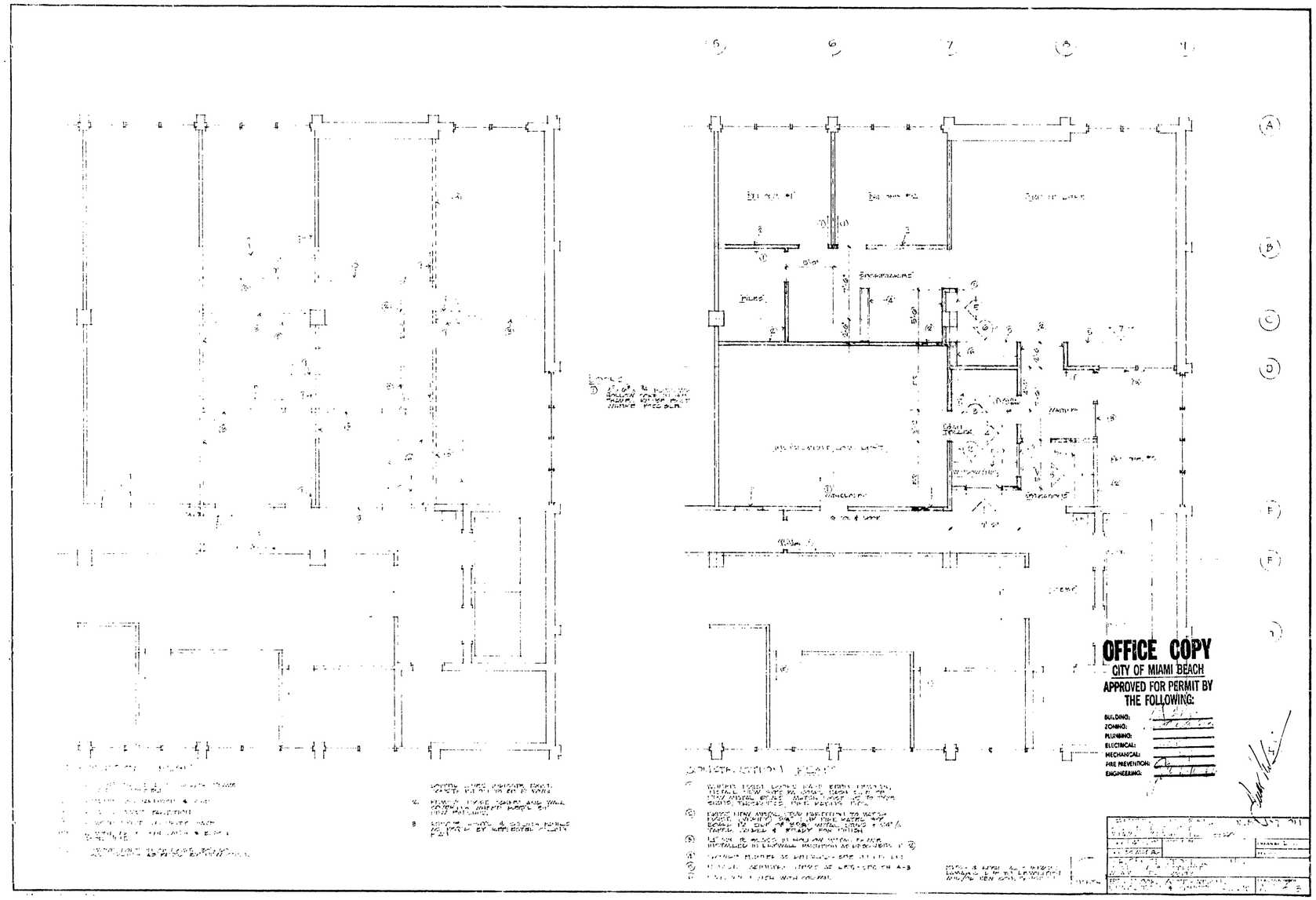
FINISH SCHEDULE, TITLE
4TH FLOOR ALTERATIONS
MIAMI, FL 33140

NORTH | 4TH FLOOR ALTERATIONS
FINISH PLAN & SCHEDULE | DRAWING NUMBER A-E4

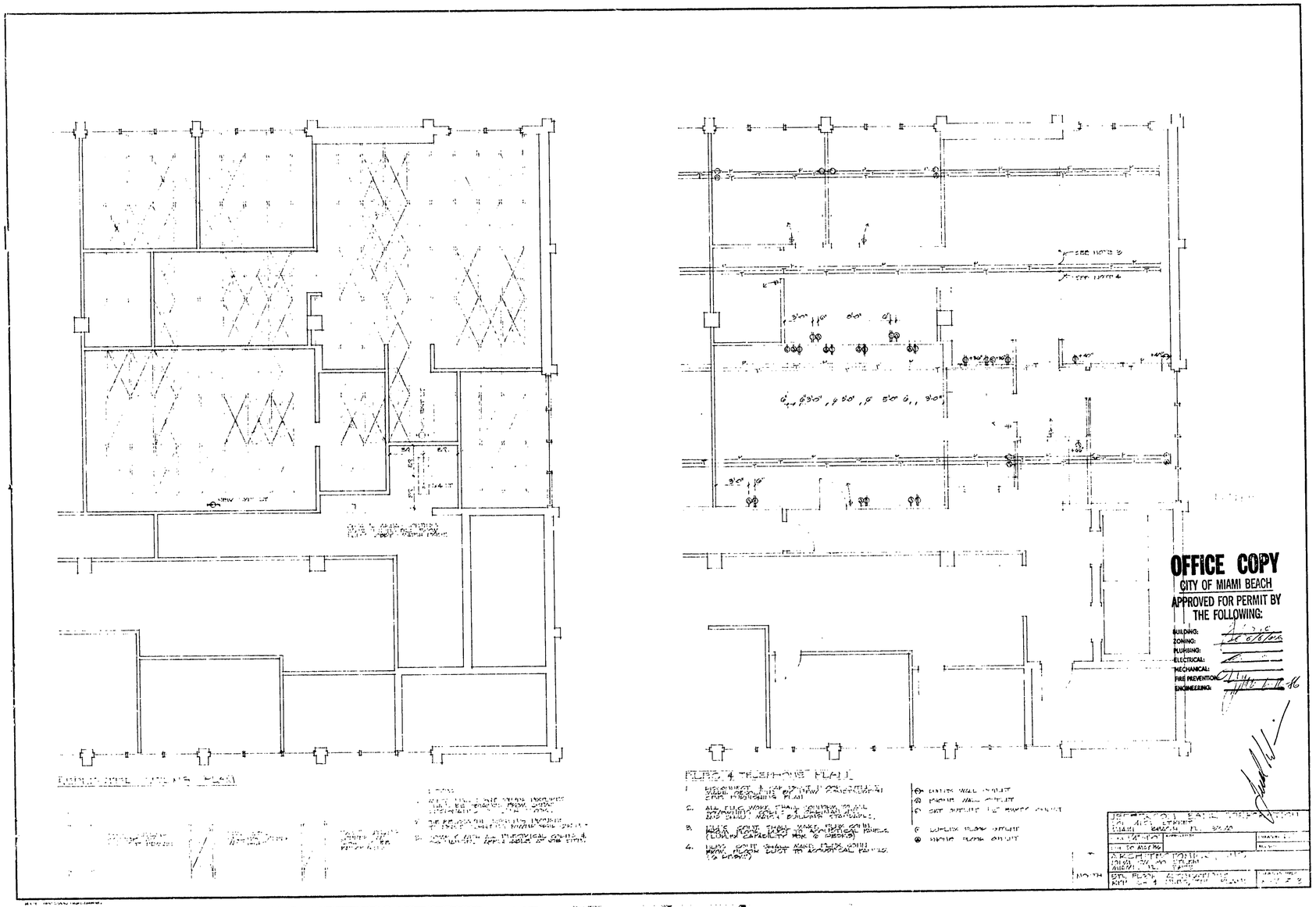
91802


TOP VIEW
END VIEW
SECTION
BUILT-IN CABINET - DET. (9)
DET. (9) SUSPENDED CHALKBOARD
ELEVATION
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
JEFFERSON BANK CORPORATION
1001 41ST STREET
MIAMI BEACH, FL. 33140
ARCHITECTONICS, INC.
1212 SW 57 STREET
MIAMI, FL. 33155
4TH FLOOR ALTERATIONS

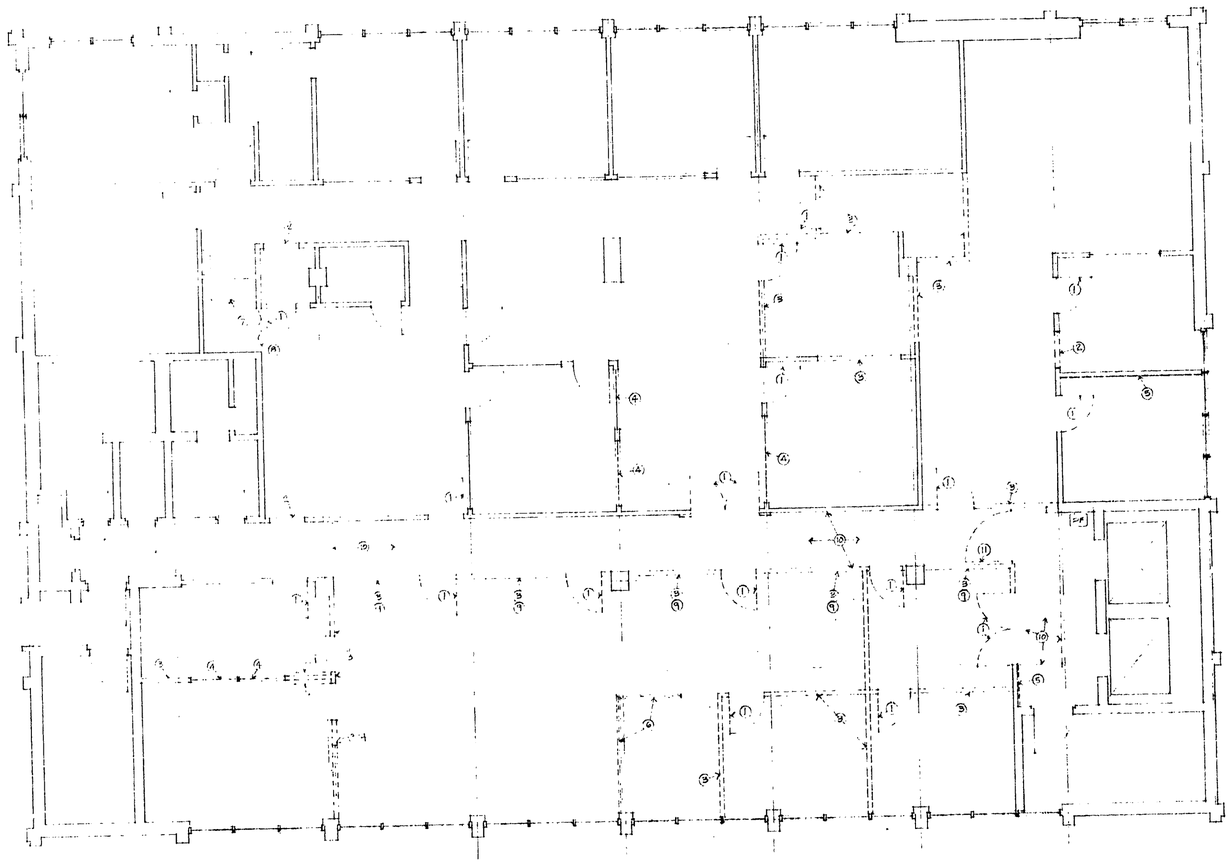
91802


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

911802


OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

91802



DEMOLITION NOTES

(1) RESTORE EXIST. FLOOR AND CEILING TO MATCH EXISTING IN REMAINDER OF BUILDING.

(2) REMOVE EXIST. FIXTURE.

(3) REMOVE EXIST. DOOR & FRAME.

(4) REMOVE EXIST. WOOD MOULDING & AT WINDOWS.

(5) REMOVE EXIST. TILES ABOVE PARTITION. TILES TO BE REUSED.

(6) REMOVE EXIST. SINK & CABINET. EXIST. PIPES IN TAKE.

(7) REMOVE EXIST. POWDER COAT.

(8) REMOVE PARTITION ABOVE CEILING.

(9) REMOVE EXIST. WINDOW AND FRAME AS DEMONSTRATED ON CEILING PLAN.

(10) REMOVE EXIST. FRONT DOOR.

NOTES:

a. EXISTING LIGHT FIXTURES SHALL BE REMOVED AND REINSTALLED.

b. REMOVE EXISTING CEILING AS DEMONSTRATED ON CEILING PLAN.

c. REMOVE WIRE & CONDUITS BEHIND PARTITION AS DEMONSTRATED ON CEILING PLAN.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:

JEFFERSON BANK CORPORATION
501 1ST STREET
MIAMI BEACH, FL. 33140

ARCHITECTONICS, INC.
6121 SW 40 STREET
MIAMI, FL. 33155

4TH FLOOR ARRANGEMENT

NORTH

91802

PERMIT #

B0102 320

06

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Permit

New/Addition/Remodel

Activity Number: Status: APPROVED Entered By: BUILLECS

Date Applied 04/02/2001 Date Issued 05/30/2001 Amount Paid: 50.00
Date Completed: Date Expired 11/26/2001 Balance Due:

Site Address: 301 ARTHUR GODFREY RD 500-LH
Parcel #: 32220001370 Valuation: $140,000.00 Owner: FIRST REPUBLIC CORP OF AMERICA

Applicant GOODWIN CONTRACTORS INC
302 5TH AVE NEW YORK, NY
10001

Description: INT RENV CONST NON BEARING PARTITIONS & SUSPENDED

Permanents made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Permanents:

06

HSBC

301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

GENERAL CONDITIONS & SPECIFICATIONS

GENERAL NOTES

1. THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDULY AFFECT THE PROGRESS OF WORK.

2. THE GENERAL CONTRACTOR HEREBY RESPONSIBLE AND AGREES TO DEFEND AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY AND ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE, INCLUDING CLAIMS FOR WORKER'S COMPENSATION CAUSED BY PERSONAL INJURY OR PROPERTY DAMAGE SUSTAINED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS OR SUBCONTRACTORS ENGAGED BY HIM.

3. INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (B) AND PD COMBINED LIMIT $1,000,000.00 PER OCCURRENCE.

EXCESS LIABILITY (B) AND PD COMBINED LIMIT AMOUNT $500,000.00 WITH COMPANIES AND FORMS ACCEPTABLE.

WORKER'S COMPENSATION AND LIABILITY STATUTORY

BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER, AND IF REQUESTED, THE ORIGINAL POLICIES. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAYS ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANGE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.

4. THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION, DEPARTMENT FORMS, BLUEPRINTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED, PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS & FINAL SIGN OFFS.

5. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE SUBMISSION OF BIDS.

6. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.

7. ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE, OR FROM FACE OF CONNECTOR TO FINISH SURFACE.

8. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS, EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND MAINTENANCE TO TENANTS.

9. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE ON A NUMBER OF FLOORS (2) FIRE EXTINGUISHERS FOR PLACE OR TAKE IF REQUIRED BY THE LANDLORD, AND THEY SHALL BE KEPT IN GOOD CONDITION AND MAINTAINED AS THE PERMITS BY TENANTS CONTRACTOR FOR THE DURATION OF THE ALTERATION.

10. ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE BUILDING AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.

11. CONTRACTOR TO CONTROL CLEANING TO THE EXTENT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.

12. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING PRIOR TO COMMENCEMENT OF WORK.

13. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTALS SHALL BE IN THE FORM OF (A) REPRODUCIBLE SEPIA TRANSPARENCY, POSITIVE SIZE, AND (B) 3 BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT.

THE FOLLOWING SUBMITTALS ARE REQUIRED

1. CABINETRY
   A. FINISH SAMPLES (2 REQUIRED)
2. FINISHES
   A. PAINT SAMPLES (2 REQUIRED EACH COLORED)
   B. WALL COVERING (2 REQUIRED)
3. MECHANICAL
   A. SHOP DRAWINGS AC UNITS GRILLES, LOUVERS DIFFUSERS PLUMBING FIRE PROTECTION
   B. SUPPLEMENTAL EQUIPMENT CATALOG CUTS WITH DATA SPECIFIC TO THIS PROJECT PLAINLY IN AN APPROPRIATE MANNER.
4. ELECTRICAL
   A. FIXTURE CUTS
   B. ELECTRICAL CONTROLS AND DEVICES WITH DATA SPECIFIC TO THIS PROJECT PLAINLY IN AN APPROPRIATE MANNER.

14. APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS, GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE #3 ABOVE.

15. THE GENERAL CONTRACTOR SHALL MAKE GOOD AT HIS OWN EXPENSE ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REFURBISHMENT.

16. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN OR THOSE OF SEPARATE CONTRACT LET BY THE TENANT. PRIOR TO COMMENCING WORK THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.

17. UNLESS SPECIFICALLY NOTED OTHERWISE ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.

18. THE AIA GENERAL CONDITIONS, LATEST EDITION (DOCUMENT A201) SHALL BE EFFECTIVE ON THIS CONTRACT.

19. THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON REGULAR HOURS UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE OWNER, ENGINEER OR ARCHITECT. OVERTIME & SHIFTWORK AS REQUIRED BY THE BUILDING LANDLORD.

20. NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.

21. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.

22. ALL REQUISITIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G702, LATEST EDITION, FOR PRIOR APPROVAL.

23. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.

24. THE CLIENT'S ARCHITECT (NSA) OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES, AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.

25. WHATEVER WORK IS DONE WHERE NO DISTINCT DETAILS OR INSTRUCTIONS ARE GIVEN THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.

26. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.

27. ALL MATERIALS SHALL WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (BSA) AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL BSA NUMBER ON DEMAND.

28. ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.

29. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING PRIOR TO COMMENCEMENT OF WORK.

30. G.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.

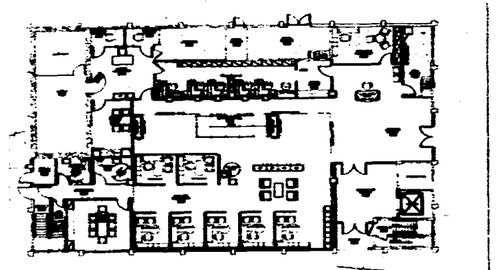
31. ALL WORK ON STRAIGHT TIME, EXCEPT FOR THAT WHICH IS REQUIRED BY THE BUILDING OWNER, LANDLORD TO BE PERFORMED AFTER HOURS. SPRINKLER SHUT DOWN, ELECTRICAL TIE INS AND DRILLING TO BE COORDINATED WITH OWNER.

DEMOLITION SPECIFICATIONS

1. THE GENERAL CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY TO ENSURE A COMPLETE AND CLEAN OPEN SPACE, FREE OF ANY FOREIGN MATTER.
2. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.
3. THE GENERAL CONTRACTOR TO MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF WORK.
4. THE GENERAL CONTRACTOR TO COMPLY WITH ALL TERMS AND CONDITIONS AS STATED BY BUILDING MANAGEMENT.
5. ALL EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS WHICH ARE TO MAINTAIN PROPOSED FIRE RATINGS AS AT CORE WALLS.
6. THE GENERAL CONTRACTOR LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS DAILY.
7. UPON COMPLETION OF WORK EACH DAY PREMISES SHALL BE BROOM SWEPT.
8. CONTRACTOR TO PROTECT EXISTING DOORS AND FRAMES TO REMAIN FROM DAMAGE DURING DEMOLITION.
9. CONTRACTOR TO PROVIDE REASONABLE DUST PROTECTION AT POINTS OF DEMOLITION AND ELEVATORS AND EXISTING TOILETS TO REMAIN AND SHALL COOPERATE WITH THE FACILITY IN MINIMIZING INTERRUPTION TO THEIR OPERATIONS.
10. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE LANDLORD. THE DELIVERY OF MATERIALS, EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID INCONVENIENCE AND MAINTENANCE TO TENANTS.
11. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT.
12. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT, THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO PROVIDING PUBLIC TOILETS, ELEVATORS, DOORS, DUCTS TO REMAIN, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT (BEING REUSED), CONVECTOR ENCLOSURES, ETC.
13. THE GENERAL CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
14. THE GENERAL CONTRACTOR SHALL PROVIDE A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE DURING DEMOLITION IF REQUIRED.
15. UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION WORK AND REMOVAL WORK REQUIRED.
17. FOR THE CONVENIENCE OF THE CONTRACTOR, THE MAJOR ITEMS OF WORK ARE LISTED. ITEMS NOT LISTED BUT REFERRED BY THE SCOPE OF WORK ARE NOT HOWEVER ELIMINATED BY REASON OF SUCH OMISSION AND SHALL BE PERFORMED BY THIS CONTRACTOR.
18. ALL WORK TO BE PERFORMED ON OVERTIME.
19. ALL AUTOMATIC FIRE ALARM EQUIPMENT TO BE SECURED, SHIELD AND PROTECTED PRIOR TO DEMOLITION. ALL DAMAGED EQUIPMENT TO BE REPLACED AND OR REPAIRED BY GENERAL CONTRACTOR.
20. ALL PLUMBING REMOVALS TO BE PERFORMED BY A LICENSED PLUMBER.

LOCATION PLAN

BLOCK
LOT
MAP
ZONE



LIST OF DRAWINGS

ARCHITECTURAL

TS-1	TITLE SHEET
AS-1	ARCHITECTURAL SPECIFICATIONS
S-1	SITE PLAN
D-1	DEMOLITION PLAN
D-RC	DEMOLITION - REFLECTED CEILING
CD-1	CONSTRUCTION PLAN
ET-1	ELECTRIC & TELEPHONE PLAN
RC-1	REFLECTED CEILING PLAN
DF-1	DECORATIVE FINISH PLAN
F-1	VENDOR RESPONSIBILITY PLAN
DT-1	ELEVATIONS & DETAILS
DT-2	ELEVATIONS & DETAILS
DT-3	ELEVATIONS & DETAILS
DT-4	ELEVATIONS & DETAILS
EL-1	ELEVATIONS
EL-2	ELEVATIONS

MECHANICAL

M-1	MECHANICAL PLAN
M-2	MECHANICAL SPECIFICATIONS
M-3	MECHANICAL PLAN
M-4	DETAIL PLAN

ELECTRICAL

E-1	ELECTRICAL SPECIFICATIONS
E-2	ELECTRICAL SPECIFICATIONS
E-3	LIGHTING PLAN
E-4	POWER PLAN

PLUMBING

SP-1	SPRINKLER SPEC
SP-2	SPRINKLER PLAN
P-1	PLUMBING

CONTACT LIST

CONTACT	ITEM
[illegible]	[illegible]
[illegible]	Bank Furniture
[illegible]	Yellow Lines & Chevron Cones
[illegible]	Security Equipment
[illegible]	[illegible]
[illegible]	Computers
[illegible]	Furniture Installation
[illegible]	Equipment Floor Plan
[illegible]	Cabinet Work
[illegible]	Cabinet Tops
[illegible]	Janitorial Cleaning

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED PERMIT BY
BUILDING
ZONING
DRAWINGS
CONTROL
PLUMBING
ELECTRICAL
MECHANICAL
FIRE
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL DIMENSIONS AND DIMENSIONS OF EXISTING WORK, CONDITIONS, SURVEY AND AVAILABLE UTILITIES PRIOR TO SUBMITTING BIDS.

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECT'S DRAWINGS & SPECIFICATIONS AND ALL OTHER TRADES TO VERIFY THE SCOPE OF WORK, COORDINATE WORK, AND PERFORM, AND FOR THE COORDINATION OF ALL TRADES.

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REVISIONS
No. Description

ISSUES
No. Date Issue

PROJECT: HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE: TITLE SHEET

SCALE: N.A.
DRWG: TS-1
DATE: 1 - 3/5/01
JOB NO.: 566-0031

NORTH

TS-1

06

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION NOTES

1. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AREAS WITHOUT FIREPROOFING. ALL EXPOSED STRUCTURAL STEEL AND CHIPPED-OFF FIREPROOFING SHALL BE PATCHED OR TOUCHED-UP WITH CAFCO TYPE "D", OR APPROVED EQUAL AS DIRECTED BY THE ARCHITECT

2. ALL WOOD SHALL BE FIRE RETARDANT TREATED PER LOCAL BUILDING CODE

3. GENERAL CONTRACTOR TO COORDINATE AND INSTALL ALL WOOD GROUNDS AND STEEL SUPPORTS IN CEILING AND PARTITIONS WHERE NECESSARY FOR THE COMPLETION OF LATER INSTALLATION WORK.

4. GENERAL CONTRACTOR SHALL CAP ALL EXISTING PIPING NOT BEING USED TO 1" BEHIND FINISH SURFACES.

5. ANY NEW WATER SUPPLY PIPES SHALL BE CONCEALED IN CEILINGS OR WALLS EXCEPT AT TERMINATION. PROVIDE SHUT-OFF VALVES AT ALL TERMINATION POINTS.

6. ALL DOORS IN DRYWALL OR MASONRY PARTITION SHALL BE SET 4" FROM HINGED EDGE OF DOOR TO IMMEDIATE ADJACENT WALL UNLESS OTHERWISE NOTED.

7. ALL FREE STANDING COLUMNS ARE TO BE MADE TRUE WITH GYPSUM BOARD IF NECESSARY.

8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR: TAPING AND SPACKLING OF GYPSUM BOARD AS WELL AS PATCHING AND REPAIRING ALL EXISTING WALLS, CEILINGS, AND COLUMNS TO REMAIN TO THE SATISFACTION OF THE ARCHITECT AND APPROPRIATE FINISH CONTRACTORS.

9. ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS SHALL HAVE METAL CORNER BEADS, TAPED AND SPACKLED.

10. ALL GYPSUM WALLBOARD PARTITION JOINTS SHALL BE LOCATED SO THAT PANEL EDGES FALL ON ALTERNATE STUDS.

11. ALL SHEETROCK WALLS SHALL BE PROPERLY TAPED, SPACKLED, AND SANDED SMOOTH TO RECEIVE PAINT OR WALL-COVERING. A MINIMUM OF 3 COATS OF SPACKLE ARE REQUIRED.

12. THE ARCHITECT SHALL REVIEW FIELD LAYOUT OF PARTITIONS PRIOR TO ERECTION OF STUDS.

13. WHERE NEW WALLS ARE TO ALIGN WITH COLUMNS OR WALLS AT AN EXISTING OUTSIDE CORNER:

REMOVE EXISTING CORNER BEAD, TAPE AND SPACKLE JOINT (THREE COATS MINIMUM)

B. AT COLUMN, THE OUTSIDE SHEET OF GYPSUM BOARD WILL PASS OVER THE COLUMN FACE AND BE FINISHED OFF WITH A CORNER BEAD AT THE FAR CORNER.

C. PLASTER TO PLASTER: REMOVE EXISTING CORNER BEAD. REINFORCE JOINT WITH WIRE MESH OVERLAPPING NEW AND OLD WALL A MINIMUM OF 6" EACH SIDE OF JOINT AND PLASTER TO FORM A SMOOTH AND PLUMB CONTINUOUS SURFACE.

14. WHERE NEW UNRATED PARTITIONS MEET WINDOW MULLIONS A SOUNDPROOF FILLER PANEL OF 2 INCHES, 3 LBS. DENSITY SEMI-RIGID FIBERGLASS BOARD SHALL BE USED INSIDE THE CONVECTOR ENCLOSURE AND BETWEEN CEILING FACIA AND WINDOW MULLION TO PREVENT SOUND TRANSMISSION BETWEEN ROOMS.

15. WHERE NEW RATED PARTITIONS MEET WINDOW MULLIONS, INSTALL A RATED FIRE STOP WITHIN THE ENCLOSURE, EQUAL TO THE RATING OF THE WALL.

16. CENTERLINES OF PARTITIONS ABUTTING WINDOW MULLIONS SHALL BE CENTERED ON THE MULLIONS UNLESS OTHERWISE NOTED.

17. METAL STUDS SHALL BE ROLL FORMED CHANNEL TYPE SECTIONS FABRICATED OF U.S.S. NO. 25 GAUGE, GALVANIZED SHEET STEEL, 2 1/2 INCHES WIDE (OR AS NOTED ON DRAWINGS) IN THE LONGEST ONE PIECE LENGTHS AVAILABLE, UNLESS OTHERWISE NOTED.

TYPICAL LIMITING HEIGHTS:

~~9'-0" + UNDER - 2 1/2" @ 24" O.C. - 25 GA.~~
9'-0" - 12'-0" - 2 1/2" @ 24" O.C. - 22 GA.
12'-0" - 13'-0" - 2 1/2" @ 16" O.C. - 22 GA.
13'-0" - 15'-0" - 2 1/2" @ 24" O.C. - 20 GA.
15'-0" - 20'-0" - 4" @ 24" O.C. - 20 GA.

18. GYPSUM WALLBOARD SHALL BE 48 INCHES WIDE AND OF THICKNESS INDICATED ON THE CONTRACT DRAWINGS AND SHALL BE OF UNIFORM QUALITY CONFORMING TO FEDERAL SPECIFICATION SS-L 30 AND TO ASTM C36.

19. WALLBOARD SHALL BE FURNISHED AND INSTALLED IN THE LONGEST AVAILABLE LENGTHS SO THAT WALLBOARD PANELS EXTEND VERTICALLY IN ONE PIECE FROM FLOOR TO CEILING IS NOT MORE THAN TWO PIECES FROM FLOOR TO SLAB, BEAM, OR DECK ABOVE AS ~~REQUIRED WITH ANY HORIZONTAL~~ JOINTS ABOVE THE FINISHED CEILING.

20. WALLBOARD USED IN FIRE RATED PARTITIONS SHALL BE FIRE RETARDANT, TYPE "X", AND DELIVERED TO THE CONSTRUCTION SITE BEARING UNDERWRITERS LABORATORY CERTIFICATE AND LOCAL BOARD OF STANDARDS AND APPEALS CALENDAR NUMBERS IF APPLICABLE.

21. CEILING AND FLOOR RUNNERS SHALL BE ROLL FORMED CHANNEL TYPE SECTIONS FABRICATED OF USS NO. 25 GAUGE, GALVANIZED STEEL. RUNNERS SHALL BE IN 10' - 0" LENGTHS.

22. TRIM MEMBERS SHALL BE FABRICATED OF U.S.S. NO. 25 GAUGE, GALVANIZED STEEL AND SHALL INCLUDE CORNER REINFORCEMENT AND CASING TYPE EDGE TRIM.

23. CORNER REINFORCEMENT SHALL BE COMPLETE WITH PERFORATED TAPE WINGS AND SHALL BE TYPE NO. 1 "PERF-A-BEAD" AS MANUFACTURED BY U.S. GYPSUM CO., OR AN APPROVED EQUAL. CORNER AND EDGE TRIM MEMBERS SHALL BE IN SINGLE LENGTHS. WALLBOARD EDGE TRIM TO BE USG J-BEAD OR EQUAL.

24. SCREWS FOR FASTENING WALLBOARD TO STUDS SHALL BE SINGLE TYPE PHILLIPS HEAD SCREWS SPECIFICALLY MANUFACTURED FOR POWER TOOL INSTALLATION.

25. JOINT TREATMENT MATERIALS SHALL BE EXPRESSLY MANUFACTURED BY THE WALLBOARD MANUFACTURER FOR USE WITH THE MANUFACTURER'S WALLBOARD MATERIALS. JOINT COMPOUND SHALL BE THE READY MIXED TYPE CONFORMING TO ASTM C474. TAPING AND SPACKLING SHALL BE A THREE (3) COAT APPLICATION.

26. AT PATCHING AT PARTITIONS WHERE EXISTING SURFACES DO NOT ALIGN IN THE SAME PLANE, THE GENERAL CONTRACTOR SHALL PATCH OUT ENTIRE SURFACE REQUIRED FOR AN EVEN FLUSH SURFACE ON THE ENTIRE WALL.

27. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF CHOPPING AND PATCHING FOR ALL TRADES. WHERE DRYWALLS ARE IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC. THIS CONTRACTOR SHALL PROVIDE ALL NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND TO MAINTAIN FIRE OR SOUND RATING WHERE REQUIRED.

28. THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL OPENINGS FOR DUCT WORK, RETURN AIR OPENINGS, ACCESS PANELS AND GRILLE OPENINGS ABOVE AND BELOW HUNG CEILINGS. THESE ARE TO BE COORDINATED WITH H.V.A.C. ENGINEERING DRAWINGS AND THE GENERAL CONTRACTORS MECHANICAL CONTRACTOR'S SHOP DRAWINGS. ALL SPACES OR GAPS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION.

29. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL OUTLETS, SWITCHES AND OTHER ELECTRICAL AND/OR MECHANICAL DEVICES.

30. WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITIONS, EXTEND RATED PARTITION AROUND DUCT TO EFFECT A COMPLETE MAINTENANCE OF FIRE RATING BY PROVIDING AN APPROPRIATELY RATED SOFFIT ABOVE THE CEILING LINE TO OFFSET THE PARTITION TO ONE SIDE OF THE DUCT. FINAL METHOD AND LOCATION TO BE APPROVED BY MSA.

31. THE CONTRACTOR SHALL PROVIDE CENTRALLY LOCATED BENCH MARKS FOR USE BY ALL TRADES. SHOULD ANY FLOOR VARY BY MORE THAN 1/2", MSA SHALL BE NOTIFIED PRIOR TO ANY CEILING LINE BEING ESTABLISHED.

32. WHERE CEILING PATCHES OCCUR ENTIRE CEILING SHALL BE PAINTED IN OFFICES AND ENCLOSED AREAS ONLY. AREAS WHERE TILE PATCHING OCCURS ARE TO BE PAINTED W/CH. AS INDICATED ON PLAN.

33. EXCEPT AS CALLED FOR ON THE DRAWINGS, SHOULD JOB CONDITIONS REQUIRE RELOCATION OF EXISTING TELEPHONE OR ELECTRICAL OUTLETS FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE MSA FIELD REPRESENTATIVE FOR APPROVAL OF ALTERNATE LOCATION PRIOR TO THE START OF ANY WORK.

34. THE CONTRACTOR SHALL NOT DRILL HOLES INTO EXISTING SLABS OR STRUCTURAL MEMBERS FOR THE PURPOSE OF SUPPORTING ANY LOADS, UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE ARCHITECT.

35. THE CONTRACTOR SHALL PROTECT THE PUBLIC OR TENANT SPACE BELOW FROM ANY DAMAGE RESULTING FROM FLOOR DRILLING OPERATION.

36. THE CONTRACTOR SHALL REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGE IN THE PERFORMANCE OF THIS CONTRACT AT NO COST TO THE CLIENT.

37. THE SPACE AROUND PIPES, DUCTS ETC. PENETRATING RATED WALLS SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH MINERAL WOOL OR APPROVED EQUAL AND BE CLOSED OFF BY LOSE FITTING METAL ESCUTCHEONS ON BOTH SIDES OF THE PARTITION AS REQUIRED BY LOCAL BUILDING CODE.

38. FIRESTOPPING SHALL BE AS REQUIRED BY LOCAL BUILDING CODE.

39. THE GENERAL CONTRACTOR SHALL LEVEL AND PATCH ALL FLOOR SLABS AS REQUIRED, TO THE SATISFACTION OF MSA AND FLOOR CONTRACTORS (I.E. TILE AND CARPET).

40. ALL HM FRAMES TO BE WELDED ONE PIECE 16 GAUGE HOLLOW METAL FRAMES WITH SHOP PRIME FINISH AS PER BUILDING WORK LETTER. FRAMES TO BE FULL HEIGHT OF THE CLEAR OPENING DIMENSION REQUIRED ON THE DOOR SCHEDULE.

41. HM DOORS TO BE FLUSH, 18 GAUGE, FULL HEIGHT.

42. FRAMES SHALL BE INSTALLED PLUMB, STRAIGHT, AND TRUE WITH HORIZONTAL LINES LEVEL AND ALL VERTICAL LINES PLUMB. FRAMES SHALL BE SECURED RIGIDLY IN PLACE AND SHALL BE ANCHORED TO THE FLOORS, JAMBS AND HEADS IN AN APPROVED MANNER. ALL FRAMES SHALL BE BRACED UNTIL ADJACENT CONSTRUCTION HAS BEEN COMPLETED AND HAS ATTAINED SUFFICIENT STRENGTH TO MAINTAIN THE FRAMES IN POSITION.

43. FLUSH HOLLOW METAL DOORS SHALL BE MORTISED, REINFORCED, DRILLED AND TAPPED IN THE SHOP AS REQUIRED TO INSTALL THE FINISHED HARDWARE.

44. DOORS WHICH REQUIRE FIRE RESISTIVE RATING SHALL BE LABELED WITH THE SPECIFIED LABEL AS PER THE DOOR SCHEDULE.

45. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL DOORS AND BUCKS TO PREVENT DENTING, SCRATCHING, OR MARRING OF THE FINISHED SURFACES DURING CONSTRUCTION PERIOD. SHOULD SUCH DAMAGE OCCUR, THE GENERAL CONTRACTOR SHALL BE REQUIRED TO REPLACE AT HIS SOLE COST AND EXPENSE ANY AND ALL DAMAGED DOORS AND BUCKS.

46. WALLBOARD USED IN SHOWERS AND BEHIND ALL SINK LOCATIONS SHALL BE "WONDERBOARD" OR EQUAL.

47. ALL WOOD DOORS SHOWN ON THE DOOR SCHEDULE SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR, OR AS SPECIFIED. HARDWARE FOR WOOD DOORS INSTALLED BY GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED.

REFLECTED CEILING SPECIFICATIONS

1. SUBCONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR ALL WORK AFFECTING CEILING (INCLUDING, BUT NOT LIMITED TO: DEMOLITION, MECHANICAL, ELECTRICAL, AND PLUMBING WORK).

2. ALL HVAC RETURN AIR GRILLES SHALL BE LOCATED IN THE CEILINGS. LOCATION SUBJECT TO MSA APPROVAL.

3. HVAC DIFFUSERS AND GRILLS ARE TO BE LOCATED TO CONFORM TO LIGHTING PLANS. KEEP SUCH EQUIPMENT CENTERED ON LIGHT PATTERN. ARCHITECT TO REVIEW HVAC SHOP DRAWINGS FOR DIFFUSER LOCATIONS. COLOR OF ALL METAL FINISHES TO MATCH CEILING COLOR.

4. CONTRACTOR SHALL PROVIDE ALL NECESSARY CUTTING, FRAME, OR BRIDGING FOR LIGHTING FIXTURES, AIR DIFFUSERS, RETURN GRILLES, ETC.

5. BLACK IRON CARRYING CHANNELS SHALL BE SECURELY SUPPORTED BY APPROVED HANGERS FASTENED TO THE OVERHEAD STRUCTURAL MEMBERS. CHANNELS SHALL BE SPACED AS REQUIRED TO ADEQUATELY SUPPORT LIGHT FIXTURE AND THE CEILING ASSEMBLY AS PER LOCAL BUILDING CODE.

6. NEW CEILING TILES AS DETAILED ON DRAWINGS SHALL BE INSTALLED IN A TRUE AND EVEN PLANE BUTT JOINTS TIGHTLY TOGETHER. INSTALL METAL EDGE MOLDINGS (CONTRACTOR) AS REQUIRED. COLOR FINISH TO MATCH TILE FINISH. SUBMIT TWO (2) SAMPLES EACH OF TILES AND EDGE MOLDING FOR ARCHITECT'S APPROVAL.

7. CEILING IN CLOSETS SHALL BE OF THE SAME HEIGHTS AND CONSTRUCTION AS THAT OF ADJOINING SPACE, EXCEPT AS OTHERWISE NOTED.

8. NEW CEILING HEIGHT SHALL BE AS NOTED ON REFLECTED CEILING PLAN.

9. CEILING GRIDS SHOULD BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE ON DRAWINGS.

10. DO NOT INSTALL FINISHED CEILING UNTIL ELECTRICAL WORK AND HVAC HAS BEEN COMPLETED.

11. PRIOR TO CLOSING UP ANY CEILING, ALL PLENUM SYSTEM (HVAC PLUMBING AND ELECTRIC) SHALL BE INSPECTED AND WHERE REQUIRED TESTED BY THE CONTRACTOR'S ENGINEERS, AND BY THE AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.

12. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH WORK OF ALL OTHER TRADES.

13. THE GENERAL CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AND ALL CEILING TILES WHICH ARE REMOVED TO FACILITATE TELEPHONE INSTALLATION.

14. THE GENERAL CONTRACTOR WILL NOT BE ENTITLED TO EXTRAS FOR OPENING AND CLOSING ANY CEILINGS BECAUSE OF TELEPHONE COMPANY AND/OR SECURITY SYSTEMS INSTALLATION.

15. ALL FLOORS SHALL BE EQUIPPED WITH LOCAL BUILDING CODE APPROVED LIGHTED EXIT SIGNS.

16. ALL SWITCHES SHALL BE MOUNTED AT BUILDING STANDARD HEIGHT AND PROVIDED WITH COVER PLATES TO BE INSTALLED AFTER FINAL PAINTING AND WALL COVERING. SWITCHES SHALL BE MULTIPLE-GANGED WHERE MORE THAN ONE IS LOCATED.

17. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR SWITCHING TO COMPLY WITH BUILDING STANDARD.

18. THE GENERAL CONTRACTOR SHALL CHECK ALL CEILING HEIGHTS AND CEILING PLENUM CONDITIONS FOR CLEARANCE OF DUCTWORK, AND OTHER OBSTRUCTIONS TO ASSURE THE LOCATIONS OF THE FIXTURES AS SHOWN ON MSA'S DRAWINGS. ANY DISCREPANCIES WILL BE BROUGHT TO MSA'S ATTENTION IMMEDIATELY.

19. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND POWER FOR ALL TRADES, AS REQUIRED DURING NORMAL WORK DAY.

20. WHERE BEAMS, PIPES AND/OR DUCTS OR OTHER CONSTRUCTION DETAILS PREVENT THE USE OF STANDARD RECESSED FLUORESCENT FIXTURES TO MATCH ADJACENT FIXTURE(S) SHALL BE USED. FIXTURE CUTS TO BE SUBMITTED TO MSA FOR APPROVAL PRIOR TO INSTALLATION.

21. ALL RECESSED FIXTURES SHALL BE SET FLUSH INTO ACOUSTIC TILE CEILINGS.

22. WHERE ELECTRICAL WORK IS SPECIFIED IN CABINETS, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR AND ARE TO BE COORDINATED WITH ELECTRICAL CONTRACTOR.

23. FASCIAS OR ANY BREAK IN THE CEILING HEIGHTS CREATED BY THE INSTALLATION AND/OR ALTERATION OF HEATING, VENTILATION, AIR CONDITIONING OR MECHANICAL DUCTS PIPING OR OTHER EQUIPMENT SHALL BE ERECTED WITH GYPSUM WALLBOARD ON FURRING CHANNEL. SEE REFLECTED CEILING PLAN FOR DETAIL DESIGNATION.

24. THE ELECTRICAL CONTRACTOR SHALL SUBMIT CUTS OF ALL FIXTURES BEFORE PROCEEDING WITH

25. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND POWER FOR ALL TRADES, AS REQUIRED, DURING NORMAL WORK DAY.

26. ALL LIGHTING FIXTURES TO BE PURCHASED THROUGH GRAYBAR UNLESS OTHERWISE NOTED.

ELECTRIC, TELEPHONE & DATA SPECIFICATIONS

1. ALL ELECTRICAL AND TELEPHONE WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.

2. THE ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL WORK (INCLUDING, BUT NOT LIMITED TO HVAC, FURNITURE, FURNITURE SYSTEMS, PARTITIONS AND DOORS).

3. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK SHOWN ON THE ARCHITECTURAL DRAWINGS UNDER THIS CONTRACT. HE SHALL PROVIDE AND INSTALL ALL NECESSARY PARTS AND EQUIPMENT AS SPECIFIED, IMPLIED OR LEGALLY REQUIRED TO PRODUCE A PROPER AND GUARANTEED INSTALLATION.

4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON ENGINEERING AND MSA DRAWINGS AND SHALL BE RESPONSIBLE FOR POINTING OUT ANY CONFLICTS OR OMISSIONS.

5. ALL BACK TO BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED.

6. ALL ELECTRICAL, TELEPHONE RECEPTACLES SHALL BE LOCATED AS DIMENSIONED ON MSA ELECTRICAL/TELEPHONE PLAN.

7. SPECIAL ATTENTION SHOULD BE PAID TO ALL VISIBLE ELECTRICAL EQUIPMENT SUCH AS SWITCHES, DUPLEX OUTLETS, COVERPLATES, AND FLOOR MOUNTED OUTLETS, WHICH MUST BE INSTALLED BY COMPETENT MECHANICS IN A FIRST CLASS MANNER.

8. WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN GANG TYPE BOX UNDER ONE COMMON COVERPLATE.

9. PROVIDE TELEPHONE OUTLETS (WHERE SHOWN ON "ELECTRICAL/TELEPHONE PLAN") AND ALL NECESSARY CONDUIT RUNS TO TELEPHONE EQUIPMENT AS REQUIRED.

10. ALL OUTLETS ON COLUMNS WILL BE CENTERED ON FACE SHOWN AS PER TYPICAL DETAIL UNLESS OTHERWISE NOTED.

11. ALL ELECTRICAL AND TELEPHONE WIRING CONDUIT SHALL BE CONCEALED IN DRYWALL, MASONRY PARTITION, AND/OR CEILING.

12. ELECTRICAL CONTRACTOR SHALL LABEL AND IDENTIFY ALL CIRCUITS ON THE ELECTRICAL PANELS FOR TENANT'S FUTURE USE.

13. MAINTAIN CONTINUOUS SERVICES ON FEEDERS, CIRCUITS, AND OUTLETS AFFECTED BY THE CHANGES EXCEPT WHERE THE OWNER WILL PERMIT OUTAGE FOR A SPECIFIED TIME. WHEN A SHUTDOWN OF ANY OPERATION SYSTEM IS REQUIRED, CONTRACTOR SHALL DO SO ONLY AFTER NOTIFICATION OF, AND APPROVAL OF, THE OWNER. COORDINATE ACTIVITIES SO THAT THE SHUTDOWN OF FACILITIES IS KEPT TO A MINIMUM.

14. ELECTRICAL CONTRACTOR SHALL CONFIRM TELEPHONE INSTALLATION REQUIREMENTS AS REQUIRED BY LOCAL TELEPHONE COMPANY, AS WELL AS BY THE TENANT'S COMMUNICATION SYSTEM.

15. WHERE ELECTRICAL WORK IS SPECIFIED IN CABINETS, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR. CUTOUTS FOR SWITCHES, OUTLETS AND WIRING DEVICES FOR SAME, AS REQUIRED, ARE BY THE CABINET CONTRACTORS AND ARE TO BE COORDINATED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

16. NO FLOOR OR WALL OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS.

17. CERTAIN REMOVALS AND RELOCATIONS OF EXISTING ELECTRICAL WORK WILL BE NECESSARY FOR THE SATISFACTORY PERFORMANCE OF THE GENERAL WORK. ALL EXISTING CONDITIONS CANNOT BE COMPLETELY DETAILED ON THE DRAWINGS. SURVEY THE SIGHT AND INCLUDE ALL CHANGES IN MAKING UP THE WORK PROPOSAL.

18. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING FOR ALL TRADES AS REQUIRED.

19. ALL SLEEVE INSTALLATION SHALL BE PACKED TIGHTLY WITH FIRE-RETARDANT ROPE TO THE SLAB WHERE SLEEVES ENTER INTO A RATED SPACE OR THROUGH RATED CONSTRUCTION THE SPACE AROUND THE SLEEVE SHALL BE TIGHTLY PACKED WITH FIRE-RETARDANT ROPE AND FITTED TIGHTLY MENTAL ESCUTCHEON PLATES.

20. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING FOR ALL TRADES AS REQUIRED.

21. TELEPHONE & DATA TO BE FURNISHED AND INSTALLED BY OTHERS.

FINISH SPECIFICATIONS

PAINTING & WALL COVERING

1. THE CONTRACTOR SHALL REMOVE ALL WALLCOVERING IF EXISTING, AND PREPARE WALLS FOR PAINTING AND NEW WALLCOVERING UNLESS OTHERWISE NOTED.

2. ALL WALLS SHALL BE PROPERLY PREPARED WITH 4 COATS OF SPACKLING AND SANDED FOR PAINTING.

3. PAINT AND WC CONTRACTOR TO VERIFY ALL WALLS AS FULLY PREPARED TO RECEIVE APPROPRIATE WALL TREATMENT BEFORE THE COMMENCEMENT OF ALL WALL FINISHING WORK.

4. ALL PAINTS SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE. PAINTS SHALL BE OF THE TYPE SPECIFICALLY MANUFACTURED FOR APPLICATION TO THE SURFACE TO WHICH IT IS TO BE APPLIED.

5. PAINTS SHALL BE MANUFACTURED BY PRATT & LAMBERT, OR AN APPROVED EQUAL.

6. ALL PAINT SHALL BE APPLIED WITH GOOD, CLEAN BRUSHES OR APPROVED ROLLERS. (SHORT NAP FOR LOW TEXTURE. PAINT SHALL BE EVENLY SPREAD, AND WHEN BRUSHES ARE USED THEY SHALL BE THOROUGHLY BRUSHED OUT. THE WORK SHALL BE SO PERFORMED AS TO AVOID DAMAGE TO OTHER SURFACES. ANY DAMAGE TO ADJACENT SURFACES SHALL BE REPAIRED IN MANNER SATISFACTORY TO THE ARCHITECT. FINISH COATS SHALL BE SMOOTH AND FREE FROM RUNS, SAGS, HOLIDAYS, OR OTHER DEFECTS. FINISH SURFACES SHALL BE UNIFORM IN SHEEN, COLOR AND TEXTURE. EACH COAT OF PAINT SHALL BE OF SUFFICIENT THICKNESS TO COMPLETELY COVER THE PREVIOUS COAT OR SURFACE.

7. WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING INCLUDING PILASTERS, FASCIAS, JAMBS, BUCKS, REVEALS, RETURN LIGHT COVERS, AND ALL OTHER VERTICAL SURFACES.

8. ALL WINDOW POCKETS SHALL BE PAINTED TO MATCH ROOM COLOR.

9. PRIOR TO PAINTING, THE CONTRACTOR SHALL REMOVE OR PROTECT ALL FINISHED SURFACES, HARDWARE, SWITCH AND OUTLET PLATES, ETC., REPLACING AND UNCOVERING THE SAME WHEN PAINTING HAS BEEN COMPLETED.

10. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE PROPER PROTECTION AGAINST DAMAGE TO EXISTING FURNITURE, ADJACENT FINISHED WORK, AND FLOORING. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS WHERE CARPET IS INSTALLED AND CONSTRUCTION WORK IS INVOLVED OR NOT COMPLETED.

11. ALL PAINT SURFACES SHALL RECEIVE 1 PRIME COAT AND 2 FINISH COATS AS INDICATED ON PLAN.

12. ALL METAL SURFACES, EXCEPT PARTITIONS, SHALL HAVE 1 PRIME COAT AND 2 FINISH COATS OF SEMI-GLOSS ENAMEL OF COLOR INDICATED.

13. WHERE DOORS OR BUCKS ARE INDICATED TO BE PAINTED, IT SHALL BE WITH 2 COATS OF SEMI-GLOSS ENAMEL, BOTH SIDES, UNLESS OTHERWISE INDICATED.

14. THE PAINTING CONTRACTOR SHALL REPAIR AND RETOUCH ALL PAINTED SURFACES AS REQUIRED UPON COMPLETION OF THE FURNITURE, FURNITURE SYSTEMS, EQUIPMENT INSTALLATION AND FLOOR COVERING INSTALLATION.

15. THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL ADHESIVE AND PAINT FROM WHERE IT WAS SPILLED, SPLASHED OR SPLATTERED ON SURFACES INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, SLAB FITTINGS, ETC., AND SHALL LEAVE ALL SURFACES FREE OF DAUBS, SPOTS AND/OR SPLATTERS. ANY WORK WHICH CANNOT BE CLEANED SHALL BE REPLACED AT THIS CONTRACTOR'S EXPENSE.

16. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, FLOORING, ETC.) AND SHALL TOUCH UP ALL NECESSARY PAINTING AND/OR PATCHING WHICH IS APPROVED BY MSA.

17. WHERE WOOD SURFACES ARE TO BE PAINTED, WOOD IS TO BE PROPERLY SEALED, SANDED, AND PRIMED BEFORE FINISH COATS OF SEMI-GLOSS PAINT ARE APPLIED.

18. THE GENERAL CONTRACTOR SHALL FURNISH ALL WALLCOVERING AS NOTED ON DRAWINGS.

19. THE GENERAL CONTRACTOR SHALL FURNISH ALL WALLCOVERING IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. HE SHALL ASSUME TOTAL RESPONSIBILITY FOR A SATISFACTORY INSTALLATION. ALL SEAMS MUST BE CLOSELY AND NEATLY BUTTED AND ALIGNED TO THE WALLCOVERING PATTERN AND ALL AIR POCKETS AND BUBBLES ELIMINATED. THERE MUST BE A FIRM BOND ON OF THE WALLCOVERING TO THE UNDERLYING WALL SURFACE. EXCEPT WHERE INDICATED, ALL SEAMS MUST BE A MINIMUM OF 4" FROM ALL INSIDE AND OUTSIDE CORNERS AND NO HORIZONTAL SEAMS WILL BE ACCEPTED. ALL FINISHED SURFACES MUST BE CLEANED AS THE WORK PROGRESSES AND ALL EXCESS PASTE AND ADHESIVE MUST BE REMOVED UPON COMPLETION OF THE WORK.

20. ALL WORKMANSHIP WHICH IS NOT JUDGED TO BE FIRST QUALITY BY ARCHITECT WILL NOT BE ACCEPTED AND WILL BE REDONE AT THIS CONTRACTOR'S EXPENSE.

FLOOR TILE

1. ALL CARPET, BASE AND ALL SADDLES SHALL BE BY CARPET CONTRACTOR EXCEPT AS OTHERWISE NOTED.

2. ALL 4" VINYL/RUBBER BASE IS AS PER SPECIFICATIONS. PROVIDE STRAIGHT BASE IN CARPETED AREAS AND COVE IN ALL TILE AREAS UNLESS OTHERWISE NOTED.

3. SPACES BEING SURFACED SHALL BE CLOSED TO TRAFFIC AND OTHER WORK DURING THE LAYING OF RESILIENT FLOORING AND MARBLE FLOOR.

4. TILE SHALL BE LAID IN SQUARE PATTERN OF COURSES PARALLEL TO WALLS UNLESS OTHERWISE INDICATED ON DRAWINGS. THE TILE SHALL BE SECURELY CEMENTED AND SHALL BE LAID W/ TIGHT BUTT JOINTS. THE ADHESIVE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

5. ALL NEW FLOOR TILE IS TO BE INSTALLED BY THE CARPET CONTRACTOR AND SHALL BE 1/8" THICK VCT. UNLESS OTHERWISE INDICATED.

6. ALL WORKMANSHIP SHALL BE OF THE BEST QUALITY AND WHEN THE WORK IS COMPLETED IT SHALL BE FREE FROM BUCKLES, BUBBLES, OPEN JOINTS, OR OTHER IMPERFECTIONS. SEAMS SHALL BE KEPT IN ACCURATE ALIGNMENT ALONG BOTH COORDINATES. TILE HAVING CHIPPED OR ROUNDED CORNERS WILL BE REJECTED, AND IF LAID, SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE TILE (ALL WORKMANSHIP THAT IS NOT JUDGED TO BE FIRST QUALITY BY ARCHITECT WILL NOT BE ACCEPTED AND WILL BE REPLACED AT THIS CONTRACTOR'S EXPENSE.

7. BASE SHALL BE INSTALLED STRAIGHT AND TRUE, ON SURFACES THAT ARE PROPERLY CLEANED, DRY AND FREE FROM ALL FOREIGN MATTER. BASE SHALL NOT BE INSTALLED UNTIL WALLCOVERING AND PAINTING ARE COMPLETED.

8. JOINTS IN VINYL BASE SHALL NOT OCCUR CLOSER THAN 6" FROM CORNERS AND SHALL BE BUTTED TIGHTLY TOGETHER AND LEVEL ALONG TOPS. CORNERS SHALL BE HEATED TO OBTAIN TIGHT BENDS WITHOUT WHITENING OF MATERIAL.

9. THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL RESILIENT FLOORING WORK FOR THE DURATION OF THE CONTRACT AND REMOVE ALL PROTECTION WHEN DIRECTED BY THE ARCHITECT.

10. CARPET CONTRACTORS MUST REMOVE HIS DEBRIS AT THE END OF EACH DAY SO AS NOT TO INTERFERE WITH OTHER WORKERS.

11. CARPET CONTRACTOR SHALL CLEAN NEW BASE AFTER INSTALLATION WHERE REQUIRED.

12. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VACUUM CARPETED AREAS AFTER COMPLETION OF CARPET INSTALLATION AND TO MAINTAIN AND PROTECT ALL FINISHED FLOORCOVERING UNTIL THE JOB IS COMPLETED.

GENERAL FLOOR FINISH NOTES

1. THE CONTRACTOR SHALL FLASH PATCH ALL CRACKS, HOLES OR OTHER IMPERFECTIONS (PROJECTIONS SHALL BE REMOVED AND PATCHED) TO PROVIDE A CONTINUOUS SMOOTH SURFACE FOR HIS WORK.

2. WHERE A CHANGE OF FLOORING OCCURS AT DOOR, THE LINE OF TRANSITION SHALL BE THE CENTER LINE OF THE DOOR AND A RUBBER REDUCER STRIP TO MATCH THE BASE SHALL BE PROVIDED AS REQUIRED BY ANY CHANGE IN FLOOR ELEVATION UNLESS OTHERWISE NOTED.

3. ALL CLOSETS RECEIVE THE SAME FLOORING AS THE ADJACENT AREA UNLESS OTHERWISE NOTED.

4. UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS. CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE BUILDING.

5. THE GENERAL CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING CARPET, PADDING, ETC. AS REQUIRED TO CONFORM WITH NEW PLANS.

CERAMIC TILE

1. CONTRACTOR TO FURNISH AND INSTALL CERAMIC TILE IN AREAS AS INDICATED ON THE FINISH PLAN. SEE THIS PLAN FOR TILE AND GROUT SPECIFICATIONS.

2. CERAMIC FLOOR TILE TO BE SET AS PER THE COUNCIL OF AMERICA METHOD F143-85 CEMENT MORTAR BOND. CONTRACTOR TO MAKE FINAL DETERMINATION AS TO THE PROPER METHOD OF INSTALLATION ONCE THE AREA HAS BEEN UNCOVERED.

3. ALL CERAMIC TILE TO BE SAW CUT.

4. TILE CONTRACTOR TO TAKE PROPER PROTECTIVE MEASURES UNTIL TILED AREA IS TURNED OVER TO OWNER.

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APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: 5/23/01
ZONING:
DRB/HPB:
CONCURRENCY:
PLUMBING:
ELECTRIC: 6/30/01
MECHANIC:
FIRE PREV:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

MILLWORK SPECIFICATIONS

1. ALL WORK TO BE DONE IN FULL ACCORDANCE WITH AWI GUIDELINES AND SPECIFICATIONS (LATEST ISSUE) FOR PREMIUM QUALITY WORK.

2. CONTRACTOR TO COORDINATE AND WORK WITH CABINET WORKER IN COORDINATING ALL INSTALLATION OF CABINETS. CONTRACTOR TO SUPPLY ELECTRIC AND PLUMBING HOOK-UPS TO ALL CABINETS AS REQUIRED AND COORDINATE WIRING WITH ELECTRICIAN AND CABINETMAKER.

3. MILLWORK SUBCONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENT AND VERIFICATION OF ALL DIMENSIONS. ANY DISCREPANCIES OR ADJUSTMENTS SHOULD BE DISCUSSED WITH ARCHITECTS BEFORE FABRICATION.

4. CABINETRY INTERIORS TO BE PLASTIC LAMINATE. ARCHITECT TO SPECIFY COLOR, UNLESS NOTED OTHERWISE. ARCHITECT TO SPECIFY COLOR, UNLESS OTHERWISE NOTED - SEE CONTRACT DOCUMENTS.

5. CABINETRY HINGES TO BE CONCEALED BREAKAWAY HINGES (UNLESS OTHERWISE NOTED). MINIMUM OF TWO PER DOOR. CABINET DOORS TO HAVE 180 DEGREES BREAKAWAY HINGES SELBY OR APPROVED EQUAL.

6. ALL DRAWERS SLIDES TO FULL EXTENSION HEAVY DUTY SLIDES BY GRACE, GRANT, SELBY OR APPROVED EQUAL.

7. MILLWORK CABINETRY CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE FABRICATION.

8. WOOD CAPS AT HALF-WALL PARTITIONS SHALL BE STAINED AND LACQUERED PER AWI CLEAR FINISH SYSTEM 7, CATALYZED LACQUER. ARCHITECTS WILL PROVIDE STAINED SAMPLE TO MATCH.

9. CABINETRY CONTRACTORS TO VERIFY WITH OWNER AND ARCHITECT THE SIZE AND TYPE OF ALL EQUIPMENT BEING BUILT INTO CABINETRY. CONTRACTOR TO APPROVE ACCESS TO ALL EQUIPMENT. CONTRACTOR TO COORDINATE WITH ELECTRICAL CONTRACTOR AND AUDIO CONSULTANT WHEN NECESSARY FOR RUNNING OF ALL WIRE THROUGH CABINETS BEFORE COMPLETION.

10. REVIEW PLASTIC LAMINATE JOINING WITH ARCHITECT. JOINTS TO LINE UP WITH DOORS AND/OR OPENINGS NOT RANDOMLY.

11. THE CABINETMAKER IS RESPONSIBLE TO PROVIDE TEMPLATES OF COUNTER TOP WHETHER IT IS MIRROR, GLASS, MARBLE, GRANITE, ETC. BY OTHERS.

ABBREVIATIONS

ABV	ABOVE	MACH RM	MACHINE ROOM
ACT	ACOUSTICAL CEILING TILE	MAINT	MAINTENANCE
A/C, AC	AIR CONDITIONING	MAT'L	MATERIAL
ALT	ALTERNATE	MIN	MINIMUM
AL/ALUM	ALUMINUM	MECH	MECHANICAL
ANC	ANCHOR	MTL	METAL
ASPH	ASPHALT	MEZZ	MEZZANINE
AVE	AVENUE	MFR	MANUFACTURER
A.B.	ANCHOR BOLT	[illegible]	[illegible]
A.F.F.	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
A.H.U.	AIR HANDLING UNIT	MULL	MULLIONS
@	AT	M.H.	MAN HOLE
&	AND	M.O.	MASONRY OPENING
		M. PNL	METAL PANEL
B.D.	BUILDING DEPARTMENT	M.S.	MOP SINK
BLDG	BUILDINGS	MLD	MOLDED
BLK	BLOCK	M.S.A.	MILLER SAVARESE ASSOCIATES
BLVD	BOULEVARD		
B/O	BY OTHERS	NOM	NOMINAL
BOT	BOTTOM	NO./#	NUMBER
BET	BETWEEN	N	NORTH
BRK	BRICK	N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
CEM	CEMENT	N.Y.C.	NEW YORK CITY
CHEM	CHEMICAL		
CLG	CEILING	OPNG	OPENING
CL	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL	COLUMN	O.D.	OUTSIDE DIMENSION
CONC	CONCRETE	O.H.	OVERHEAD
CONF	CONFERENCE		
CONT'R	CONTRACTOR	PART'N	PARTITION
CONT	CONTINUOUS	PCS	PIECES
CORR	CORRIDOR	PKG	PACKAGE
[illegible]	[illegible]	PLAT	PLATFORM
[illegible]	[illegible]	PL	PLATE
C.H.	CEILING HEIGHT	PNL	PANEL
C.J.	CONTROL JOINT	PRES	PRESSURE
[illegible]	[illegible]	PROJ	PROJECTION
C.T.	CERAMIC TILE	PT	POINT
CURT	CURTAIN	P.L.	PROPERTY LINE
CLOS/CL	CLOSET	[illegible]	[illegible]
CAB	CABINET	P.M.	PRESSED METAL
		P.S.I.	POUNDS PER SQ. INCH
DEPT	DEPARTMENT	P.V.C.	POLYVINYL CHLORIDE
DET	DETAIL	P.LAM	PLASTIC LAMINATE
DIM	DIMENSION		
DN	DOWN	Q.T.	QUARRY TILE
DR	DOOR		
DWG/DWGS	DRAWING	RAD	RADIUS
D.F.	DRINKING FOUNTAIN	RD	ROAD
D.S.	DOWN SPOUT	REINF	REINFORCED
DIA	DIAMETER	REQ'D	REQUIRED
		REV	REVISION
E.A.	EACH	RM	ROOM
ELEC	ELECTRICAL	R	RISERS
EL./ELEV	ELEVATION	R.D.	ROOF DRAIN
ENCL	ENCLOSURE	REF	REFERENCE
EQUIP	EQUIPMENT	REFR	REFRIGERATOR
EQ	EQUAL		
EXH	EXHAUST	SC	SCUPPER
EXIST	EXISTING	SCHED	SCHEDULE
EXP	EXPANSION	SECT	SECTION
EXT	EXTERIOR	[illegible]	[illegible]
E.J.	EXPANSION JOINT	SHT	SHEET
E.W.C.	ELECTRIC WATER COOLER	SIM	SIMILAR
		SPEC	SPECIFICATIONS
FIN	FINISHED	SQ	SQUARE
FL	FLOOR	STA	STATION
FLRG	FLOORING	STD	STANDARD
FT	FOOT / FEET	STL	STEEL
F.D.	FLOOR DRAIN	STOR	STORAGE
F.E.C.	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FF/FIN FL	FINISHED FLOOR	ST	STREET
F.H.C.	FIRE HOSE CABINET	SUB	SUB-CONTRACTOR
F.P.	FIREPROOF	SUSP	SUSPENDED
F.R.	FIRE RATED	S	SOUTH
F.P.S.C.	FIREPROOF SELF-CLOSING	S.F.	SQUARE FEET
F/F	FINISH TO FINISH	[illegible]	[illegible]
FIX	FIXTURE	S.S.	STAINLESS STEEL
GALV	GALVANIZED	TEL	TELEPHONE
GA	GAUGE/GAGE	TEMP	TEMPERED
G.C.	GENERAL CONTRACTOR	TERR	TERRAZZO
GL	GLASS	THK	THICK
GYP BD	GYPSUM BOARD	THK	THICKNESS
		TYP	TYPICAL
HDWE	HARDWARE	TR	TREADS
HEX	HEXAGONAL	T.O.	TOP OF
HOR	HORIZONTAL	T.O.C.	TOP OF CONCRETE
HRS	HOURS	T.O.S.	TOP OF SLAB
HT	HEIGHT	T.S.	TUBULAR STEEL
H	HIGH		
H.M.	HOLLOW METAL	U.L.	UNDERWRITERS' LABORATORY
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
[illegible]	[illegible]		
H.W.H.	HOT WATER HEATER	VERT	VERTICAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING	V.I.F.	VERIFY IN FIELD
		V. PNL	VINYL PANEL
		V.W.C.	VINYL WALL COVERING
INSUL	INSULATION		
[illegible]	[illegible]	W.F.	WIDE FLANGE
INT	INTERIOR	WD	WOOD
IN	INCHES	W.P.	WATERPROOFING
[illegible]	[illegible]	W	WEST
		WT	WEIGHT
JT	JOINT	W/	WITH
JAN	JANITOR	[illegible]	[illegible]
		W.P.	WORK POINT
LAB	LABORATORY	W/	WITH
LB/#	POUND	W/O	WITHOUT
LGTH	LENGTH	W.W.M.	WELDED WIRE MESH
LIN FT	LINEAR FEET	W.C.	WATER CLOSET
LT	LIGHT		
LKR	LOCKER		
L.P.	LOW POINT		
LAV	LAVATORY		
LT	LIGHT		

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL ELEVATIONS AND DIMENSIONS OF EXISTING WORK. COPIES OF THE OFFICIAL SURVEY ARE AVAILABLE UPON REQUEST.

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF FIXTURES, EQUIPMENT, AND RECESSES, AND FOR THE COORDINATION OF ALL TRADES.

MSA

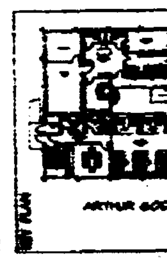
MILLER SAVARESE
ASSOCIATES
ARCHITECTS • PLANNERS

NEW YORK, NEW YORK

SEALS

REVISIONS

KEY PLAN



NORTH

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
ARCH. SPECIFICATIONS

SCALE N.A.

DATE 3/8/01

AS-1

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THE FOLLOWING:
BUILDING
ZONING
DEBRIS
CONDITIONAL
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PROTECTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

NOTE: DRIVE THROUGH APPROVAL STAMP ON PLAN ONLY CHANGE IN CITY OFFICE

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REVISIONS
ISSUES

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
SITE PLAN

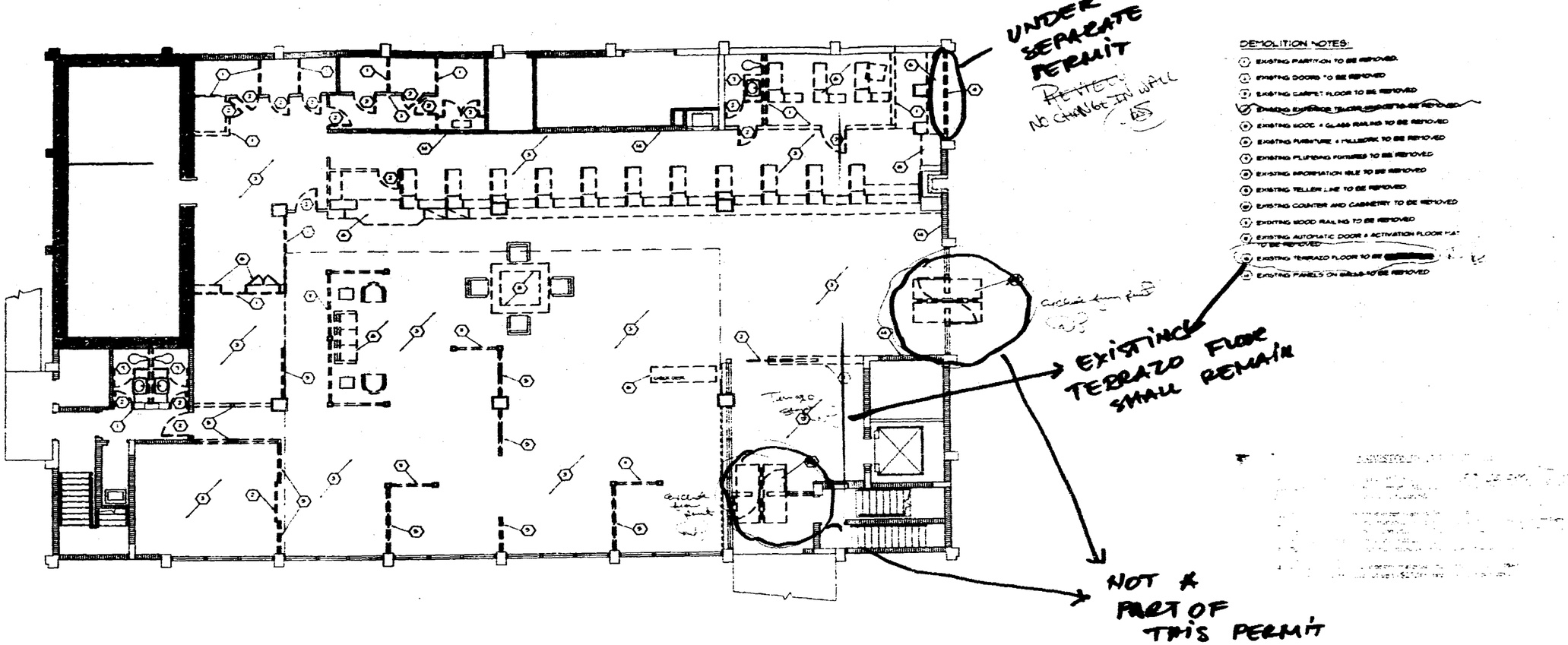
SCALE 1/16"=1'-0"
DRAWN 344-0039
DATE 3/8/01
JOB NO. 344-0039

NORTH

SITE PLAN
ARTHUR GODFREY ROAD

SHEET NO. S-1

06



DEMOLITION NOTES:

1. EXISTING PARTITION TO BE REMOVED.
2. EXISTING DOORS TO BE REMOVED
3. EXISTING CARPET FLOOR TO BE REMOVED
4. EXISTING FURNITURE, FIXTURES AND EQUIPMENT TO BE REMOVED
5. EXISTING WOOD & GLASS RAILING TO BE REMOVED
6. EXISTING FURNITURE & MILLWORK TO BE REMOVED
7. EXISTING PLUMBING FIXTURES TO BE REMOVED
8. EXISTING INFORMATION ISLE TO BE REMOVED
9. EXISTING TELLER LINE TO BE REMOVED
10. EXISTING COUNTER AND CABINETRY TO BE REMOVED
11. EXISTING WOOD RAILING TO BE REMOVED
12. EXISTING AUTOMATIC DOOR & ACTIVATION FLOOR MAT TO BE REMOVED
13. EXISTING TERRAZO FLOOR TO BE [redacted]
14. EXISTING PANELS ON WALLS TO BE REMOVED

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CONCURRENCY
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ELECTRICAL
MECHANICAL
FIRE/SEPTIC
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL DIMENSIONS AND DIMENSIONS OF EXISTING PARTS. COPIES OF THE OFFICIAL SURVEY ARE AVAILABLE UPON REQUEST.

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF PIPERS, EQUIPMENT AND FIXTURES, AND FOR THE COORDINATION OF ALL TRADES.

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REVISIONS
Job: Job No.:

ISSUES
Job: Job No.:

PROJECT: HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE: DEMOLITION PLAN

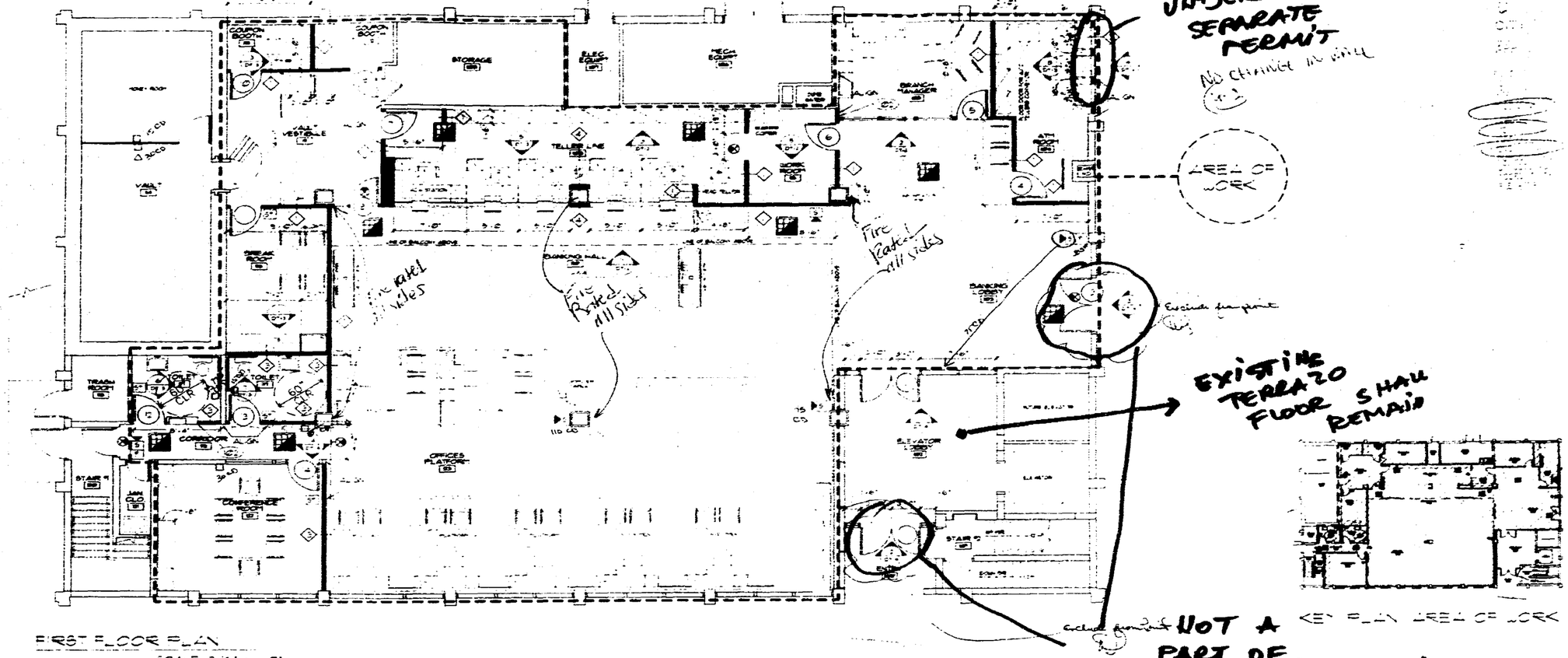
JOB NO. 944-0038
SCALE 3/16"=1'-0"
DATE 3/15/01
DWG. D-1

NORTH

ARTHUR GODFREY ROAD

D-1

06



FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

HANDICAP NOTES

1. GENERAL ACCESSIBLE LAVATORY FIXTURES SINKS VANITIES AND BUILT-IN LAVATORIES SHALL COMPLY WITH 4.19 ANS
2. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 IN (735 MM) FROM THE FLOOR TO THE BOTTOM OF THE APRON, KNEE AND TOE CLEARANCES SHALL COMPLY WITH 5 AVAILABLE BELOW
3. SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34 IN (865 MM) FROM THE FLOOR. EACH SINK SHALL BE A MINIMUM OF 6 1/2 IN (165 MM) DEEP
4. THE PANTRY SINK COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AT VARIABLE HEIGHTS BETWEEN 28 IN AND 34 IN (710 MM AND 865 MM) MEASURED FROM THE FLOOR TO THE TOP OF THE COUNTER SURFACE OR SHALL BE MOUNTED AT A FIXED HEIGHT NO GREATER THAN 34 IN (865 MM) MEASURED FROM THE FLOOR TO THE TOP OF THE COUNTER SURFACE
5. FAUCETS SHALL COMPLY WITH SECTION 4.19.4 ANS
6. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS. HOT WATER PIPES AND DRAIN PIPES UNDER SINK TO BE INSULATED OR COVERED

REQUIRED CONTROL INSPECTION

TECHNICAL REPORTS FOR FIRESTOPPING WILL NOT BE FILED AS THERE WILL BE NO REVISION TO THE EXISTING FIRE RELATED CONSTRUCTION PREVIOUSLY FILED AND APPROVED UNDER SEPARATE APPLICATION

TECHNICAL REPORTS FOR MECHANICAL VENTILATION AND AIR CONDITIONING WILL BE FILED AS PER SECTION C16-1(E) (1)(A)

HANDICAP DIAGRAM

TOILETS

SIDE WALL

BACK WALL

SIDE ELEVATION

FREE CLEARANCE

LAVATORY PLAN

BUILDING DEPARTMENT NOTES

EXAMINATION WILL BE UNDER NEW BUILDING CODE

1. THE ENTIRE FLOOR IS UNDER 15,000 SQ FT (1394.0 SQ FT) AND IS IN COMPLIANCE WITH THE REQUIREMENTS OF LOCAL
2. EXIT WILL BE PLAINLY MARKED WITH LIGHTED AND PHOSPHORESCENT SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 21.380, 21.383 AND 21.386 WITH POWER SOURCE AS REQUIRED UNDER 21.384
4. PARTITIONS ENCLOSING STAIRS ARE EXISTING 2 HOUR MASONRY WALLS COMPLYING WITH SECTION 21.315 AND TABLE 3-A OF ARTICLE 3 OF THE BUILDING CODE
5. STAIR DOORS ARE EXISTING 1 1/2 HOUR FIREPROOF SELF CLOSING WITH B.S.A. RATING AND COMPLY WITH SECTION 21.315 (B)
6. DOORS THROUGH 1 HOUR WALLS WILL BE 3/4 HOUR FIREPROOF SELF CLOSING WITH B.S.A. RATING AND SHALL COMPLY WITH
7. DOORS THROUGH 2 HOUR WALLS WILL BE 1 1/2 HOUR FIREPROOF SELF CLOSING WITH B.S.A. RATING AND SHALL COMPLY
8. CORRIDORS WILL BE 3 1/2 FT IN CLEAR WIDTH IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 21.365 OF THE BUILDING
9. ENTIRE FLOOR IS MECHANICALLY VENTILATED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBCHAPTER 5 SECTION 21.793 AND 21.794 OF THE BUILDING CODE
10. CONSTRUCTION OF SUSPENDED CEILINGS WILL COMPLY WITH SECTION 21.390 AND RS 5-16 OF THE BUILDING CODE
11. WOOD WILL BE FIREPROOFED AS REQUIRED UNDER SECTION
12. FIRESTOPPING HAS BEEN INSTALLED AS REQUIRED UNDER SECTION 21.345 OF THE BUILDING CODE
13. WORK WILL BE EXECUTED TO MEET THE REQUIREMENTS OF THE NEW BUILDING CODE
14. See E sheets for Fire

CONSTRUCTION PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- DENOTES PARTITION AND OR SOFFIT ENCLOSURE SEE
- CORRESPONDING WALL ENCLOSURE TYPE FOR INFORMATION
- DENOTES WALL HEIGHT PARTITION AND OR SOFFIT ENCLOSURES SEE CORRESPONDING WALL ENCLOSURE TYPE FOR INFORMATION
- DOOR NUMBER SEE DOOR SCHEDULE FOR INFORMATION
- ROOM NAME & ROOM NUMBER
- NOTE SPECIFIC CONSTRUCTION PLAN NOTE
- DENOTES ELEVATION DETAIL OR SECTION SEE CORRESPONDING PLAN FOR INFORMATION
- DETAIL #
- DETAIL SYMBOL SEE CORRESPONDING DRAWING
- DRAWING #
- DENOTES NEW MILLWORK SEE DETAILS
- FIRE ALARM PULLBOX
- FIRE ALARM STROBE
- FIRE ALARM SPEAKER STROBE
- JANITOR STATION
- NEW 1X3 FLUORESCENT LIGHT FIXTURE (EMERGENCY BATTERY BACKUP AND NIGHT LIGHT) SEE RCP FOR LOCATION
- NEW EXIT SIGN SEE RCP FOR LOCATION
- EXIT SIGN SHALL BE AC OR ALTERNATE TO BASE CONTRACT SEE E-1 FOR MORE DETAILS
- FIRE ALARM STROBE LIGHT SEE E-1 FOR MORE DETAILS
- FIRE SPEAKER STROBE SEE E-1 FOR DETAILS

CONSTRUCTION PLAN NOTES

- SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION SHEETS A-0 TO A-1
- CONTRACTOR TO BRING TO ARCHITECT'S ATTENTION ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK
- PATCH EXISTING PARTITION TO MATCH EXISTING ADJACENT FIRERATING MATERIAL AND PARTITION TYPE
- NEW PARTITIONS TO BE TYPE "A" UNLESS OTHERWISE NOTED

THE CONTRACTOR SHALL VERIFY AND SHOW ON A REVISED DRAWING ELEVATIONS AND DIMENSIONS OF EXISTING WORK PRIOR TO THE START OF CONSTRUCTION IF ANY SURVEYS ARE AVAILABLE UPON REQUEST

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF FIXTURES EQUIPMENT AND ROUGHING AND FOR THE COORDINATION OF ALL TRADES

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REVISIONS

ISSUES

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
ARCHITECTURAL PLAN

NORTH

DATE 3/5/01

DWG A-1

SCALE 3/16" = 1'-0"

JOB NO. 566-0019

KEY PLAN

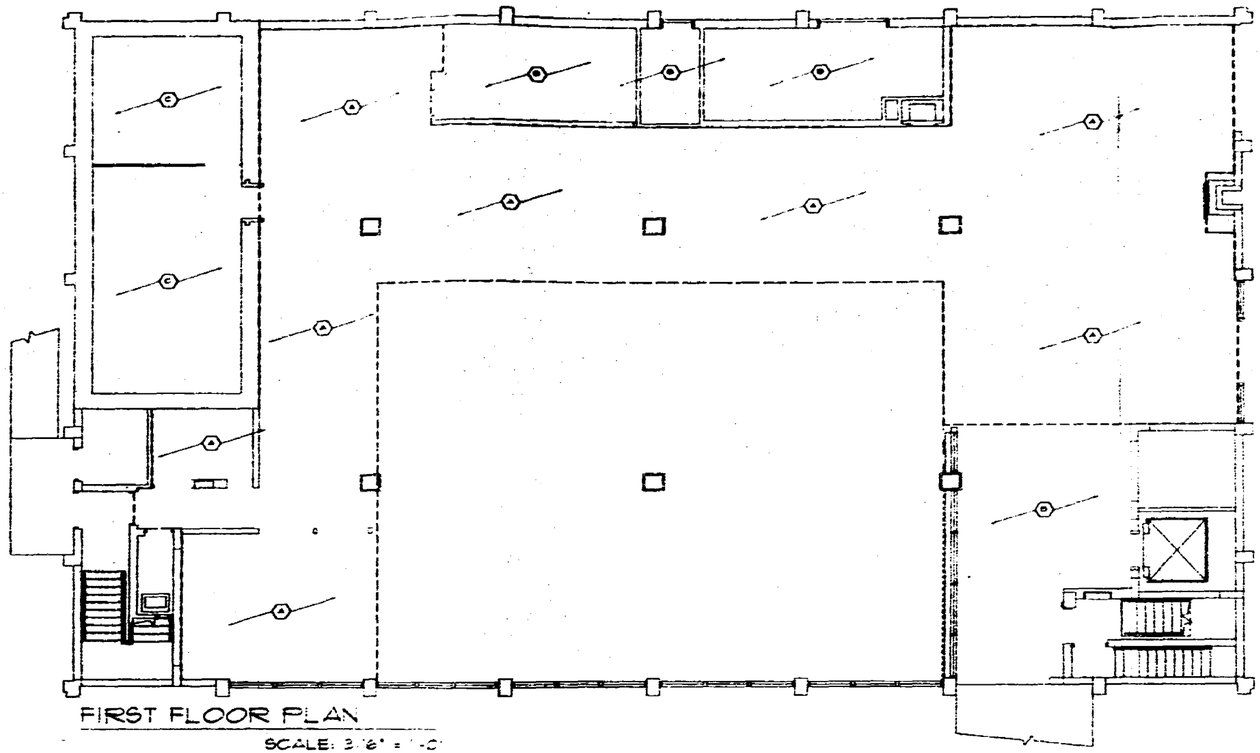
ARTHUR GODFREY ROAD

SEAL

ROBERT M. MILLER
REG. LIC. 00807
MICHAEL SAVARESE
REG. LIC. 00806

SHEET NO. A-1

06



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

DEMOLITION NOTES

(A) EXISTING CEILING STRUCTURE AND LIGHT FIXTURES TO BE REMOVED

(B) EXISTING CEILING STRUCTURE TO REMAIN

(C) EXISTING CEILING STRUCTURE TO REMAIN AND RECEIVE NEW PAINT

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL ELEVATIONS AND DIMENSIONS OF EXISTING WORK. COPIES OF THE OFFICIAL SURVEY ARE AVAILABLE UPON REQUEST.

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF PIPINGS, SLEEVES, AND ROUGHING AND FOR THE COORDINATION OF ALL TRADES.

MSA

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REVISIONS
date description

ISSUES
date issue to

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

NORTH

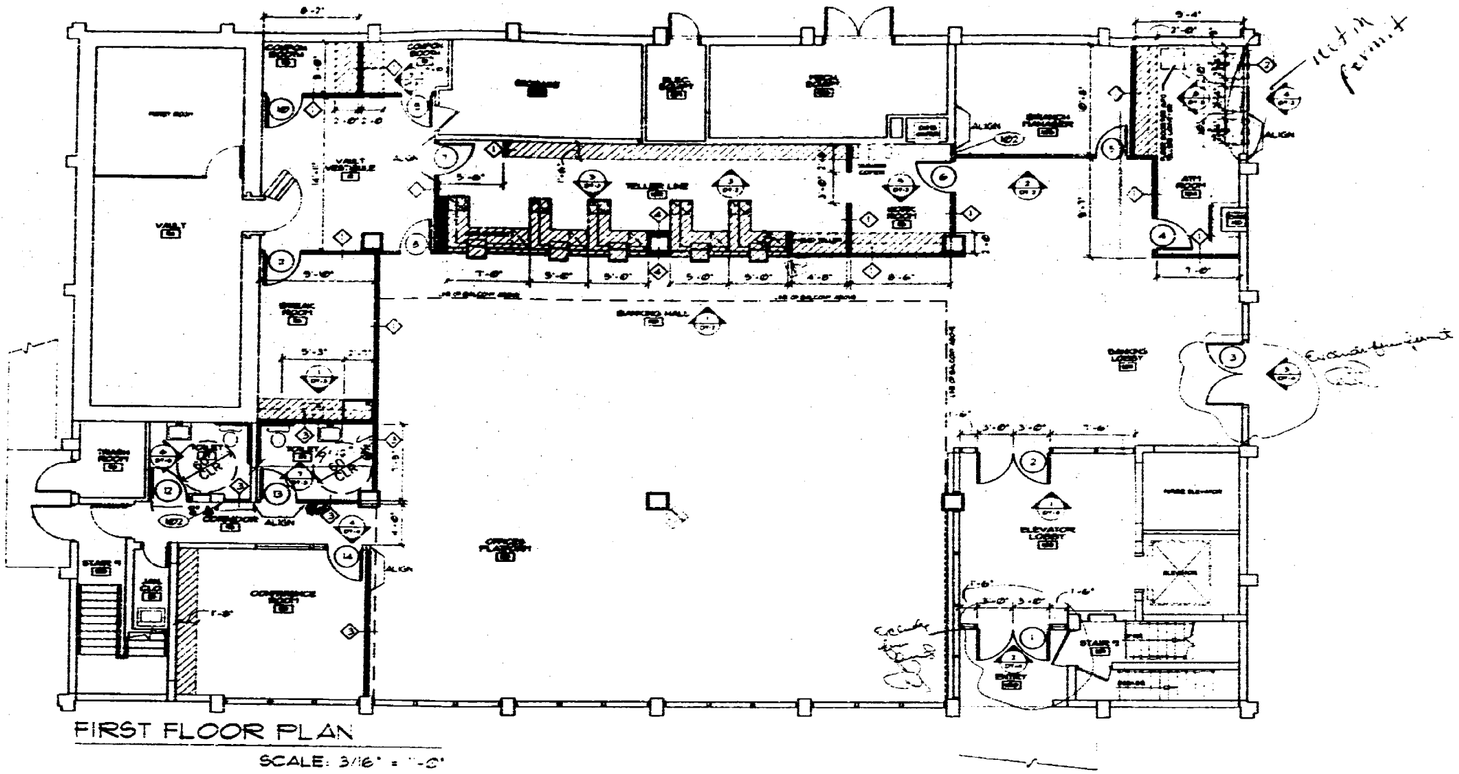
DRAWING TITLE
DEMOLITION - CEILING

DRAWN 3/13/01
JOB NO. 384-0039
SCALE 3/16" = 1'-0"
DRAWN D-RC

SITE PLAN
ARTHUR GODFREY ROAD

D-RC

06



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

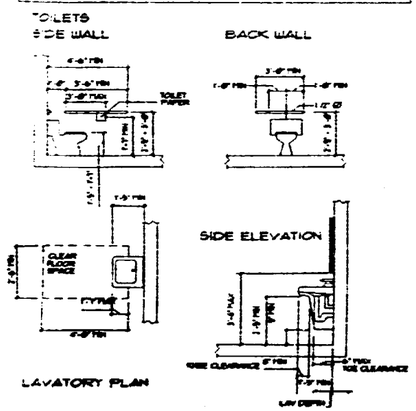
HANDICAP NOTES

1. GENERAL ACCESSIBLE LAVATORY FIXTURES SINKS VANITIES AND BUILT-IN LAVATORIES SHALL COMPLY WITH 4.19 ANSI
2. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 29 IN (738 MM) FROM THE FLOOR TO THE BOTTOM OF THE APRON, KNEE AND TOE CLEARANCES SHALL COMPLY WITH DIAGRAM BELOW
3. SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34 IN. (865 MM) FROM THE FLOOR. EACH SINK SHALL BE A MAXIMUM OF 6 1/2 IN. (165 MM) DEEP
4. THE PANTRY SINK COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AT VARIABLE HEIGHTS BETWEEN 28 IN. AND 34 IN. (710 MM AND 865 MM) MEASURED FROM THE FLOOR TO THE TOP OF THE COUNTER SURFACE, OR SHALL BE MOUNTED AT A FIXED HEIGHT NO GREATER THAN 34 IN. (865 MM) MEASURED FROM THE FLOOR TO THE TOP OF THE COUNTER SURFACE.
5. FAUCETS SHALL COMPLY WITH SECTION 4.19.4 ANSI
6. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS. HOT WATER PIPES AND DRAIN PIPES UNDER SINK TO BE INSULATED OR COVERED

REQUIRED CONTROL INSPECTION

1. TECHNICAL REPORTS FOR FIRESTOPPING WILL NOT BE FILED AS THERE WILL BE NO REVISION TO THE EXISTING FIRE RELATED CONSTRUCTION PREVIOUSLY FILED AND APPROVED UNDER SEPARATE APPLICATION.
2. TECHNICAL REPORTS FOR MECHANICAL VENTILATION AND AIR CONDITIONING WILL BE FILED AS PER SECTION C26-1001-1 (A)

HANDICAP DIAGRAM



BUILDING DEPARTMENT NOTES

1. EXAMINATION WILL BE UNDER NEW BUILDING CODE
2. THE ENTIRE FLOOR IS UNDER 13,000 SQ. FT. (3,546 SQ. FT.) AND IS IN COMPLIANCE WITH THE REQUIREMENTS OF LOCAL 9
3. EXITS WILL BE PLAINLY MARKED WITH LIGHTED AND PHOSPHORESCENT SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 21-381, 21-383 AND 21-388 WITH POWER SOURCE AS REQUIRED UNDER 21-384
4. PARTITIONS ENCLOSING STAIRS ARE EXISTING 2 HOUR MASONRY WALLS COMPLYING WITH SECTION 21-379 (1) (7) AND TABLE 34 OF ARTICLE 9b OF THE BUILDING CODE
5. STAIR DOORS ARE EXISTING 1 1/2 HOUR FIREPROOF SELF-CLOSING WITH B.S.A. RATING AND COMPLY WITH SECTION 21-379 (g)
6. DOORS THROUGH 1 HOUR WALLS WILL BE 3/4 HOUR FIREPROOF SELF-CLOSING WITH B.S.A. RATING AND SHALL COMPLY WITH
7. DOORS THROUGH 2 HOUR WALLS WILL BE 1 1/2 HOUR FIREPROOF SELF-CLOSING WITH B.S.A. RATING AND SHALL COMPLY
8. CORRIDORS WILL BE 3'-6" MIN. CLEAR WIDTH IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 21-369 OF THE BUILDING
9. ENTIRE FLOOR IS MECHANICALLY VENTILATED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBCHAPTER 8 SECTION 21-193 AND 21-194 OF THE BUILDING CODE
10. CONSTRUCTION OF SUSPENDED CEILINGS WILL COMPLY WITH SECTION 21-390 AND RS 5-16 OF THE BUILDING CODE
11. WOOD WILL BE FIREPROOFED AS REQUIRED UNDER SECTION
12. FIRESTOPPING HAS BEEN INSTALLED AS REQUIRED UNDER SECTION 21-345 OF THE BUILDING CODE
13. WORK WILL BE ENGOBED TO MEET THE REQUIREMENTS OF THE NEW BUILDING CODE.

CONSTRUCTION PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- DENOTES PARTITION AND/OR COLUMN ENCLOSURE SEE CORRESPONDING WALL/ENCLOSURE TYPE FOR INFORMATION
- DENOTES LOW HEIGHT PARTITION AND/OR COLUMN ENCLOSURES SEE CORRESPONDING WALL/ENCLOSURE TYPE FOR INFORMATION
- DOOR NUMBER SEE DOOR SCHEDULE FOR INFORMATION
- OFFICE 21-200 — ROOM NAME & ROOM NUMBER
- 101 — INDICATES SPECIFIC CONSTRUCTION PLAN NOTE
- 4 D7.1 — DENOTES ELEVATION/DETAIL OR SECTION SEE CORRESPONDING PLAN FOR INFORMATION
- DETAIL *
- 3 D7.1 — DETAIL SYMBOL SEE CORRESPONDING DRAWING
- DRAWING *
- DENOTES NEW FILLWORK (SEE DETAILS)
- EXISTING EXIT LIGHT AND SIGN TO REMAIN
- NEW OR RELOCATED EXIT SIGN AND LIGHT LOCATION ARROW INDICATES DIRECTION
- FIRE ALARM PULLBOX
- FIRE ALARM STROBE
- FIRE ALARM SPEAKER/STROBE
- WARDEN STATION

CONSTRUCTION PLAN NOTES

100 SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION SHEETS AS-1 & TS-1

101 CONTRACTOR TO BRING TO ARCHITECT'S ATTENTION ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK

102 PATCH EXISTING PARTITION TO MATCH EXISTING ADJACENT IN FIRERATING, MATERIAL AND PARTITION TYPE

103 NEW PARTITIONS TO BE TYPE 1 UNLESS OTHERWISE NOTED.

104 - EXISTING FIRE RATING ON FREE STANDING COLUMNS - CONTRACTOR TO CONFIRM.

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL ELEVATIONS AND DIMENSIONS OF EXISTING WORK. COPIES OF THE OFFICIAL SURVEY ARE AVAILABLE UPON REQUEST

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF POWERS, EQUIPMENT, AND ROUGHINS AND FOR THE COORDINATION OF ALL TRADES.

PRELIMINARY COPY

NOT FOR CONSTRUCTION

PERMIT SET

ARCHITECT

ENGINEER

FILE NO.

STRUCTURAL

ACOUSTICAL

ELECTRICAL

MSA

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REVISIONS

ISSUES

PROJECT

HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

NORTH

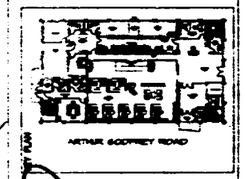
DRAWING TITLE
CONSTRUCTION PLAN

DATE 3/13/01

SCALE 3/16" = 1'-0"

SHEET CD-1

JOB NO. 544-0039

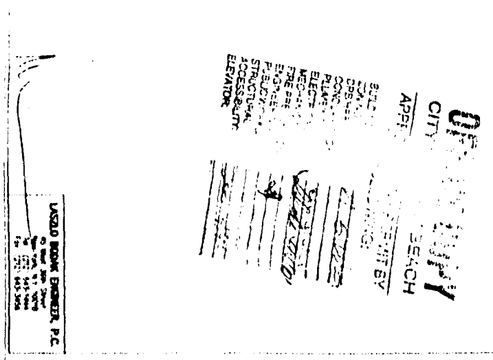


CD-1

06

06

ELECTRICAL SPECIFICATIONS



SEAL

ROBERT M. MILLER
N.Y. LIC. 029067
MICHAEL SAVARESE
N.Y. LIC. 029241

SHEET NO.
E-1

KEY PLAN

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
ELECTRICAL SPECIFICATIONS

JOB NO.	SCALE	DWG.	DATE
01101	N.T.S.	101ELSP	

NORTH

ISSUES

NO.	DATE	ISSUED FOR
1	3/23/01	REVIEW SET

REVISIONS

NO.	DATE	REVISION
1	3/27/01	FOR BID

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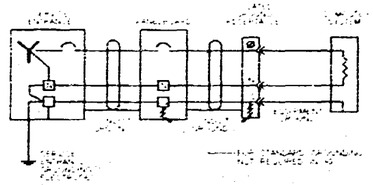
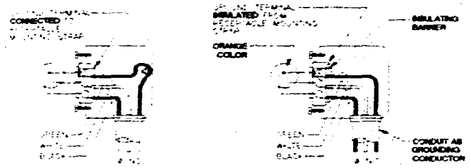
MSA

GENERAL NOTES



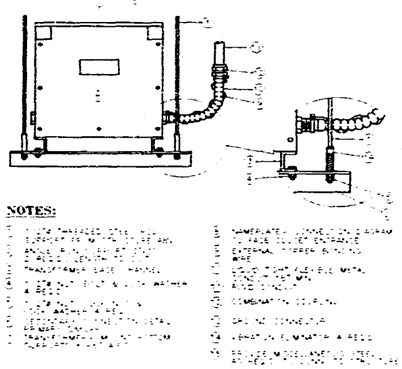
IG GROUNDING WITH IG RECEPTACLES



STANDARD RECEPTACLE

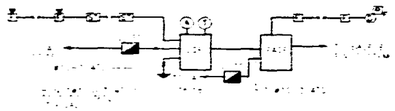
ISOLATED GROUND RECEPTACLE

OR

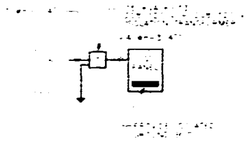


NOTES:

TRANSFORMER SUSPENSION DETAIL

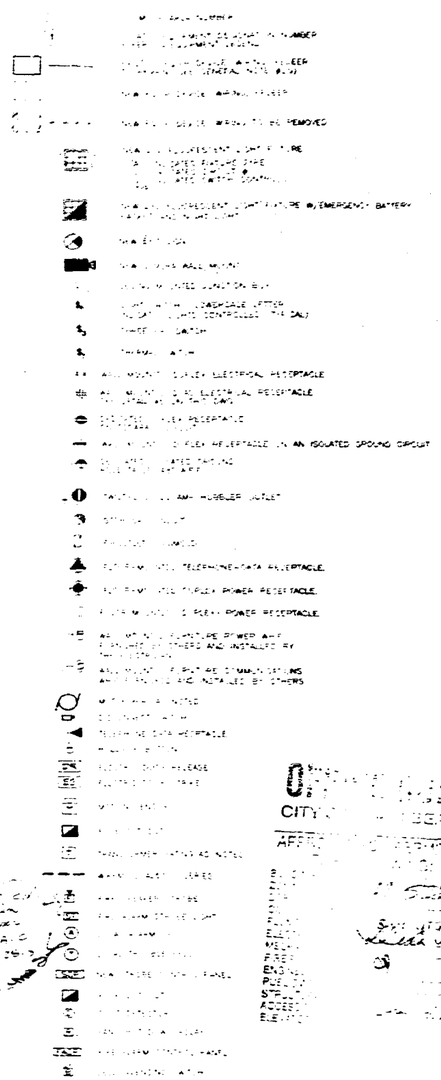


F.A. RISER DIAGRAM (ALTERNATE)



POWER RISER DIAGRAM

SYMBOL LIST



ABBREVIATIONS

CITY OF MIAMI BEACH

LASZLO BODNIK ENGINEER, P.C.

MSA

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REVISIONS

ISSUES

NORTH

PROJECT: HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE: NOTES & SYMBOL LIST

DATE

DWG 10ELSYM

SCALE: N.T.S.

JOB NO: 07001

KEY PLAN

ARTHUR GODFREY ROAD

SEAL

ROBERT M. MILLER
NYS RE 035967

MICHAEL SAVARESE
NYS RE 035961

SHEET NO. E-2

06

NOTES:

LASZLO BODAK ENGINEER, P.C.

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REVISIONS

ISSUES

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
LIGHTING PLAN

JOB NO. 01031
SCALE 3/16" = 1'-0"
DWG. 10/8/01
DATE

KEY PLAN

ARTHUR GODFREY ROAD

SEAL
ROBERT M. MILLER
N.Y.S.L. 019097
MICHAEL SAVARESE
N.Y.S.L. 018634

SHEET NO. E-3

MS

06

NOTES:

CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
PLANNING DEPT.

LASZLO BODAK ENGINEER, P.C.

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REVISIONS

ISSUES

NORTH

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
POWER PLAN

JOB NO. 01001
SCALE 3/16" = 1'-0"
DWG 103P01
DATE

KEY PLAN
ARTHUR GODFREY ROAD

SEAL
ROBERT M. MILLER, N.Y. LIC. 018847
MICHAEL SAVARESE, N.Y. LIC. 018843

SHEET NO. E-4

06

NOTES:

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CITY OF MIAMI BEACH
APPROVED AS NOTED BY THE BOARD ON:

LASZLO BODAK ENGINEER, P.C.

ISSUES

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MSA

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
ELECTRICAL SITE PLAN

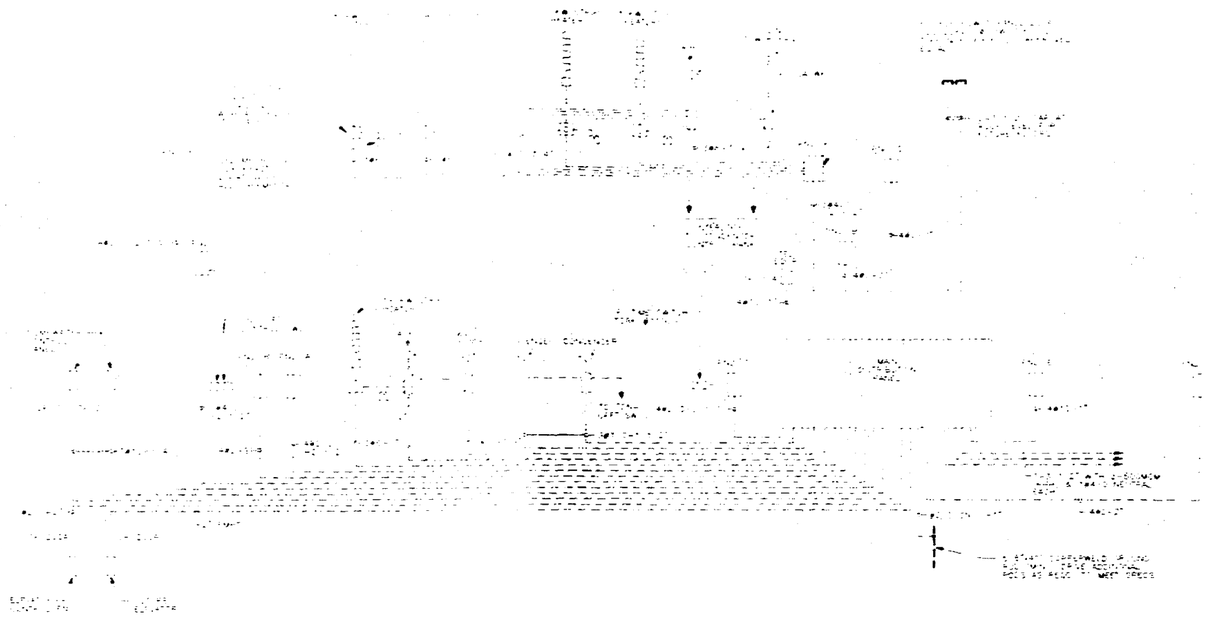
JOB NO. 01103
SCALE 1/16" = 1'-0"
DWG 103SITE
DATE

KEY PLAN
ARTHUR GODFREY ROAD

SEAL

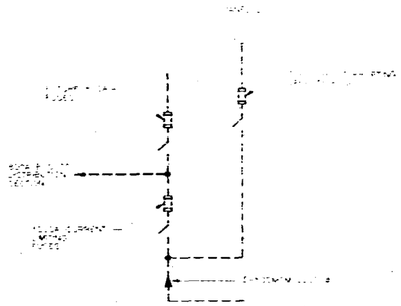
SHEET NO. E-5

06



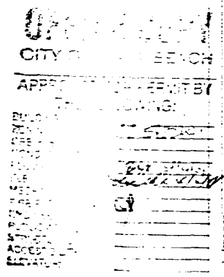
EXISTING ELECTRICAL RISER DIAGRAM

FRONT VIEW-EXISTING MAIN DISTRIBUTION PANEL



EXISTING SINGLE LINE POWER DIAGRAM
MAIN DISTRIBUTION PANEL

THIS DRAWING IS FOR REFERENCE ONLY AND TO FACILITATE ELECTRICAL CONTRACTOR TO WIRE UP NEW AHU



LASZLO BODAK ENGINEER, P.C.

MSA

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REVISIONS

ISSUES

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
EXISTING RISER DIAGRAM

JOB NO. 07001 | SCALE N.T.S. | DWG 03ELE15 | DATE

NORTH

KEY PLAN

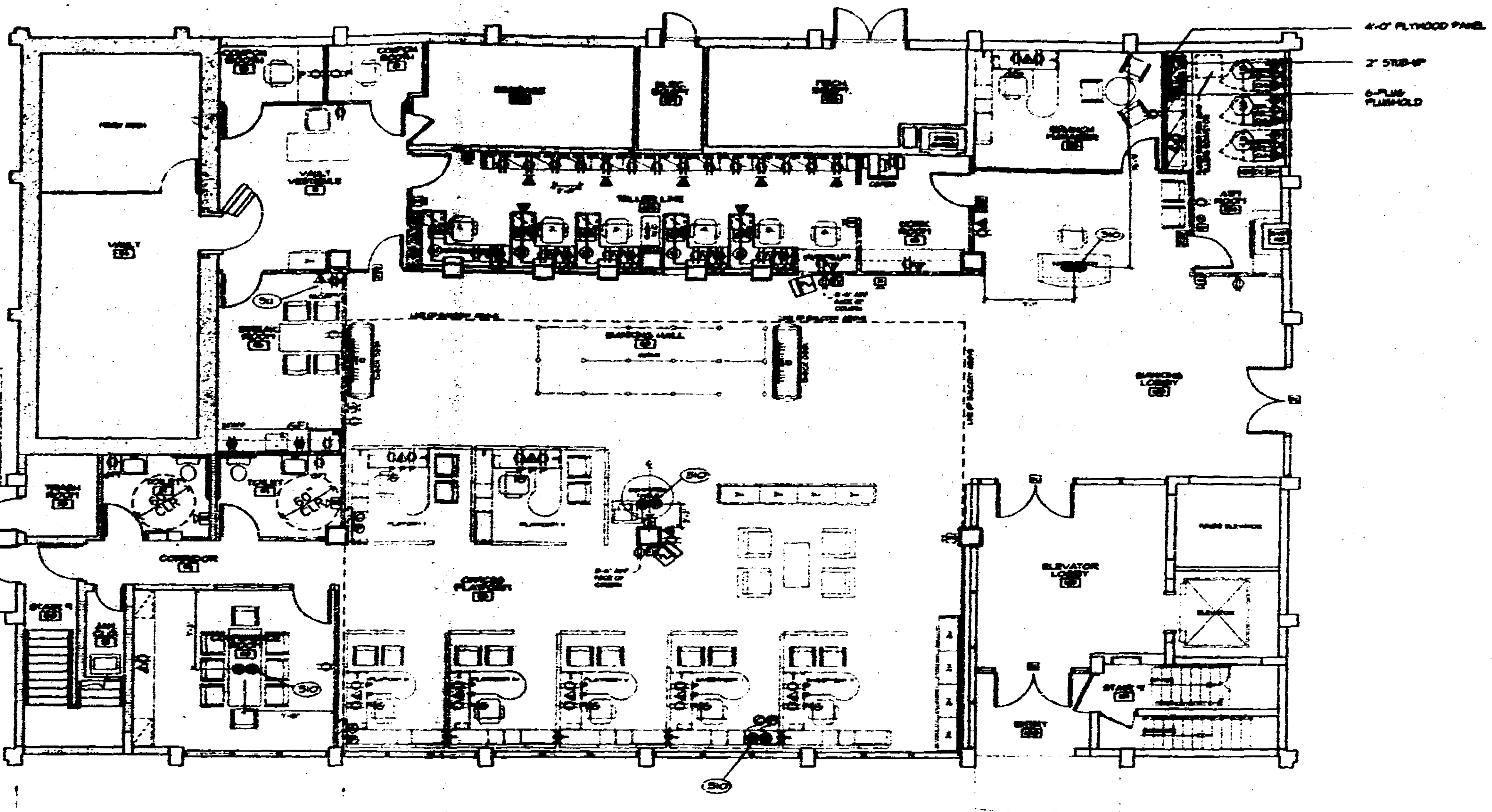
ARTHUR GODFREY ROAD

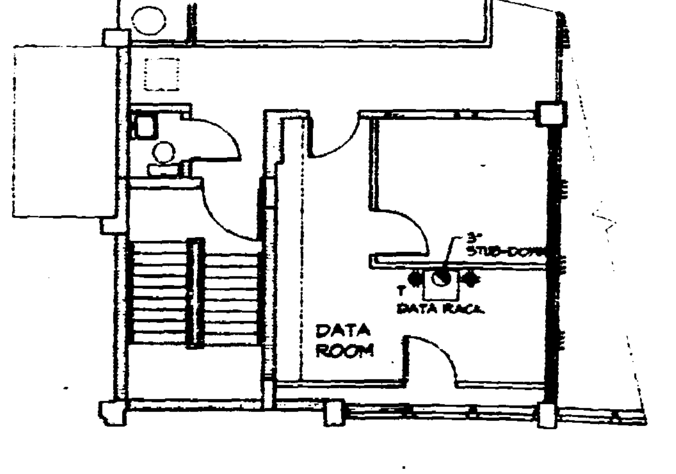
SEAL

ROBERT M. MILLER
REG. NO. 020677
MICHAEL SAVARESE
REG. NO. 020615

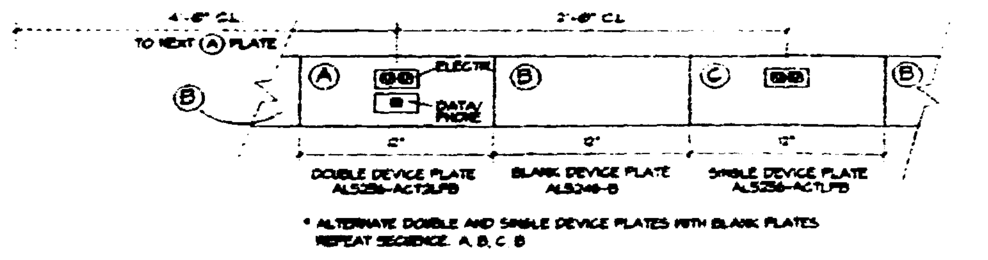
SHEET NO. E-6

06





DATA ROOM LOCATION @ MEZZANINE LEVEL



* ALTERNATE DOUBLE AND SINGLE DEVICE PLATES WITH BLANK PLATES. REPEAT SEQUENCE A, B, C, B

① TYPICAL WIREMOLD AL5000 SERIES / PLATE SEQUENCE DETAIL (ELEV) NTS

MOUNTING HEIGHTS

NOTE: HEIGHTS GIVEN ARE FROM FINISHED FLOOR TO CENTERLINE OF OUTLET OR DEVICE UON. UNLESS OTHERWISE NOTED

GENERAL CONVENIENCE OUTLETS	18" UON
WALL LOCAL SWITCHES	48" UON
DEVICES LOCATED AT COUNTERS	6" ABOVE COUNTER OR BACKSPLASH, UON
ECL AND TELEPHONE OUTLETS	18" UON
WALL TELEPHONE OUTLETS	48" UON

ELECTRICAL, TELEPHONE, & DATA LEGEND

E = EXISTING
R = RELOCATED
GFI = GROUND FAULT INTERRUPT
C = CIRCUIT
IG = ISOLATED GROUND
P = PANEL MOUNTED OUTLET
E/P = ELECTRIC PANEL

(301)	INDICATES SPECIFIC ELEC., TELE. & DATA NOTE. SEE E.T.D. PLAN & NOTES.
⊖	NEW WALL MOUNTED DUPLEX ELECTRICAL RECEPTACLE. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR INFORMATION REGARDING CIRCUITING, ETC.
⊖	NEW WALL MOUNTED DUPLEX ELECTRICAL RECEPTACLE ON AN ISOLATED GROUND CIRCUIT. REFER TO ELECT. ENGINEER'S DRAWINGS FOR INFORMATION REGARDING ACTUAL CIRCUITING ETC.
◆	NEW WALL MOUNTED QUAD ELECTRICAL RECEPTACLE. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR INFORMATION REGARDING CIRCUITING, ETC. SEE DETAIL THIS DWG.
⊖	DEDICATED DUPLEX RECEPTACLE AS NOTED ON SEPARATE CIRCUIT
⊖	DEDICATED ISOLATED GROUND RECEPTACLE 40" A.F.F.
⊖	FLOOR MOUNTED (DUPLEX) POWER RECEPTACLE
(P)	WALL MOUNTED FURNITURE POWER WHIP FURNISHED BY OTHERS AND INSTALLED BY THE ELECTRICIAN
(C)	WALL MOUNTED FURNITURE COMMUNICATIONS WHIP FURNISHED AND INSTALLED BY OTHERS.
◀	NEW TELEPHONE/DATA RECEPTACLE
(H)	HOLD-UP BUTTON.
DR	ELECTRIC DOOR RELEASE
ES	ELECTRIC DOOR STRIKE
M	MOTION SENSOR.
●●●●●●●●	WIREMOLD AL5400 SERIES. SEE DETAIL # 1.
●	TWIST-LOCK 20 AMP HUBBLER OUTLET
●	STUB-UP/DOWN CONDUIT
▮	6-OUTLET PLUGMOLD
▲	FLOOR-MOUNTED TELEPHONE-DATA RECEPTACLE.
◆	FLOOR-MOUNTED DUPLEX POWER RECEPTACLE

ELECTRICAL, TELEPHONE, & DATA PLAN NOTES

300 SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. SHEETS AGN & TSN.

301 CONTRACTOR TO BRING TO ARCHITECT'S ATTENTION ANY DISCREPANCIES BETWEEN DRAWINGS SPECIFICATIONS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

302 CONTRACTOR TO MARK SLAB PRIOR TO CORE DRILL FOR APPROVAL BY MSA.

303 ALL NEW WALL MTD. ELEC., TELE. & DATA RECEPTACLES TO BE MOUNTED 18" AFF UNLESS OTHERWISE NOTED. (SEE LEGEND FOR MOUNTING TYPICAL MOUNTING HEIGHTS)

305 ALL ELECTRICAL OUTLETS AND VOICE/DATA OUTLETS MOUNTED ON FURNITURE PANELS ARE FURNISHED BY FURN. MANUFACTURER AND INSTALLED BY THIS CONTRACTOR.

306 ALL STANDARD ELECTRICAL OUTLETS & PLATES SHALL BE DECORA TYPE. COLOR TO BE GRAY.

307 ALL OUTLETS ARE TO BE CENTERED ON WALL AS LOCATED UNLESS OTHERWISE NOTED. LOCATION OF POWER WHIPS AND MULTIPLE OUTLETS TO BE OBTAINED FROM PLAN AND VERIFIED IN FIELD.

308 G.C. TO COORDINATE WITH BANK VENDOR FOR ANY ADDITIONAL INSTALLATION OF EQUIPMENT IN COMPUTER ROOM

(309) ALL PANEL-MOUNTED OUTLETS ARE SUPPLIED BY FURNITURE VENDOR

(310) CHOP AND PATCH FLOOR SLAB AS REQUIRED TO FEED FLOOR OUTLETS

(311) PROVIDE DEDICATED QUAD. OUTLET & 2" STUB UP GREEN FIELD IN WALL (CAMERA BOX)

(312) ALL ELECTRICAL DEVICES SHOWN ON THIS DWG. BUT NOT ON THE ELECTR. CIRCUITING DWG. TO BE CIRCUITED ON THE NEXT AVAIL. CIRCUIT

SECURITY ALARM NOTES

1 ADT WILL FURNISH AND INSTALL THE ALARM EQUIPMENT AND THE ASSOCIATED LOW VOLTAGE ALARM WIRING.

2 ALL PAINTING AND PATCHING FOR ALL REQUIRED WORK BY GC

3 ALL CORE DRILLING, CUTTING OF STONE, MASONRY, DECORATIVE METAL WORK, DECORATIVE WOODWORK BY THIS CONTRACTOR

4 SECURITY EQUIPMENT AND FINAL CONNECTIONS BY BANK SECURITY VENDOR

OFFICE COPY
CIT[illegible] MI BEACH
APP[illegible] PERMIT BY
[illegible] NG:
BU[illegible]
CONCURRENCY
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY:
ELEVATOR:

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL ELEVATIONS AND DIMENSIONS OF EXISTING WORK. COPIES OF THE OFFICIAL SURVEY ARE AVAILABLE UPON REQUEST.

CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ARCHITECTURAL DRAWINGS & DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATIONS OF FIXTURES, EQUIPMENT, AND FINISHES, AND FOR THE COORDINATION OF ALL TRADES.

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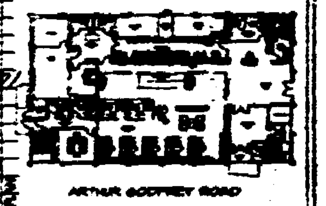
REVISIONS
ISSUES

NORTH

HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

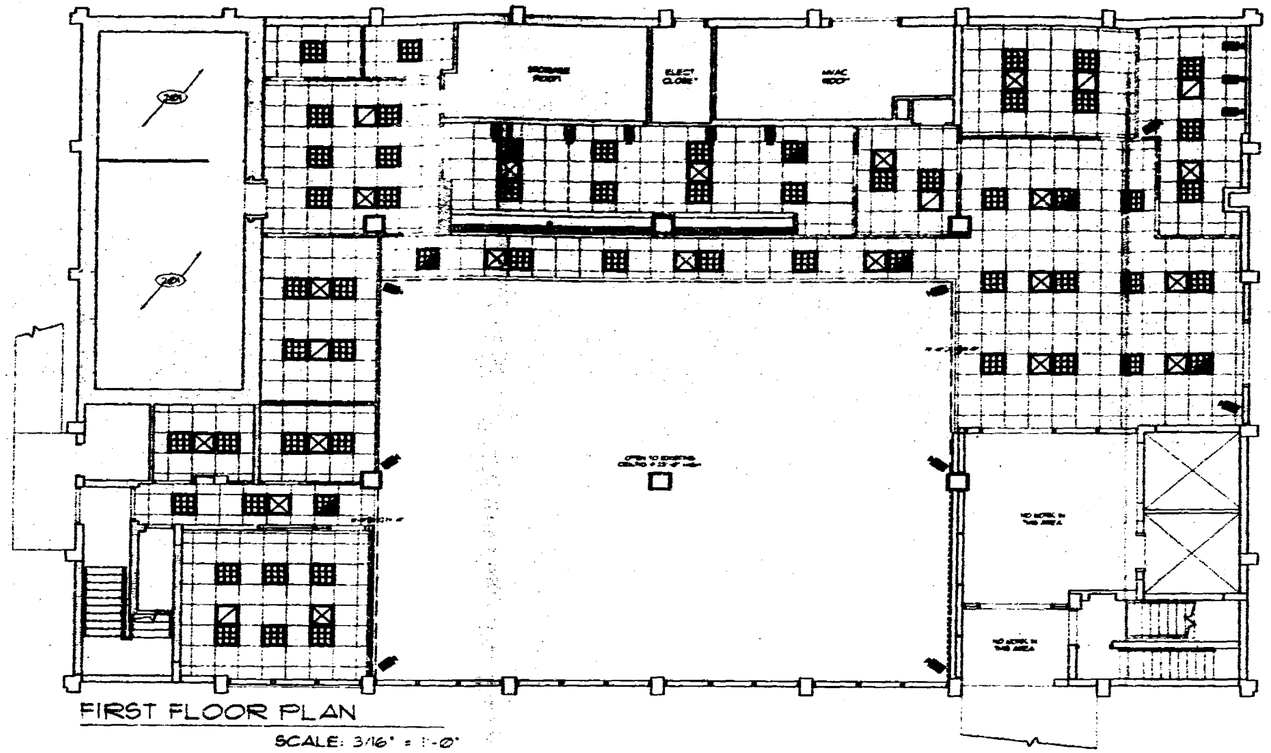
DRAWING TITLE
ELECTRICAL & TELEPHONE

JOB NO.	SCALE	DWG	DATE
964-0039	3/16"=1'-0"	ET-1	3/5/01



ET-1

06



FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

REFLECTED CEILING LEGEND

'NL' = NIGHT LIGHT
'R' = RELOCATED
'EPT' = EMERGENCY LIGHT WITH BATTERY BACKUP
'E' = EXISTING

(3/8) INDICATES SPECIFIC REFLECTED CEILING PLAN NOTE SEE REFLECTED CEILING PLAN NOTES

NEW 2X2 SUSPENDED CEILING TILE SYSTEM

NEW 2X2 FLUORESCENT LIGHT FIXTURE

NEW 2X2 FLUORESCENT LIGHT FIXTURE W/EMERGENCY BATTERY BACKUP AND NIGHT LIGHT

NEW 2X2 AIR SUPPLY GRILL

NEW 2X2 AIR RETURN GRILL

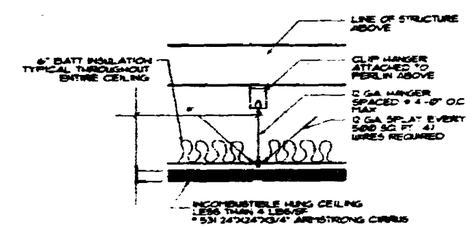
NEW EXIT SIGN

NEW CAMERA WALL MOUNT

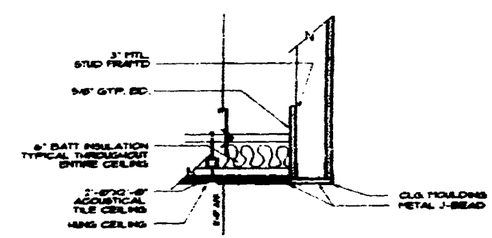
CEILING HEIGHT CHANGE

REFLECTED CEILING NOTES

(201) EXISTING CEILING STRUCTURE TO BE PAINTED MATCH EXISTING COLOR



1 TYPICAL SUSPENDED CEILING DETAIL



2 CEILING BREAK DETAIL

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BUILDING
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CONCURRENCY
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ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL
ACCESSIBILITY
ELEVATOR

THE CONTRACTOR SHALL VERIFY AND CONFIRM IN WRITING ALL ELEVATIONS AND DIMENSIONS OF EXISTING ROOM, BEFORE OF THE OFFICIAL SERVICE ARE AVAILABLE FOR REVIEW.

CONTRACTOR AND SUBCONTRACTOR SHALL CHECK ARCHITECTS ENGINEER'S DRAWINGS OF ALL OTHER TRADES TO VERIFY THE LOCATION OF PENETRATIONS, CHASES, AND PLACEMENT, PRIOR TO THE CONSTRUCTION OF ALL TRADES.

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REVISIONS
DATE | DESCRIPTION

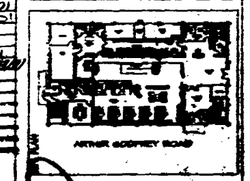
ISSUES
DATE | ISSUE NO.

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
REFLECTED CEILING PLAN

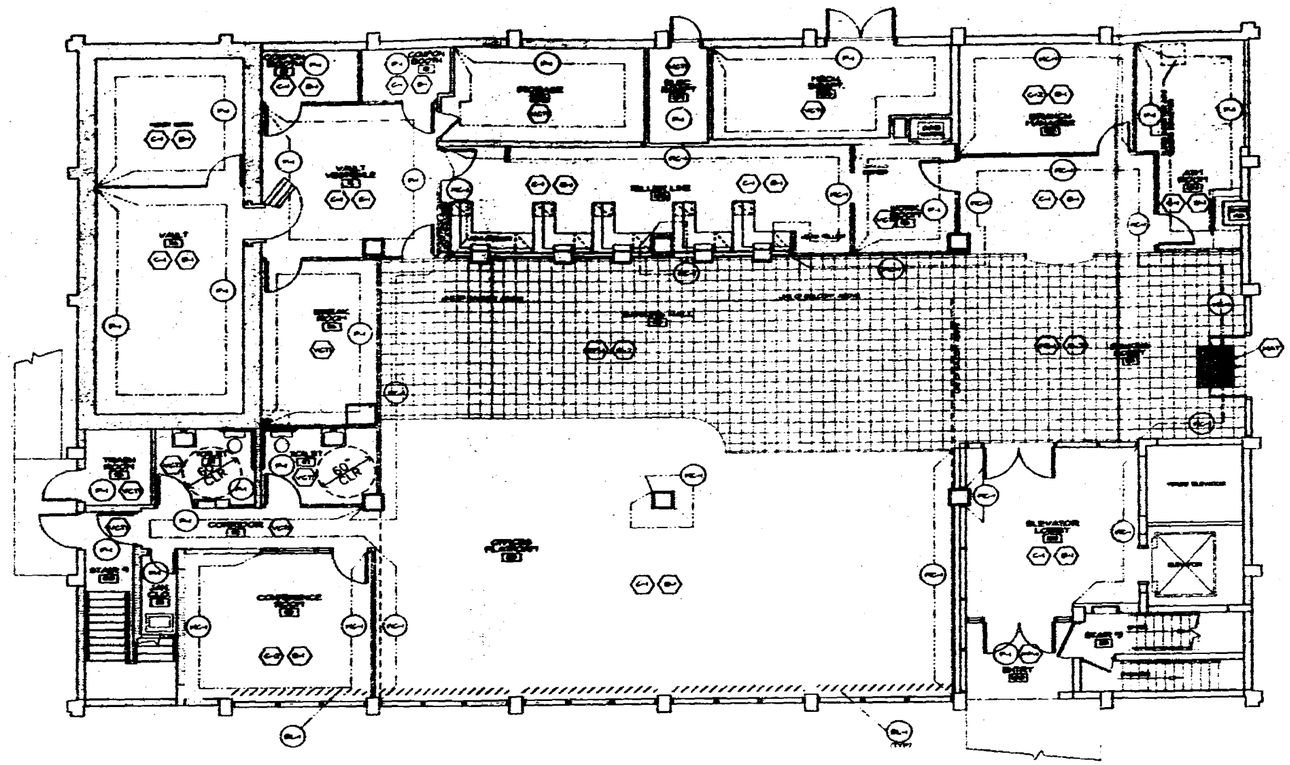
JOB NO. 545-0029
SCALE 3/16" = 1'-0"
DRAWN RC-1
DATE 3/8/05

NORTH



RC-1

06



FINISH LEGEND

WALL FINISHES

- P-1 — PAINT - PRATT & LAMBERT, BRISTOL FOB 2281 SATIN FINISH
- P-2 — PAINT - PRATT & LAMBERT, BRISTOL FOB 2281 WATERBORN EPOXY
- P-3 — PAINT - PRATT & LAMBERT, TROUT 2246 CELLU-SHE
- P-4 — PAINT - PRATT & LAMBERT, SEED PEARL 2314 VAPE> FLAT
- WC-1 — WALL COVERING - WOLF GORDON, 61716713
  CONTACT: WALTER MCGILL
  416 TENNIS TERRACE
  LIVERPOOL, N.Y. 13090
  (315) 636-7173
- BL-1 — BLINDS - TBD

FLOOR FINISHES

- C-1 — CARPET TILE - MILLIKEN 152380-99 HSBC BRANCH GRAY/ 24 OZ HARDBACK
- C-2 — CARPET TILE - MILLIKEN 4108-99 HSBC BRANCH RED/24 OZ. HARDBACK
- PP-1 — PORCELAIN PAVER - CREATIVE MATERIALS, CORP 12" X 12", COLOR: WHITE, MATTE SURFACE-VITORIA
- PP-2 — PORCELAIN PAVER - CREATIVE MATERIALS, CORP 12" X 12", COLOR: MEDIUM GREY MATTE SURFACE-FRANCE CERAM
- VCT-1 — VINYL COMPOSITION TILE - ARMSTRONG IMPERIAL TEXTURE CLASSIC WHITE 51911
- B-1 — VINYL/RUBBER BASE - JOHNSONITE BLACK 140
- B-2 — PORCELAIN BASE - CREATIVE MATERIALS, CORP. 4" H, COLOR: WHITE, MATTE SURFACE-VITORIA (APPLIED WITH MATCHING TILE PP-1)
- B-3 — PORCELAIN BASE - CREATIVE MATERIALS, CORP. 4" H, COLOR: MEDIUM GREY MATTE SURFACE-FRANCE CERAM (APPLIED WITH MATCHING TILE PP-2)
- MAT — RECESSED WEATHER MAT 3M "ENTRAP" COLOR GRANITE

DECORATIVE FINISH NOTES

401. SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. SHEETS AG-1 & TS-1.
402. CONTRACTOR TO BRING TO ARCHITECT'S ATTENTION ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
403. GENERAL CONTRACTOR SHALL PATCH SUBFLOOR TO PROVIDE LEVEL SURFACE WITHIN 1/8" VARIATION PER FOOT PRIOR TO INSTALLATION OF FLOOR FINISHES.
404. INSTALL STRAIGHT BASE WITH CARPET AND COVE BASE WITH V.C.T.
405. ALL FLASH PATCH LESS THAN 1/8" BY CARPET CONTRACTOR. ALL OTHER FLOOR PATCHING AS CALLED BY REPORTS OR EXISTING CONDITIONS BY GENERAL CONTRACTOR.
406. G.C. TO PREPARE FLOORS TO RECEIVE HSBC FINISH AS REQUIRED BY MANUFACTURER.
407. PROVIDE REDUCER STRIPS OR SADDLES AS REQUIRED.
408. ALL DOORS AND FRAMES TO BE PAINTED P-3 UNLESS OTHERWISE NOTED
409. ALL PAINTED SOFFITS SHALL BE P-4, UNLESS OTHERWISE NOTED
410. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS WITH WALL COVERING TO BE OUTWATER PLASTICS CRISH CLEAR ACRYLIC VINYL ADHESIVE APPLIED
411. INSTALL B-3 AT ALL WALLS COUNTS AND TELLER IN PUBLIC AREA

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APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING:
ZONING:
DRAINAGE:
SIGNS PLANNING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

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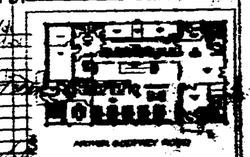
REVISIONS
NO. DATE REVISION

ISSUES
NO. DATE ISSUE

HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

DRAWING TITLE
DECORATIVE FINISHES PLAN

JOB NO. 94A-0030
ISSUED 3/29/94
DRWG DF-1
DATE 3/29/94



DF-1

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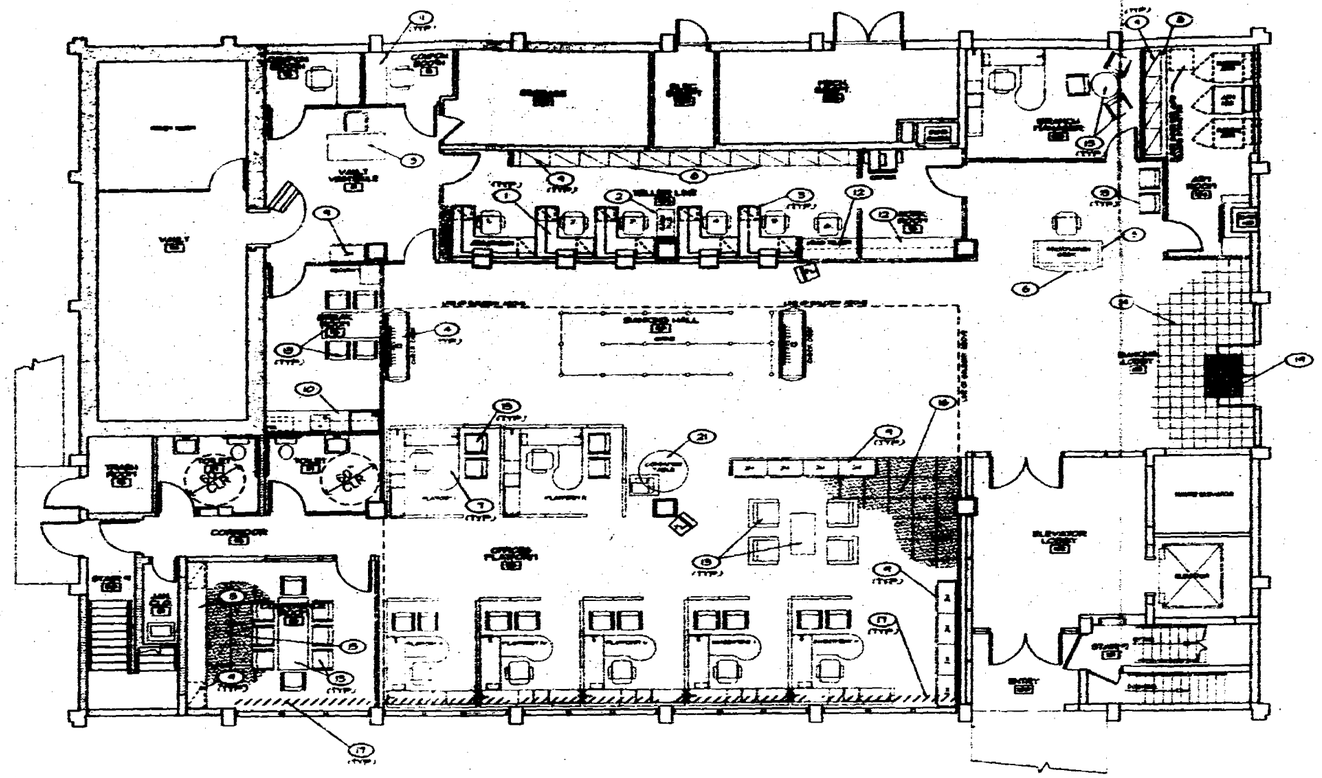

VENDER SPECIFICATION CHART

# / ITEM	FINISH (S.C.) SEE CHART	VENDER SUPPLIER	VENDER INSTALLER	REMARKS
TELLER LINE		G.B.	G.C.	MATERIAL COST N.I.C.
-CASH DRAWER		B.V.	B.V.	
-INSURANCE PROSPECTAL		M.L.	M.L.	
CHECK DESK		S.B.	G.C.	MATERIAL COST N.I.C.
INFORMATION DESK		M.L.	M.L.	
-BARREL FRONT & TOP		R.B.	G.C.	
SYSTEMS FURNITURE		H.C.	G.C.	
BACK COUNTER		G.C.	G.C.	
-INSURANCE CABINETS		H.C.	G.C.	
PHONEY HOLSTER		G.C.	G.C.	
COUPON BOOTH COUNTER		G.C.	G.C.	
WORK COUNTER		G.C.	G.C.	
CUSE DOORS & CHAIRS		M.L.	M.L.	
CERAMIC TILE		C.MAT.	G.C.	
CARPET & CONFERENCE ROOM		H.C.	G.C.	MATERIAL COST N.I.C.
CARPET & GENERAL SPACES		H.C.	G.C.	MATERIAL COST N.I.C.
BLINDS		G.C.	G.C.	
LIGHT PACKAGES		G.B.	G.C.	MATERIAL COST N.I.C.
PULL-OFF MAT		G.C.	G.C.	
APPLIANCES		P.C.	G.C.	
COMPUTER CABLE		R.B.	G.C.	MATERIAL COST N.I.C.

VENDER INFORMATION

R.B. R.B. WOODCRAFT
[illegible]
CONTRACTOR TO INSTALL

G.C. GENERAL CONTRACTOR

G.B. [illegible]

B.V. BANK VAULT
[illegible]

M.L. MILLWORK LOCKWOOD
[illegible]

C.MAT. CREATIVE MATERIALS
[illegible]

H.C. HALLMAN CARPET
[illegible]

PLASTIC LAMINATE FINISHES

SS-1	SOLID SURFACE - WILSONART SSV #D436-HG RAVEN MIRAGE	-TELLER TRANSACTION SURFACE
PL-1	PLASTIC LAMINATE - FORMICA #4403 PEARWOOD SHEDE	-TELLER LINE FRONT & RISER
PL-2	PLASTIC LAMINATE - FORMICA #271-40 BLACKSTONE - POLISHED	-TELLER LINE REVEAL
PL-3	PLASTIC LAMINATE - FORMICA #5-5-58 GRAPHITE GRAFIX	-BACK COUNTER/COUPON BOOTH
PL-4	PLASTIC LAMINATE - FORMICA #429-58 SURF	-CHECK DESKS ENTRY
PL-5	PLASTIC LAMINATE - FORMICA #509-58 STONE GRAFIX	-REF CABINET VERTICAL SURFACE PANTRY HORIZONTAL SURFACES
PL-6	PLASTIC LAMINATE - FORMICA #861-58 FOG MATTE FINISH	-PANTRY VERTICAL SURFACES BULLETPROOF DOOR

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REVISIONS
NO. | DATE | DESCRIPTION

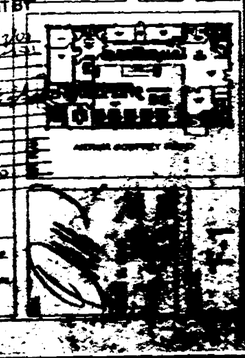
ISSUES
NO. | DATE | DESCRIPTION

HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

NORTH

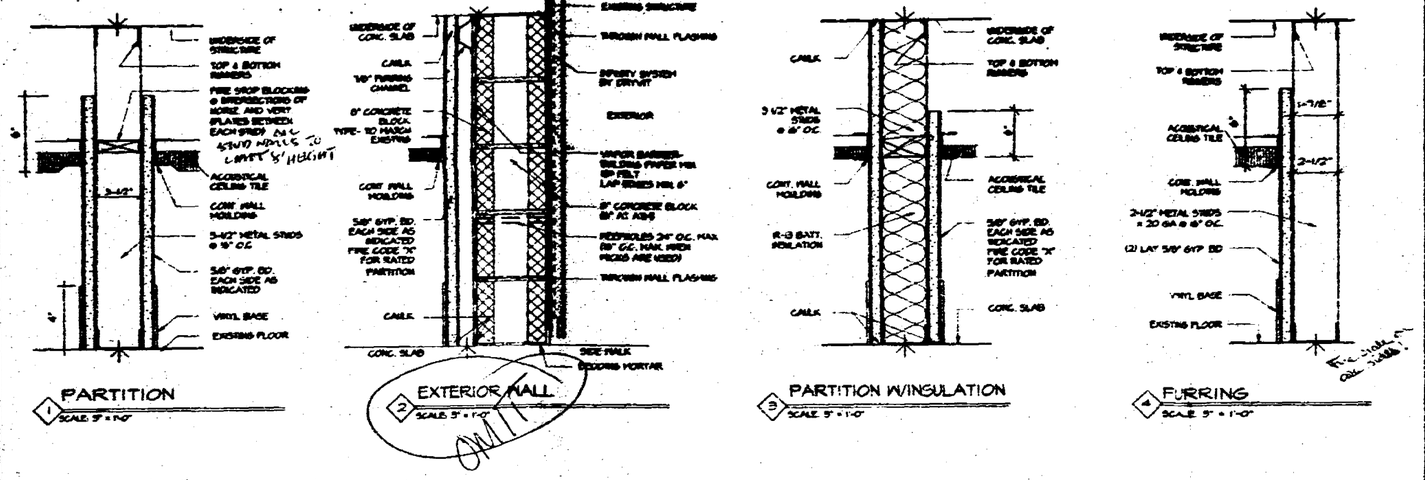
DRAWING TITLE
VENDER RESPONSIBILITY

DATE 3/15/01
SCALE 1/8"=1'-0"
DRAWN F.T.
JOB NO. 00-0-0139



06

WALL TYPES



1 PARTITION
SCALE: 3" = 1'-0"

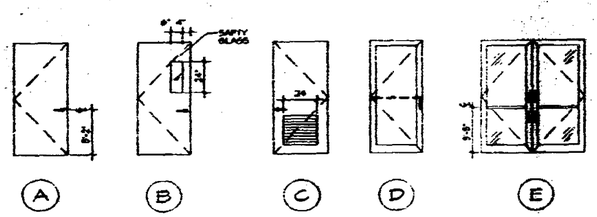
2 EXTERIOR WALL
SCALE: 3" = 1'-0"

3 PARTITION W/INSULATION
SCALE: 3" = 1'-0"

4 FURRING
SCALE: 3" = 1'-0"

OMIT

DOOR TYPE



DOOR SCHEDULE

FIRST FLOOR PLAN

DOOR NO	DIMENSIONS	QTY.	TYPE	MAT.	FIN.	HW	FRAME NO	TYPE	MAT.	FIN.	RATED	REMARKS
1	(2) 1 3/4" x 3'-0" x 7'-0"		E	GLASS/ ALUM.	ANODIZED ALUM.	7		1	GLASS/ ALUM.	ANODIZED ALUM.		
2	(2) 1 3/4" x 3'-0" x 7'-0"		E	GLASS/ ALUM.	ANODIZED ALUM.	6		1	GLASS/ ALUM.	ANODIZED ALUM.		
3	(2) 1 3/4" x 3'-0" x 7'-0"		E	GLASS/ ALUM.	ANODIZED ALUM.	1		1	GLASS/ ALUM.	ANODIZED ALUM.		
4	1 3/4" x 3'-0" x 7'-0"		A	HM.	PAINT	4		1	HM.	PAINT		INSTALL PEEPHOLE & KICKPLATE
5	1 3/4" x 3'-0" x 7'-0"		D	GLASS/ ALUM.	ANODIZED ALUM.	5		1	GLASS/ ALUM.	ANODIZED ALUM.		
6	1 3/4" x 3'-0" x 7'-0"		B	HM.	PAINT	2		1	HM.	PAINT		BULLET RESISTANT / FAIL SAFE
7	1 3/4" x 3'-0" x 7'-0"		B	HM.	PAINT	2		1	HM.	PAINT		
8	1 3/4" x 3'-0" x 7'-0"		A	HM.	PAINT	2		1	HM.	PAINT		BULLET RESISTANT / FAIL SAFE
9	1 3/4" x 3'-0" x 7'-0"		A	HM.	PAINT	3		1	HM.	PAINT		
10	1 3/4" x 3'-0" x 7'-0"		A	HM.	PAINT	3		1	HM.	PAINT		
11	1 3/4" x 3'-0" x 7'-0"		B	HM.	PAINT	3		1	HD.	PAINT		
12	1 3/4" x 3'-0" x 7'-0"		C	HM.	PAINT	3		1	HD.	PAINT		
13	1 3/4" x 3'-0" x 7'-0"		C	HM.	PAINT	3		1	HM.	PAINT		
14	1 3/4" x 3'-0" x 7'-0"		D	GLASS/ ALUM.	ANODIZED ALUM.	3		1	GLASS/ ALUM.	ANODIZED ALUM.		

HARDWARE SPEC.

HARDWARE	MANUFACTURER
SIMPLEX LOCKSET-	SIMPLEX LF 1000 FOR HOLLOW METAL DOORS
SIMPLEX LOCKSET-	SIMPLEX LF 3000 FOR NARROW STILE DOORS
ENTRANCE LOCK	BEST 4K SERIES 4N4K LEVER HANDLE
STORE ROOM LOCK	BEST 4K SERIES 4N4K LEVER HANDLE
PRIVACY LOCK	BEST 4K SERIES 4V4L LEVER HANDLE
CYLINDER LOCK	BEST E SERIES
ELECTRIC STRIKE	ADAMS RITE SERIES 4500 625 FINISH, 12V AL. (VERIFY W/ ELECTRICIAN BEFORE ORDERING)
CLOSER-	LCN4040 SERIES w/HOLD OPEN AS NOTED
CONCEALED CLOSER-HINGES-	LCN2031H SERIES w/HOLD OPEN AS NOTED STANLEY FBB179 STANLEY FINISH #652 SATIN STAINLESS STEEL
DOOR STOP-	H.B. IVES #436 FLOOR MOUNTED w/ RISER #455 IN CARPETED AREA
SILENCERS-	H.B. IVES #20 (AT ALL HOLLOW METAL DOOR FRAMES) H.B. IVES #21 (AT ALL WOOD DOOR FRAMES)
KAWNEER PUSH/PULL-	PUSH CP 11, PULL CO8, FINISH TO MATCH DOORS
PUSH EXIT BOLT	VON DUPRIN SERIES 99 EXIT DEVICES
SWEEP-	STANLEY #5070 OR EQUAL @ KAWNEER DOORS
THRESHOLD-	STANLEY SADDLE THRESHOLDS SIZE & MODEL # AS REQUIRED
PADDLE LATCH-	#4910 ADAMS RITE
FIRE PULLS	IVES #5003-9
SLIDING DOOR HARDWARE	STANLEY SERIES 1700 HARDWARE SET, FACIA TRACK, 1734 INBALL BEARING AND FLOOR GUIDE.
FLUSH BOLT CYLINDER OPERATED-	ADAMS RITE SERIES 1870 W/ BEST CYLINDER LOCK ABOVE FINISH TO MATCH DOORS
NOTE	ALL HARDWARE FINISH SHALL BE US10 SATIN BRONZE UNLESS OTHERWISE NOTED ALL LOCKSETS TO BE MASTER KEYED TO THE BASIC STAND 7 PIN BEST INTERCHANGE CORE SYSTEM ATM ENTRIES MEET ALL REQUIREMENTS OF LOCAL LAW 71 (ATM SECURITY REGULATIONS) ALL HARDWARE TO MEET ADA STANDARDS

HARDWARE SCHEDULE

1. CONCEALED CLOSER
   PUSH/PULL
   OFFSET PIVOT
   THRESHOLD, 1 SWEEPS
   FLUSH BOLT CYLINDER OPERATED
   INDUSTRIPROOF SOCKET
   FIRE EXIT BOLT
2. SIMPLEX LOCKSET
   ELECTRIC STRIKE
   CONCEALED CLOSER
   1 1/2" PAIR HINGES
   SILENCERS
   DOOR STOP
3. PRIVACY LOCK
   1 1/2" PAIR HINGES
   SILENCERS
   DOOR STOP
4. SIMPLEX LOCKSET
   1 1/2" PAIR HINGES
   SILENCERS
   DOOR STOP
   SILENCERS
5. PUSH/PULL
   CYLINDER LOCK
   CLOSER
6. CYLINDER LOCK
   FLUSH BOLT FRIMER LATCH
   CONCEALED CLOSER
   PADDLE LATCH, & PUSH/PULL
   OFFSET PIVOT
   THRESHOLD, & SWEEPS
7. CONCEALED CLOSER
   PUSH/PULL
   OFFSET PIVOT
   THRESHOLD, & SWEEPS
   FLUSH BOLT CYLINDER OPERATED
   INDUSTRIPROOF SOCKET

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ENGINEERING
PUBLIC WORKS
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

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CONTRACTOR AND SUBCONTRACTORS SHALL BE ALL ARE THE RESPONSIBLE FOR REPORTING OF ALL ERRORS FOUND TO VERIFY THE LOCATIONS OF PIPINGS, DUCTS AND WORKS, AND FOR THE COORDINATION OF ALL TRADES.

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REVISIONS
NO. | DESCRIPTION

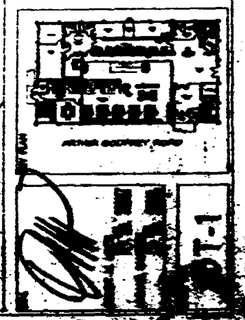
ISSUES
NO. | DATE | DESCRIPTION

PROJECT
HSBC
301 ARTHUR GODFREY ROAD
MIAMI BEACH, FLORIDA

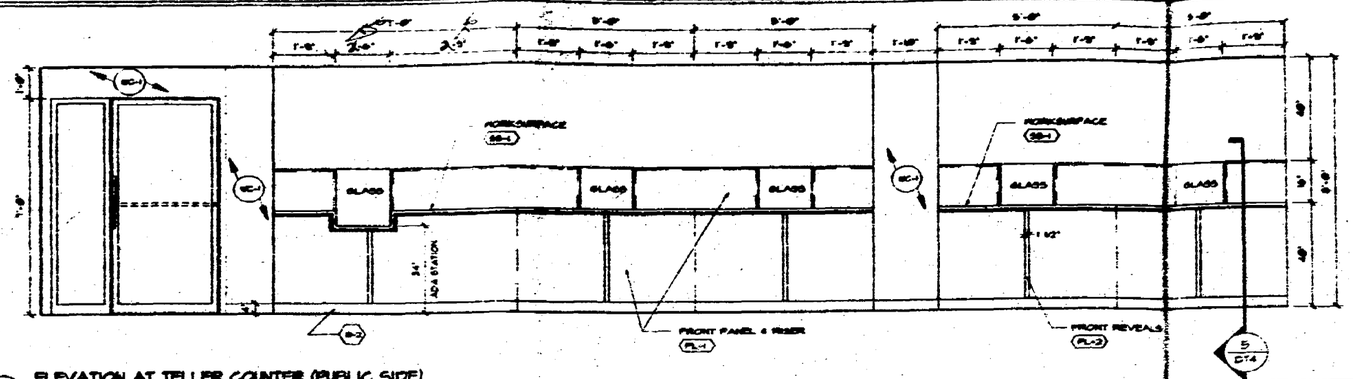
DRAWING TITLE
DETAILS & ELEVATIONS

NORTH

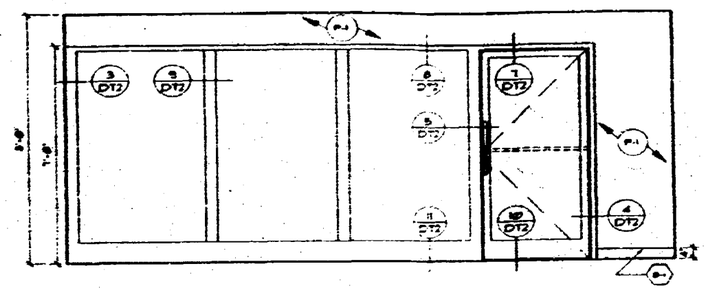
DATE	3/31/01
DRAWN	DT-1
SCALE	AS NOTED
JOB NO.	944-0039



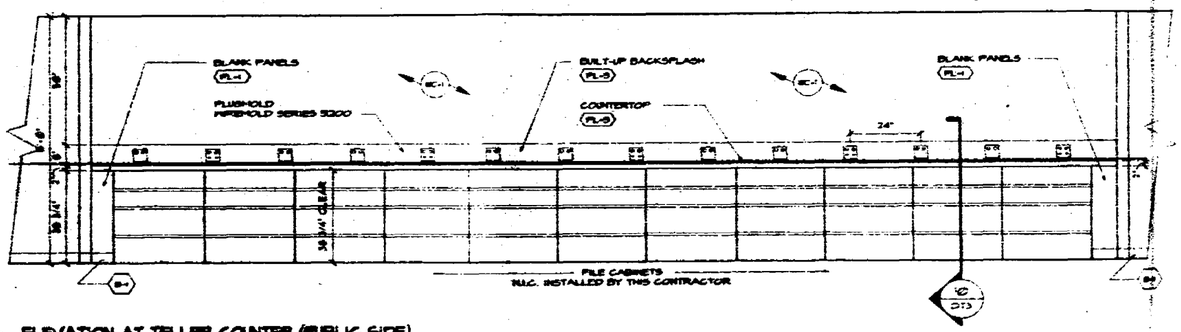
DT-1



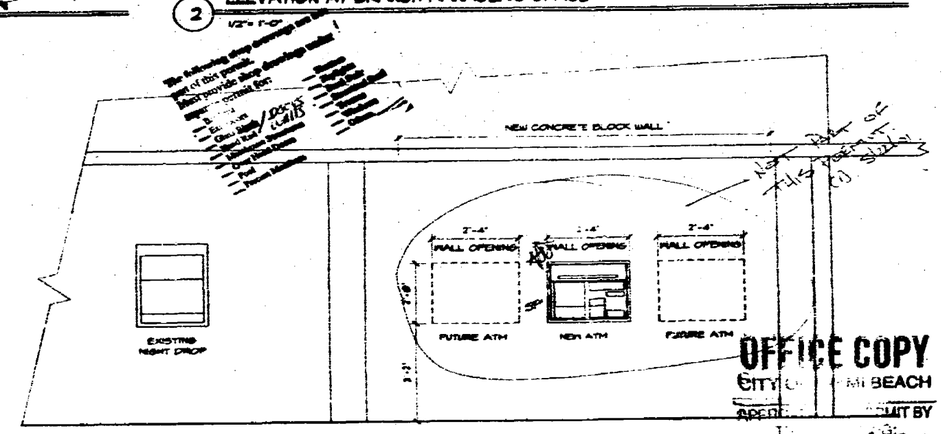
1 ELEVATION AT TELLER COUNTER (PUBLIC SIDE)
1/2" = 1'-0"



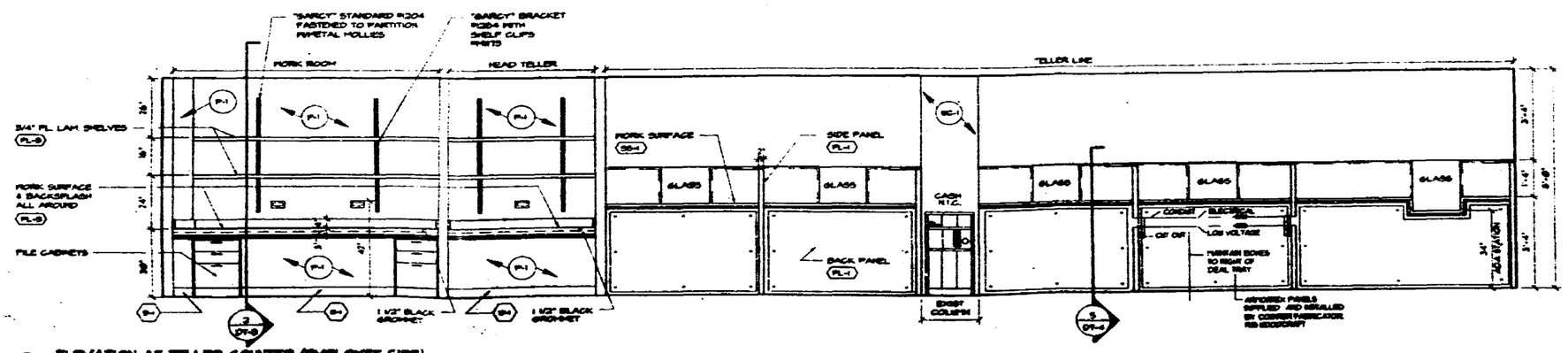
2 ELEVATION AT BRANCH MANAGER'S OFFICE
1/2" = 1'-0"



3 ELEVATION AT TELLER COUNTER (PUBLIC SIDE)
1/2" = 1'-0"

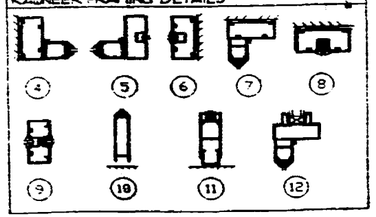


4 ELEVATION @ ATMS
1/2" = 1'-0"



5 ELEVATION AT TELLER COUNTER (EMPLOYEE SIDE)
1/2" = 1'-0"

KAUNEER FRAMING DETAILS



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REVISIONS
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301 ARTHUR GODFREY ROAD
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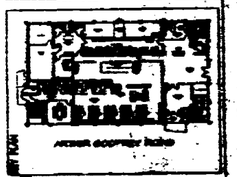
DRAWING TITLE
ELEVATIONS & DETAILS

DATE 3/5/01
DWG. DT-2
SCALE AS NOTED
JOB NO. 944-0699



SHEET PLAN

DT-2

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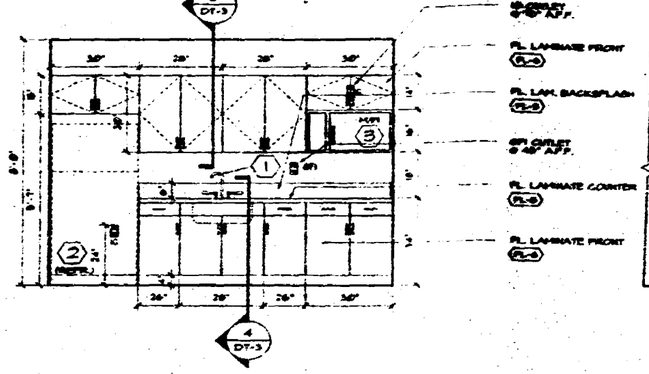
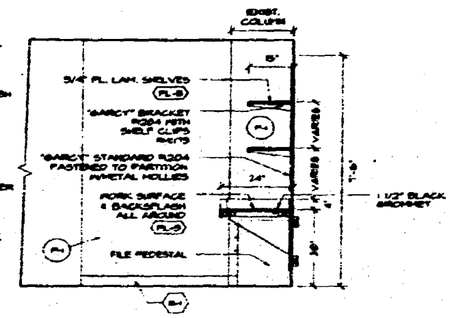
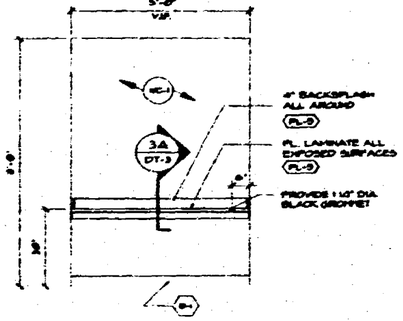
06



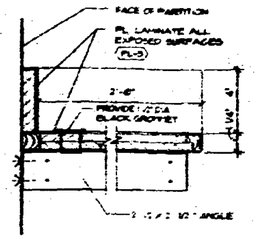
1 ELEVATION - PANTRY @ BREAK ROOM
1/2"= 1'-0"



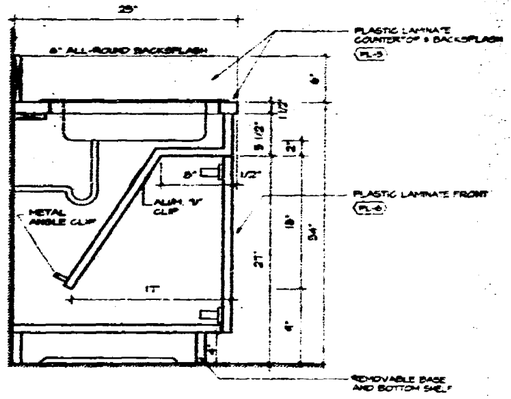
2 SECTION @ WORK ROOM & HEAD TELLER
1/2"= 1'-0"



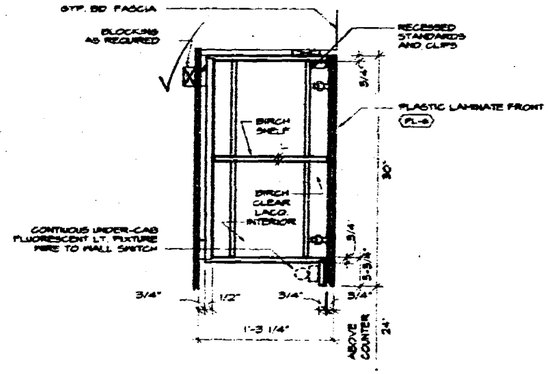
3 ELEVATION @ COUPON BOOTH
1/2"= 1'-0"



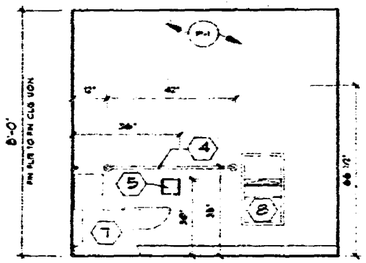
3A DETAIL @ COUPON BOOTH (TYP)
N.T.S.



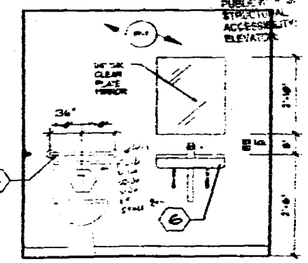
4 SINK IN CABINET DETAIL
1 1/2"= 1'-0"



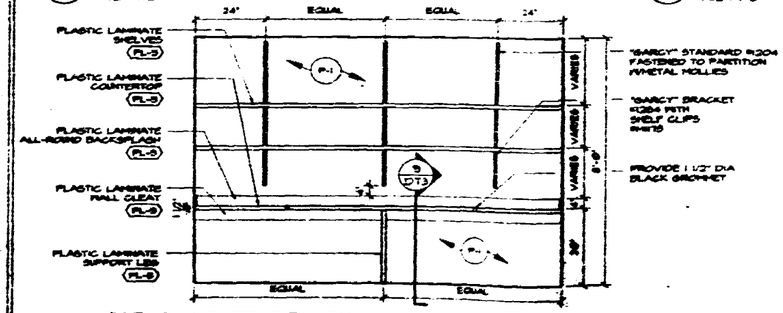
5 UPPER CABINET SECTION
1 1/2"= 1'-0"



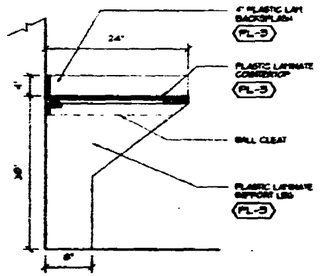
6 TOILET ROOM - SIDE ELEVATION
1"= 1'-0"



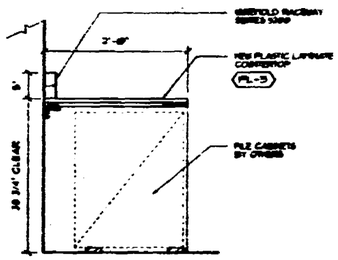
7 TOILET ROOM - FRONT ELEVATION
1"= 1'-0"



8 ATM ROOM COUNTER ELEVATION
1/2"= 1'-0"



9 ATM ROOM COUNTER SECTION
1"= 1'-0"



10 BACK COUNTER SECTION
1"= 1'-0"

FIXTURE/EQUIPMENT SCHEDULE

1. SINK-ELKAY MODEL [illegible] WITH ARC FAUCET ELK-2452 WITH PINS HANDLES POLISHED CHROME FINISH POP-UP DRAIN RELEASE LK-99, AND ELKAY HOT WATER MACHINE ELKH-180
2. REFRIGERATOR-GENERAL ELECTRIC MODEL [illegible]
3. MICROWAVE-GENERAL ELECTRIC SPACEMAKER MODEL # JVM6540WB
4. GRAB BARS, BOBRICK B6806 1-1/2" DIAMETER W/SNAP FLANGE SATIN FINISH LENGTH AS SHOWN ON PLAN & ELEVATION PROVIDE BLOCKING AS REQUIRED
5. TOILET PAPER HOLDER, BOBRICK B-6677 RECESSED HOLDER FOR 1 ROLL
6. CONTRACE WALL HUNG LAVATORY MFR. BY AMERICAN STANDARD MODEL #0236024 COLOR: WHITE WITH FAUCET # 3000.101
7. CADET ELONGATED WATER SAVER TOILET (ADA) AMERICAN STANDARD MODEL #2060.000 WHITE W/ OLSONITE #95 OPEN FRONT SEAT WITH COVER.
8. RECESSED PAPER TOWEL DISP. & WASTE RECEPTACLE BOBRICK - DURALUME SERIES # B-264

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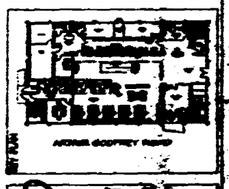

KEY PLAN

DT-3

06