

MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2ND FLOOR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305-673-7550

LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- BOARD OF ADJUSTMENT
 - VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
 - APPEAL OF AN ADMINISTRATIVE DECISION

- DESIGN REVIEW BOARD
 - DESIGN REVIEW APPROVAL
 - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.

- HISTORIC PRESERVATION BOARD
 - CERTIFICATE OF APPROPRIATENESS FOR DESIGN
 - CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
 - HISTORIC DISTRICT / SITE DESIGNATION
 - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.

- PLANNING BOARD
 - CONDITIONAL USE PERMIT
 - LOT SPLIT APPROVAL
 - AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
 - AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP

- FLOOD PLAIN MANAGEMENT BOARD
 - FLOOD PLAIN WAIVER

- OTHER _____

SUBJECT PROPERTY ADDRESS: Lincoln Road Pedestrian mall between Washington and Lenox Avenue

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A" A portion of the public-right-of-ways bounded by Lincoln Lane North to the North, Lincoln Lane South to the South, Washington Avenue to the East, and Lenox Avenue to the West, all lying and being in the City of Miami Beach, Florida.

FOLIO NUMBER (S) N/A

1. APPLICANT: OWNER OF THE SUBJECT PROPERTY TENANT ARCHITECT LANDSCAPE ARCHITECT
 ENGINEER CONTRACTOR OTHER _____

NAME City of Miami Beach, Office of Capital Improvement Projects
ADDRESS 1700 Convention Center Drive, Miami Beach, FL 33139
BUSINESS PHONE 305-673-7071 CELL PHONE _____
E-MAIL ADDRESS davidmartinez@miamibeachfl.gov

OWNER IF DIFFERENT THAN APPLICANT:

NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

2. AUTHORIZED REPRESENTATIVE(S):

ATTORNEY:
NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

AGENT:
NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

CONTACT:
NAME _____
ADDRESS _____
BUSINESS PHONE _____ CELL PHONE _____
E-MAIL ADDRESS _____

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

ARCHITECT LANDSCAPE ARCHITECT ENGINEER CONTRACTOR OTHER: _____
NAME James Corner
ADDRESS 475 10th Avenue, 9th floor, New York, NY 10018
BUSINESS PHONE 212-433-1450 CELL PHONE _____
E-MAIL ADDRESS icastilla@fieldoperations.net

FILE NO. _____

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

Detailed design for various components of the Lincoln Road District Master Plan
approved by the Historic Preservation Board in October 2015.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE YES NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION YES NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) N/A SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). N/A SQ. FT.

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ _____

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. _____

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: OWNER OF THE SUBJECT PROPERTY
 AUTHORIZED REPRESENTATIVE

SIGNATURE: Eric Carpenter

PRINT NAME: Eric Carpenter, P.E.
 Assistant City Manager

FILE NO. _____

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF
COUNTY OF

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this ____ day of _____, 20___. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

(Circle one)

STATE OF
COUNTY OF

I, _____, being duly sworn, depose and certify as follows: (1) I am the _____ (print title) of _____ (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this ____ day of _____, 20___. The foregoing instrument was acknowledged before me by _____ of _____, on behalf of such entity, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

FILE NO. _____

POWER OF ATTORNEY AFFIDAVIT

STATE OF
COUNTY OF

I, _____, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize _____ to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

PRINT NAME (and Title, if applicable)

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____ of _____ who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities. *

NAME	DATE OF CONTRACT
NAME, ADDRESS, AND OFFICE	% OF STOCK
_____	_____
_____	_____
_____	_____

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. _____

CITY OF MIAMI BEACH
DEVELOPMENT REVIEW BOARD APPLICATION
DISCLOSURE OF INTEREST

2. TRUSTEE

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.*

TRUST NAME	
NAME AND ADDRESS	% INTEREST
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

NOTE: Notarized signature required on page 9

FILE NO. _____

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF _____
COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

SIGNATURE

Sworn to and subscribed before me this ____ day of _____, 20____. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

FILE NO. _____

AFFIDAVIT

I, Eric Carpenter, P.E., being duly sworn, depose and say that I am the (Assistant) City Manager of the City of Miami Beach and as such, have been authorized by the City, to file an application for a Design Review Board public hearing.

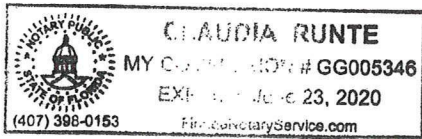
This instrument is executed pursuant to the requirements of the Planning Department and attests to the accuracy of the above statement. Execution hereof does not constitute approval or disapproval of the application which it addresses.




(ASSISTANT) CITY MANAGER'S SIGNATURE

STATE OF FLORIDA)
) SS
COUNTY OF MIAMI-DADE)

Sworn to and subscribed before me this 28th day of March, 2017. The foregoing instrument was acknowledged before me by Eric Carpenter, who is personally known to me and who did/did not take an oath.





NOTARY PUBLIC (signature)

My commission expires:

June 23, 2020

Claudia Runte

NOTARY PUBLIC
STATE OF FLORIDA
(type, print or stamp name)

AFFIDAVIT

I, Eric Carpenter, P.E., being duly sworn, depose and say that I am the (Assistant) City Manager of the City of Miami Beach and as such, am the representative of the owner of the described real property, and am authorized by the City to sign this Affidavit as part of an application for a public hearing for _____ before the _____.

I am aware of the nature and effect of the request described above relative to the subject property. I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a NOTICE OF PUBLIC HEARING on the property as required by law and I take the responsibility of removing this notice after the date of hearing.

This instrument is executed pursuant to the requirements of the Planning Department and attests to the accuracy of the above statement. Execution hereof does not constitute approval or disapproval of the application which it addresses.




(ASSISTANT) CITY MANAGER'S SIGNATURE

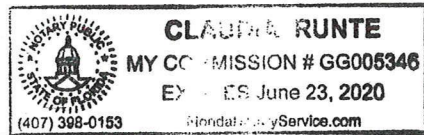
STATE OF FLORIDA)
) SS
COUNTY OF MIAMI-DADE)

Sworn to and subscribed before me this 28th day of March, 2017. The foregoing instrument was acknowledged before me by Eric Carpenter, who is personally known to me and who did/did not take an oath.

NOTARY PUBLIC (signature)



My commission expires:
NOTARY PUBLIC
STATE OF FLORIDA



(type, print or stamp name)

LINCOLN ROAD DISTRICT IMPROVEMENTS

HISTORIC PRESERVATION BOARD APPLICATION
FINAL SUBMITTAL - 04/24/2017

PREPARED BY:
**JAMES
CORNER
FIELD
OPERATIONS**

IN COLLABORATION WITH:
**HLB LIGHTING
ROBERT SILMAN ASSOCIATES**

PREPARED FOR:
THE CITY OF MIAMI BEACH

LINCOLN ROAD DISTRICT IMPROVEMENTS

HISTORIC PRESERVATION BOARD APPLICATION
FINAL SUBMITTAL - 04/24/2017

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PROJECT LOCATION PLAN

ZONING DISTRICT: CD-3

HISTORIC DISTRICT: FLAMINGO PARK



 PHASE 1 PROJECT AREA

 AREAS IN MASTERPLAN DEFERRED TO FUTURE PHASE



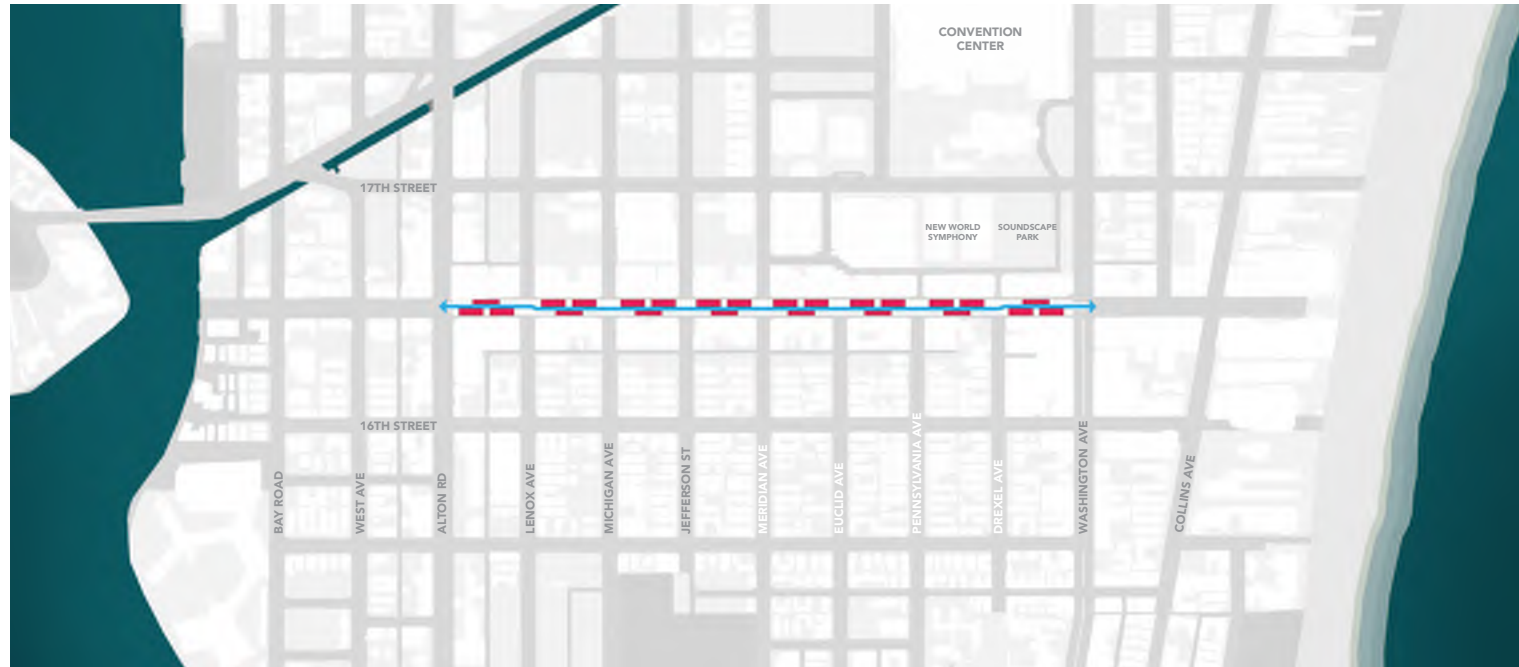
MASTER PLAN SUMMARY

2015 MASTER PLAN KEY GOALS

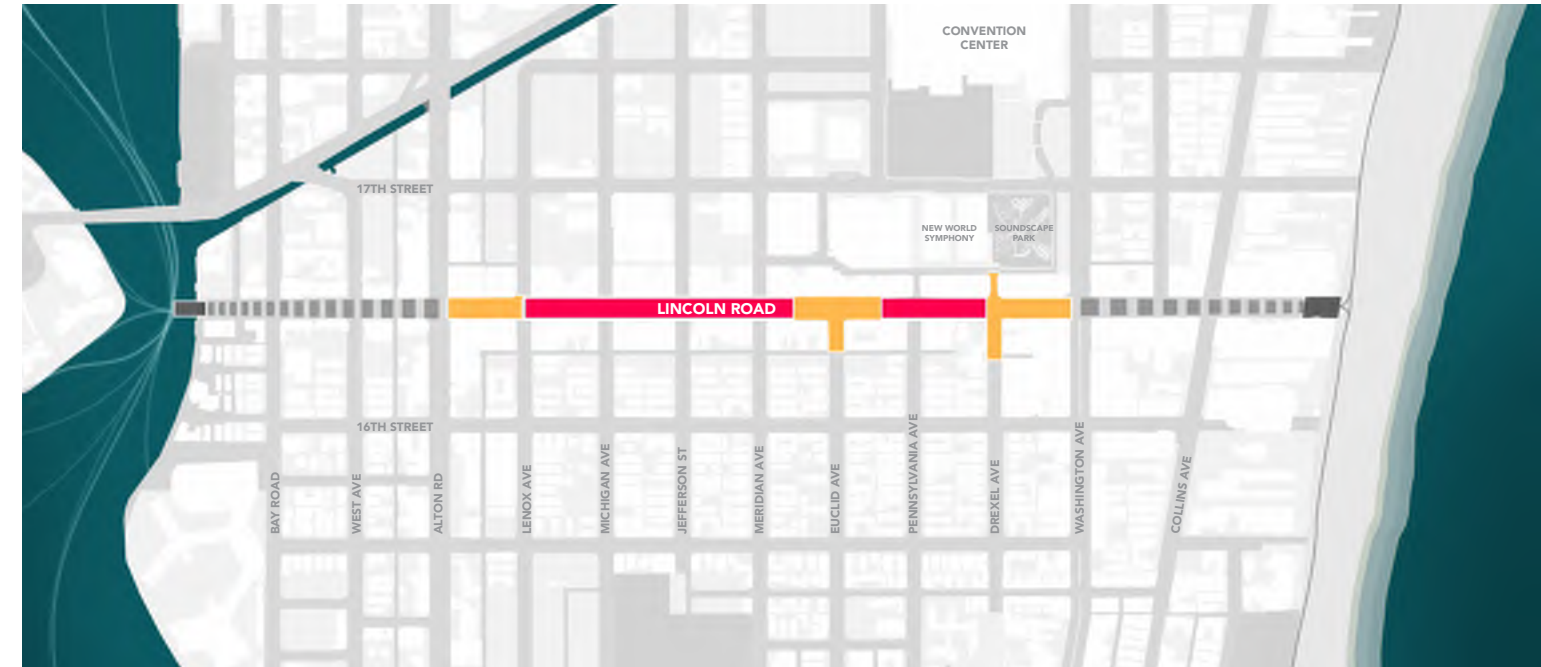
- 1 | ENHANCE THE SHOPPING AND DINING EXPERIENCE BY UPGRADING INFRASTRUCTURE AND MATERIALS, ORGANIZING SPACE AND ADDRESSING SOME OF THE BIGGER MAINTENANCE CHALLENGES THAT AFFECT THE ROAD TODAY;
- 2 | SHOWCASE LINCOLN ROAD HISTORY AND THE LAPIDUS VISION;
- 3 | ANIMATE LINCOLN ROAD WITH ARTS, CULTURE AND PUBLIC LIFE BY CREATING A SERIES OF EPISODIC ATTRACTIONS THAT PROGRAM EACH BLOCK OF THE ROAD AND ARE INSPIRED BY THE SPACES CREATED BY THE EXISTING LAPIDUS FEATURES;
- 4 | CREATE NEW DISTINCTIVE PUBLIC SPACES THAT FURTHER ELEVATE LINCOLN ROAD AS A WORLD-CLASS DESTINATION;
- 5 | TRANSFORM SERVICE AREAS INTO A PEDESTRIAN-ORIENTED DISTRICT;



2015 MASTER PLAN STRATEGIES



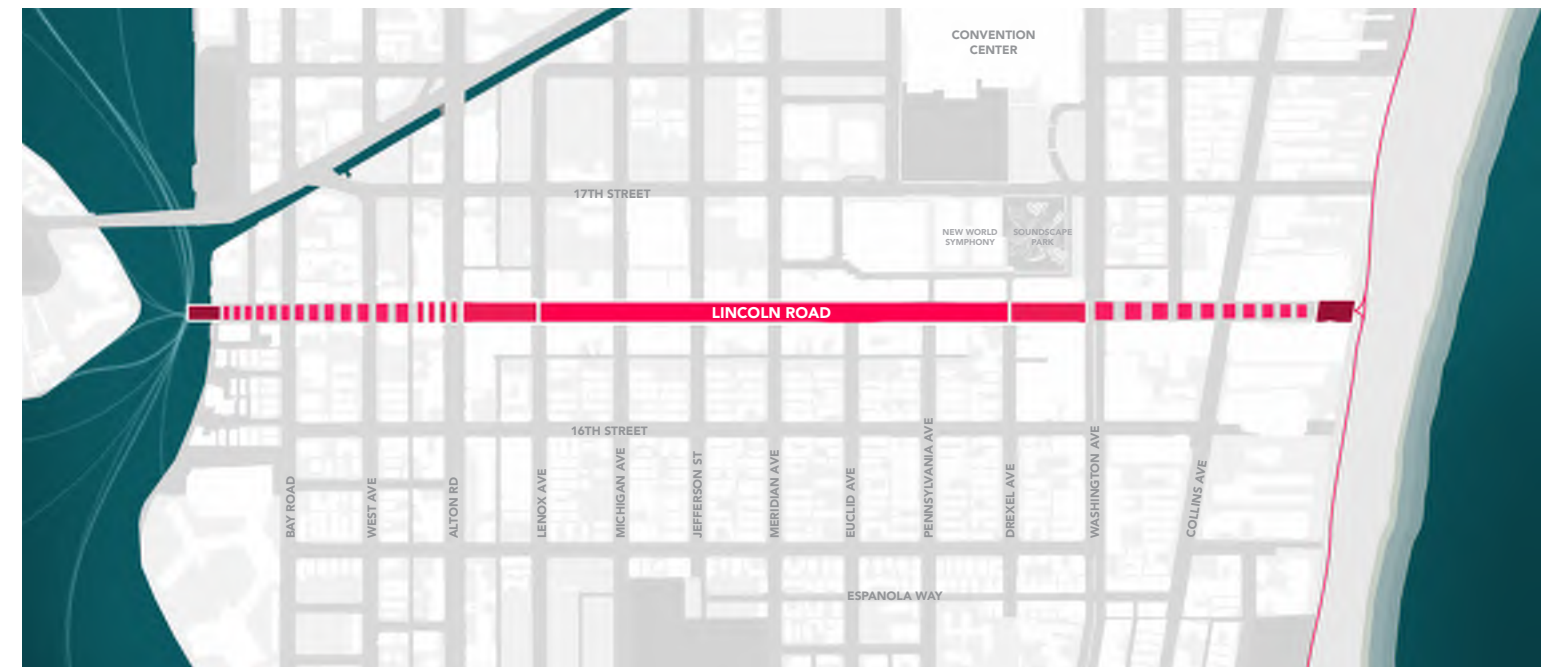
1 ORGANIZE THE LINE
 ESTABLISH A CENTRAL PUBLIC SPINE FLANKED BY CLEARLY DESIGNATED CAFE ZONES WHILE PRESERVING NORTH-SOUTH POROSITY



3 EMPHASIZE GATEWAYS
 CLEARLY DEMARCATÉ ENTRY POINTS TO PEDESTRIAN PROMENADE AT THE 400 BLOCK, CREATING A COUNTER PART TO THE RECENTLY RENOVATED 1100 BLOCK



2 DEVELOP A COHESIVE DESIGN VOCABULARY
 INCORPORATE CONSISTENT ELEMENTS SUCH AS PAVING, LIGHTING AND PUBLIC FURNISHING THROUGHOUT PROMENADE WHILE PRESERVING AND CELEBRATING HISTORICAL ELEMENTS THAT MAKE LINCOLN ROAD UNIQUE



4 CREATE CIVIC ANCHORS
 ENRICH PROMENADE EXPERIENCE BY CREATING LARGER CIVIC SPACES TO ACCOMMODATE ART AND CULTURE SUCH AS THE NEW EUCLID OVAL



LINCOLN ROAD FEATURES

THE LOUNGE



THE OUTDOOR GALLERIES



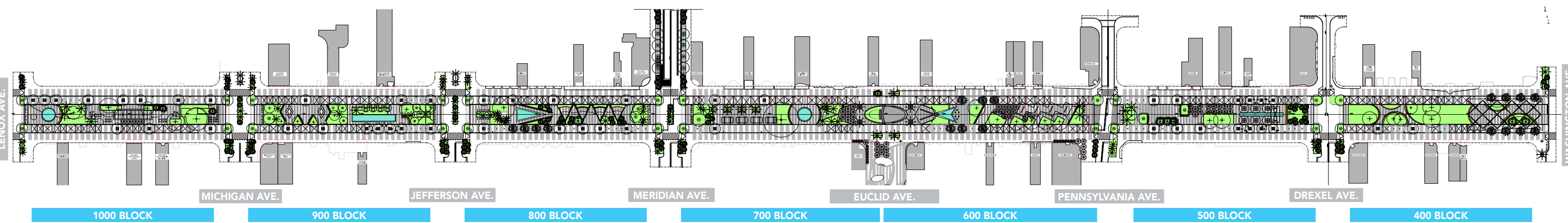
THE OUTDOOR GALLERIES



THE GATEWAY GARDENS



THE BEACH GATEWAY



THE MARKET



THE TROPICAL GARDENS



THE EUCLID STAGE

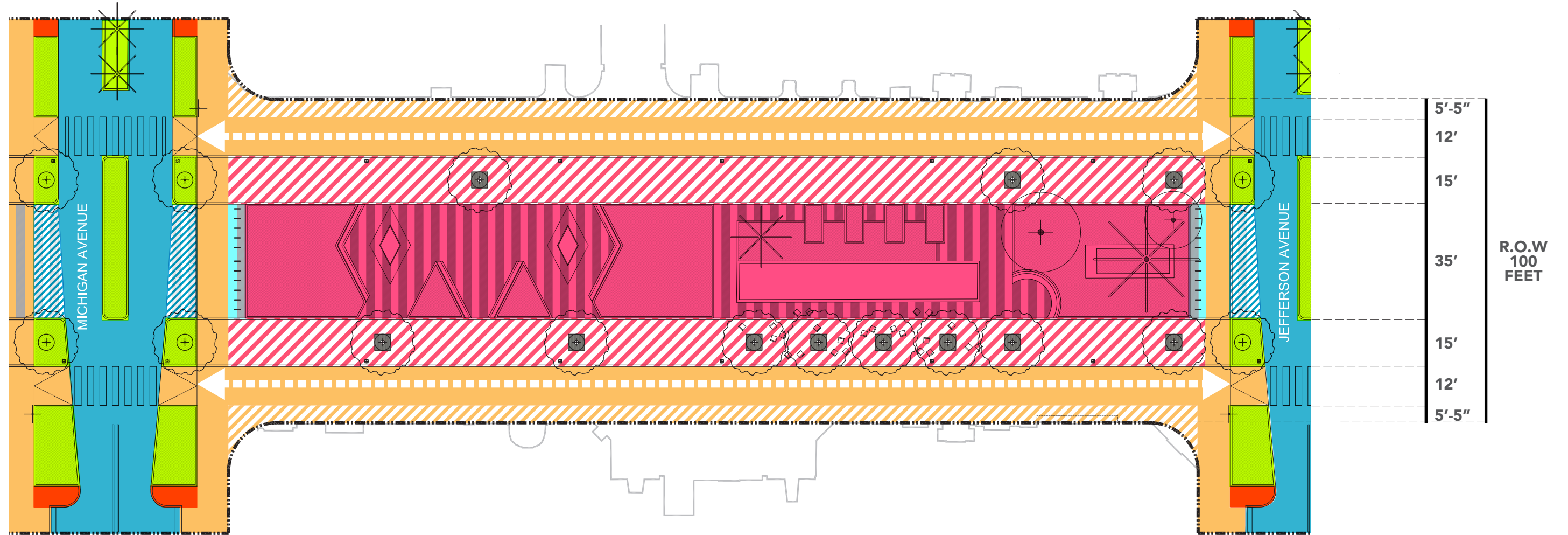


THE BOSQUE



PROPOSED ROW ORGANIZATION

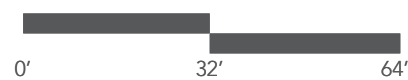
TYPICAL LINCOLN ROAD BLOCK & INTERSECTION



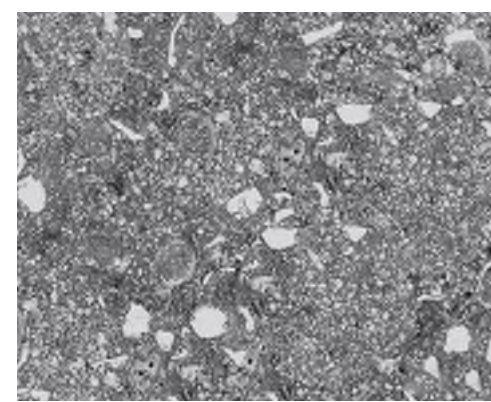
PROPOSED LAYOUT AT 900 BLOCK

* CURRENT OUTDOOR CAFE AREAS PER RESTAURANT ARE BASED ON THE CITY OF MIAMI BEACH APPROVED SIDEWALK CAFE PERMIT PLANS

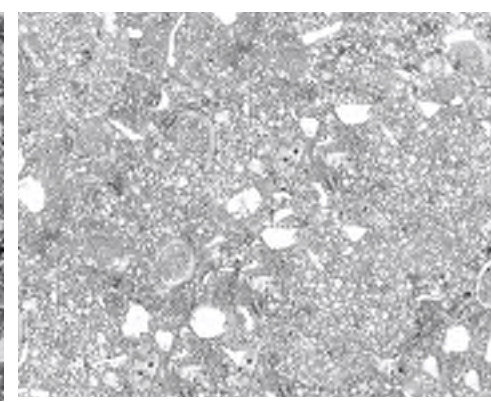
- | | | | |
|--|--|--|------------------------|
| | PROMENADE / EMERGENCY VEHICLE ACCESS | | INTERSECTION PLANTERS |
| | FRONTAGE BUFFER AREA | | BICYCLE PARKING AREA |
| | PIANO KEYS | | UTILITY / SERVICE AREA |
| | CAFE AREA (UMBRELLAS, LIGHTING, SHADE TREES) | | EXISTING CANOPY TREE |
| | ROADWAY | | EXISTING PALM TREE |
| | EMERGENCY VEHICLE IDLING AREA | | PROPOSED SHADE TREE |



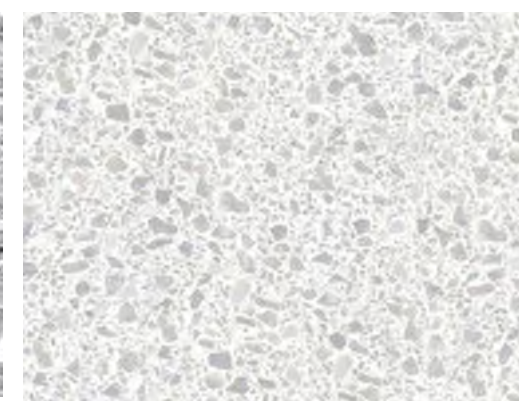
PAVING | PROPOSED PAVING FOR LINCOLN ROAD



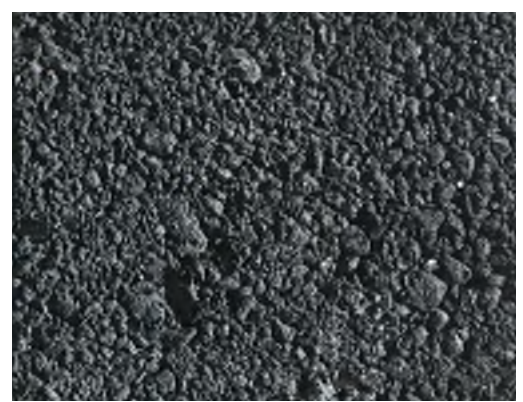
EXPOSED SEASHELL CIP CONCRETE - LIGHT GRAY



EXPOSED SEASHELL CIP CONCRETE - DARK GRAY



EXPOSED AGGREGATE CIP CONCRETE - WHITE



EXPOSED AGGREGATE CIP CONCRETE - BLACK



ANODIZED ALUMINUM DRAINAGE GRATE

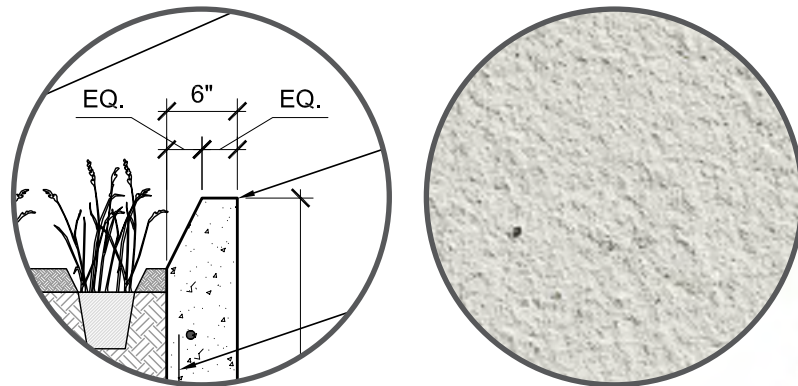


NEW SEAT WALLS, PLANTER EDGES AND PLANTING

NEW PRECAST CONCRETE SEAT
WITH REVEAL DETAIL + HONED FINISH



NEW PRECAST CONCRETE WALL
WITH THIN PROFILE + ACID WASH FINISH



ANODIZED ALUMINUM
ARMRESTS



LED FLEXIBLE LINEAR
LIGHT FIXTURE



RETAIN EXISTING MATURE AND HEALTHY TREES AND
PALMS LOCATED ON RAISED PLANTING.
INCORPORATE A NEW UNDERSTORY MIX WITH NATIVE
PLANTS , GRASSES, BROMELIADS AND SUCCULENTS

SEAT AND PLANTER WALL AXONOMETRIC



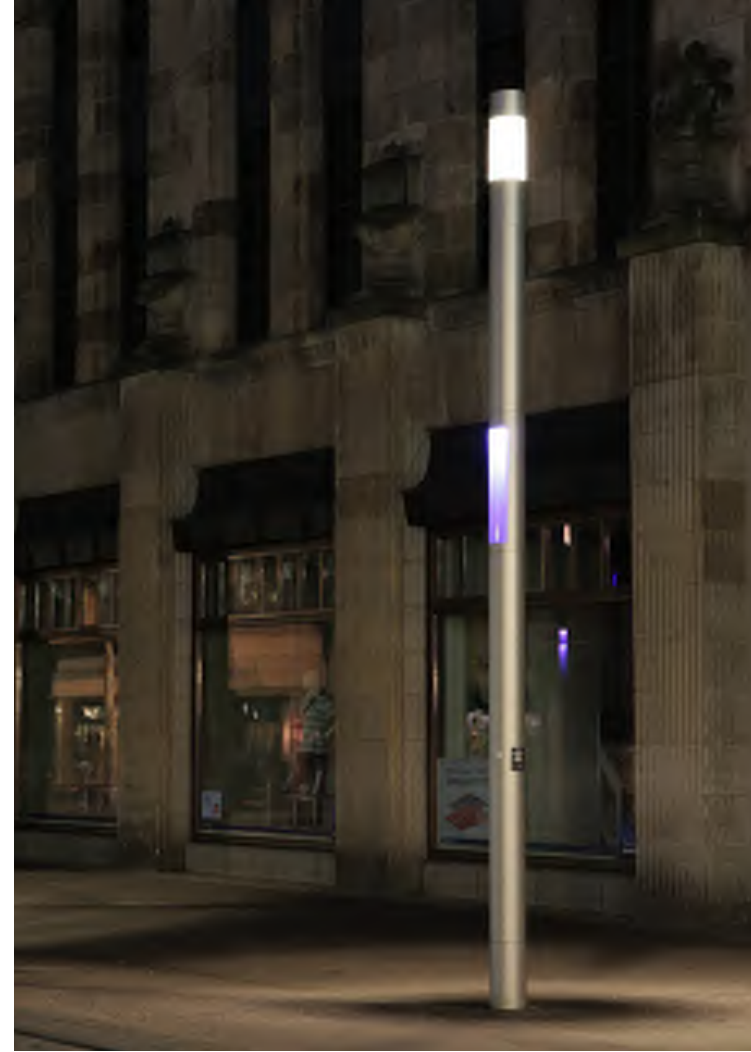
LIGHTING | OVERALL CONCEPTS



UNDER BENCH LIGHTING



TREE CANOPY UPLIGHT



AMBIENT LUMINAIRES



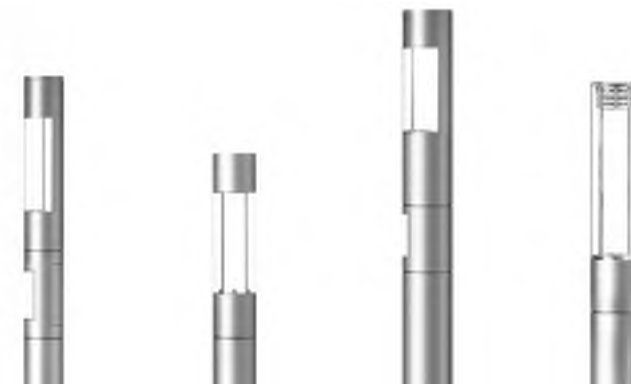
FOLLY LIGHTING



LED FLEXIBLE LINEAR FIXTURE



ADJUSTABLE LED ACCENT LIGHT



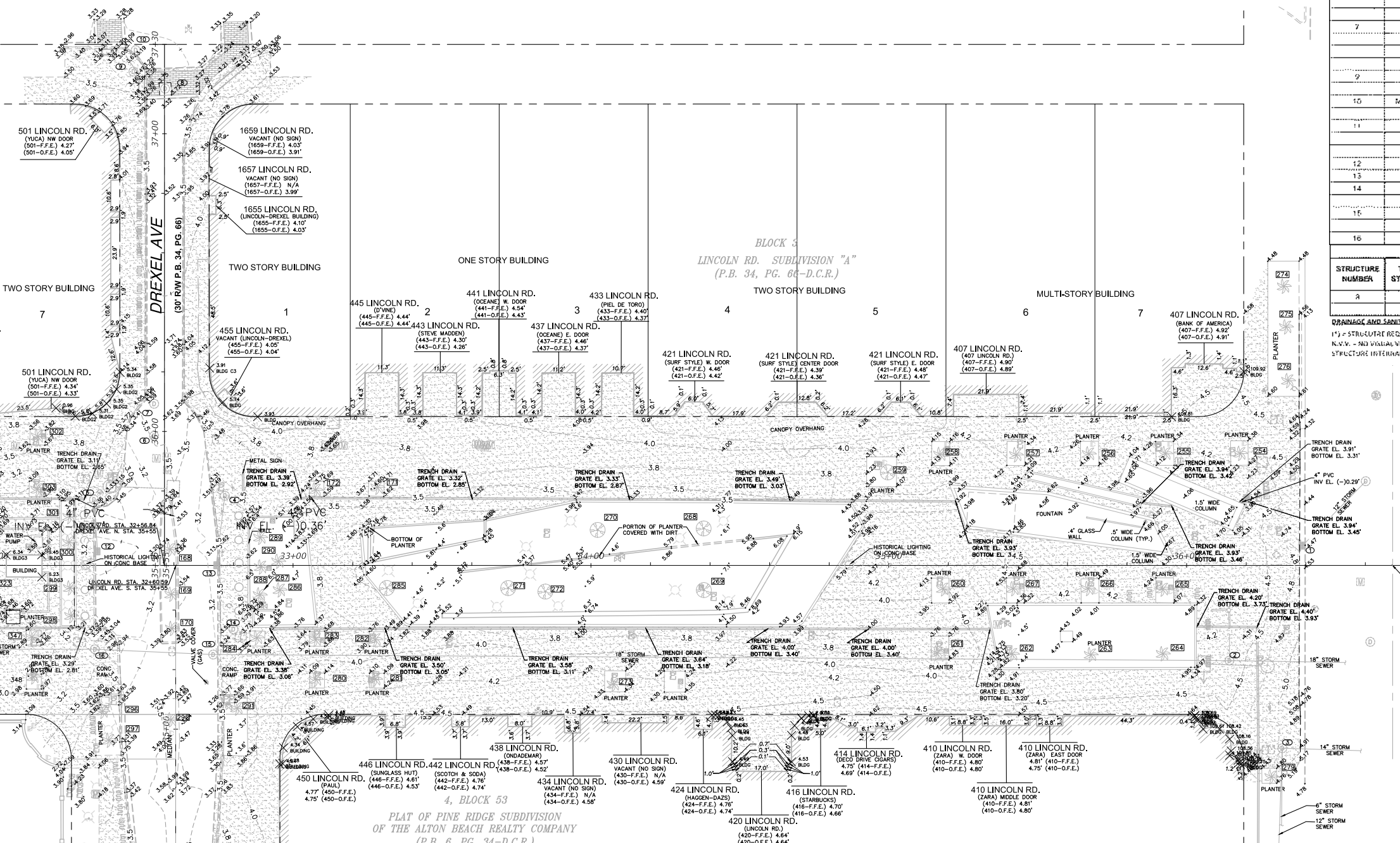
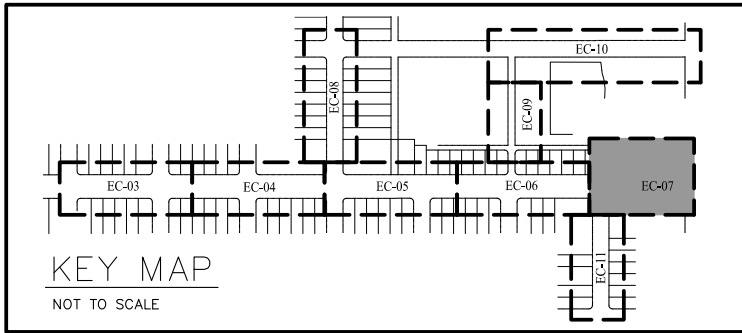
MODULATED POLE



LED FLEXIBLE LINEAR FIXTURE



THE BEACH GATEWAY



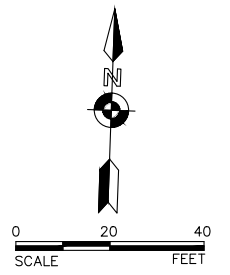
STORM DRAINAGE STRUCTURES TABLE								
STRUCTURE NUMBER	TYPE OF STRUCTURE	RIM EL. (feet)	NAVD88 BOTTOM (feet)	NAVD88 INV. EL. (feet)	DIRECTION	SIZE (inches)	MATERIAL	COMMENTS
1	CB	4.442	0.57	0.85	NE	12	METAL	
2	MHD	4.335	0.34	0.55	WEST	18	METAL	
		4.335		0.68	EAST	18	CONC	
		4.335		0.88	NORTH	12	METAL	
3	MHD	4.832	0.02	3.50	EAST	16	CONC	
		4.832		1.39	SOUTH	12	METAL	
		4.832		0.31	SOUTH	6	PVC	
4	MHD	3.538	-0.19	-0.02	EAST	12	PVC	
		3.538		-0.02	SOUTH	18	PVC	
		3.538		0.08	WEST	12	METAL	
5	MHD	3.380	-0.51	-0.50	NORTH	12	N.V.V.	
		3.380		-0.30	WEST	12	N.V.V.	
		3.380		-3.19	SOUTH	14	N.V.V.	
		3.380		-3.70	EAST	12	N.V.V.	
6	MHD	3.548	0.64	0.42	SOUTH	12	METAL	
		3.548		0.17	NORTH	12	METAL	
		3.548		-0.50	EAST	6	METAL	
7	MHD	3.558	0.28	0.28	SOUTH	12	METAL	
		3.558		0.28	NORTH	12	METAL	
		3.558		1.15	EAST	12	CONC	
		3.558		1.13	WEST	12	CONC	
9	MHD	3.554	0.00	0.05	NORTH	12	CONC	
		3.554		0.15	SOUTH	12	CONC	
10	MHD	3.158	1.92	1.15	WEST	12	N.V.V.	
		3.158		-0.14	NE	12	CONC	
11	MHD	3.209	-0.54	-0.22	EAST	12	CONC	
		3.209		0.43	WEST	12	PVC	
		3.209		-0.40	SOUTH	18	PVC	
12	CB	2.810	-0.45	-0.34	NORTH	18	PVC	
13	CB	3.118	-0.15	0.03	NORTH	18	PVC	
14	MHD	3.701	-0.39	0.68	EAST	12	PVC	
		3.701		-0.24	WEST	12	N.V.V.	
15	MHD	3.267	-2.14	-0.22	EAST	12	N.V.V.	
		3.267		-2.01	WEST	16	N.V.V.	
16	MHD	3.445	-0.22	-0.23	EAST	10	METAL	

SANITARY SEWER STRUCTURES TABLE								
STRUCTURE NUMBER	TYPE OF STRUCTURE	RIM EL. (feet)	NAVD88 BOTTOM (feet)	NAVD88 INV. EL. (feet)	DIRECTION	SIZE (inches)	MATERIAL	COMMENTS
8	MHD	3.370	-0.03	-0.07	WEST	8	METAL	
		3.370		-0.64	EAST	6	METAL	

DRAINAGE AND SANITARY SEWER NOTES AND ABBREVIATIONS:
 1" = STRUCTURE REQUIRES MAINTENANCE TO BE ABLE TO OBTAIN DRAINAGE INFORMATION.
 N.V.V. = NO VISUAL VERIFICATION POSSIBLE. UNABLE TO DETERMINE DRAINAGE INFORMATION IN PART OR IN FULL DEPENDING ON THE DRAINAGE STRUCTURE INTERNAL CONDITIONS FOUND AT THE TIME OF SURVEY.

MATCHLINE LINCOLN RD. STA. 32+00
SEE SHEET EC-6

WASHINGTON AVE



MATCHLINE DREXEL AVE. STA. 34+60
SEE SHEET EC-11



NEIGHBORHOOD: NO. 9 CITY CENTER
 TITLE: LINCOLN RD. DISTRICT IMPROVEMENTS

BISCAYNE ENGINEERING COMPANY, INC.
 520 WEST FLAGLER STREET, MIAMI, FL 33130
 TEL: (305) 324-7871
 FAX: (305) 324-6009
 MIAMI
 PALM BEACH
 449 NW 35th STREET, BOCA RATON, FL 33441
 TEL: (561) 609-2329
 WEB: WWW.BISCAYNEENGINEERING.COM

CITY MANAGER: JIMMY L. MORALES
 DIRECTOR: ERIC T. CARPENTER, P.E.
 CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.

ENGINEER OF RECORD: _____
 DESIGN ENGINEER: _____
 DRAWN BY: W.R.
 CHECKER: L.A.G.
 SCALE: 1" = 20'

ACCEPTED BY: _____
 BRIAN T. BELLINO, P.S.M.
 CITY SURVEYOR MANAGER

NO.	DATE	REVISION	APP'D. BY
5			
4			
3			
2			
1			

File Name: SM-2016G -- LINCOLN ROAD
 Survey Reference: 2898, 2899
 Field Book: 2891, 2892, 2896 Page: ALL Work Order: 85441
 Date: 01/03/17 Sheet: 9 of 13 Drawing: EC-07

400 BLOCK | EXISTING CONDITIONS



VIEW FROM WASHINGTON AVENUE FACING WEST, 2016



VIEW FACING NORTH WEST, 2016



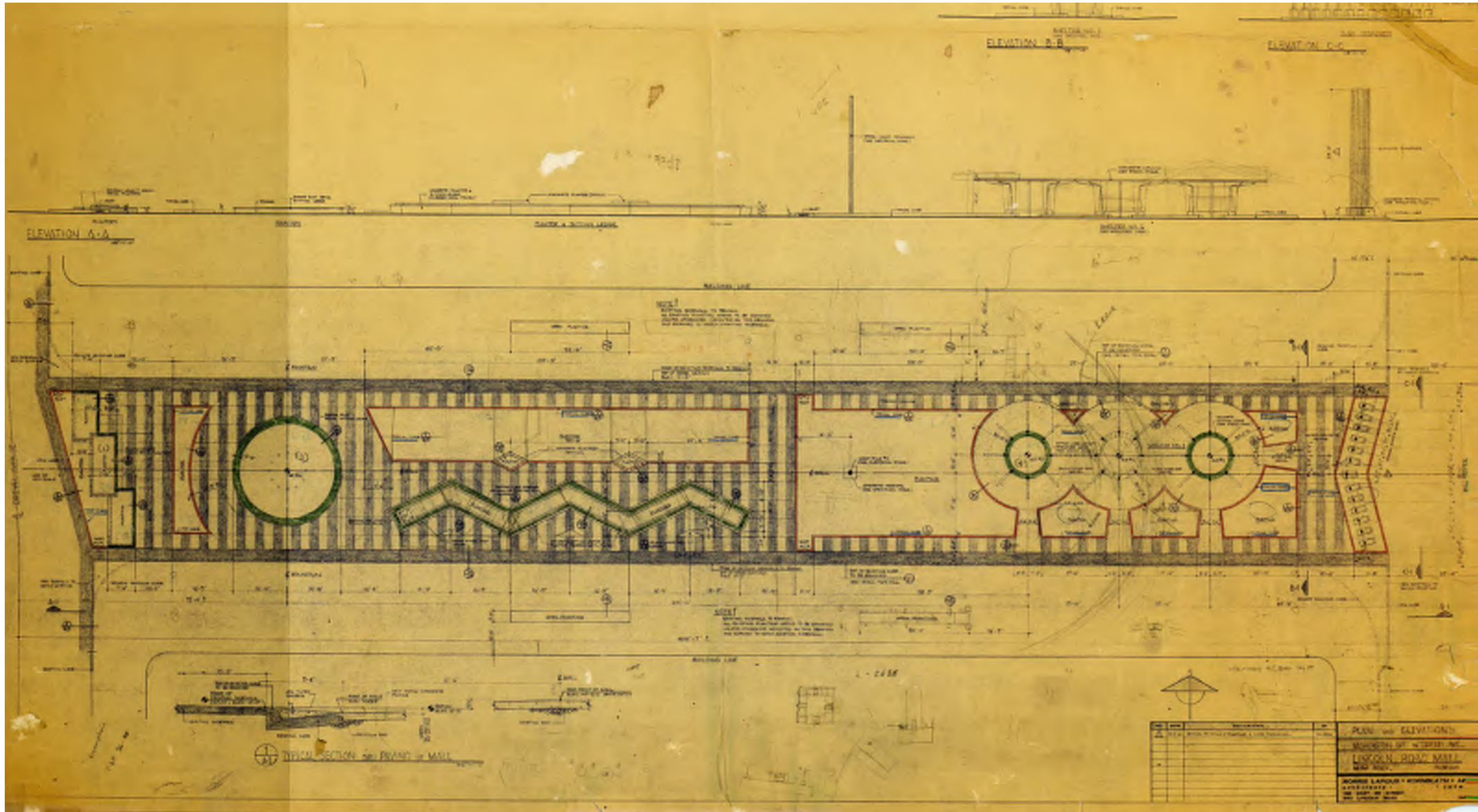
VIEW FACING WEST, 2017



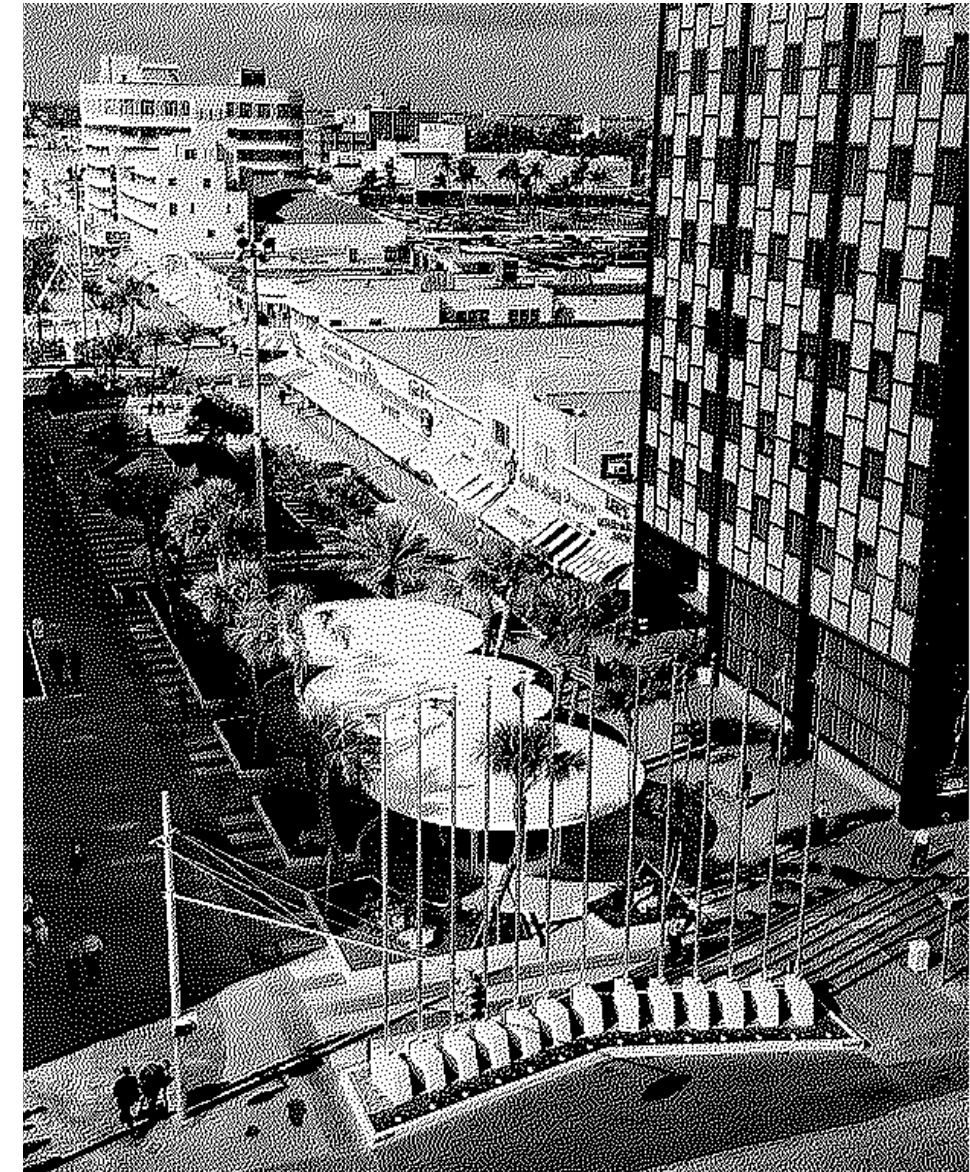
VIEW FACING NORTH, 2017



400 BLOCK | ORIGINAL LAPIDUS DESIGN



ORIGINAL MORRIS LAPIDUS PLANS FOR THE 400 BLOCK



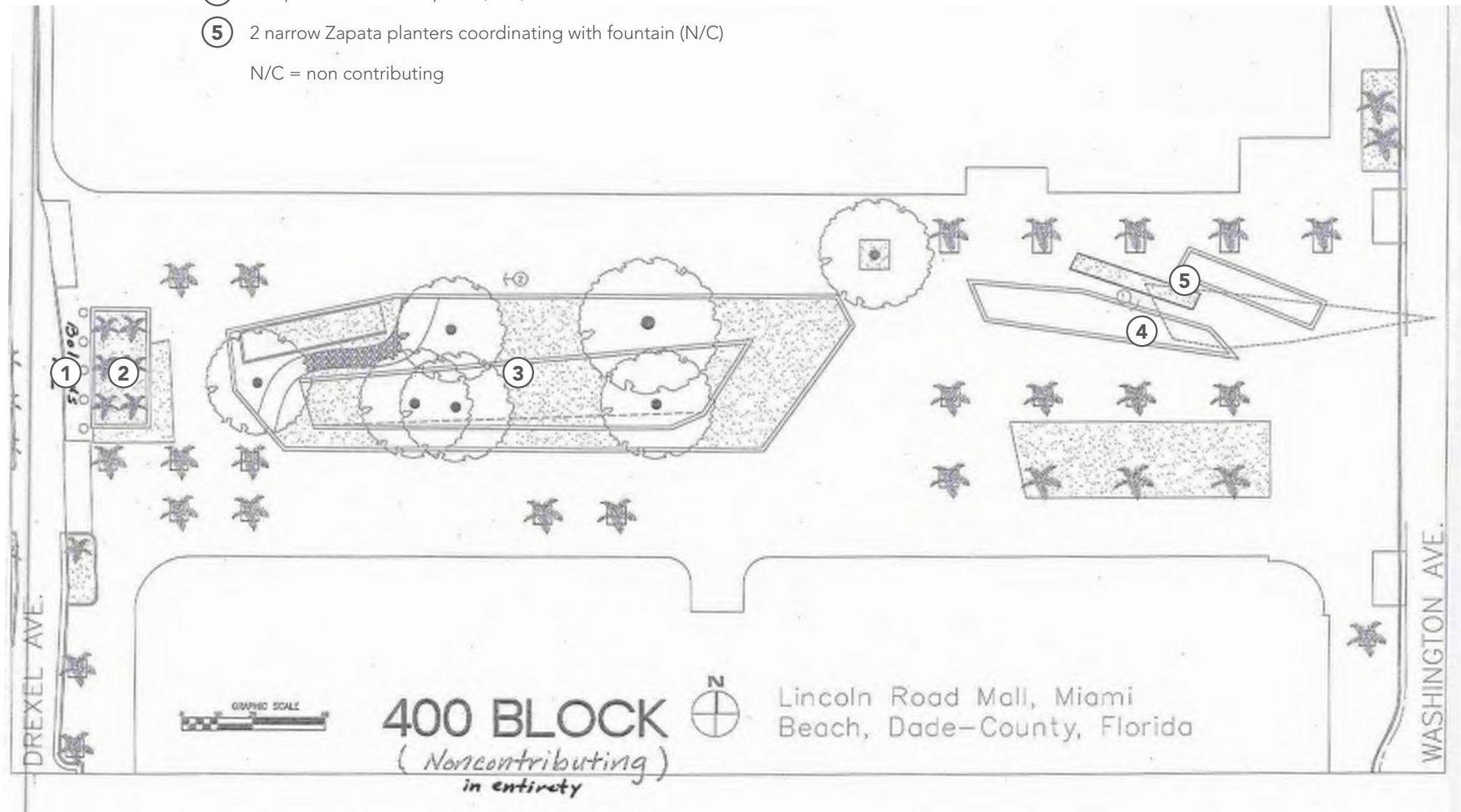
HISTORIC PHOTO (SOURCE: MIAMI HERALD)



400 BLOCK | NATIONAL REGISTER OF HISTORIC PLACES ASSESSMENT

- ① 1 set of bollards (N/C)
- ② 1 sloping buffer planter by Zapata (N/C)
- ③ 1 large sloping grass and rock planter by Zapata (N/C)
- ④ 1 Zapata fountain Sculpture (N/C)
- ⑤ 2 narrow Zapata planters coordinating with fountain (N/C)

N/C = non contributing



CURRENT 400 PLANS (SOURCE: NATIONAL REGISTER OF HISTORIC PLACES)

*original Morris Lapidus design was replaced in 1997 with current Carlos Zapata follies and landscape design by Ben Wood

CURRENT CONDITIONS



GATEWAY TRELLIS | 400 BLOCK



EXISTING CONDITIONS FACING WEST FROM WASHINGTON AVE.



PREVIOUSLY APPROVED 2015 MASTER PLAN RENDERING



PROPOSED REVISED DESIGN RENDERING

- **DESIGN UPDATES SINCE 2015 MASTER PLAN:**
- SHORTENED TRELLIS TO 1/3 OF ORIGINAL LENGTH
- REFINED SHAPE AND STRUCTURE
- ENGINEERED STRUCTURAL SYSTEM AND CONNECTIONS
- DEVELOPED LIGHTING DESIGN
- DEFINED MATERIALS



GATEWAY TRELLIS | 400 BLOCK

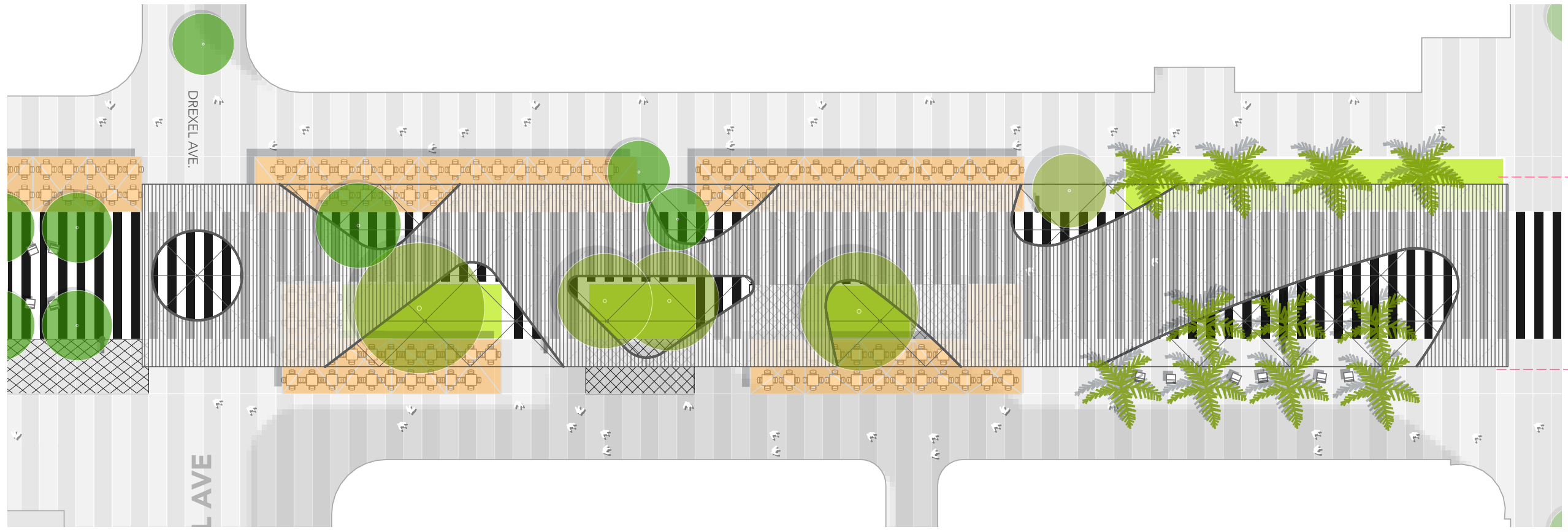
2015 MASTER PLAN

400'



20'

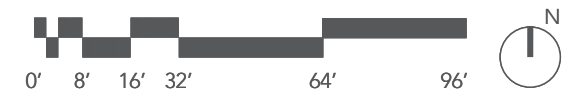
400 BLOCK ELEVATION | 2015 MASTER PLAN



50'

WASHINGTON AVE.

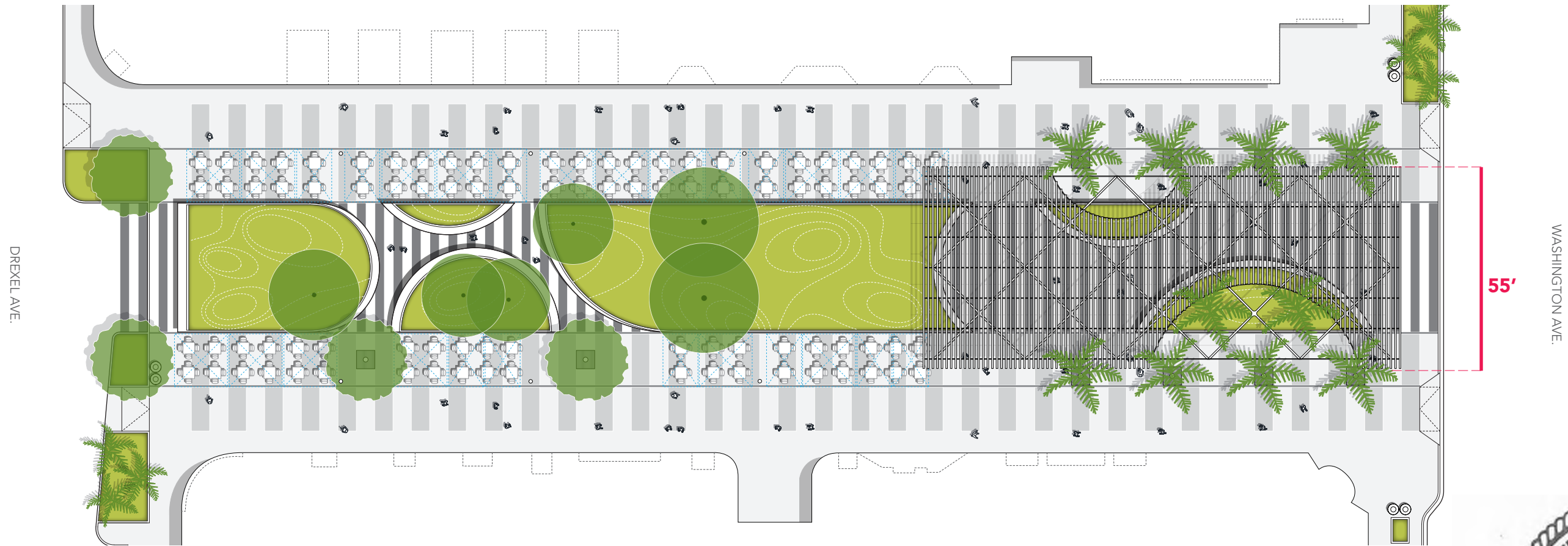
400 BLOCK PLAN | 2015 MASTER PLAN



GATEWAY TRELLIS | 400 BLOCK
REVISED DESIGN

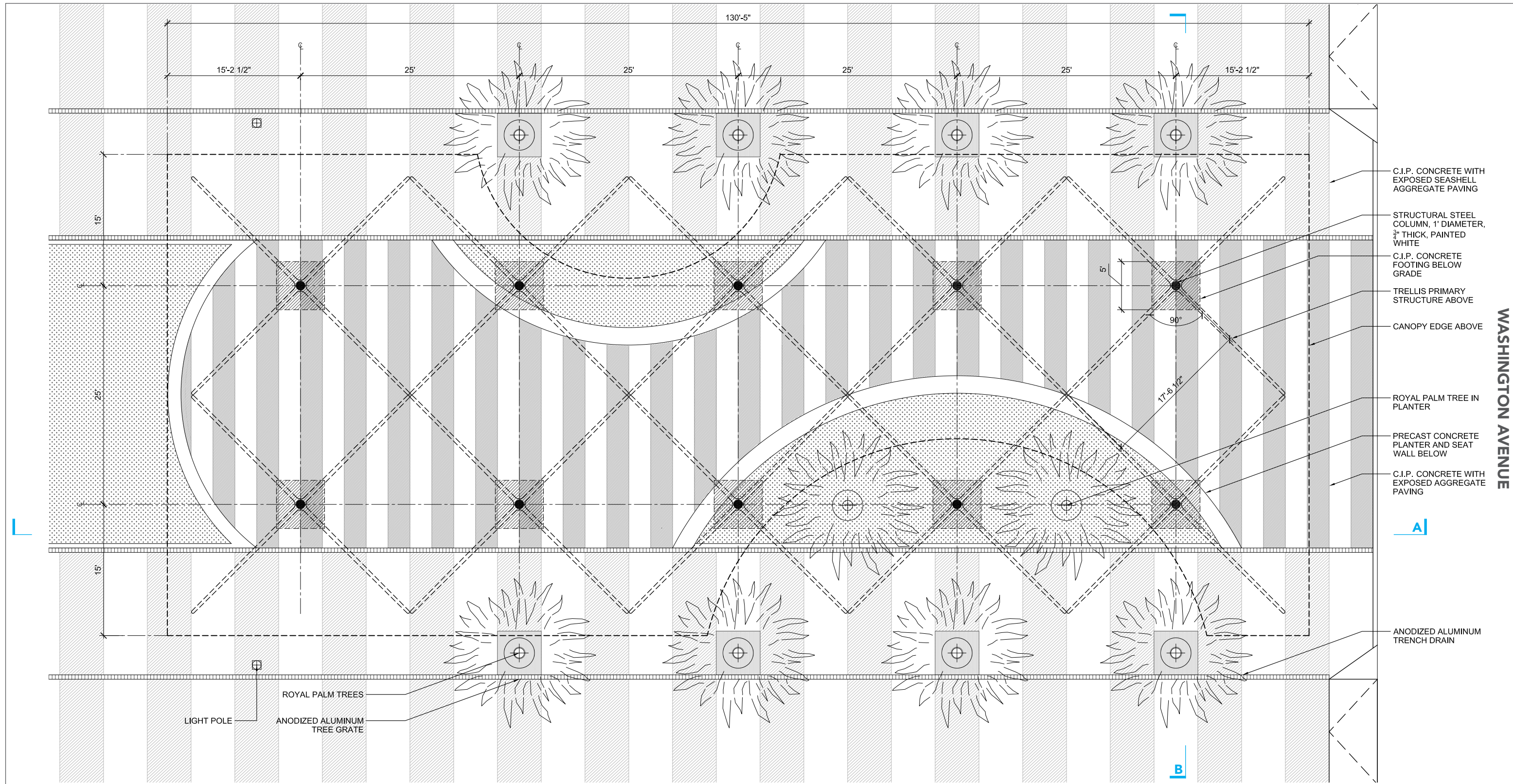


400 BLOCK ELEVATION | REVISED DESIGN



400 BLOCK PLAN | REVISED DESIGN

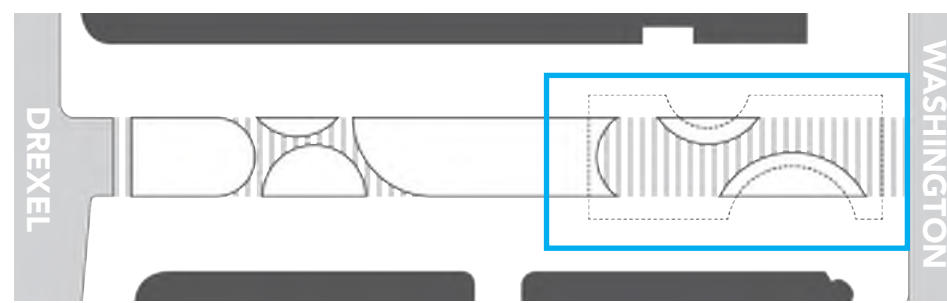
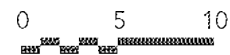


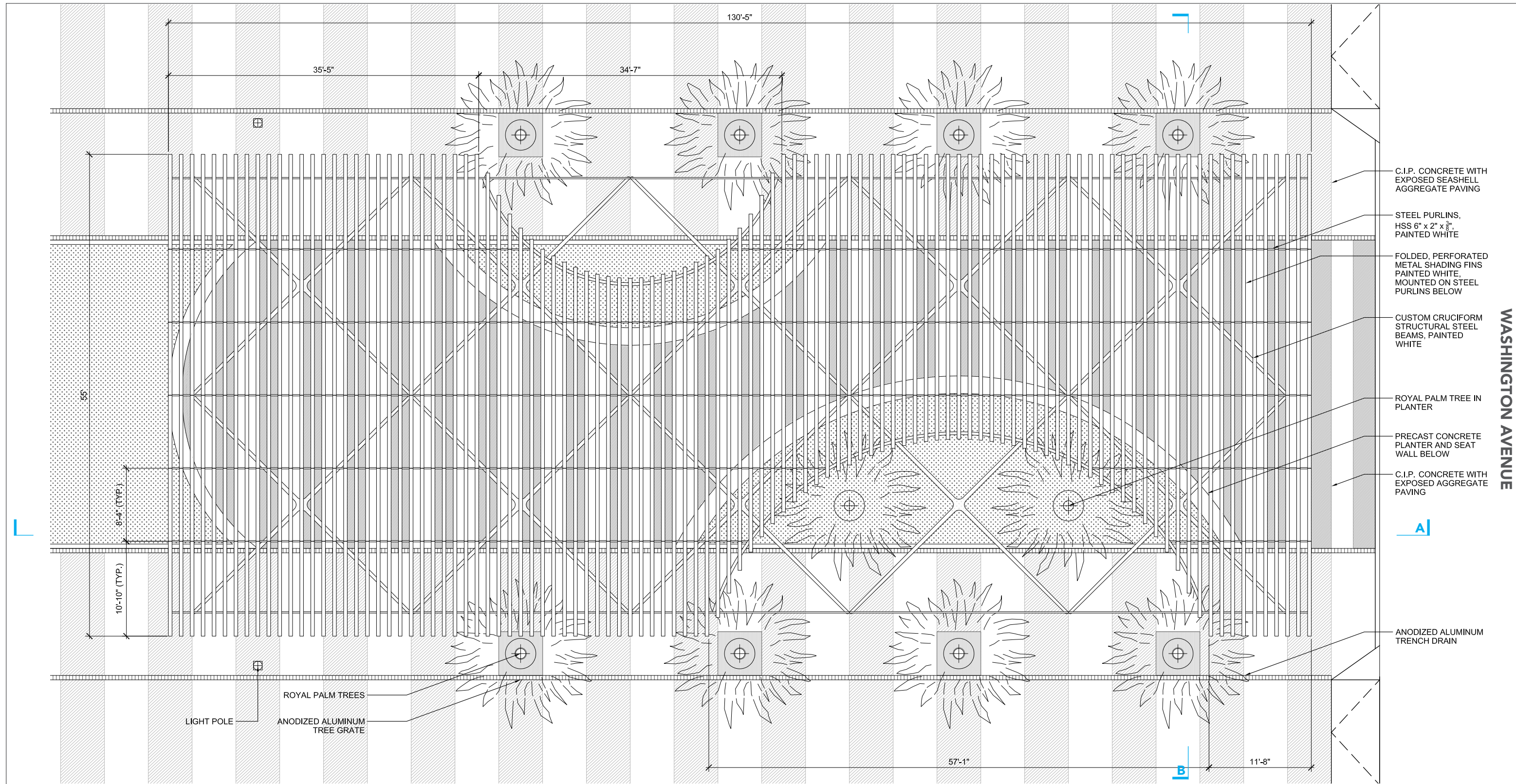


GATEWAY TRELLIS - GROUND PLAN

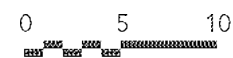


LINCOLN ROAD BLOCK KEY

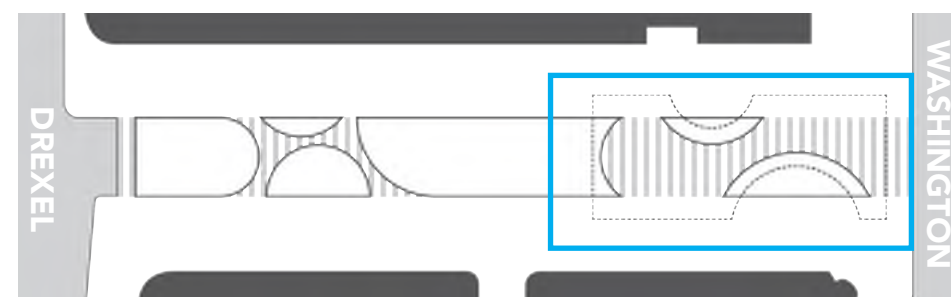


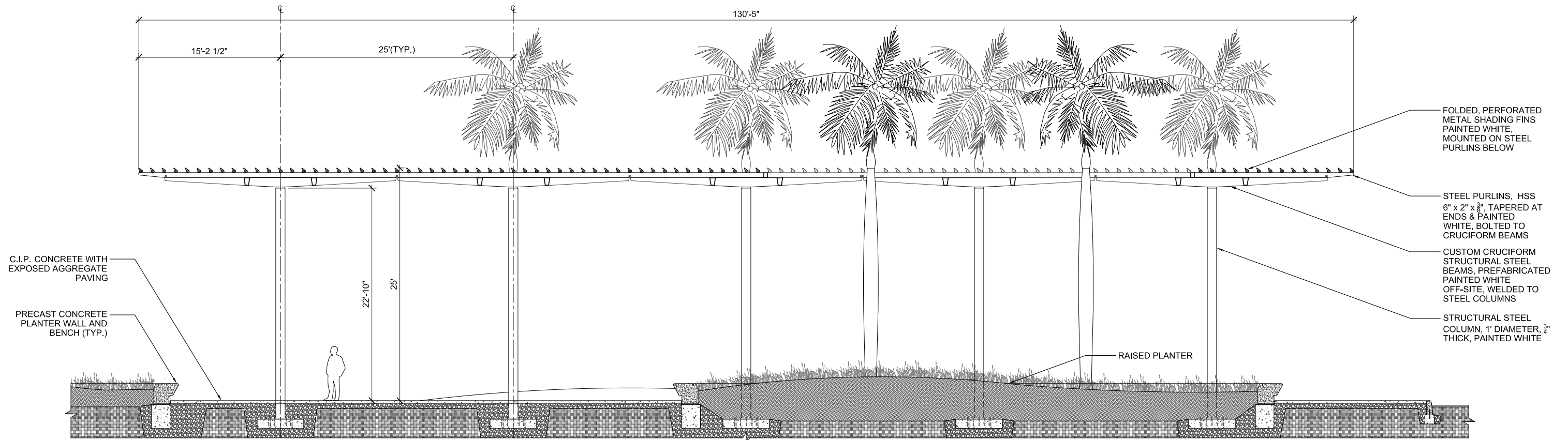


GATEWAY TRELLIS - CANOPY PLAN



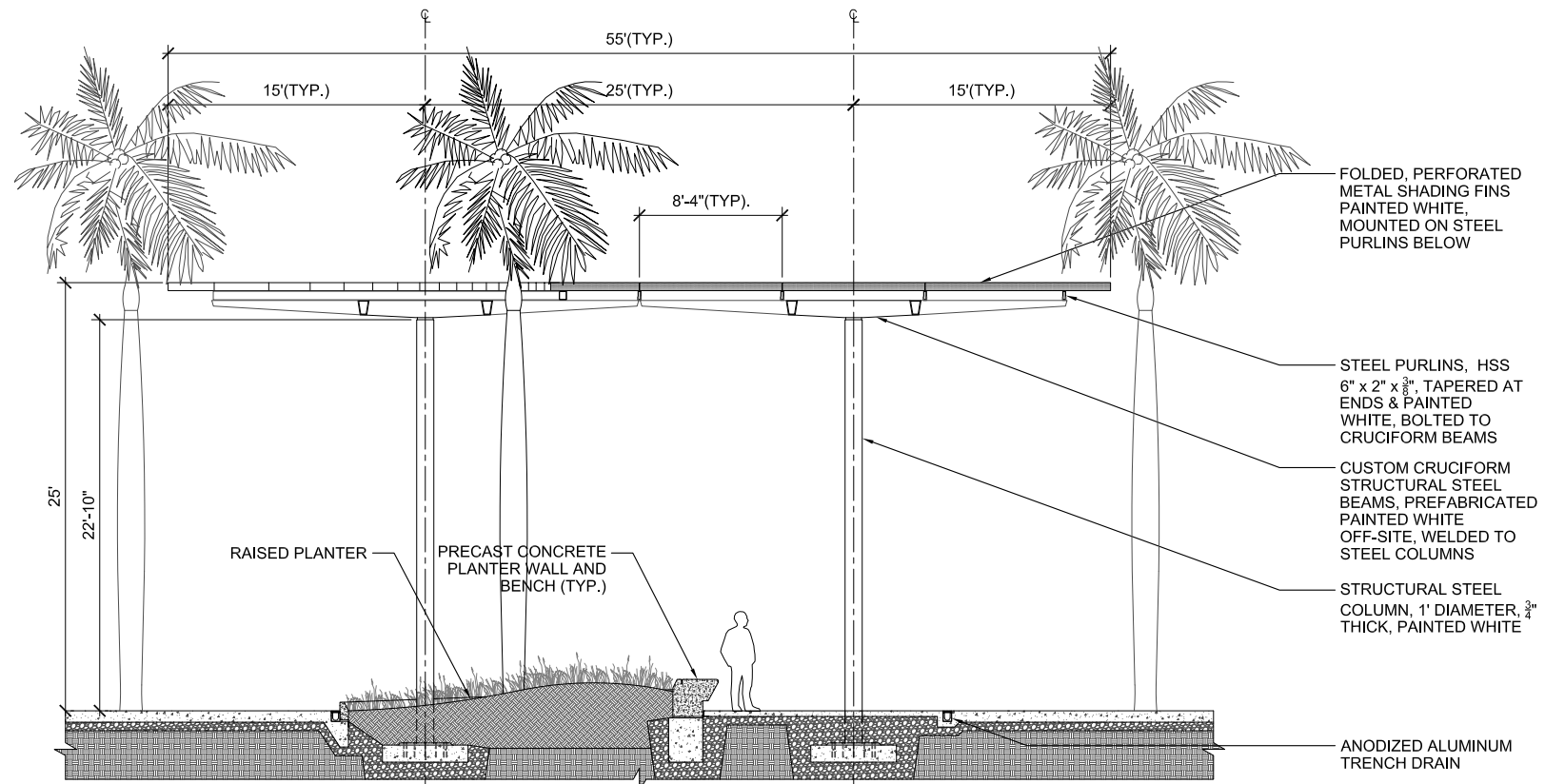
LINCOLN ROAD BLOCK KEY





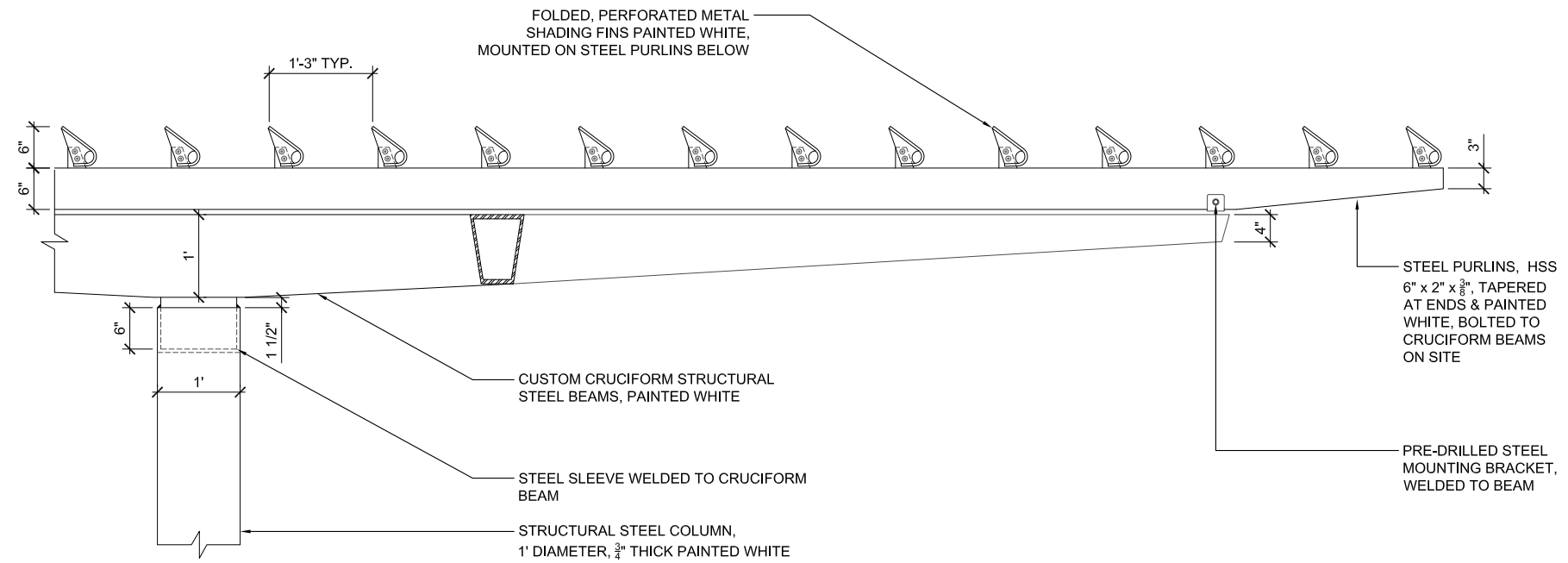
GATEWAY TRELLIS - LONGITUDINAL SECTION (A)



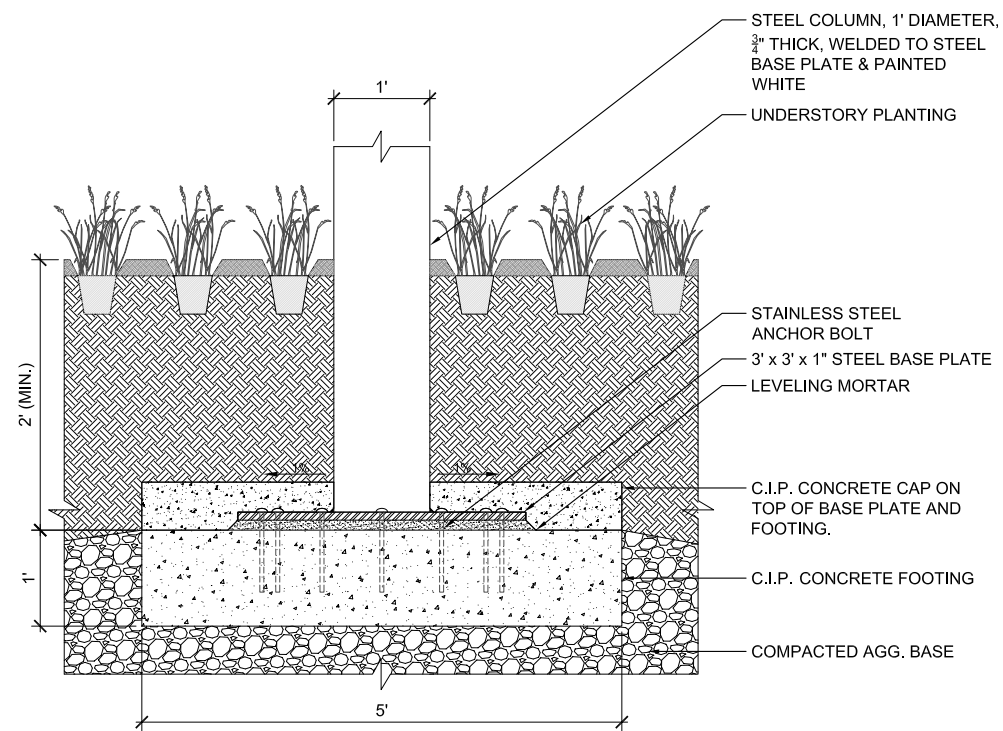


GATEWAY TRELLIS - CROSS SECTION (B)

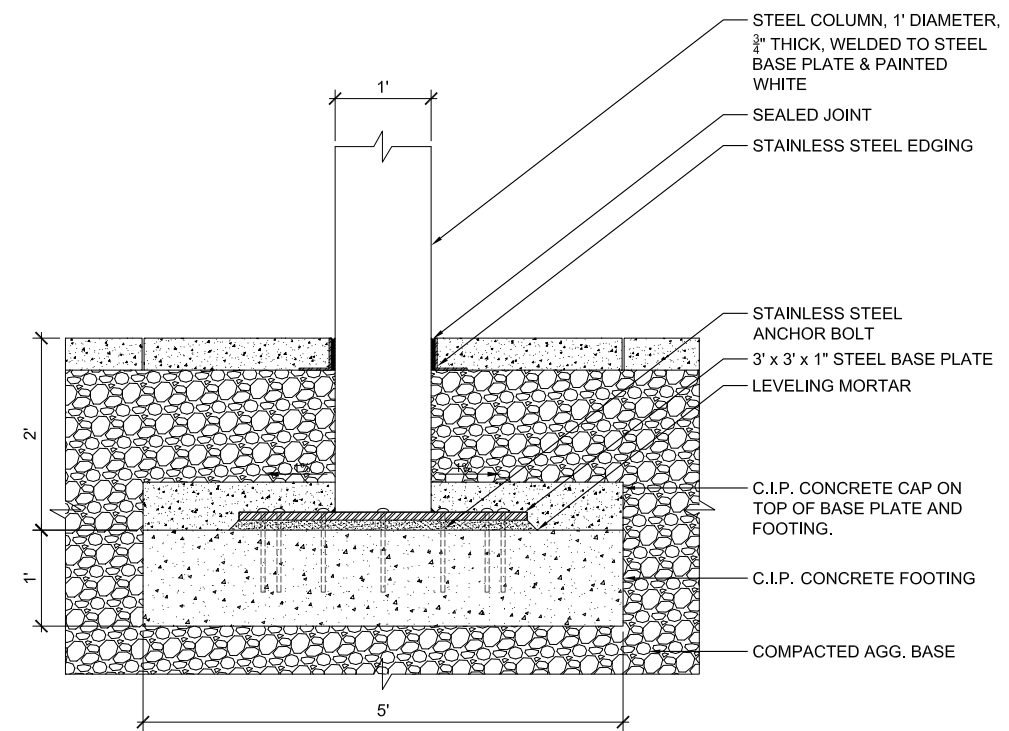




03 - TRELLIS CANOPY @ EDGE



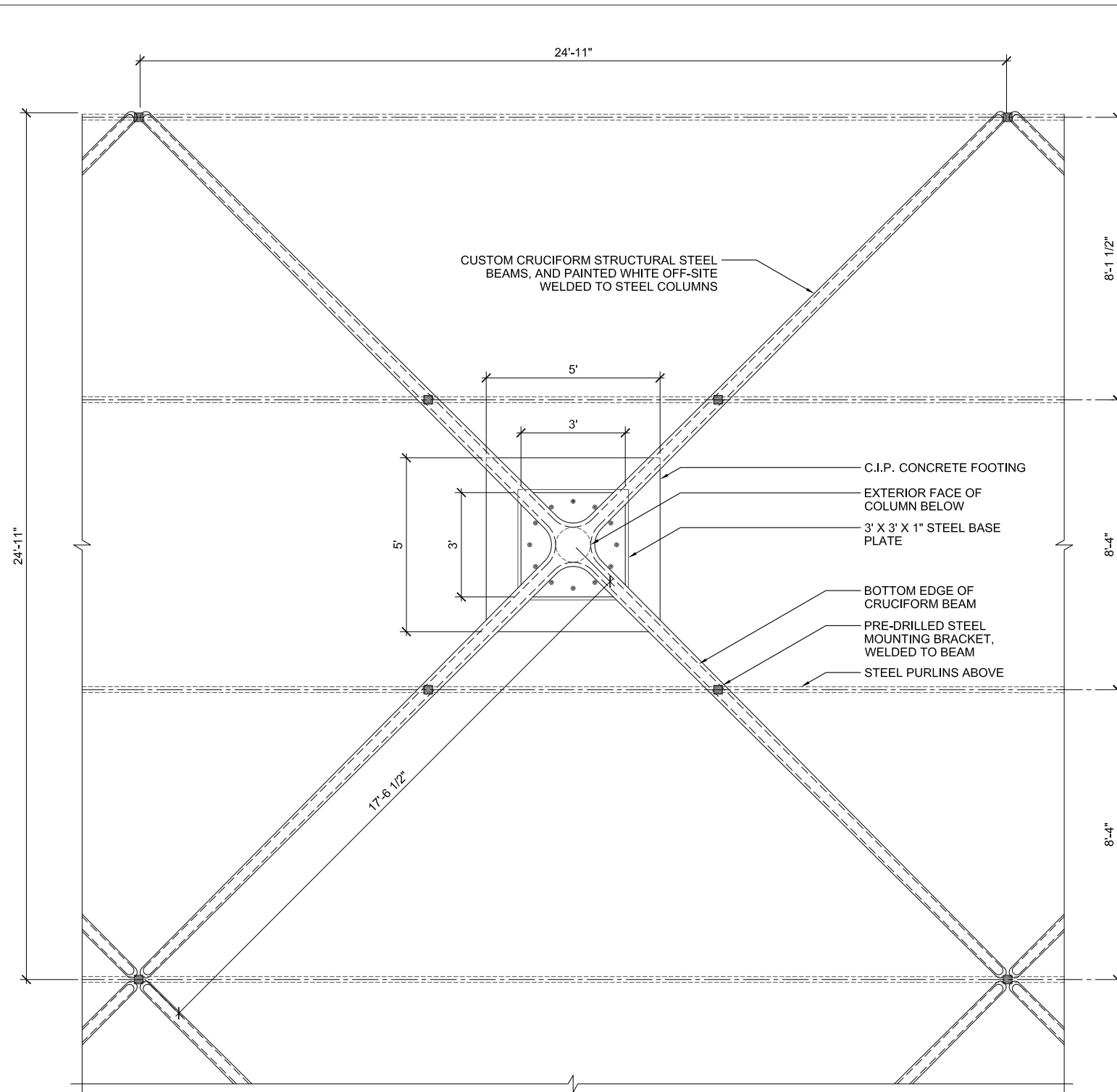
02 - TRELLIS COLUMN BASE @ PLANTER



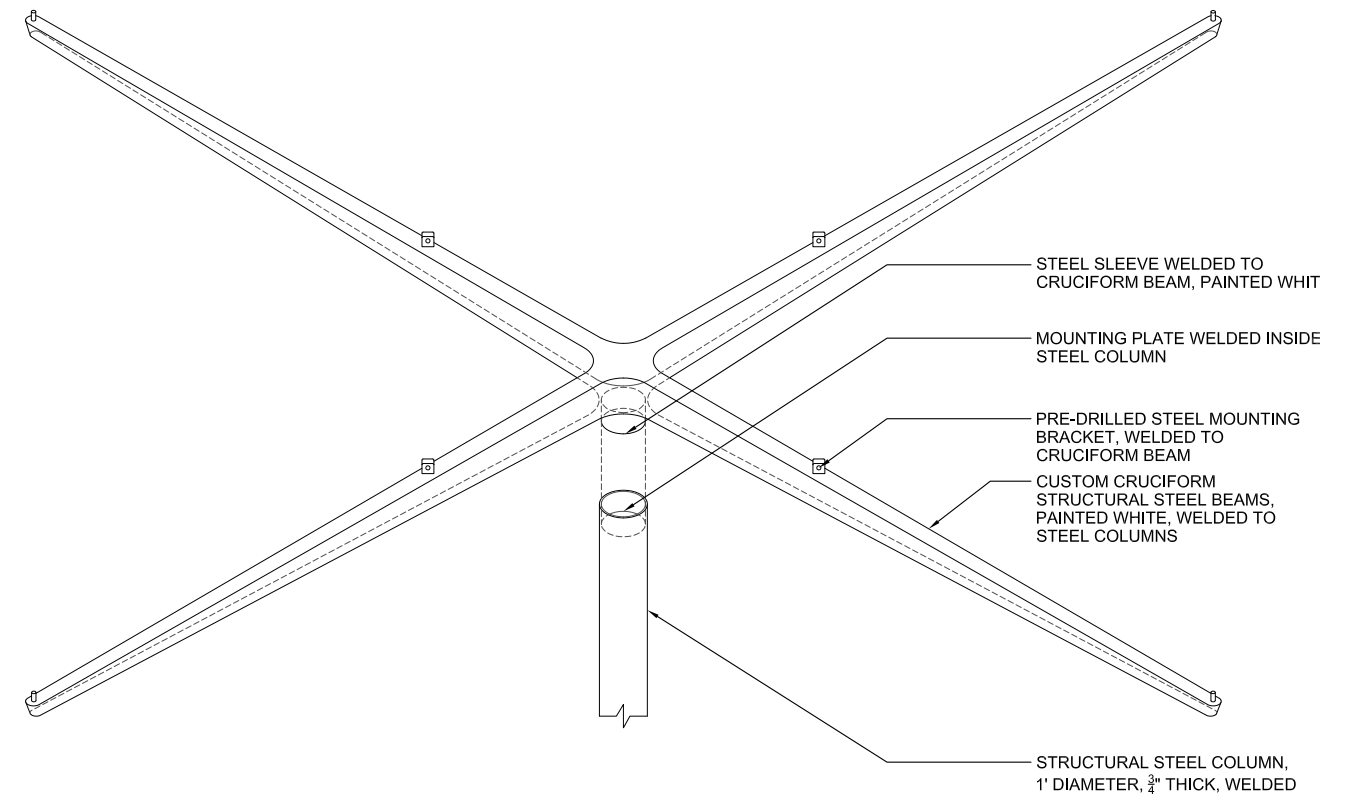
01 - TRELLIS COLUMN BASE @ PAVING

GATEWAY TRELLIS - DETAILS

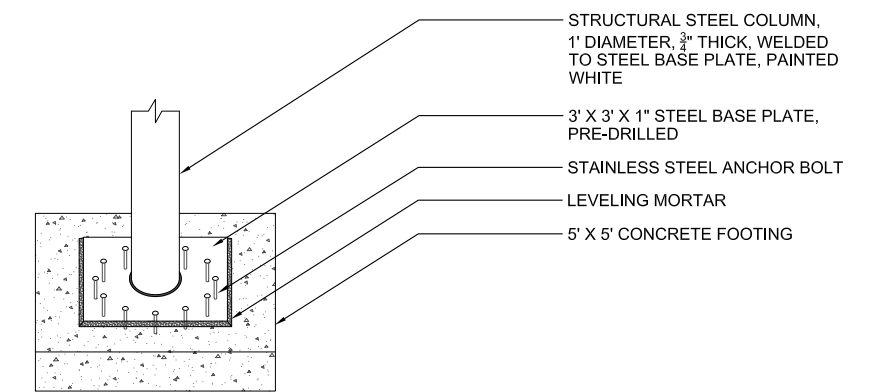




02 - TRELLIS CRUCIFORM BEAM PLAN



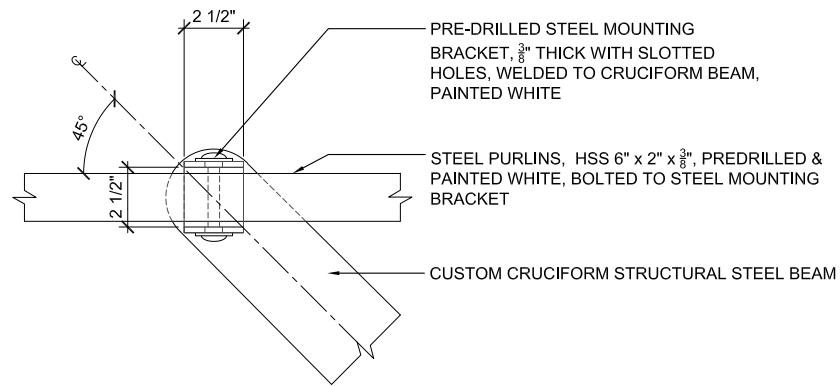
03 - TRELLIS COLUMN TO BEAM CONNECTION AXONOMETRIC



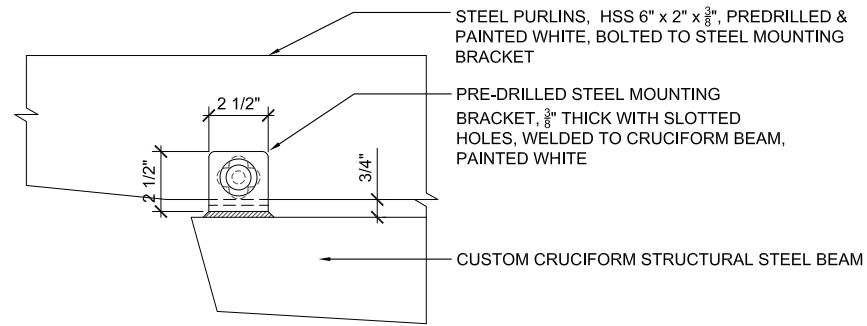
01 - TRELLIS COLUMN FOOTING AXONOMETRIC

GATEWAY TRELLIS - DETAILS

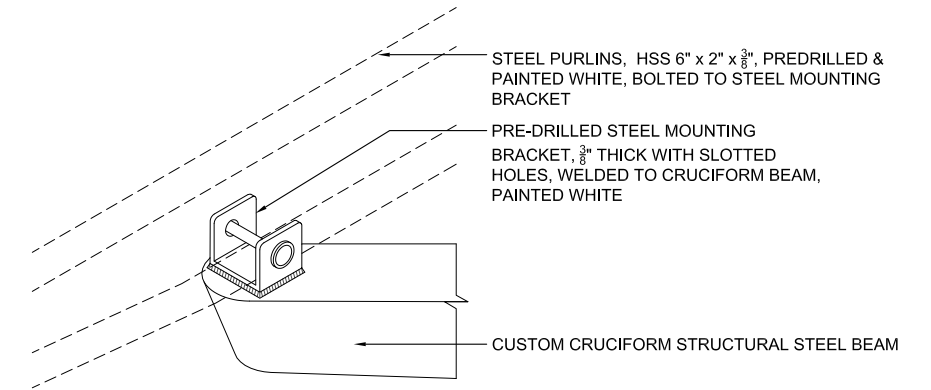




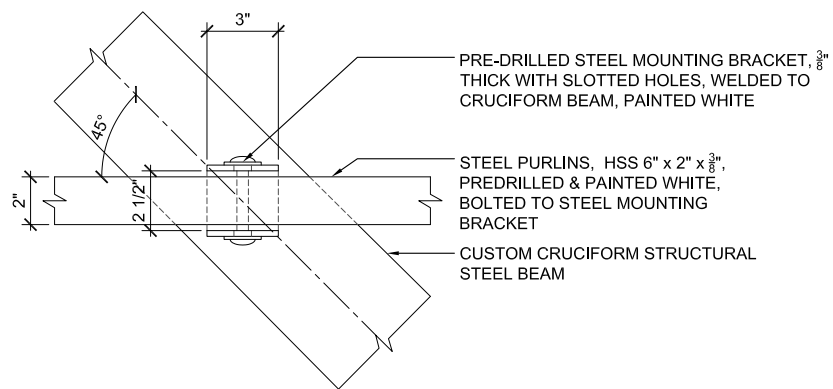
06 - PURLIN MOUNTING BRACKET PLAN (CORNER)



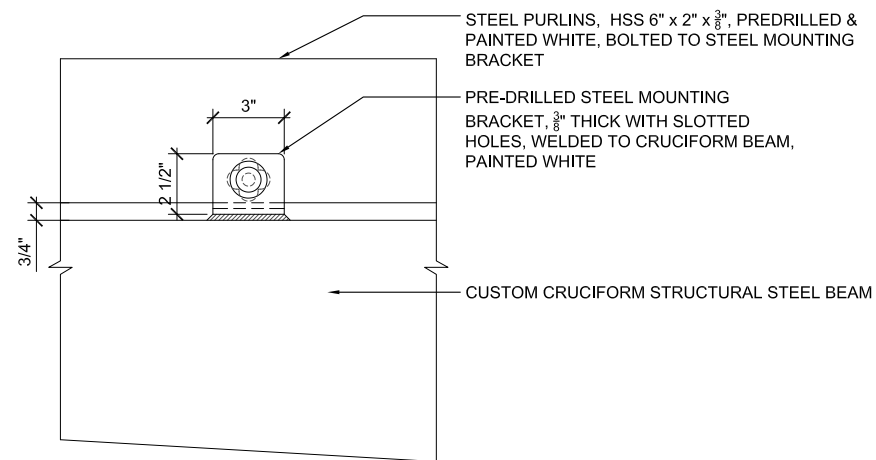
05 - PURLIN MOUNTING BRACKET ELEVATION (CORNER)



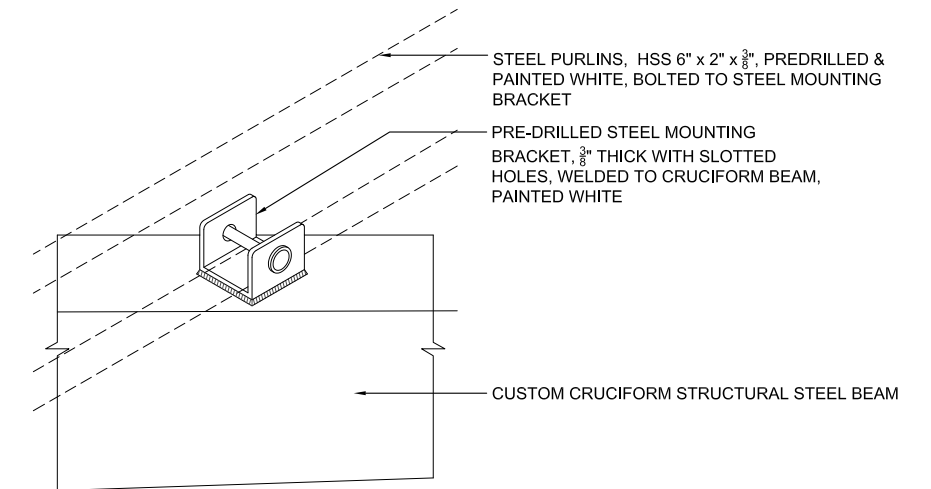
04 - PURLIN MOUNTING BRACKET AXONOMETRIC (CORNER)



03 - PURLIN MOUNTING BRACKET PLAN (TYP.)



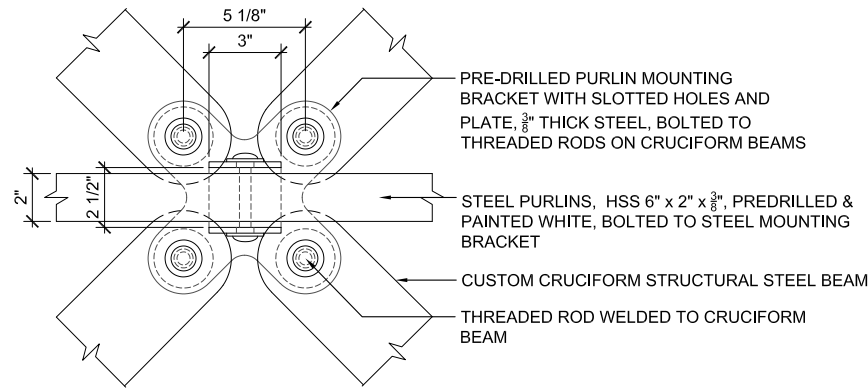
02 - PURLIN MOUNTING BRACKET ELEVATION (TYP.)



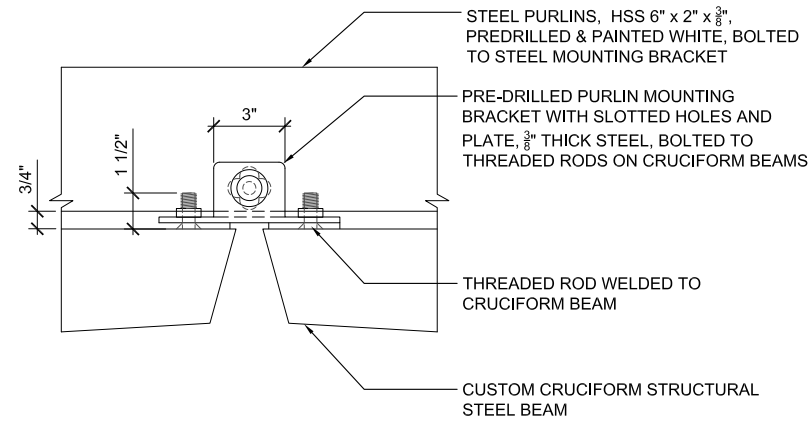
01 - PURLIN MOUNTING BRACKET AXONOMETRIC (TYP.)

GATEWAY TRELLIS - DETAILS

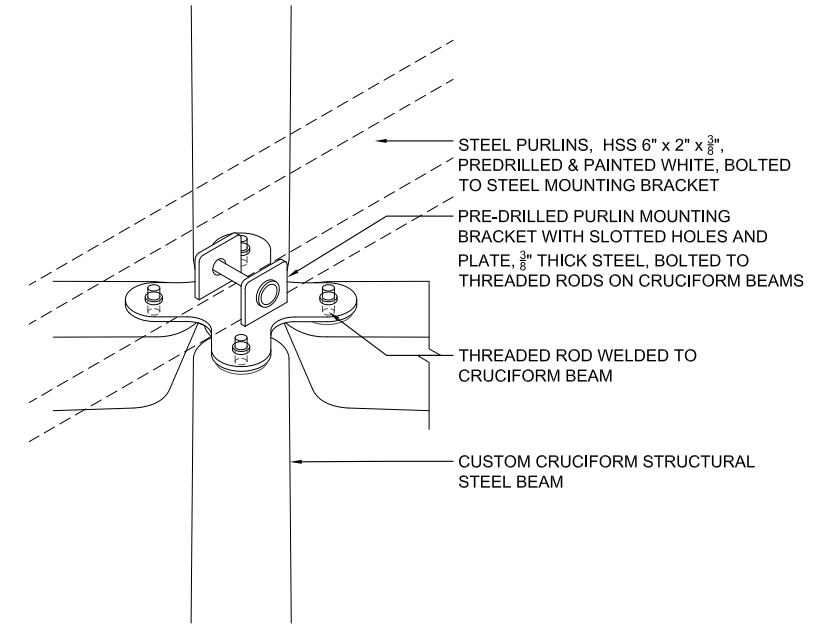




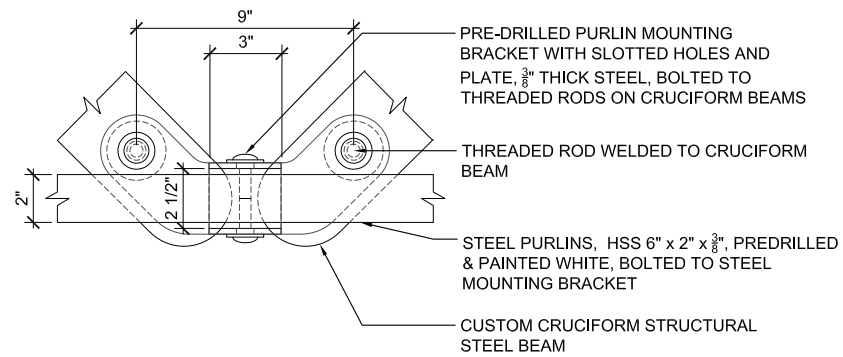
06 - PURLIN MOUNTING BRACKET PLAN (CENTER)



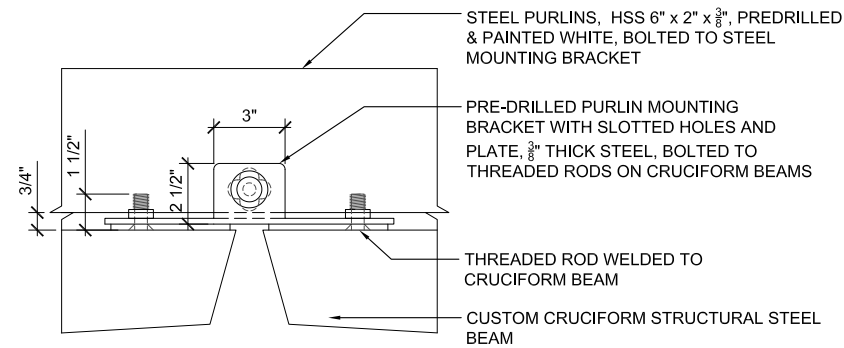
05 - PURLIN MOUNTING BRACKET ELEVATION (CENTER)



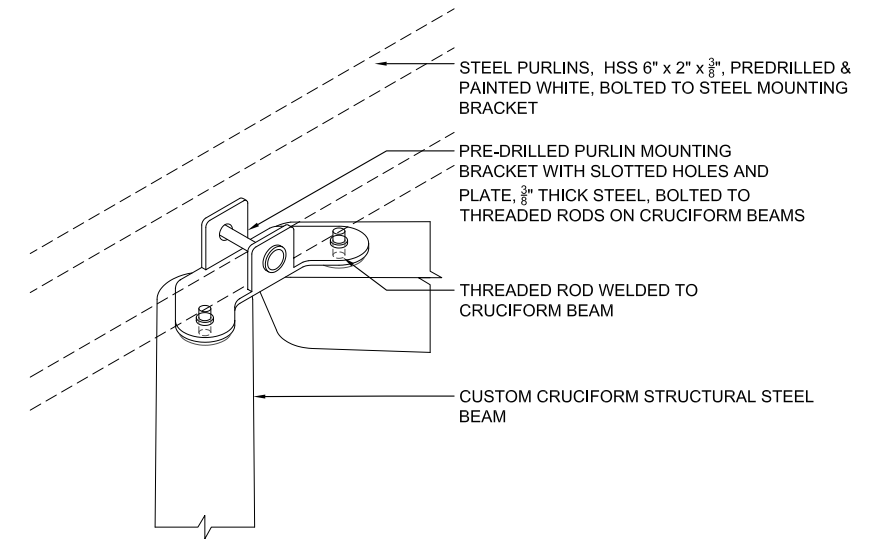
04 - PURLIN MOUNTING BRACKET AXONOMETRIC (CENTER)



03 - PURLIN MOUNTING BRACKET PLAN (EDGE)



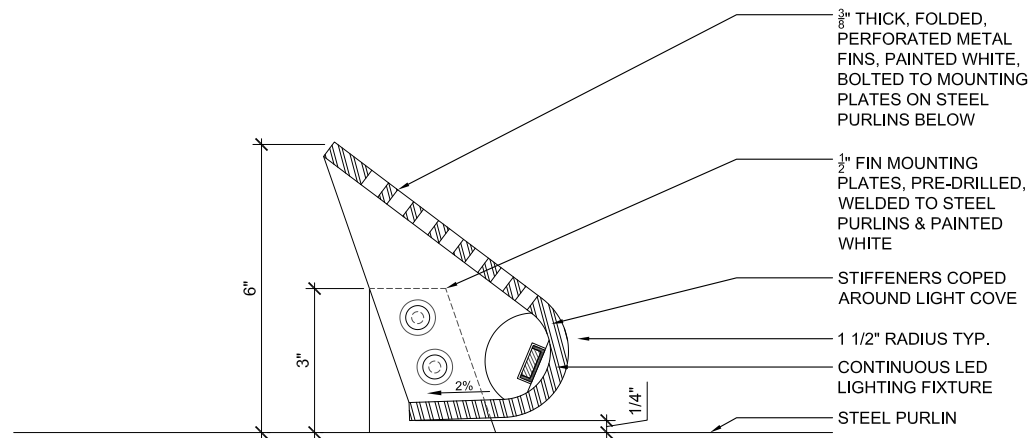
02 - PURLIN MOUNTING BRACKET ELEVATION (EDGE)



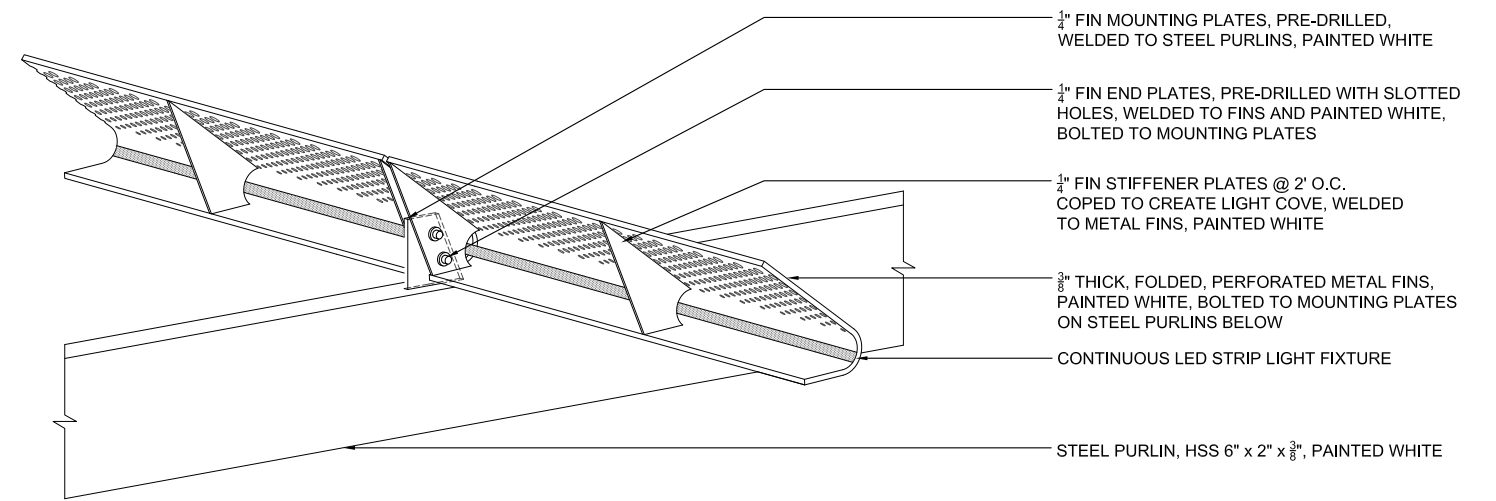
01 - PURLIN MOUNTING BRACKET AXONOMETRIC (EDGE)

GATEWAY TRELLIS - DETAILS

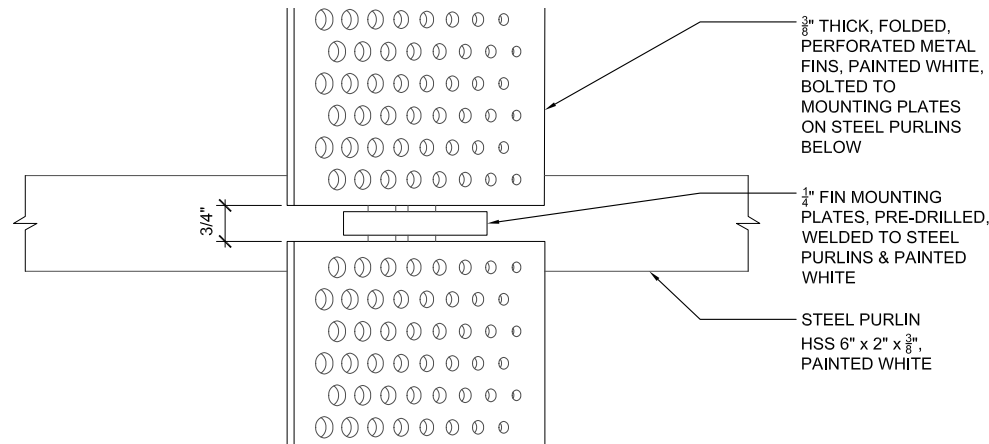




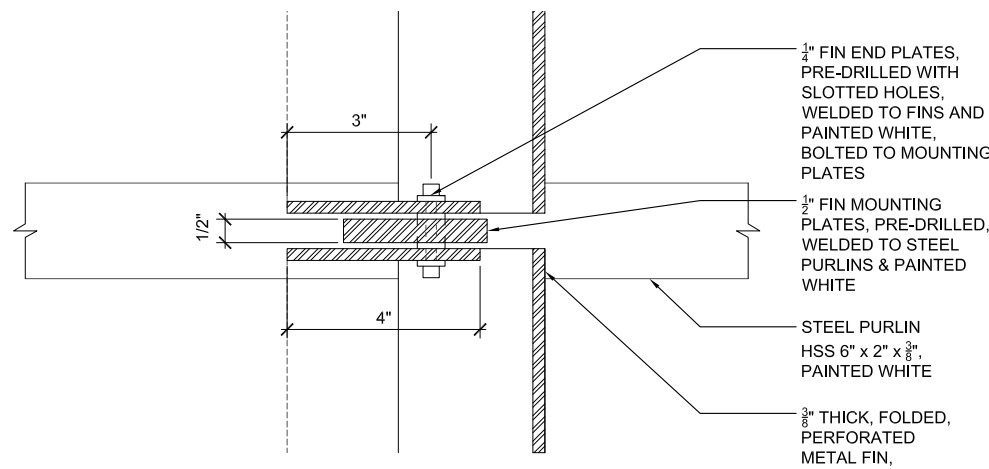
04 - TRELLIS FIN (TYP.)



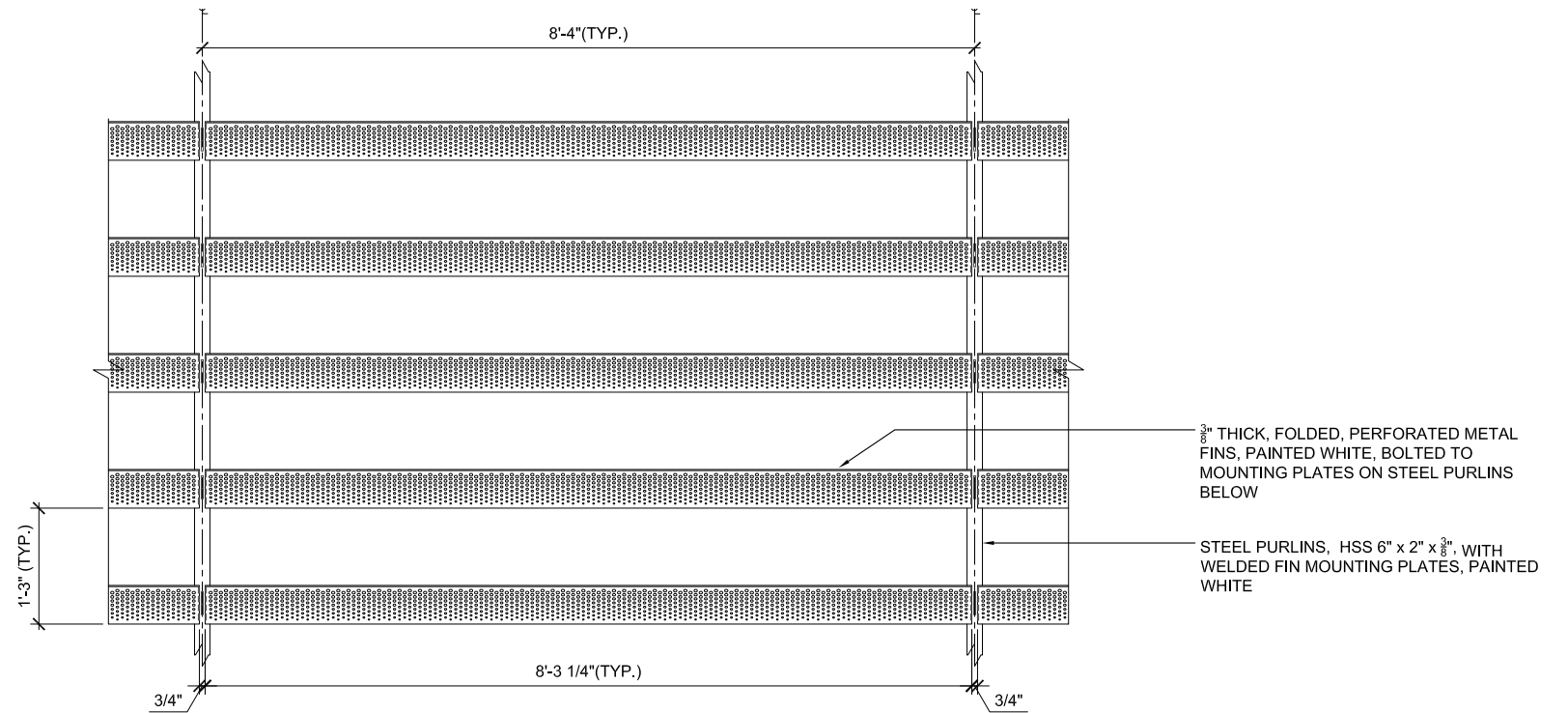
05 - TRELLIS FIN MOUNTING DETAIL AXONOMETRIC (TYP.)



03 - TRELLIS FINS @ JOINT (PLAN)



02 - TRELLIS FIN MOUNTING DETAIL (PLAN)



01 - TRELLIS FIN DETAIL PLAN - TYPICAL BAY

GATEWAY TRELLIS - DETAILS



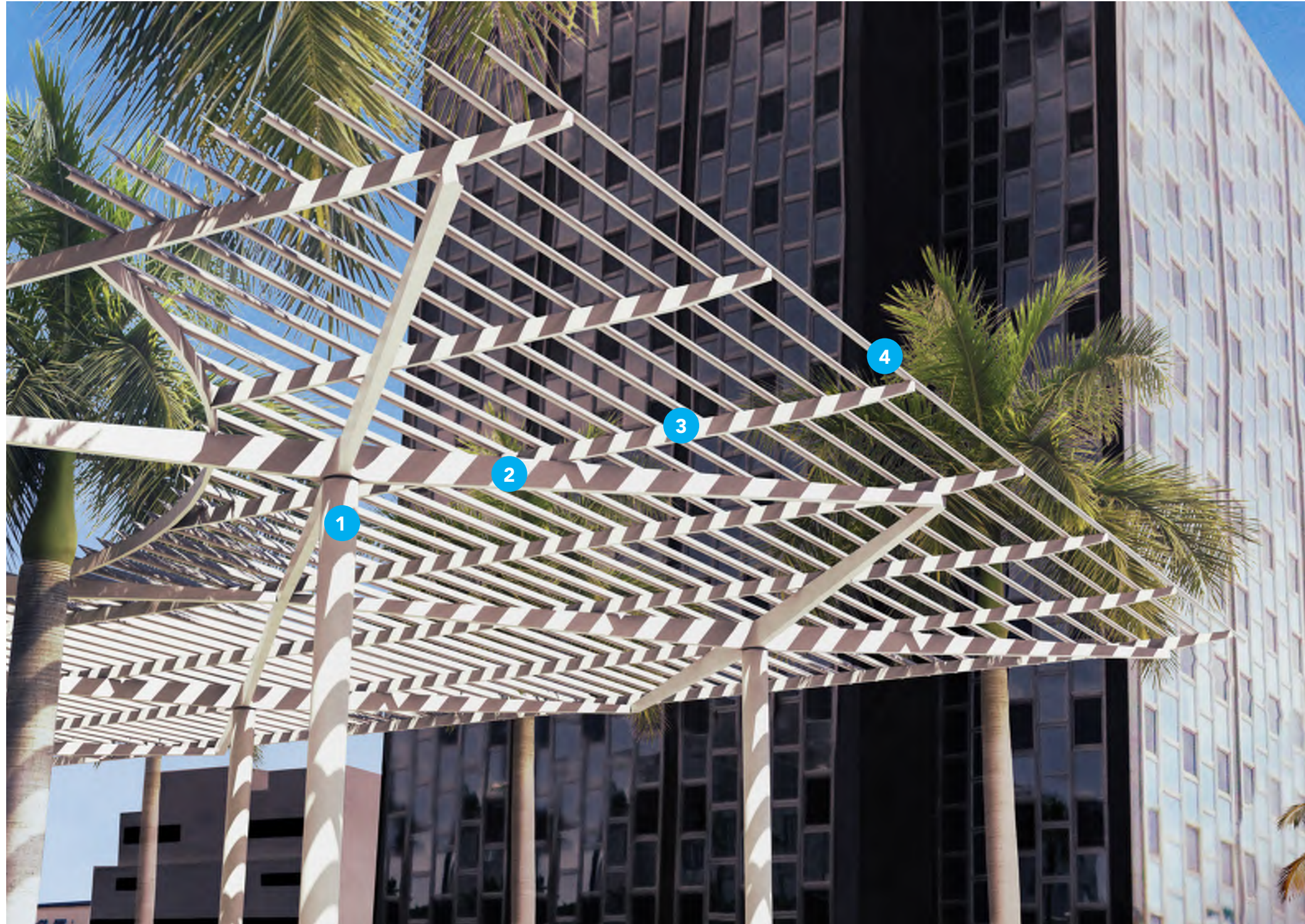
TYPICAL FIN MODULE

UPPER FIN 33% PERFORATED TO REDUCE WIND LOADING

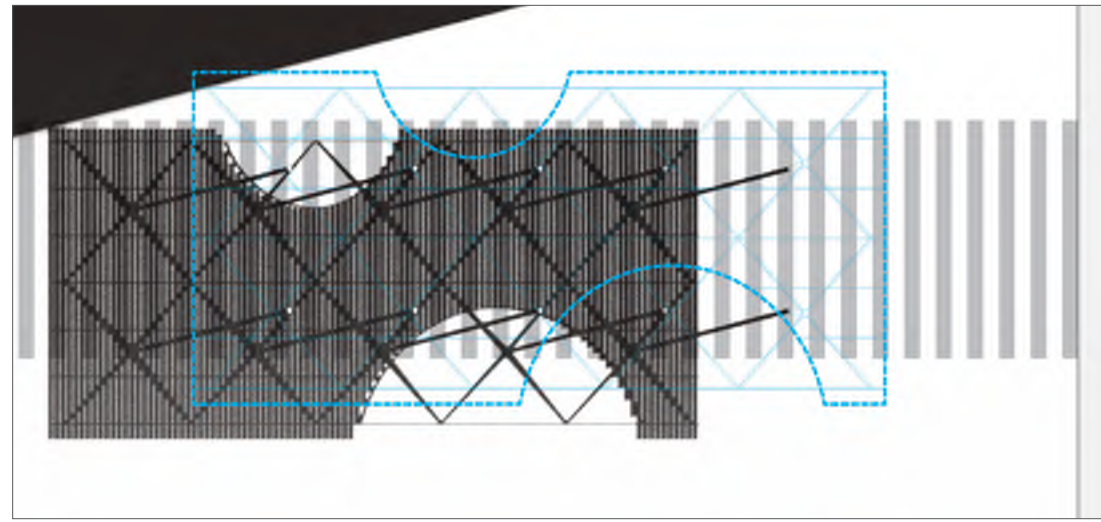


TRELLIS MEMBERS & FINISHES

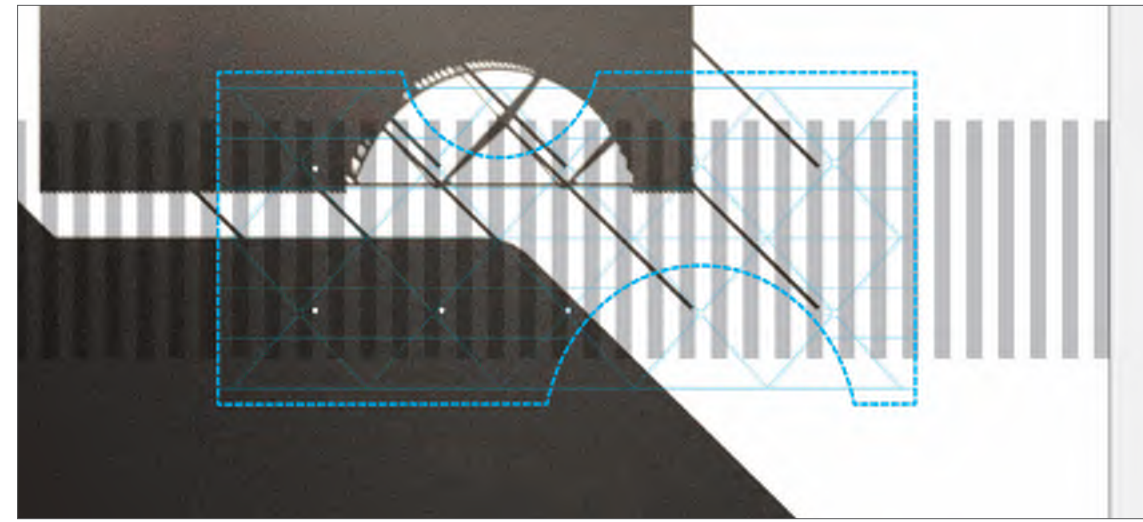
- 4** FOLDED, PERFORATED METAL FINS
WHITE TNEMEC PAINT FINISH
- 3** TAPERED STEEL PURLINS
WHITE TNEMEC PAINT FINISH
- 2** PREFABRICATED CRUCIFORM STEEL BEAM
WHITE TNEMEC PAINT FINISH
- 1** STEEL COLUMN
WHITE TNEMEC PAINT FINISH



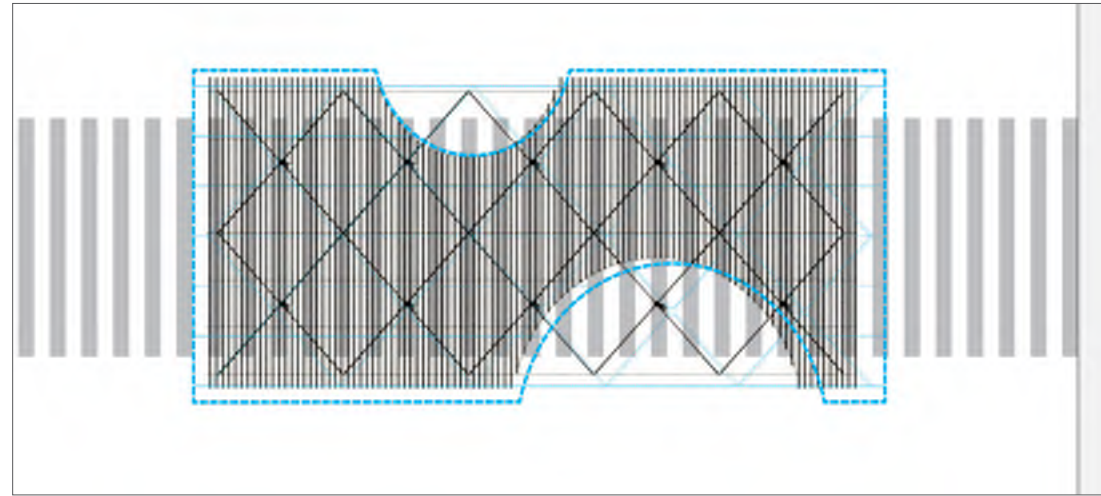
SUMMER SOLSTICE
MORNING



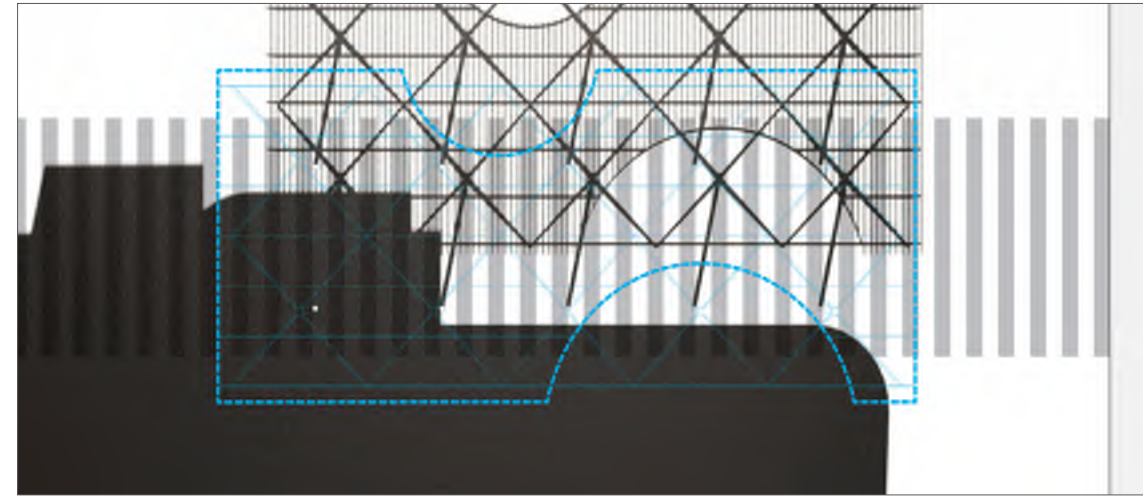
WINTER SOLSTICE
MORNING



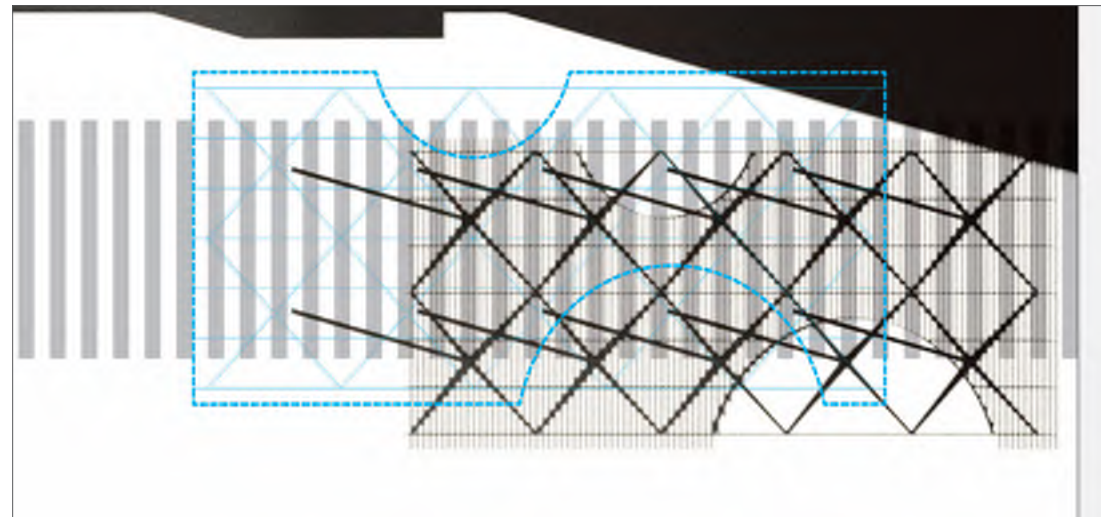
SUMMER SOLSTICE
NOON



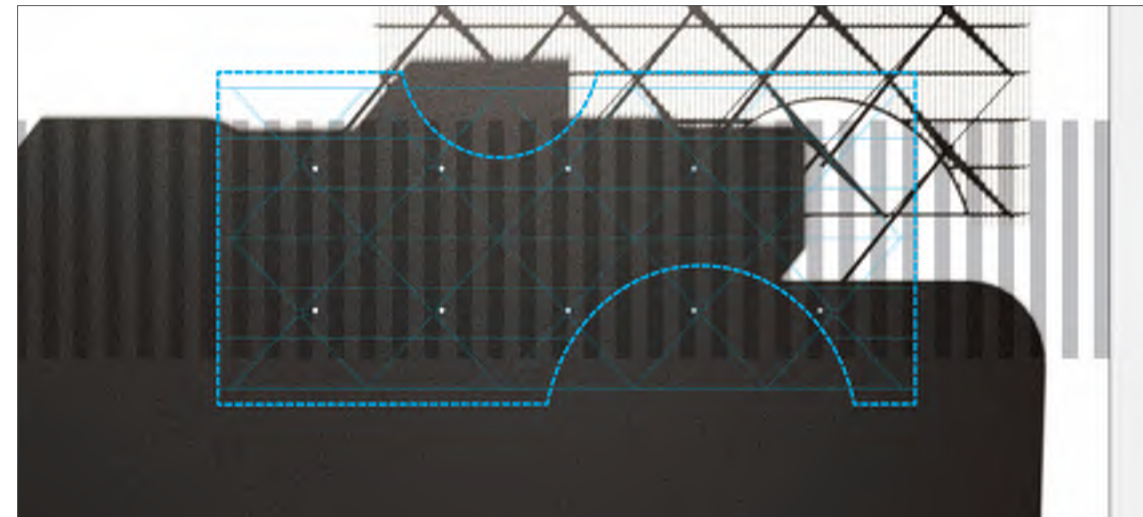
WINTER SOLSTICE
NOON



SUMMER SOLSTICE
EVENING



WINTER SOLSTICE
EVENING



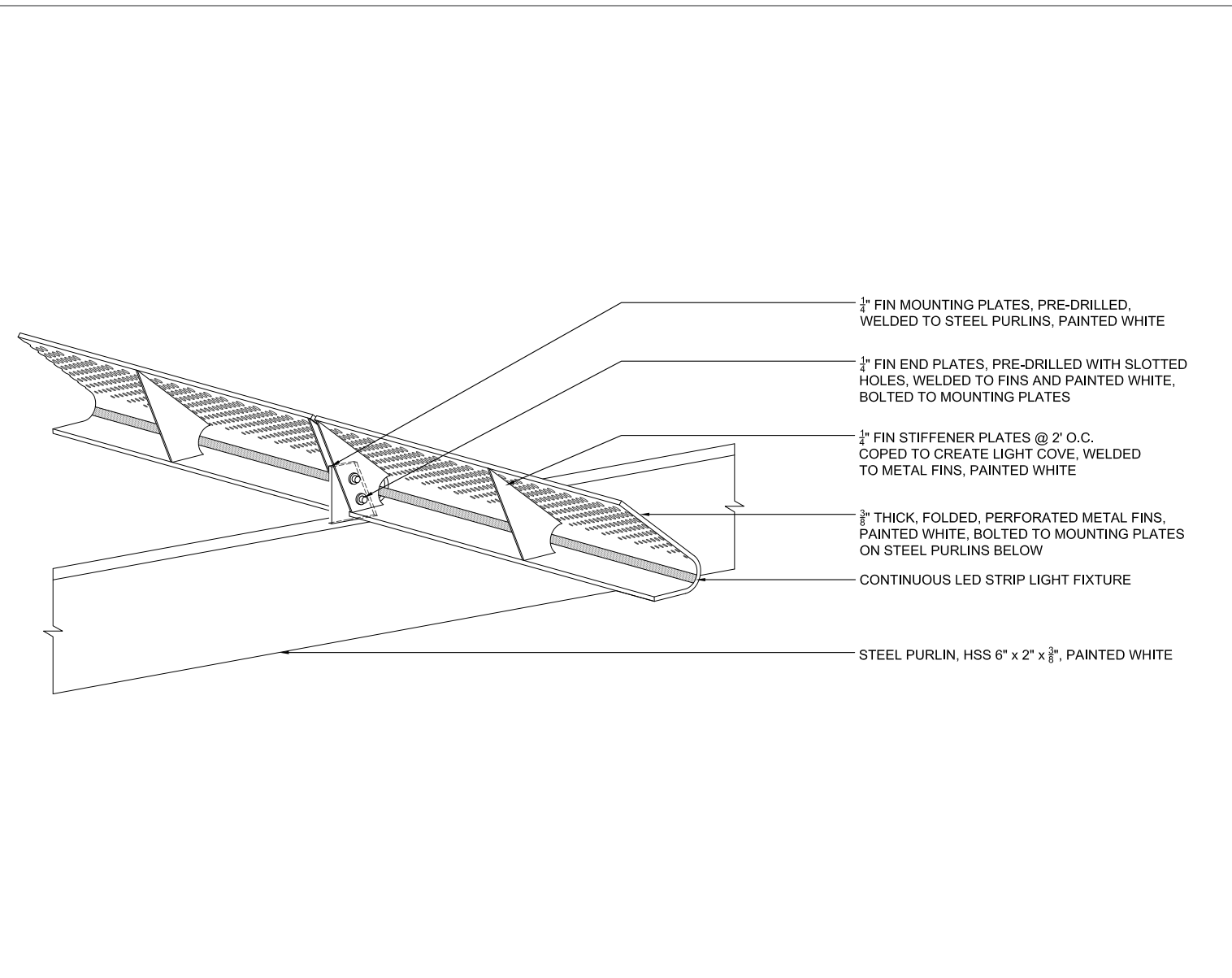
GATEWAY TRELLIS - SUN AND SHADE STUDIES





GATEWAY TRELLIS - NIGHT RENDERING





GATEWAY TRELLIS - LIGHTING DETAIL



GATEWAY TRELLIS - LIGHTING PRECEDENT IMAGE

DESIGN FEATURES:

- LED ACCENT LINEAR LIGHTS MOUNTED ON EACH FIN
- LIGHTS WILL HAVE THE CAPACITY TO BE PROGRAMMED FOR A MULTIPLICITY OF COLORS AS WELL AS A CONSISTENT WARM WHITE COLOR IF DESIRED.



ENTRY GARDENS | 400 BLOCK



EXISTING CONDITIONS FACING WEST, 2017



PREVIOUSLY APPROVED 2015 MASTER PLAN RENDERING



PROPOSED REVISED DESIGN RENDERING

DESIGN UPDATES SINCE 2015 MASTER PLAN:

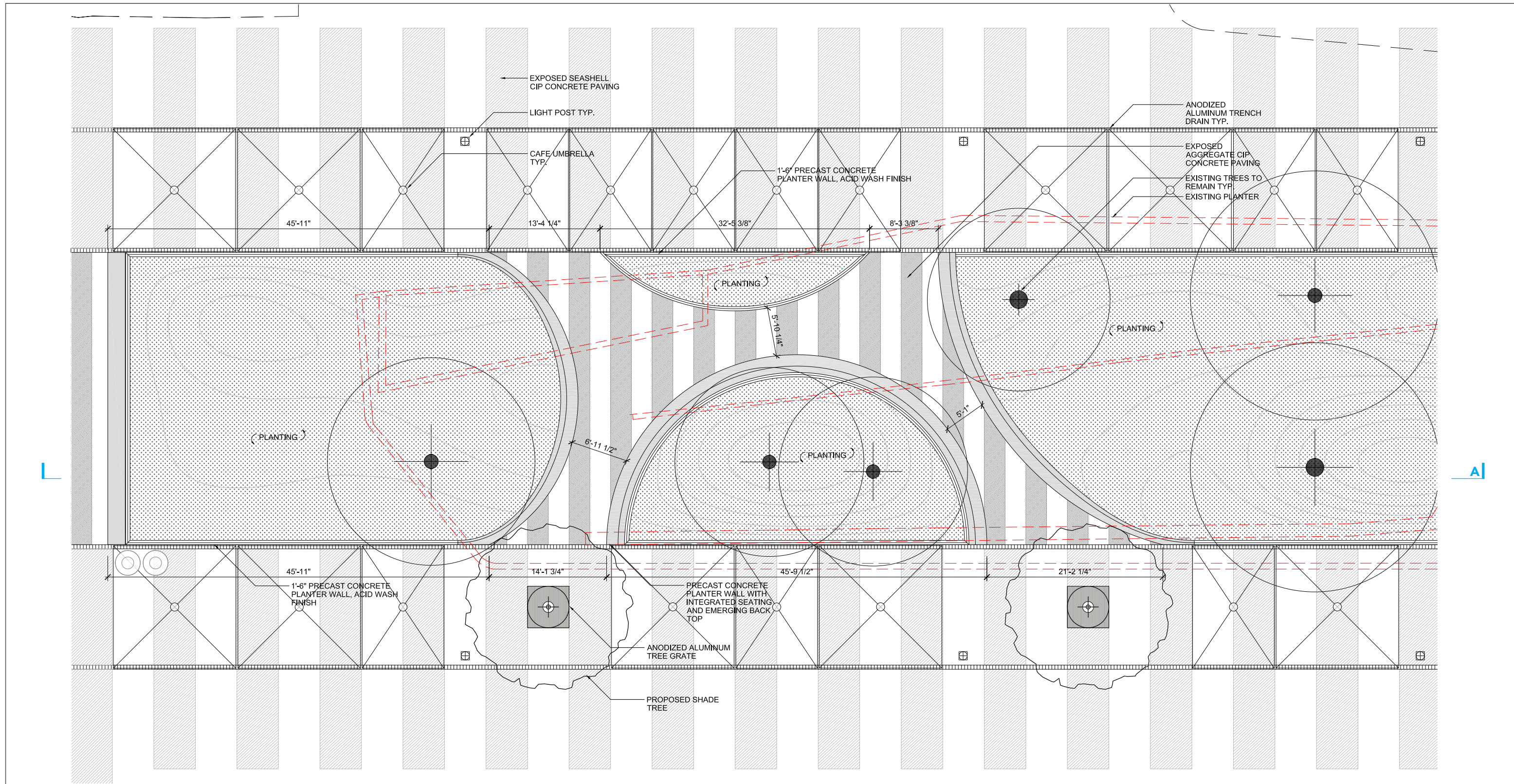
- INCREASED PLANTING BY RESHAPING THE EXISTING 400 BLOCK PLANTER INTO CIRCULAR GEOMETRIES THAT REFERENCE LAPIDUS' ORIGINAL PLANS FOR THIS BLOCK
- CREATED CROSS-BLOCK PEDESTRIAN PASSAGeways.
- UNDULATING PLANTING TOPOGRAPHY WHILE PRESERVING EXISTING TREES
- INTEGRATED SEATING



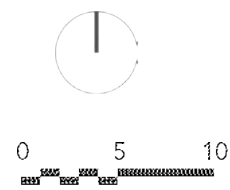


ENTRY GARDENS RENDERING FACING NORTH WEST

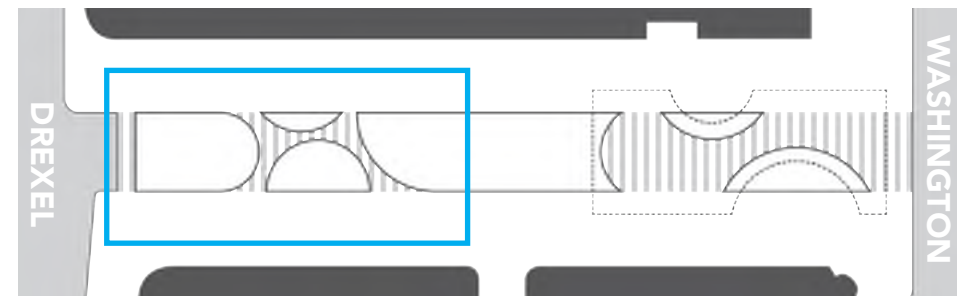


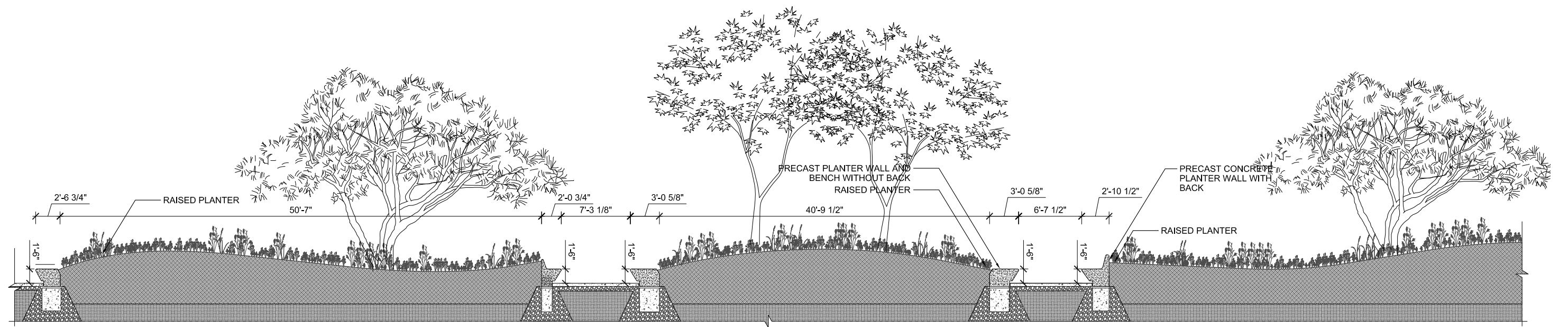


ENTRY GARDENS PLAN



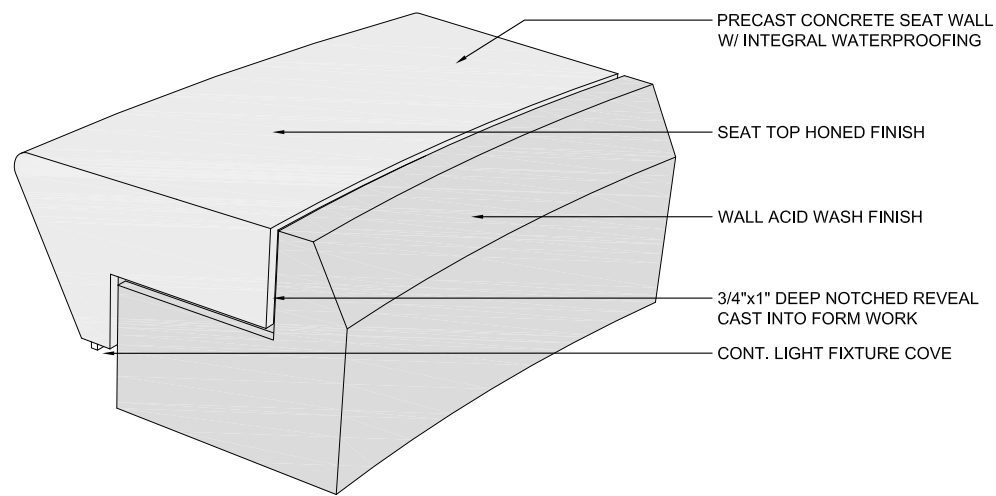
LINCOLN ROAD BLOCK KEY



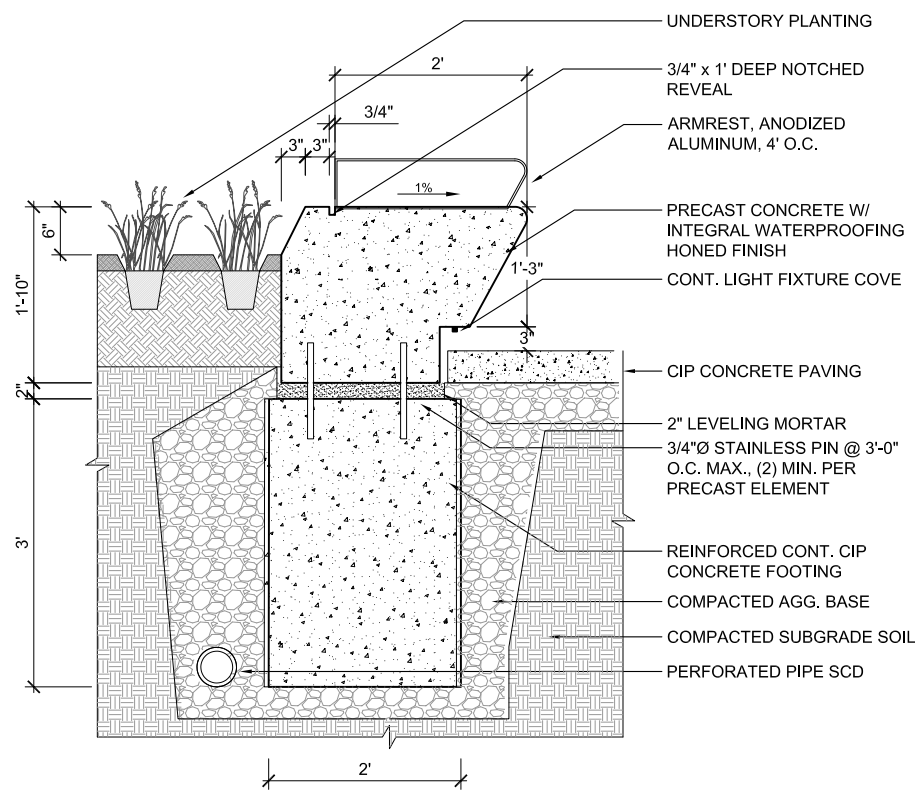


ENTRY GARDENS - LONGITUDINAL SECTION (A)

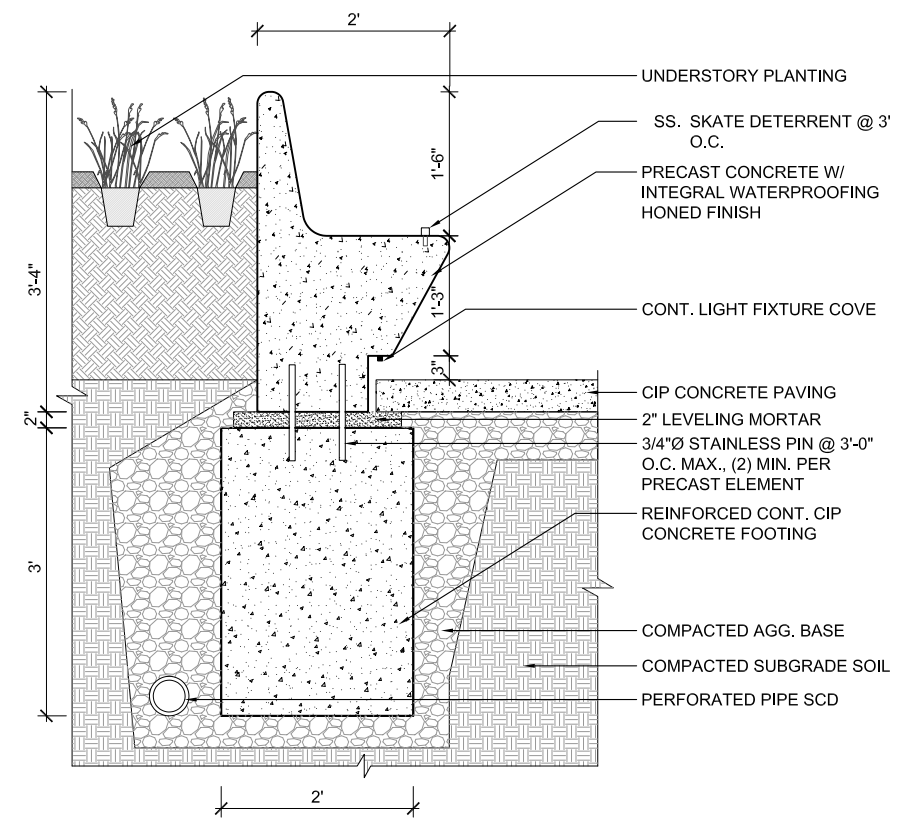




03 - PRECAST SEATWALL REVEAL (TYP.)



02 - PRECAST SEATWALL (TYP.)



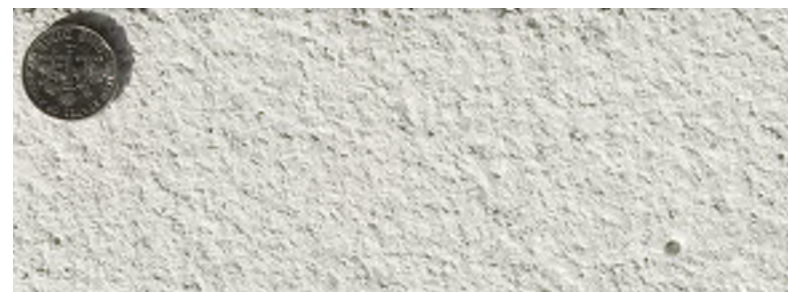
01 - PRECAST SEATWALL WITH BACK (TYP.)

ENTRY GARDENS - DETAILS

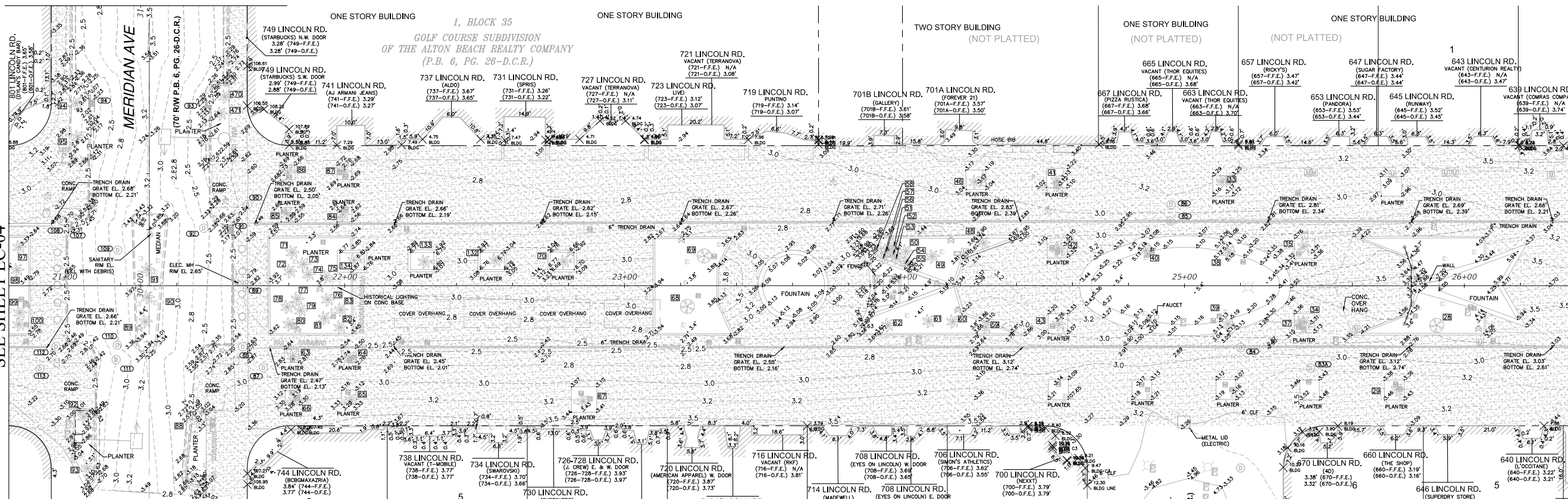
MATERIAL PALETTE:

ACID WASHED WHITE PRECAST CONCRETE

HONED WHITE PRECAST CONCRETE

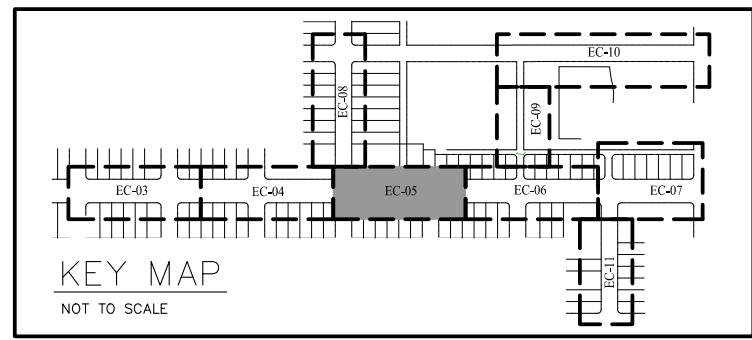
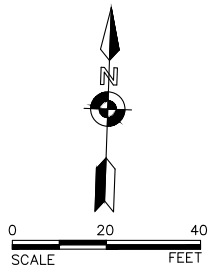


EUCLID STAGE



STORM DRAINAGE STRUCTURES TABLE								
STRUCTURE NUMBER	TYPE OF STRUCTURE	RIM EL. (feet)	INVERT BOT. (feet)	INVERT INV. EL. (feet)	DIRECTION	SIZE (inches)	MATERIAL	COMMENTS
83 A	MHD	3.183	-3.85	0.063	WEST	12	PVC	
84	MHD	2.942	-1.25	0.10	WEST	12	PVC	
85	MHD	3.062	0.42	0.43	WEST	12	PVC	
86	MHD	3.052	3.06	0.35	EAST	12	PVC	
87	MHD	3.138	0.538	0.63	WEST	12	PVC	FULL OF SAND
88	MHD	2.917	-1.833	-1.76	NORTH	12	PVC	FULL OF WATER
89	MHD	2.517	1.64	1.87	EAST	12	PVC	
90	MHD	2.917	-0.453	0.80	NORTH	N V V	N V V	FULL OF WATER
91	MHD	2.517	0.83	0.83	EAST	18	PVC	
92	MHD	2.511	-4.589	-2.499	NORTH	12	PVC	FULL OF WATER
93	MHD	2.811	-2.279	0.00	SOUTH	12	PVC	
94	MHD	2.543	-2.117	-2.057	SOUTH	12	PVC	FULL OF WATER
95	MHD	2.543	0.757	0.757	EAST	12	PVC	
96	CB	2.249	4.471	0.431	EAST	12	METAL	FULL OF WATER
97	MHD	2.705	-0.431	-0.761	NORTH	12	PVC	FULL OF WATER
98	MHD	2.785	0.129	0.129	SOUTH	12	CONC	
99	MHD	2.789	-0.781	0.00	EAST	12	METAL	
100	MHD	2.789	-0.551	0.00	WEST	6	METAL	
101	CB	2.244	0.816	0.236	SOUTH	12	PVC	FULL OF WATER
102	CB	2.204	-0.906	-0.616	SW	2	CONC	FULL OF WATER
103	CB	2.339	0.536	0.536	EAST	12	CONC	FULL OF WATER & DEBRIS
104	MHD	2.652	-1.315	0.022	SE	36	CONC	FULL OF DEBRIS
105	MHD	2.652	-0.502	0.00	NORTH	N V V	CONC	FULL OF WATER
106	MHD	3.274	-1.026	0.364	NW	12	METAL	FULL OF DEBRIS
107	MHD	3.274	-1.528	0.00	SOUTH	N V V	N V V	
108	MHD	3.274	-1.356	0.00	EAST	N V V	N V V	
109	MHD	3.034	-1.746	0.534	WEST	5	METAL	FULL OF WATER
110	MHD	3.034	-1.058	0.00	SOUTH	N V V	N V V	
111	MHD	3.034	1.356	0.00	NORTH	N V V	N V V	
112	MHD	2.987	-3.583	0.287	WEST	5	METAL	FULL OF WATER
113	MHD	2.587	-1.732	0.00	SOUTH	N V V	N V V	
114	MHD	2.570	-1.174	0.624	NORTH	N V V	N V V	FULL OF WATER
115	MHD	2.275	0.026	0.00	EAST	N V V	METAL	
116	MHD	2.670	-0.284	0.00	WEST	5	PVC	
117	MHD	2.825	-1.875	-1.385	NORTH	12	PVC	FULL OF WATER
118	MHD	2.825	-0.495	0.00	WEST	12	PVC	

DRAINAGE AND SANITARY SEWER NOTES AND ABBREVIATIONS:
 (*) - STRUCTURE REQUIRES MAINTENANCE TO BE ABLE TO OBTAIN DRAINAGE INFORMATION
 N.V.V. = NO VISUAL VERIFICATION POSSIBLE. UNSURE TO DETERMINE DRAINAGE INFORMATION IN PART OR IN FULL DEPENDING ON THE DRAINAGE STRUCTURE INTERNAL CONDITIONS FOUND AT THE TIME OF SURVEY.



NEIGHBORHOOD: NO. 9 CITY CENTER
 TITLE: LINCOLN RD. DISTRICT IMPROVEMENTS

BISCAYNE ENGINEERING COMPANY, INC.
 Consulting Engineers - Planners - Surveyors
 MIAMI
 529 WEST FLAGLER STREET, MIAMI, FL 33130
 TEL: (305) 324-7871
 FAX: (305) 324-6909
 PALM BEACH
 449 NW 35th STREET, BOCA RATON, FL 33431
 TEL: (561) 869-2329
 WEB: WWW.BISCAYNEENGINEERING.COM

CITY MANAGER: JIMMY L. MORALES
 DIRECTOR: ERIC T. CARPENTER, P.E.
 CITY ENGINEER: BRUCE A. MOWRY, Ph.D., P.E.

ENGINEER OF RECORD: _____
 DESIGN ENGINEER: _____
 DRAWN BY: W.R.
 CHECKER: L.A.G.
 SCALE: 1" = 20'

ACCEPTED BY: _____
 BRIAN T. BELLINO, P.S.M.
 CITY SURVEYOR MANAGER

NO.	DATE	REVISION	APP'D. BY
5			
4			
3			
2			
1			

File Name: SM-2016G -- LINCOLN ROAD
 Survey Reference: 2888, 2889
 Field Book: 2891, 2892, 2896
 Page: ALL
 Work Order: 85441
 Date: 01/03/17
 Sheet: 7 of 13
 Drawing: EC-05

600-700 BLOCKS | EXISTING CONDITIONS



VIEW FACING WEST, 2016



VIEW FACING NORTH EAST, 2017



VIEW FACING WEST, 2017



VIEW FACING WEST 2016





SOURCE: MIAMI HERALD

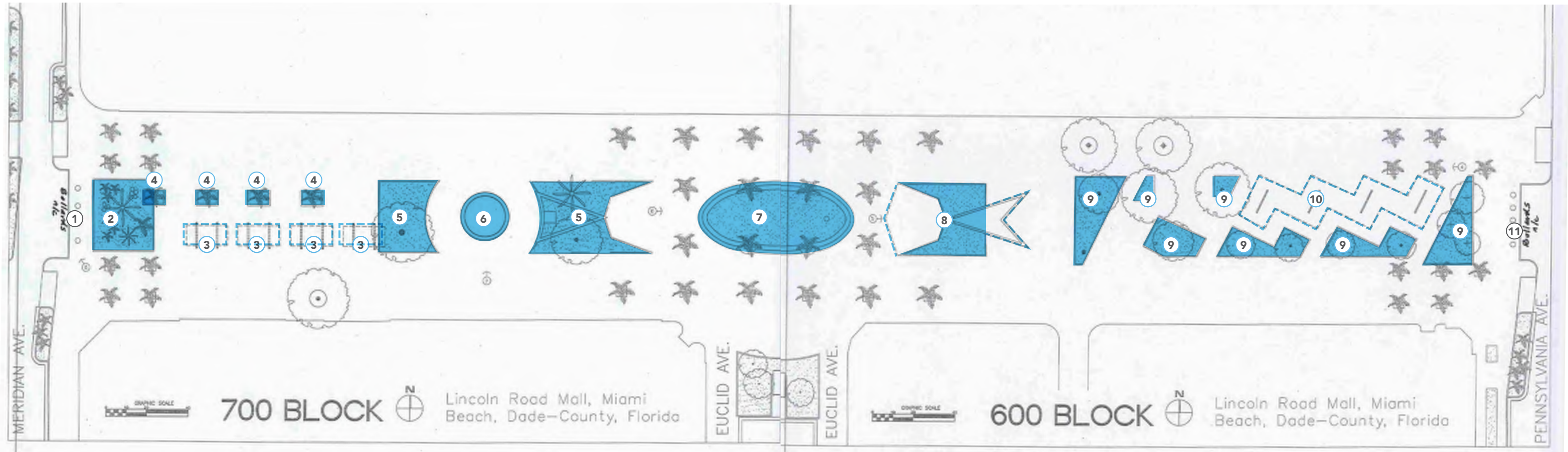


SOURCE: MIAMI HERALD



600-700 BLOCK | NATIONAL REGISTER OF HISTORIC PLACES ASSESSMENT

- ① 1 set of bollards (N/C)
- ② 1 square planter
- ③ 1 U-frame shade canopy structure
- ④ 4 tall square planters
- ⑤ 2 geometric planters with semi-circular cutouts
- ⑥ 1 circular fountain frames by aforementioned planters
- ⑦ 1 oval planter
- ⑧ 1 amphitheater or band shell structure with winged canopy on pilotis, incorporating a fountain waterfall and planters
- ⑨ 7 angular or polygonal planters
- ⑩ 1 zigzag canopy with short blank walls as supporting elements
- ⑪ 1 set of bollards (N/C)



CURRENT 600-700 PLANS (SOURCE: NATIONAL REGISTER OF HISTORIC PLACES)

CONTRIBUTING ELEMENT

N/C NON CONTRIBUTING ELEMENT



EUCLID STAGE | 600-700 BLOCKS



EXISTING CONDITIONS, 2015



PREVIOUSLY APPROVED 2015 MASTER PLAN RENDERING



PROPOSED REVISED DESIGN RENDERING

DESIGN UPDATES SINCE 2015 MASTER PLAN:

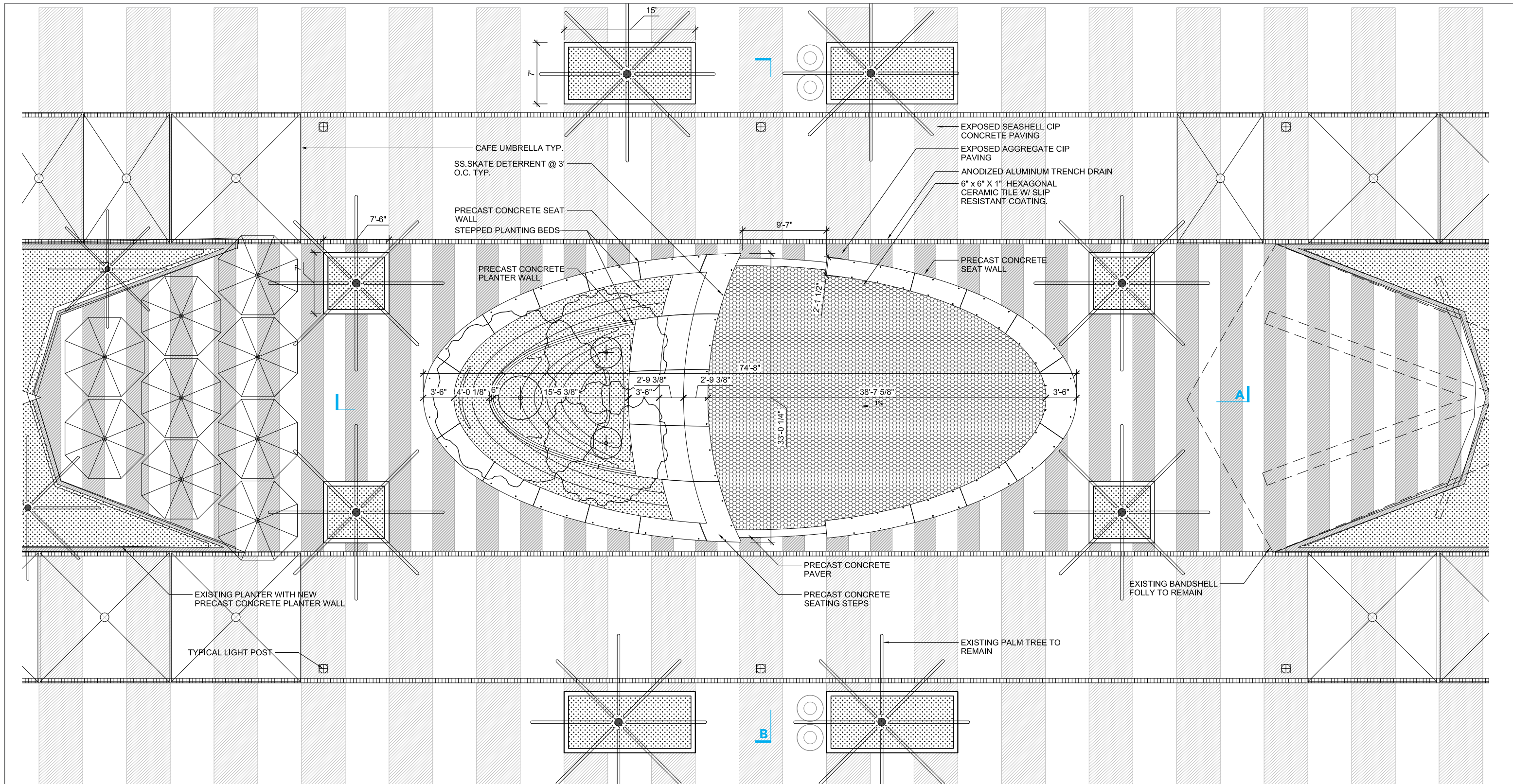
- COLORFUL MOSAIC TILE IN LIEU OF WOOD DECKING
- IN-GROUND SOLAR LED LIGHTING AND PALM TREE UP LIGHTING IN LIEU OF CATENARY LIGHTS
- REFINED GEOMETRIES



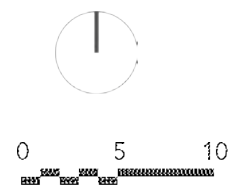


EUCLID STAGE RENDERING FACING WEST

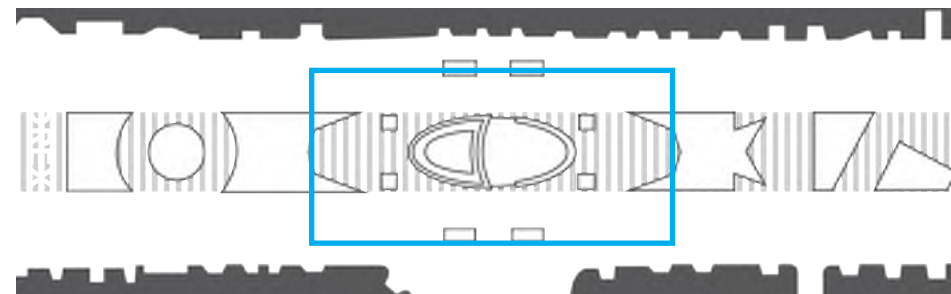


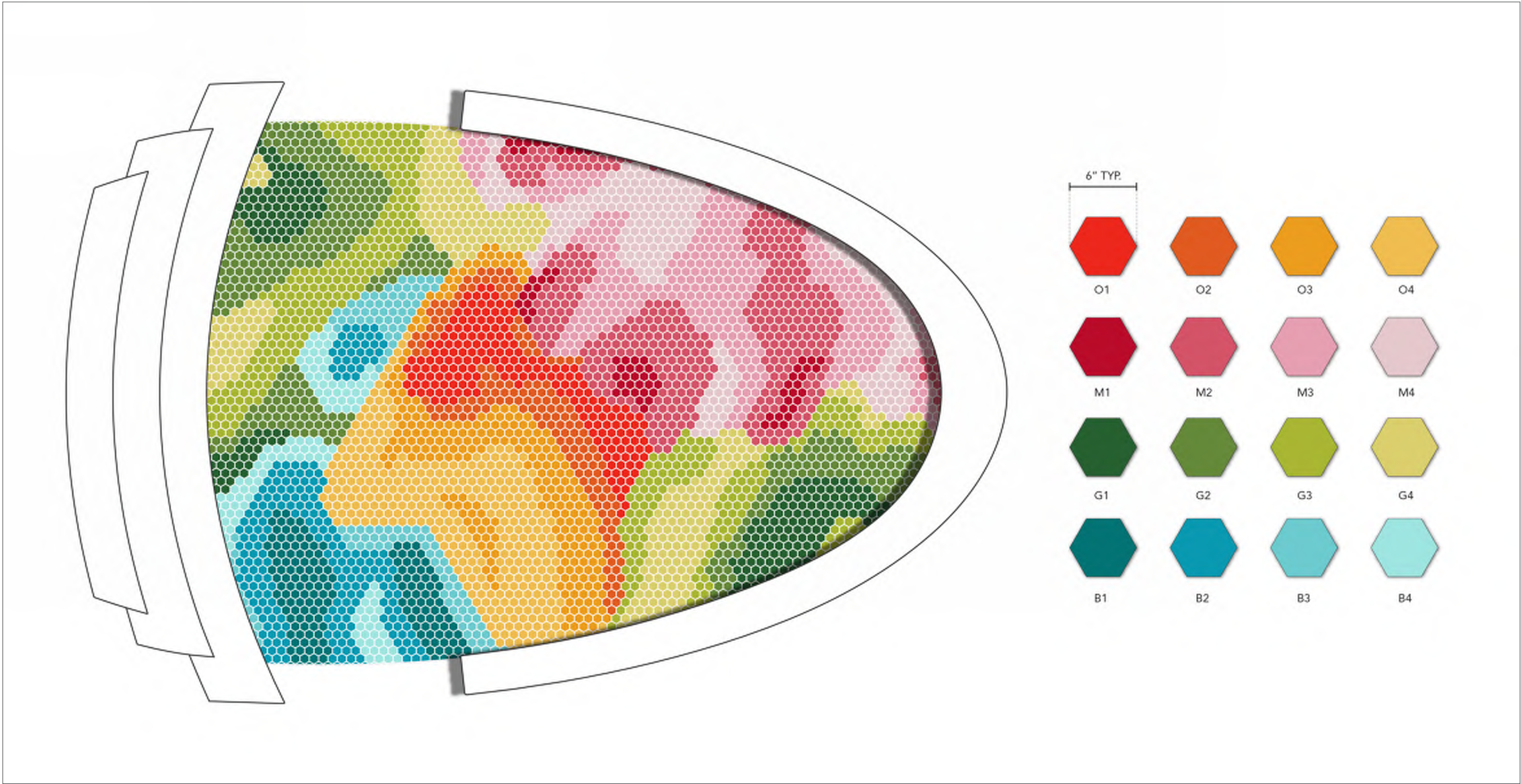


EUCLID STAGE PLAN



LINCOLN ROAD BLOCK KEY



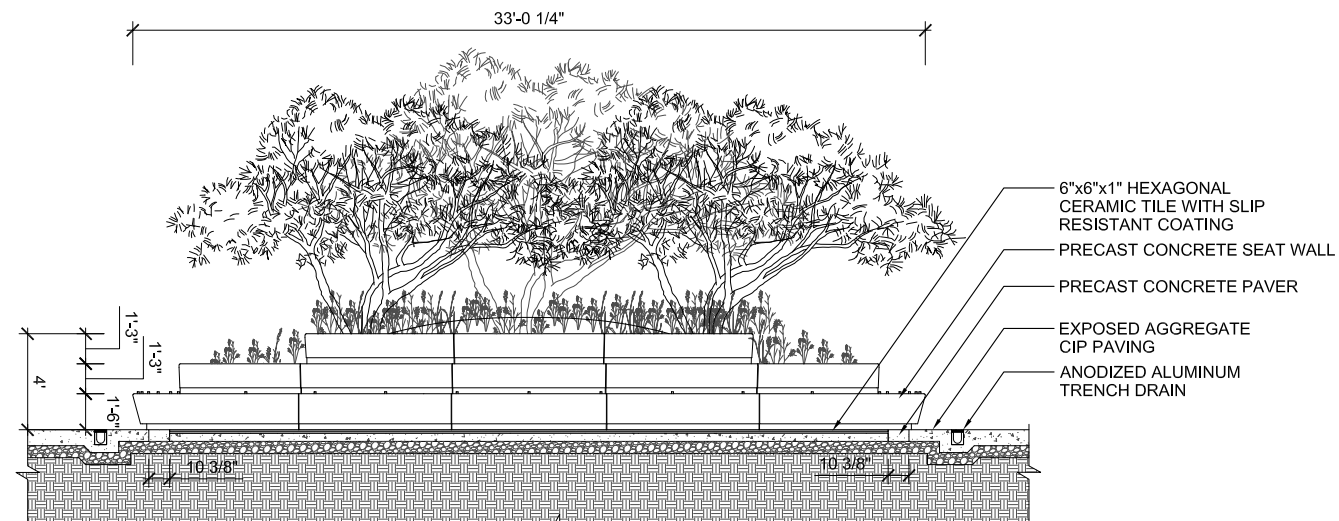


EUCLID OVAL PAVING DETAIL PLAN

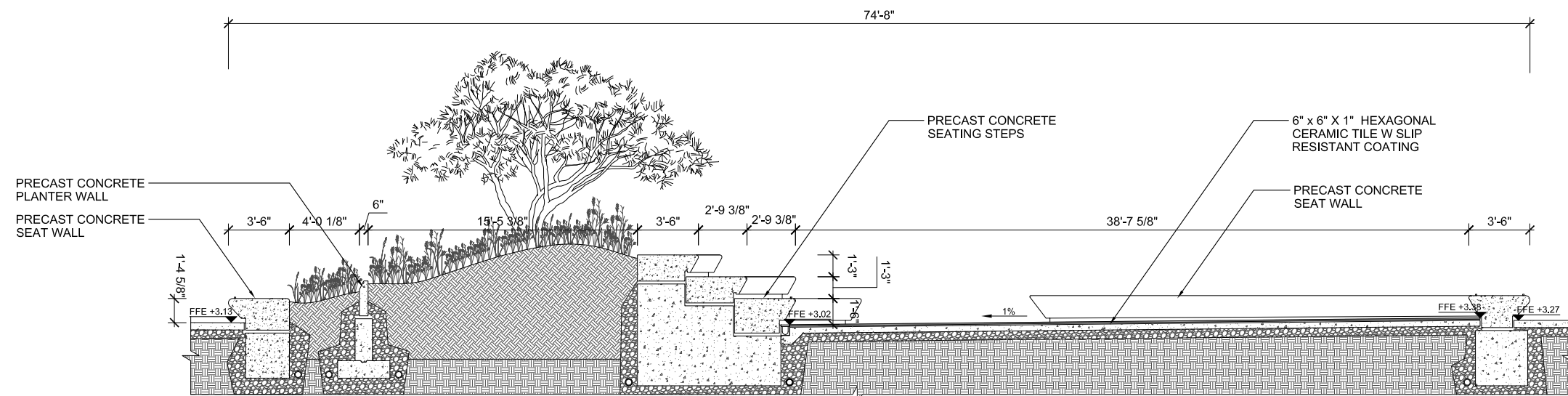
MATERIAL PALETTE:

CERAMIC TILE WITH SLIP RESISTANT COATING





02 - EUCLID STAGE CROSS SECTION (B)



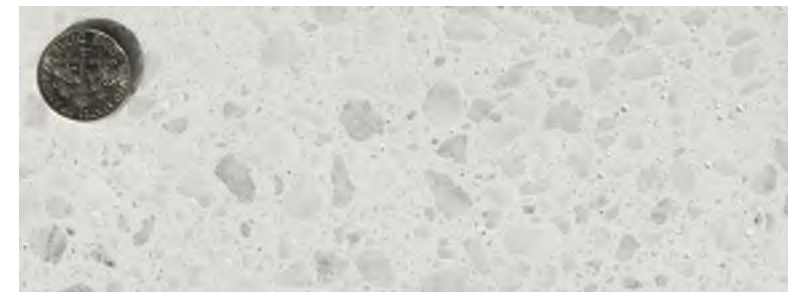
01 - EUCLID STAGE LONGITUDINAL SECTION (A)

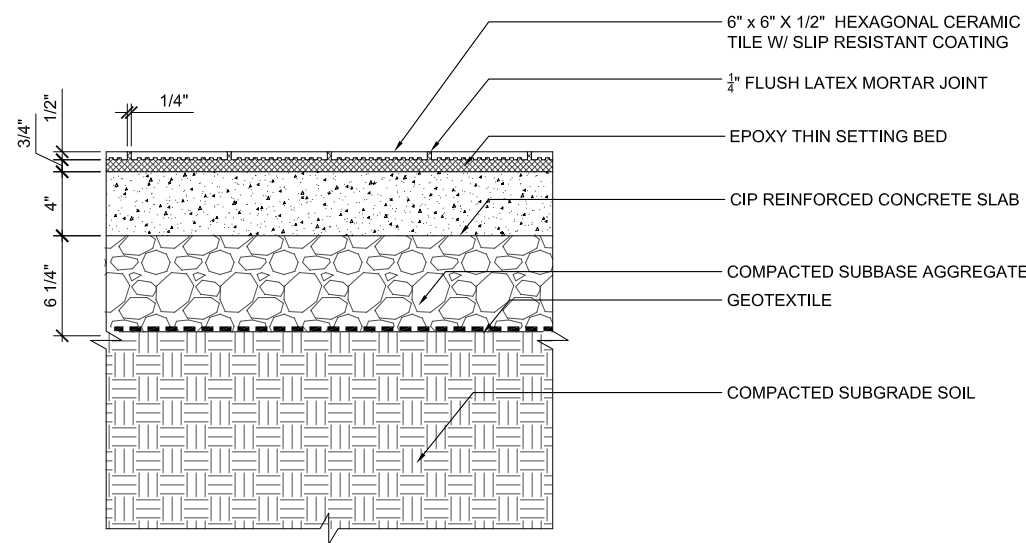
EUCLID STAGE DETAILS

MATERIAL PALETTE:

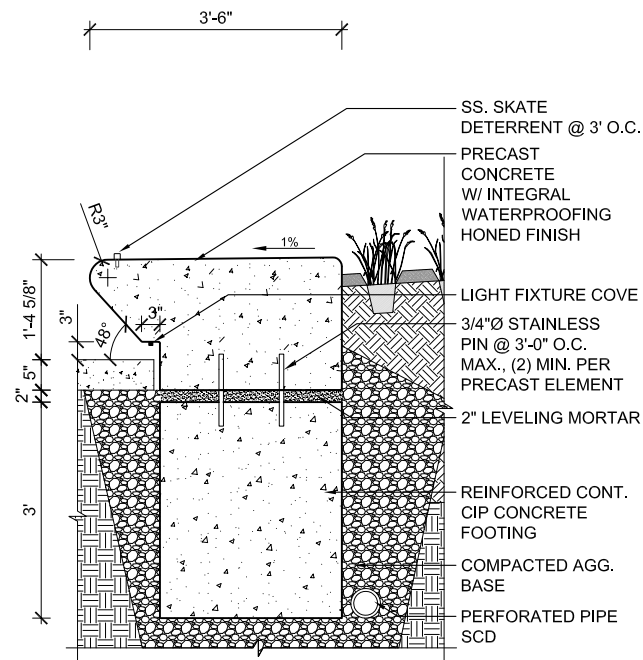
ACID WASHED WHITE PRECAST CONCRETE

HONED WHITE PRECAST CONCRETE

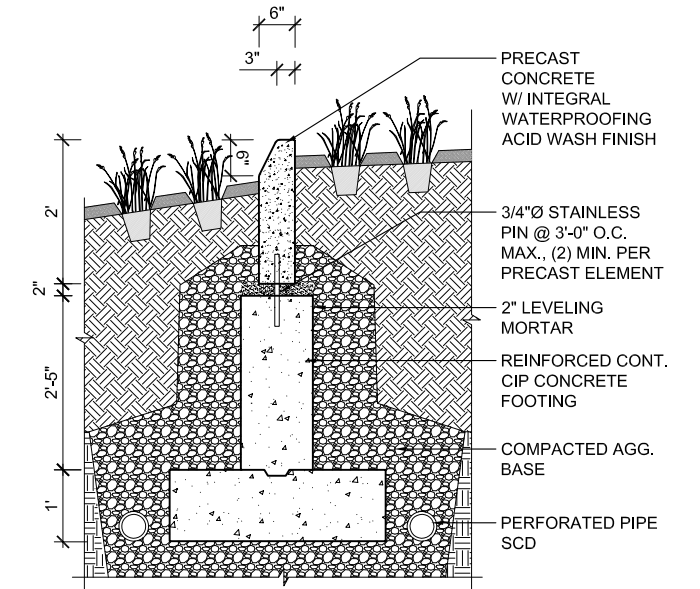




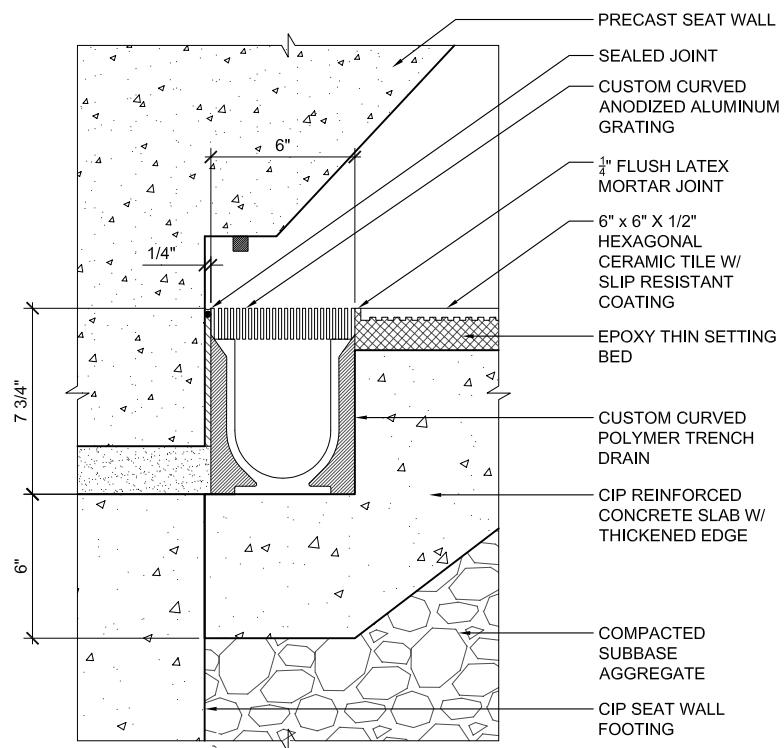
06 - CERAMIC TILE PAVING DETAIL (TYP.)



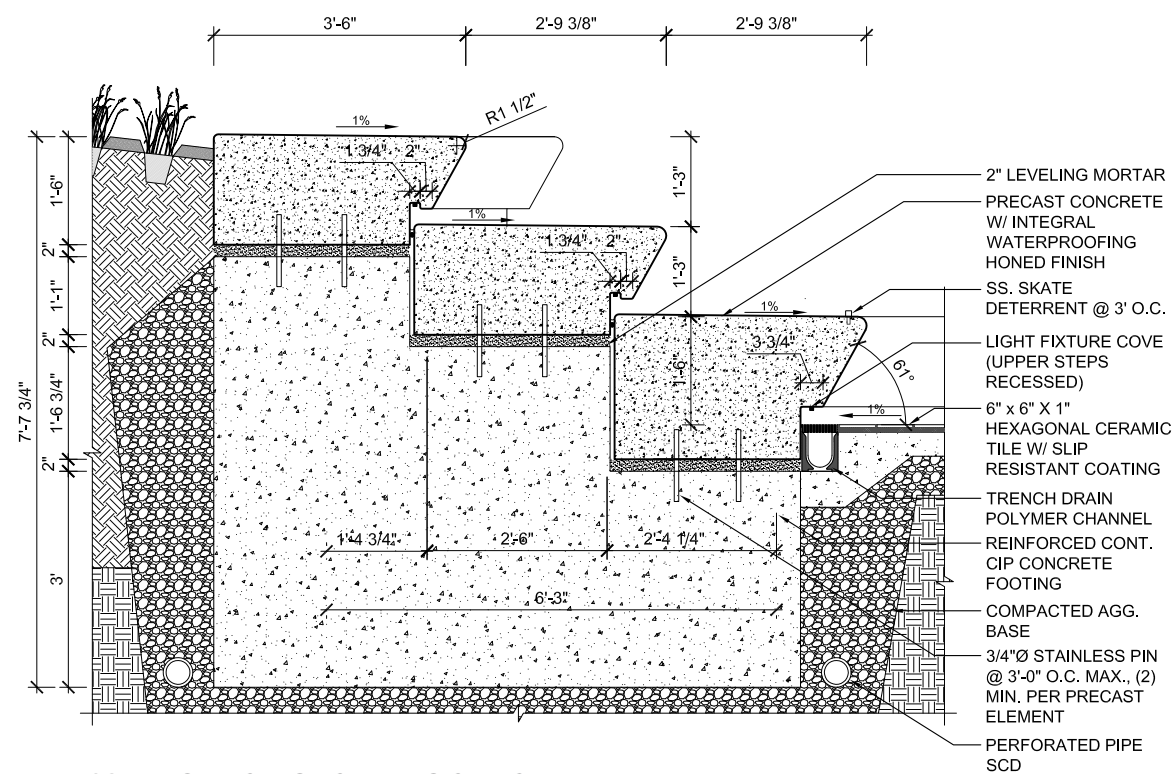
05 - EUCLID STAGE WEST SEAT WALL



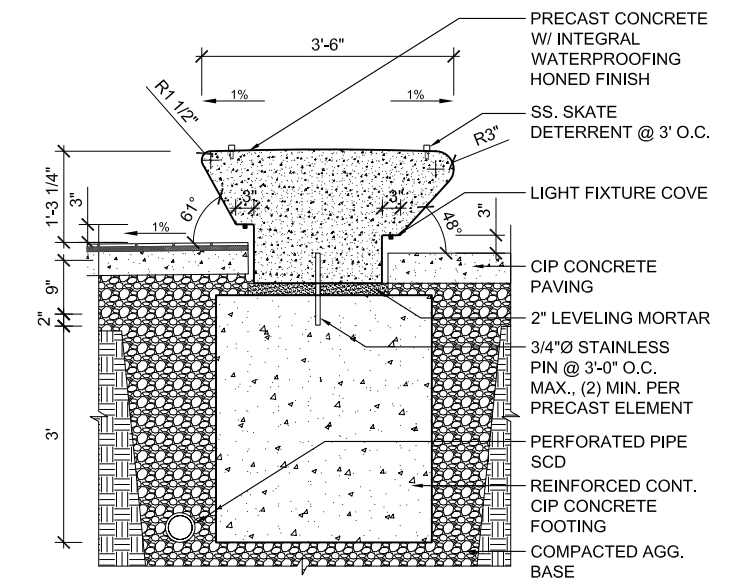
04 - EUCLID STAGE STEPPED PLANTER



03 - TRENCH DRAIN DETAIL @ SEATING STEPS



02 - EUCLID STAGE SEATING STEPS



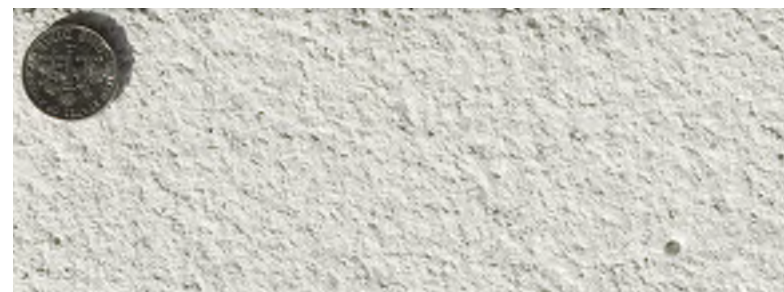
01 - EUCLID STAGE EAST SEAT WALL

EUCLID STAGE DETAILS

MATERIAL PALETTE:

ACID WASHED WHITE PRECAST CONCRETE

HONED WHITE PRECAST CONCRETE



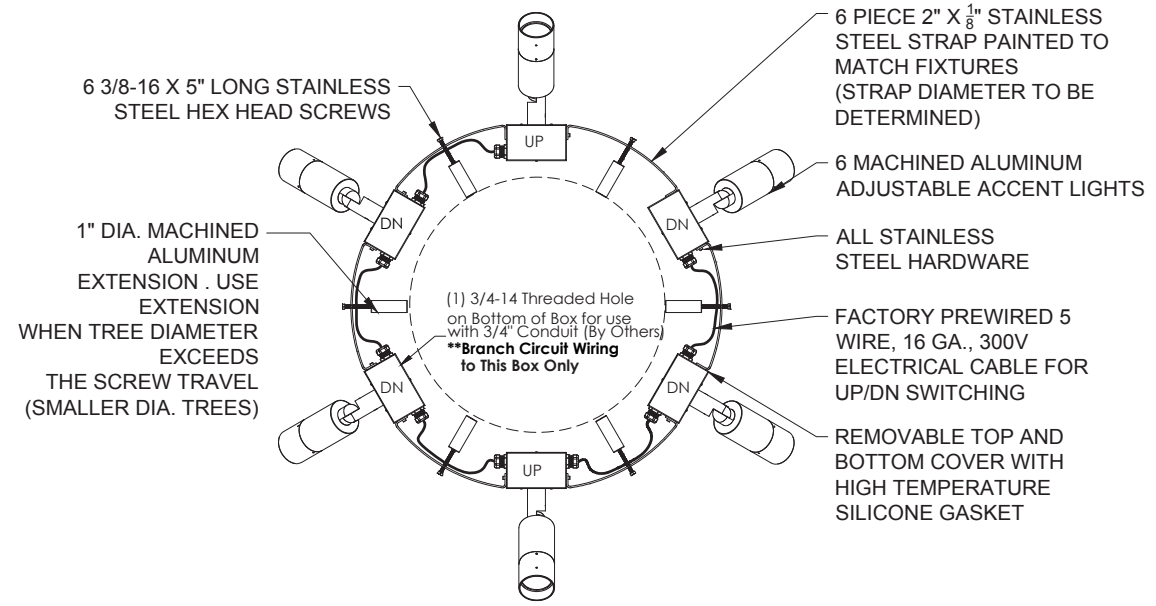


EUCLID STAGE NIGHT RENDERING

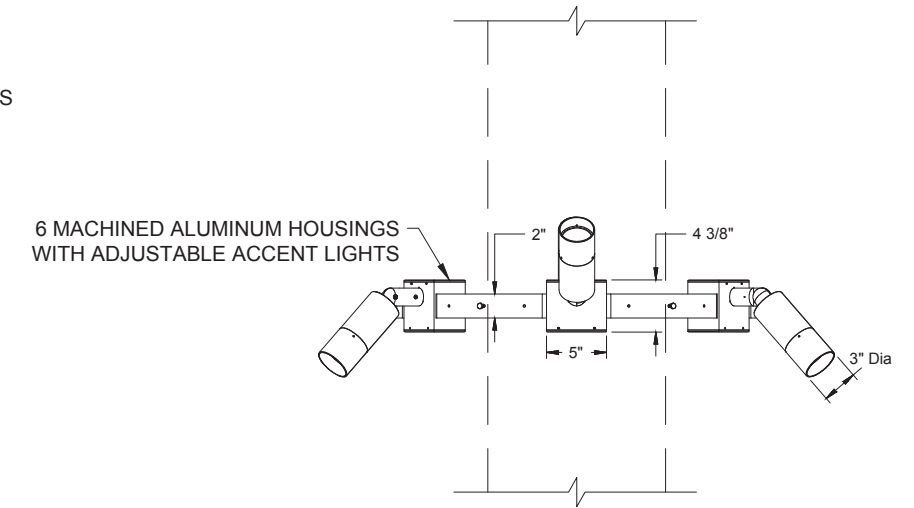




PALM TREE UPLIGHTING PRECEDENT IMAGE



PALM TREE UPLIGHTING DETAIL PLAN



PALM TREE UPLIGHTING DETAIL SECTION



FOLLY LIGHTING

FOLLY LIGHTING | HISTORIC PHOTOS

DESIGN CONSIDERATIONS:

- CREATE A SOFT WASH LIGHTING EFFECT SIMILAR TO ORIGINAL LAPIDUS LIGHTING SCHEME
- MINIMIZE THE APPEARANCE OF NEW LIGHT FIXTURES
- CONCEAL DRIVER BOXES AND CONDUITS



ORIGINAL LIGHTING SCHEME FROM 1960'S- 900 BLOCK



ORIGINAL LIGHTING SCHEME FROM 1960'S -600 BLOCK



ORIGINAL LIGHTING SCHEME FROM 1960'S- 400 BLOCK



ORIGINAL LIGHTING SCHEME FROM 1960'S- 400 BLOCK



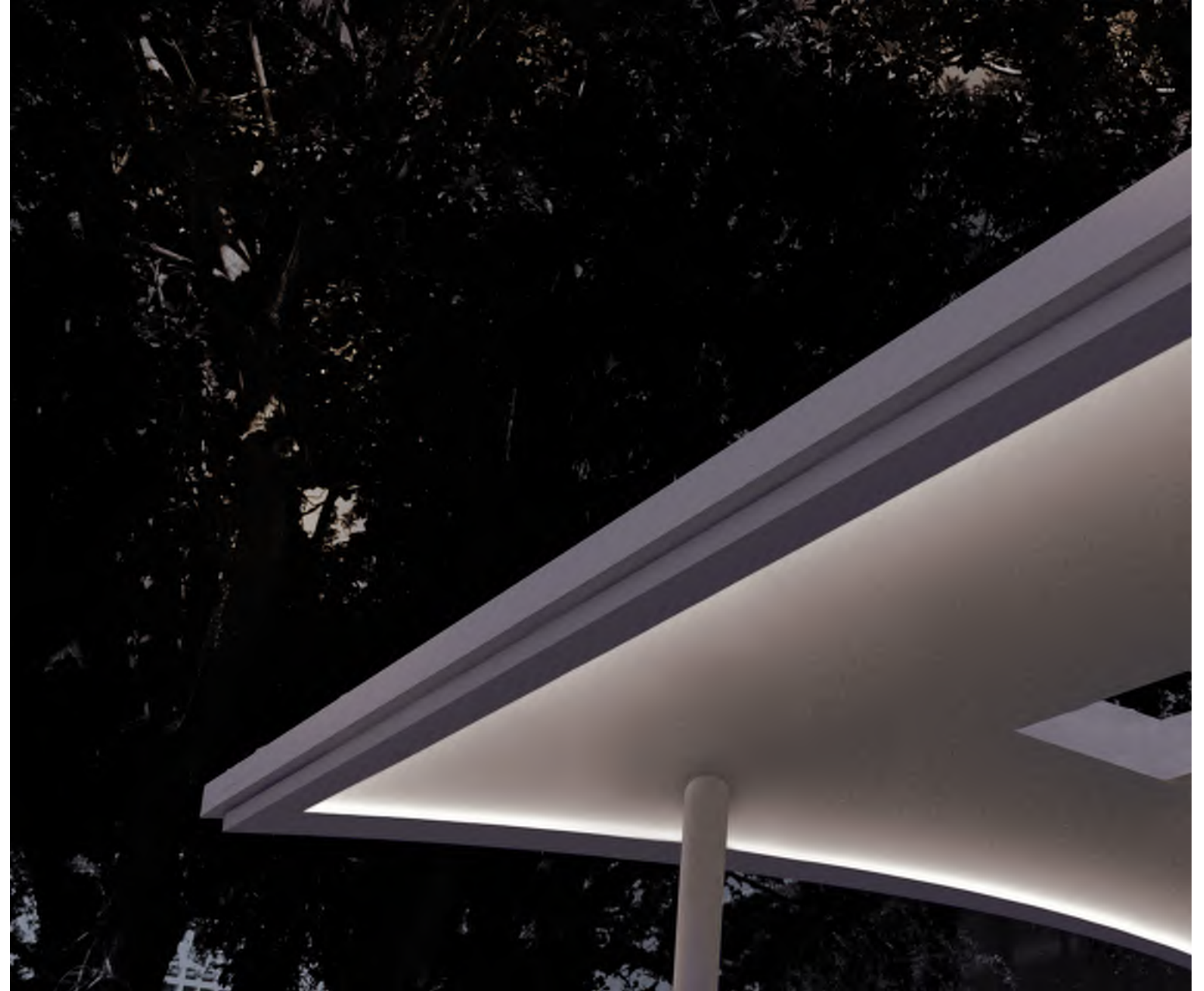
EXISTING CONDITION | 1000 BLOCK FOLLY



EXISTING CONDITION - FALL 2016

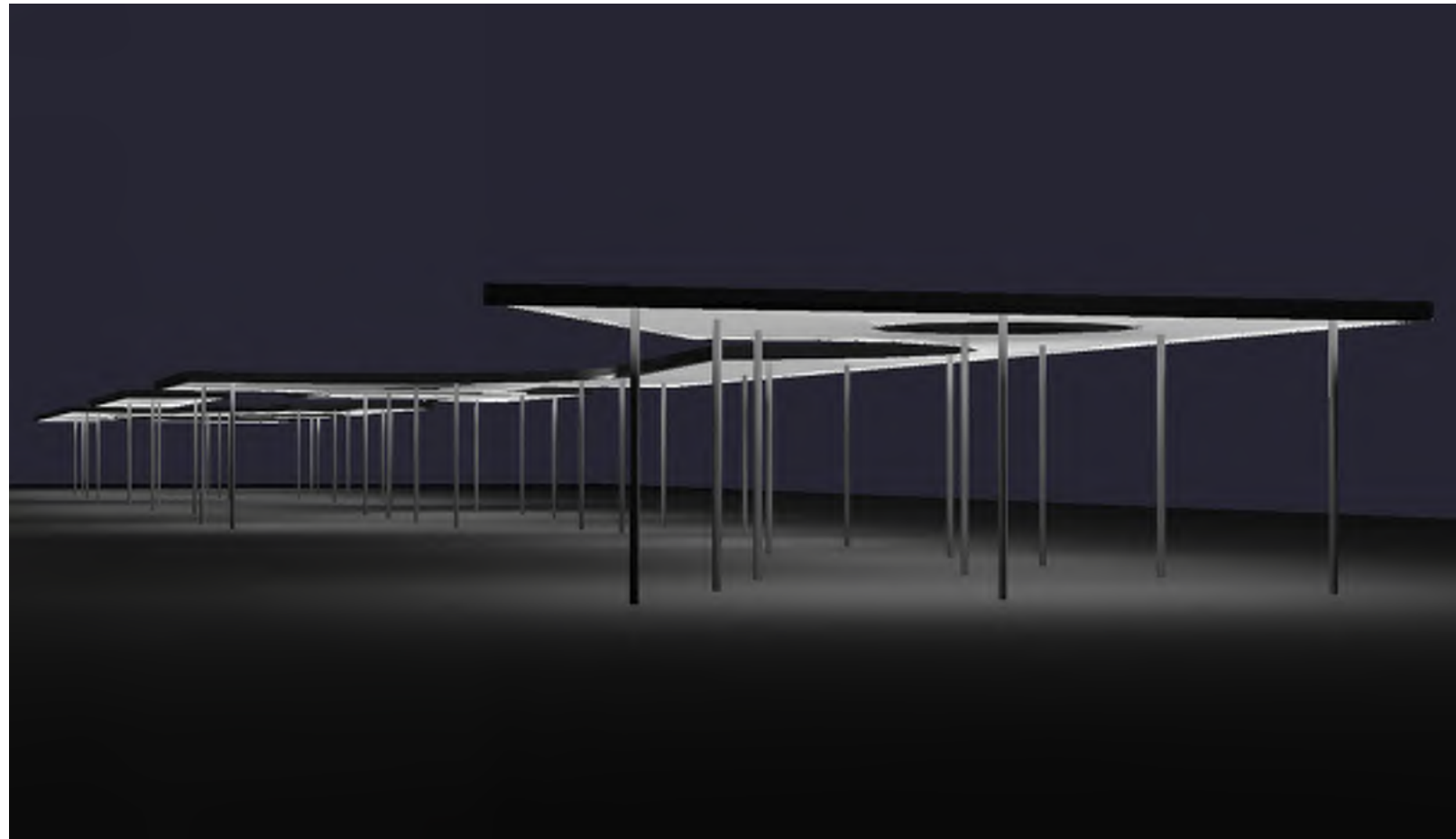


PERIMETER LIGHT CHANNEL | TYPICAL DETAIL



PROPOSED PERIMETER LIGHT CHANNEL VISUALIZATION - 1000 BLOCK FOLLY





LIGHT EFFECT SIMULATION*

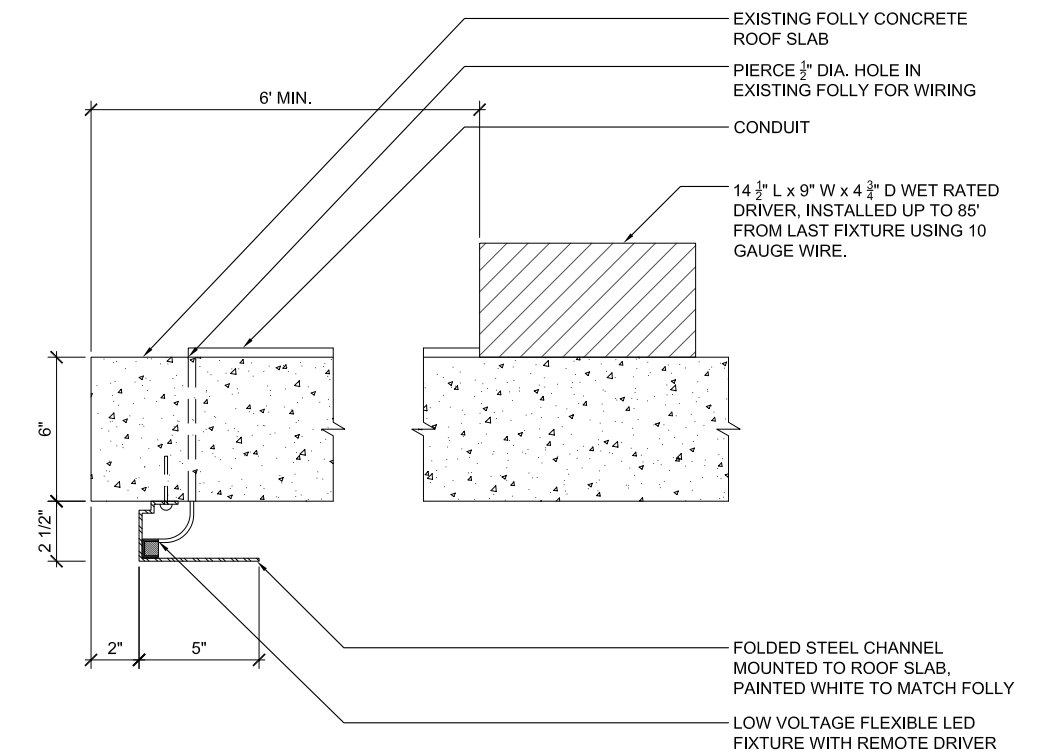
DESIGN FEATURES:

- CONCEAL PERIMETER LIGHT FIXTURE WITH WHITE PAINTED STEEL CHANNEL FASTENED TO UNDERSIDE OF FOLLY ROOF
- ACHIEVE WASH EFFECT WITH LIGHT SHELF INTEGRATED IN PERIMETER CHANNEL
- LOCATE DRIVER BOXES ON FOLLY ROOF, SETBACK A MINIMUM OF 6' FROM EDGE

DETAILS:

- 14 DRIVER BOXES DISTRIBUTED ON FOLLY ROOF, OUT OF LINE OF SIGHT
- EXISTING CONDUIT TO BE REUSED, NEW CONDUIT TO BE FISHED THROUGH EXISTING COLUMNS. (SEE TYPICAL CONDUIT DETAILS)
- 14x - 1/2" DIAMETER HOLES TO BE DRILLED IN ROOF OF EXISTING FOLLY

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC

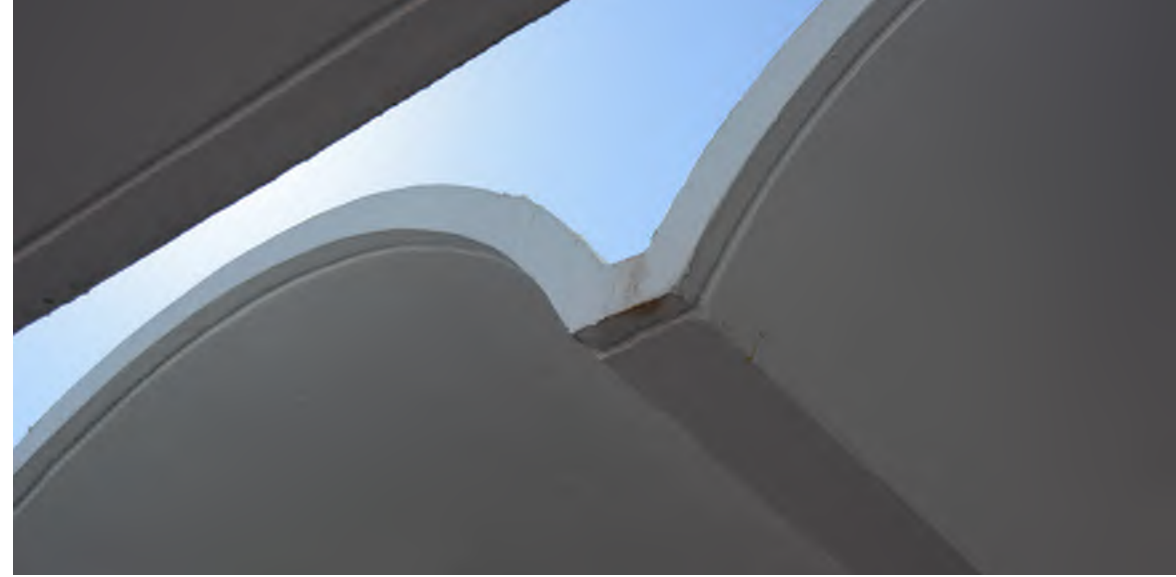


LIGHT CHANNEL DETAIL (TYP.)



FLEXIBLE LED STRIP FIXTURE - WHITE

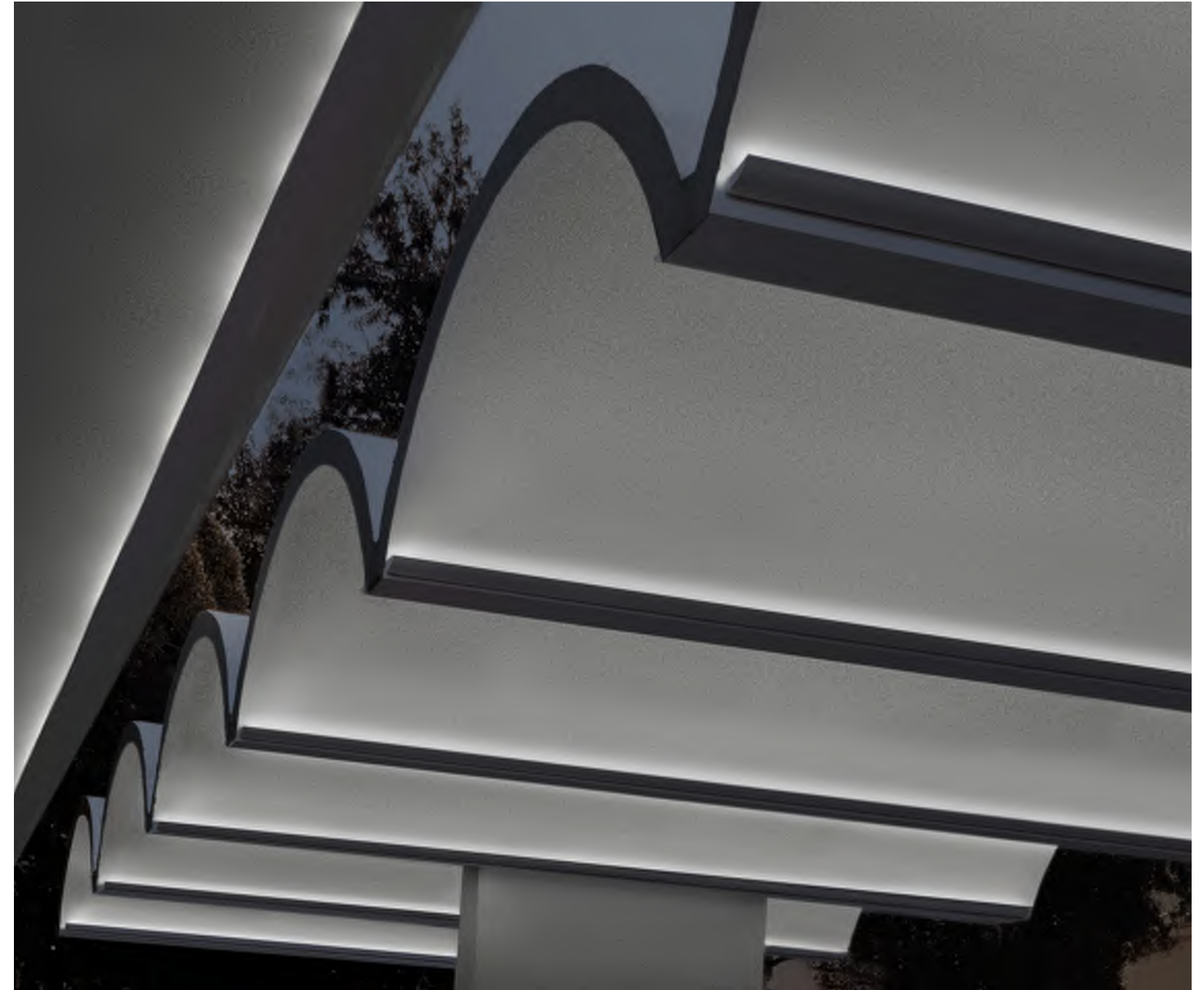




EXISTING CONDITION - FALL 2016

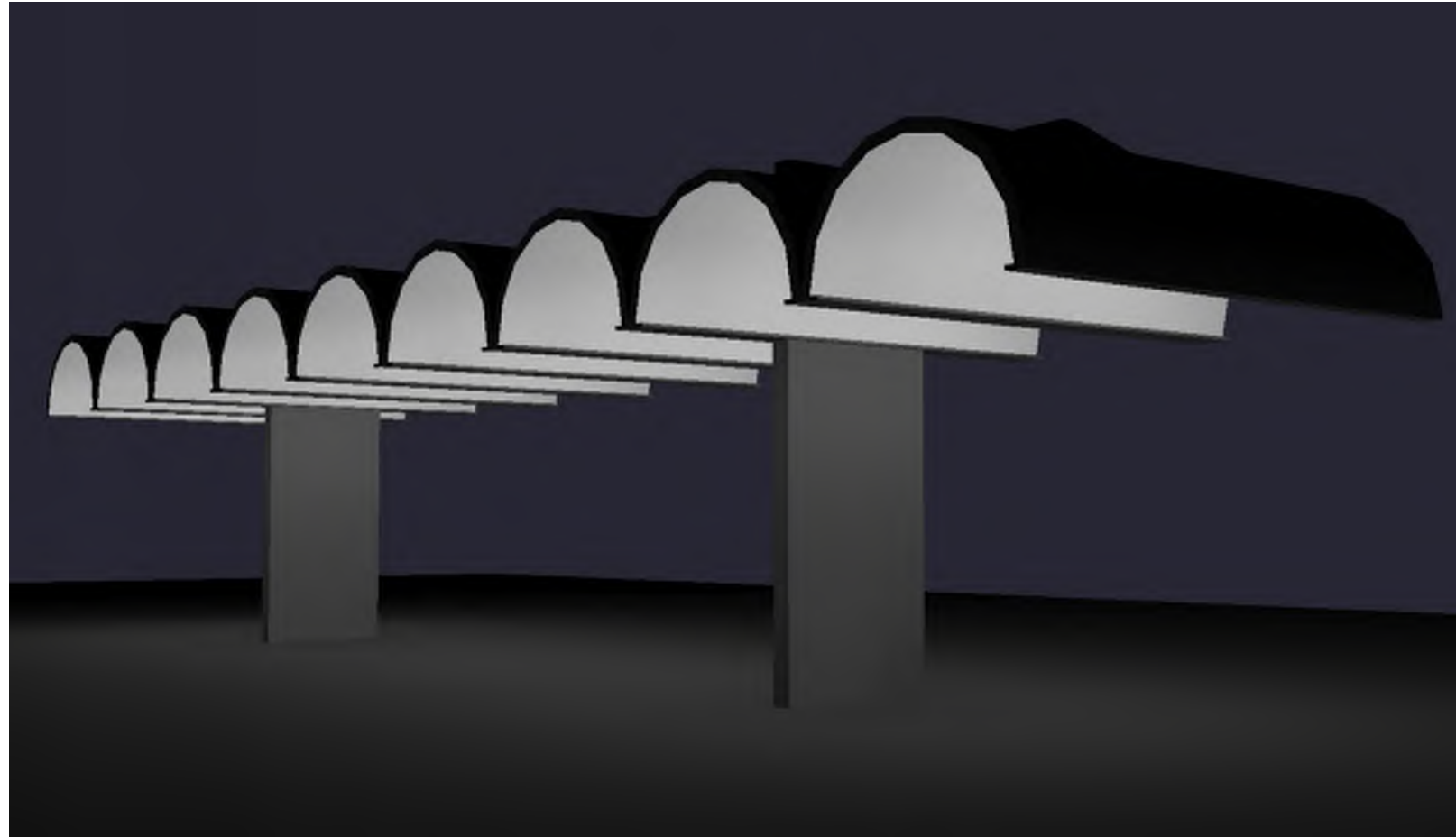


1000 BLOCK VAULTS | TYPICAL DETAIL



PROPOSED LIGHT CHANNEL VISUALIZATION - 1000 BLOCK FOLLY VAULTS





LIGHT EFFECT SIMULATION*

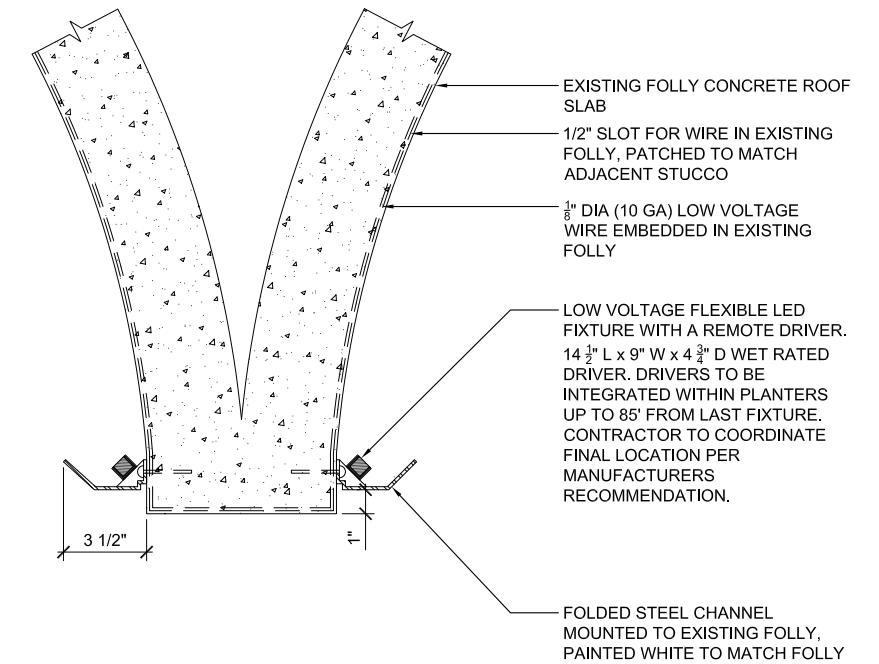
DESIGN FEATURES:

- CONCEAL LINEAR LIGHT FIXTURE WITH WHITE PAINTED STEEL CHANNEL FASTENED TO BASE OF VAULT
- ACHIEVE WASH EFFECT WITH LIGHT SHELF INTEGRATED IN LINEAR CHANNEL
- LOCATE DRIVER BOXES IN ADJACENT PLANTERS AT GRADE

DETAILS:

- 3 DRIVER BOXES DISTRIBUTED IN ADJACENT PLANTERS, OUT OF LINE OF SIGHT
- WIRING EMBEDDED IN EXISTING FOLLY STRUCTURE (SEE TYPICAL CONDUIT DETAILS)

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC



LINEAR LIGHT CHANNEL DETAIL AT 1000 BLOCK VAULT



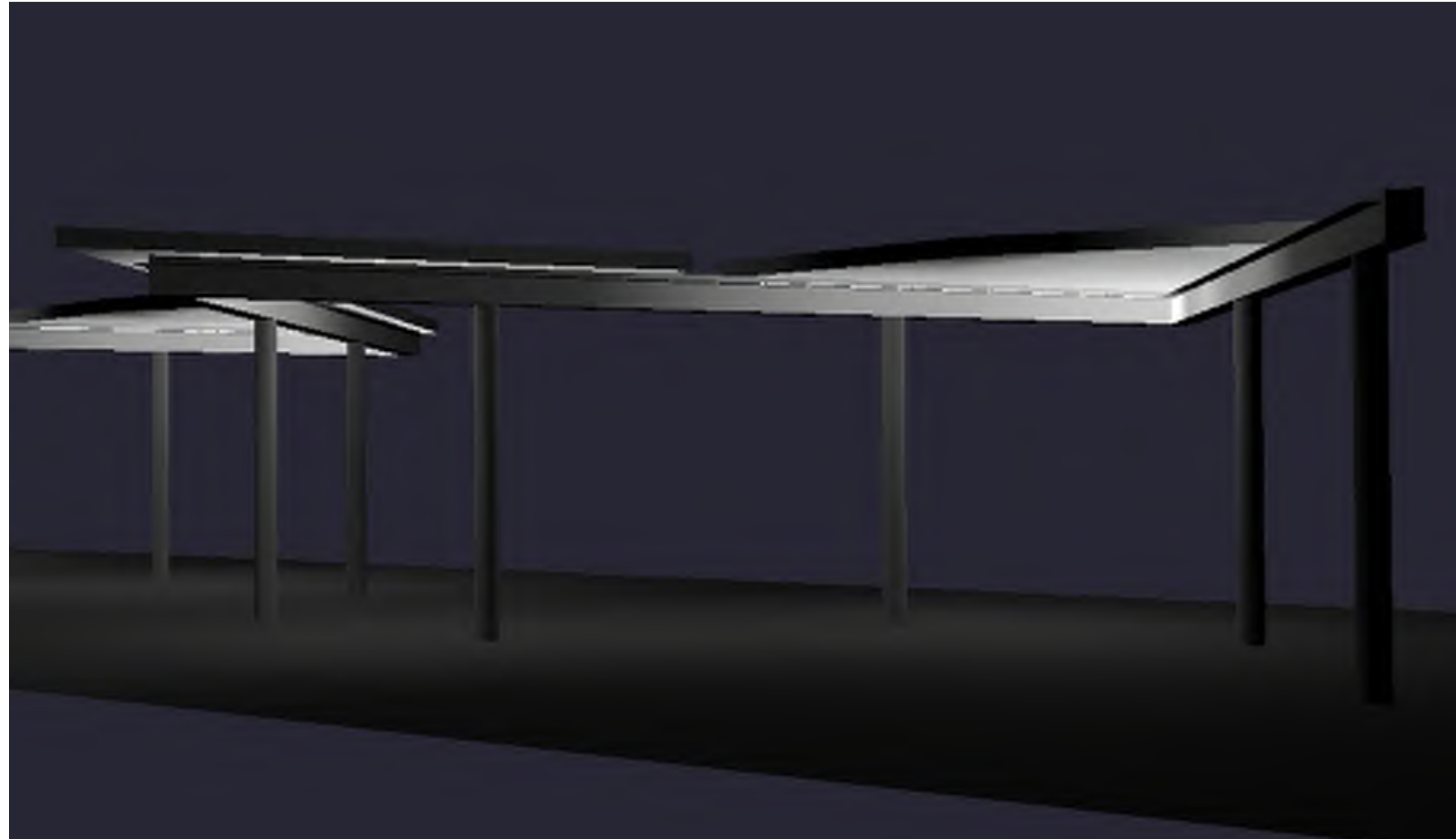
FLEXIBLE LED STRIP FIXTURE - WHITE





EXISTING CONDITION - FALL 2016





LIGHT EFFECT SIMULATION*

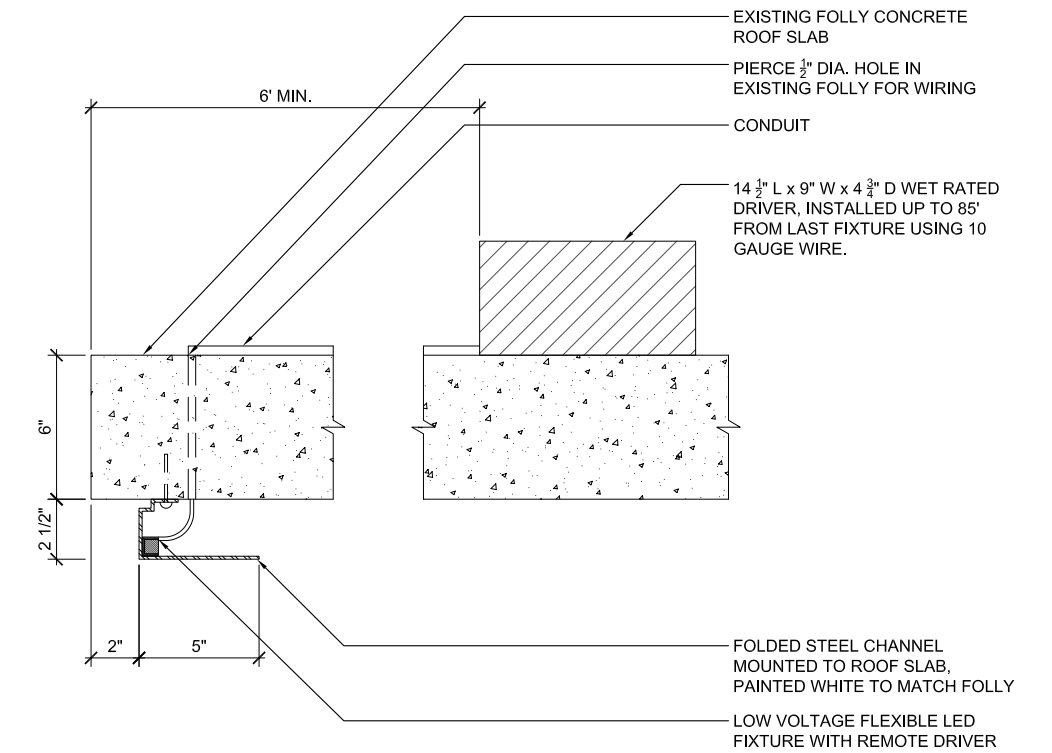
DESIGN FEATURES:

- CONCEAL PERIMETER LIGHT FIXTURE WITH WHITE PAINTED STEEL CHANNEL FASTENED TO UNDERSIDE OF FOLLY ROOF
- ACHIEVE WASH EFFECT WITH LIGHT SHELF INTEGRATED IN PERIMETER CHANNEL
- LOCATE DRIVER BOXES ON FOLLY ROOF, SETBACK A MINIMUM OF 6' FROM EDGE

DETAILS:

- 1 DRIVER BOX PER TRIANGULAR ROOF SLAB (6 TOTAL) OUT OF LINE OF SIGHT
- CONDUIT TO BE FISHED THROUGH EXISTING COLUMNS (SEE TYPICAL CONDUIT DETAILS)
- 6x - 1/2" DIAMETER HOLE TO BE DRILLED IN ROOF OF EXISTING FOLLY TO PASS WIRING

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC



LIGHT CHANNEL DETAIL (TYP.)



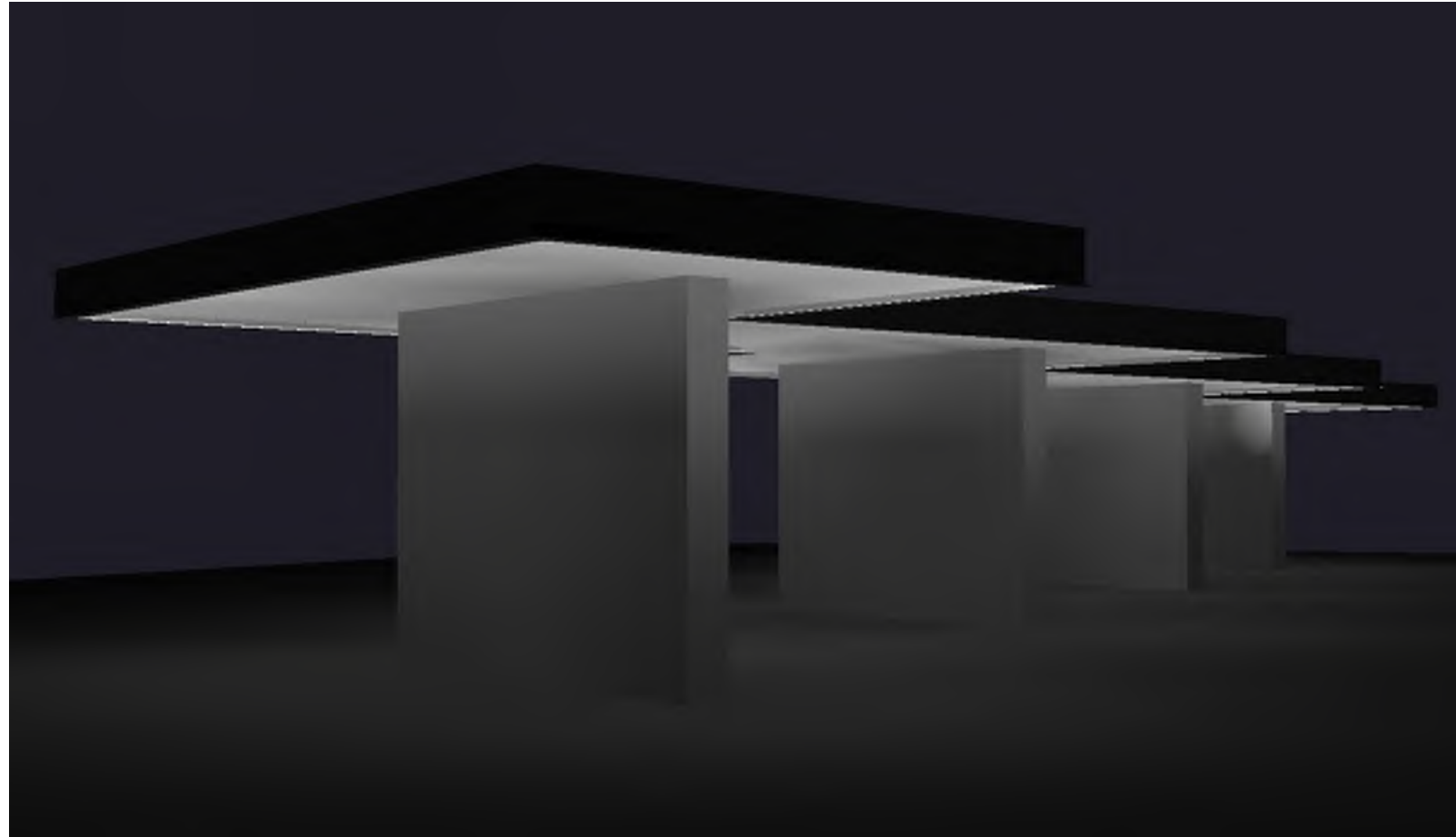
FLEXIBLE LED STRIP FIXTURE - WHITE





EXISTING CONDITION - FALL 2016





LIGHT EFFECT SIMULATION*

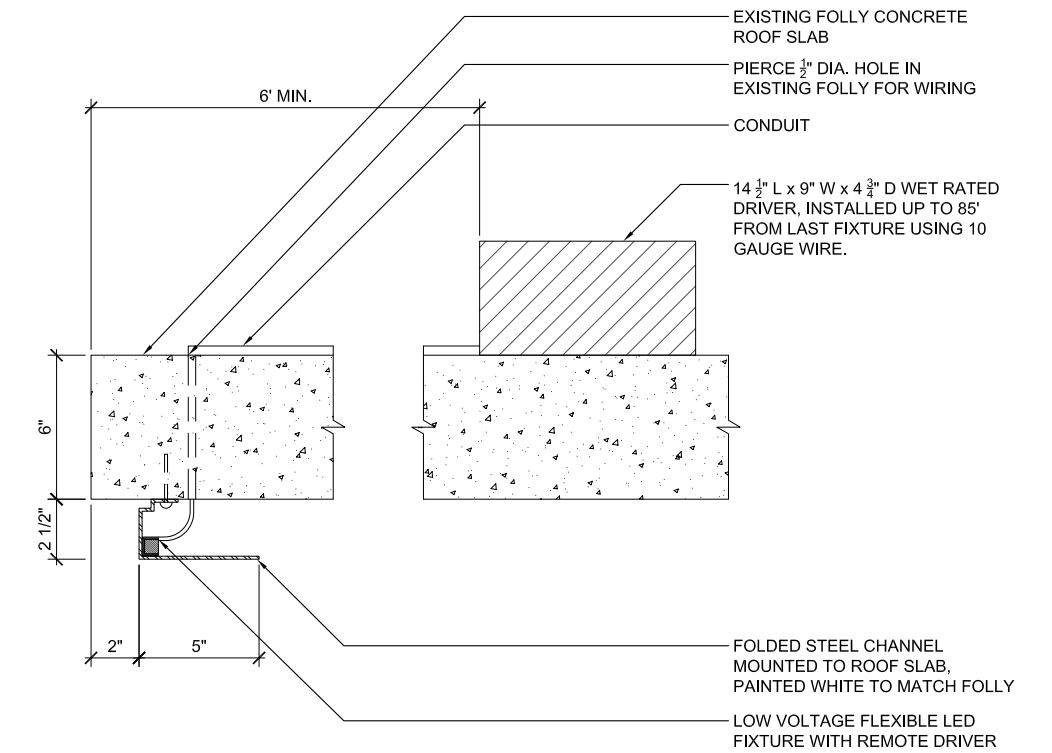
DESIGN FEATURES:

- CONCEAL PERIMETER LIGHT FIXTURE WITH WHITE PAINTED STEEL CHANNEL FASTENED TO UNDERSIDE OF FOLLY ROOF
- ACHIEVE WASH EFFECT WITH LIGHT SHELF INTEGRATED IN PERIMETER CHANNEL
- LOCATE DRIVER BOXES ON FOLLY ROOF, SETBACK A MINIMUM OF 6' FROM EDGE

DETAILS:

- 3 DRIVER BOXES DISTRIBUTED ON FOLLY ROOF, OUT OF LINE OF SIGHT
- CONDUIT EMBEDDED IN EXISTING FOLLY STRUCTURE (SEE TYPICAL CONDUIT DETAILS)
- 3x - 1/2" DIAMETER HOLE TO BE DRILLED IN ROOF OF EXISTING FOLLY TO PASS WIRING

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC



LIGHT CHANNEL DETAIL (TYP.)



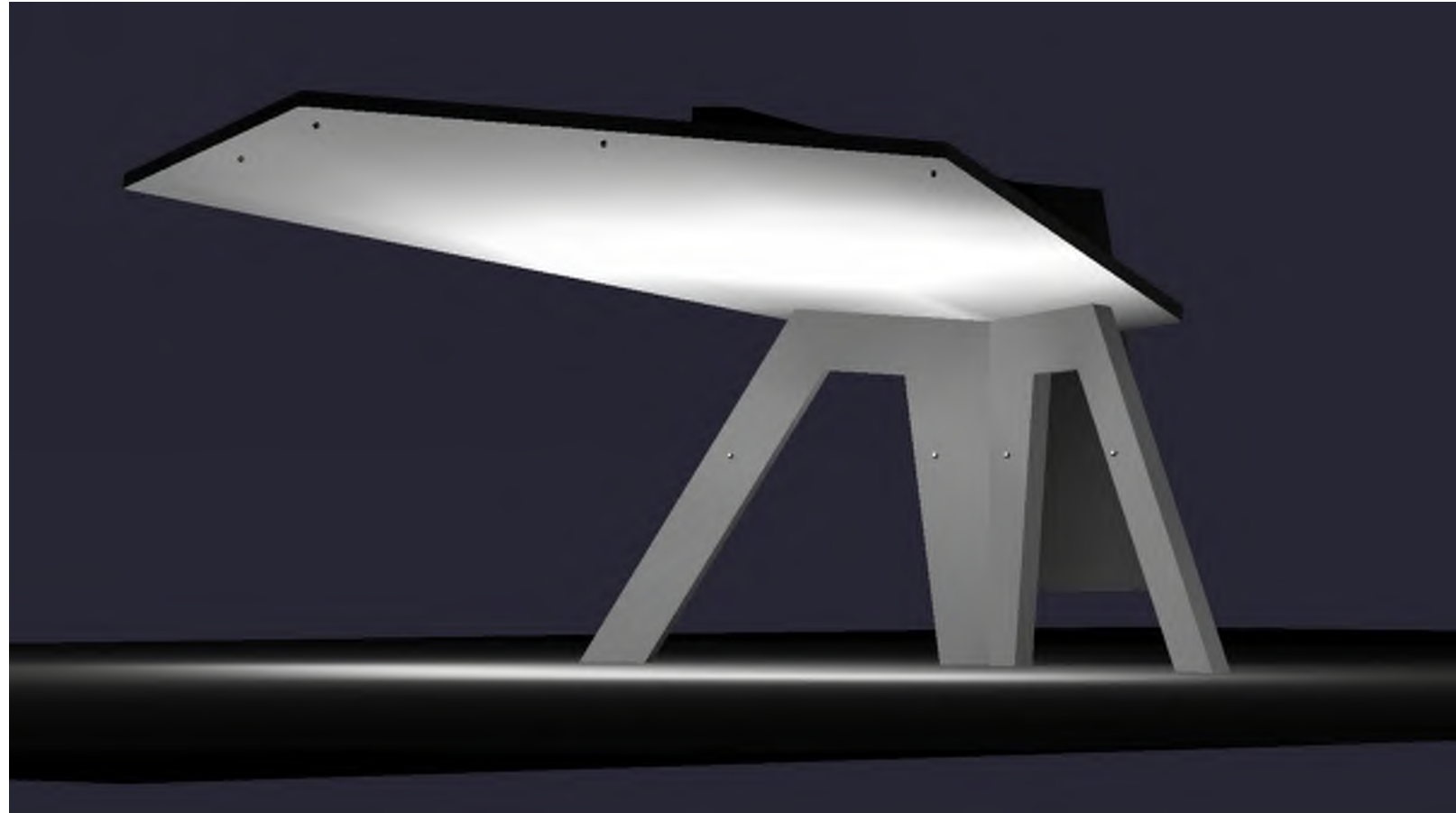
FLEXIBLE LED STRIP FIXTURE - WHITE





EXISTING CONDITION - FALL 2016





LIGHT EFFECT SIMULATION*

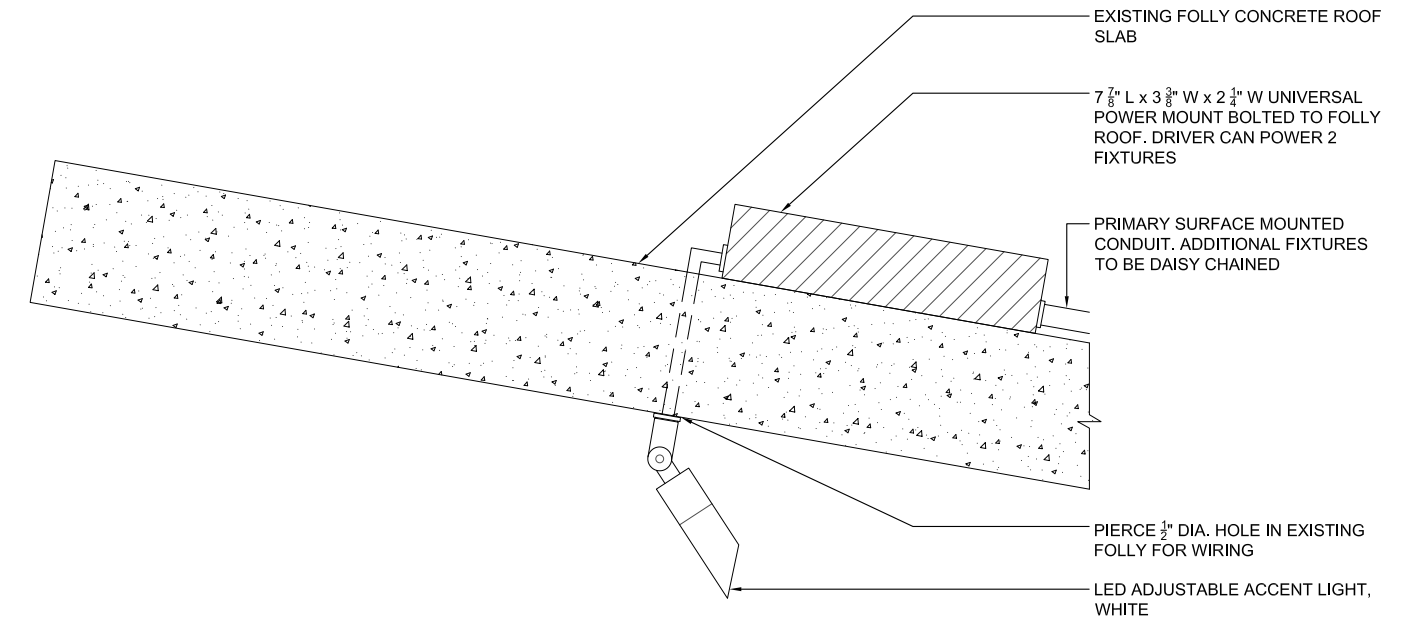
DESIGN FEATURES:

- LED ACCENT LIGHTS MOUNTED ON EXISTING FOLLY, DOWNLIGHTING THE GROUND, UPLIGHTING CANOPY
- LOCATE DRIVER BOXES ON FOLLY ROOF SETBACK A MINIMUM OF 6' FROM EDGE

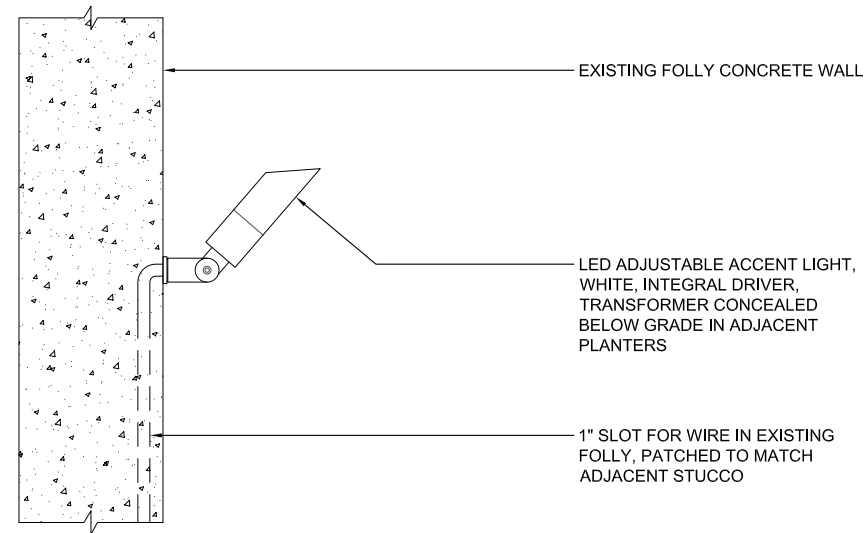
DETAILS:

- 3 DRIVER BOXES DISTRIBUTED ON FOLLY ROOF, OUT OF LINE OF SIGHT
- 2 DRIVER BOXES LOCATED BELOW GRADE IN ADJACENT PLANTERS
- CONDUIT AND WIRING EMBEDDED IN EXISTING FOLLY STRUCTURE (SEE TYPICAL CONDUIT DETAILS)
- 5x - 1/2" DIAMETER HOLE TO BE DRILLED IN ROOF OF EXISTING FOLLY TO PASS WIRING

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC



BANDSHELL CANOPY DOWNLIGHT FIXTURE DETAIL



BANDSHELL ARCHES UPLIGHT FIXTURE DETAIL



LED ADJUSTABLE ACCENT LIGHT - WHITE





EXISTING CONDITION - FALL 2016





LIGHT EFFECT SIMULATION*

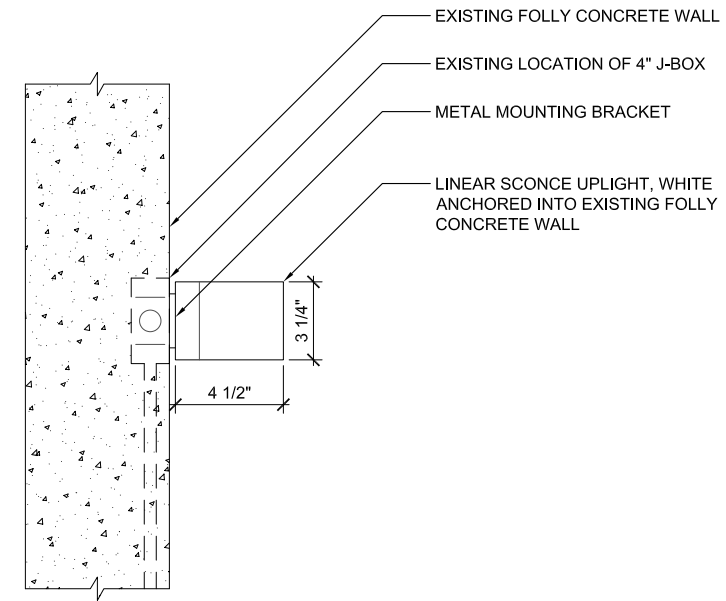
DESIGN FEATURES:

- LED ACCENT LIGHTS MOUNTED ON EXISTING FOLLY, UPLIGHTING INTERIOR OF A-FRAME
- LINEAR SCENCE LIGHTS MOUNTED ON EXISTING FOLLY, WASHING INTERIOR WALLS

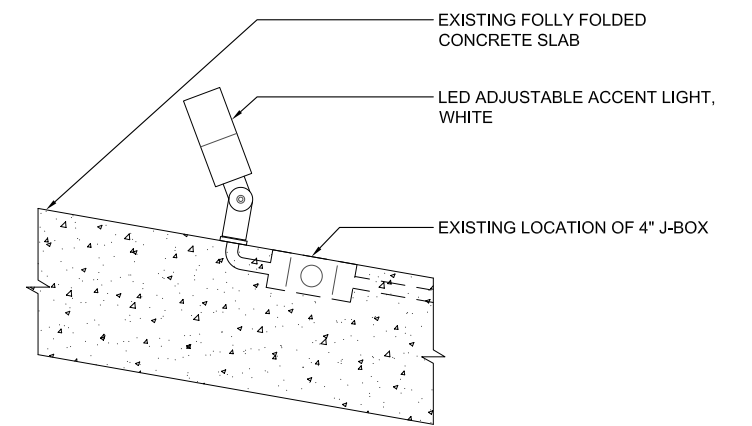
DETAILS:

- LINEAR SCENCE LIGHT FIXTURES WITH INTEGRAL DRIVERS
- 1 DRIVER BOX LOCATED BELOW GRADE IN ADJACENT PLANTER
- EXISTING CONDUIT AND J-BOXES TO BE RE-USED. ANY NEW WIRING OR CONDUIT TO BE EMBEDDED IN FOLLY STRUCTURE

*SIMULATED LIGHT EFFECTS ARE NOT PHOTOREALISTIC



LINEAR SCENCE MOUNTING DETAIL



A-FRAME UPLIGHT DETAIL



INDIRECT LINEAR SCENCE - WHITE

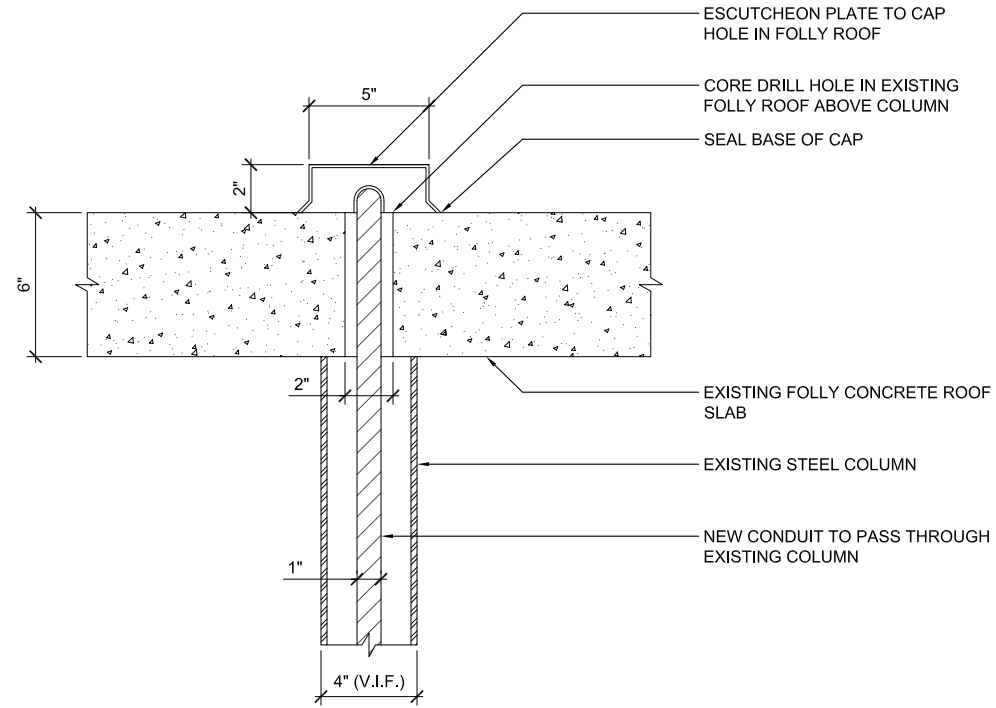


LED ADJUSTABLE ACCENT LIGHT - WHITE

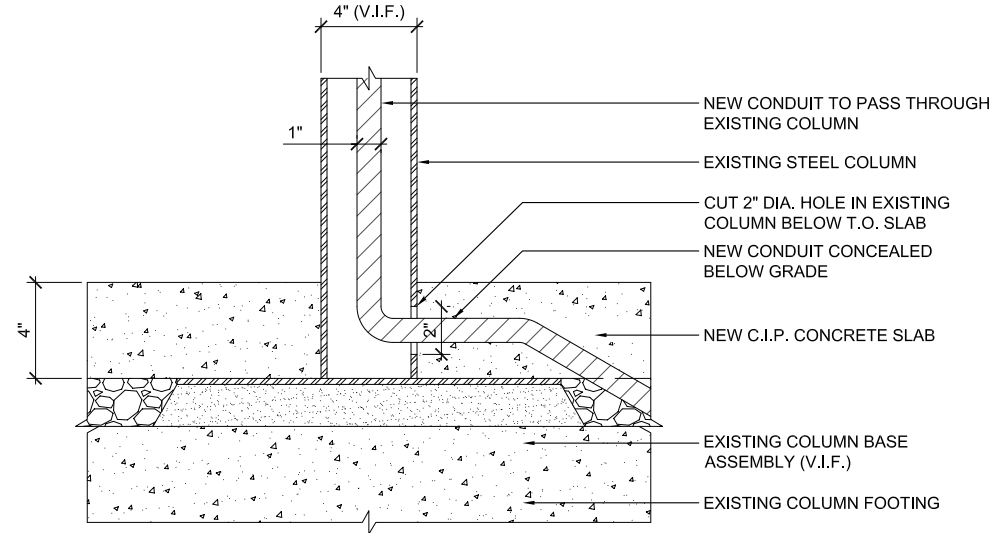


FOLLY LIGHTING | CONDUIT CONCEALMENT DETAILS

CONDITION A: FOLLY SUPPORTED BY STEEL COLUMNS

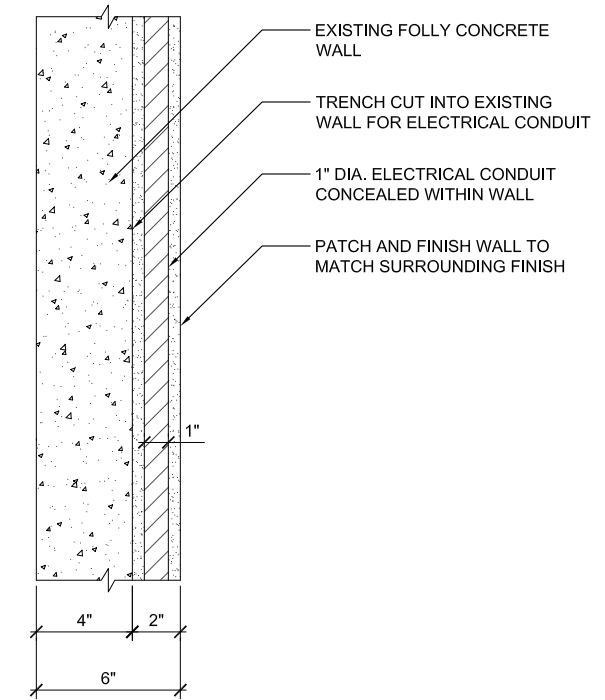


CONDUIT IN EXISTING STEEL COLUMN @ ROOF

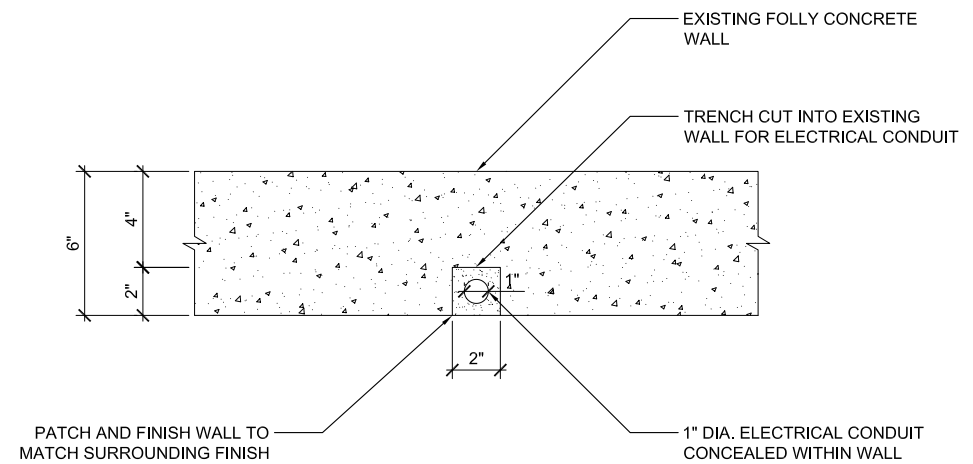


CONDUIT IN EXISTING STEEL COLUMN @ GRADE

CONDITION B: FOLLY SUPPORTED BY CONCRETE WALLS



CONDUIT SLOT IN EXISTING FOLLY WALL - SECTION



CONDUIT SLOT IN EXISTING FOLLY WALL - PLAN

