

EXISTING TREES - DISPOSITION CHART (Refer to Sheet L-1)

Tree #	Botanical Name	Common Name	DBH	Height	Canopy	Remain	Remove	Relocate	Comments
1	Coccol nucifera	Coconut Palm	14"	35'	18'	YES	-	-	
2	Coccol nucifera	Coconut Palm	15"	35'	18'	YES	-	-	
3	Streitzia ncedali	White Bird of Paradise	3.8"	22'	12'	YES	-	-	
4	Streitzia ncedali	White Bird of Paradise	4.8"	22'	12'	YES	-	-	
5	Coccol nucifera	Coconut Palm	12"	25'	18'	-	-	-	
6	Coccol nucifera	Coconut Palm	14"	20'	18'	-	-	-	
7	Coccol nucifera	Coconut Palm	14"	20'	18'	-	-	-	
8	Coccol nucifera	Coconut Palm	14"	20'	18'	-	-	-	
9	Coccol nucifera	Coconut Palm	10"	18'	18'	-	-	-	
10	Chrysalidocarpus lutescens	Avea Palm	32"	30'	18'	YES	-	-	
11	Chrysalidocarpus lutescens	Avea Palm	3.8"	25'	12'	YES	-	-	
12	Chrysalidocarpus lutescens	Avea Palm	2.8"	25'	12'	YES	-	-	
13	Chrysalidocarpus lutescens	Avea Palm	2.8"	25'	12'	YES	-	-	
14	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	
15	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	
16	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	
17	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	
18	Chrysalidocarpus lutescens	Avea Palm	2.6"	18'	12'	-	-	-	
19	Chrysalidocarpus lutescens	Avea Palm	2.6"	18'	12'	-	-	-	
20	Chrysalidocarpus lutescens	Avea Palm	2.6"	20'	12'	-	-	-	
21	Chrysalidocarpus lutescens	Avea Palm	7.3"	22'	14'	-	-	-	SEE NOTE A
22	Phoenix Roebelinii	Dwarf Date Palm	2.5"	9'	12'	-	-	-	
23	Phoenix Roebelinii	Dwarf Date Palm	2.5"	9'	12'	-	-	-	
24	Phoenix Roebelinii	Dwarf Date Palm	6"	9'	12'	-	-	-	CONTINUOUS HERE
25	Phoenix Roebelinii	Dwarf Date Palm	6"	9'	12'	-	-	-	
26	Phoenix Roebelinii	Dwarf Date Palm	6"	9'	12'	-	-	-	YES
27	Phoenix Roebelinii	Dwarf Date Palm	7.3"	18'	14'	-	-	-	YES
28	Chrysalidocarpus lutescens	Avea Palm	10.3"	20'	14'	-	-	-	YES
29	Chrysalidocarpus lutescens	Avea Palm	10.3"	20'	14'	-	-	-	YES
30	Sabal Palmato	Sabal Palm	10"	20'	10'	-	-	-	YES
31	Chrysalidocarpus lutescens	Avea Palm	5.4"	20'	14'	-	-	-	YES
32	Chrysalidocarpus lutescens	Avea Palm	5.4"	20'	14'	-	-	-	YES
33	Chrysalidocarpus lutescens	Avea Palm	3.3"	22'	12'	-	-	-	YES
34	Chrysalidocarpus lutescens	Avea Palm	5.3"	18'	14'	-	-	-	YES
35	Chrysalidocarpus lutescens	Avea Palm	5.3"	18'	14'	-	-	-	YES
36	Chrysalidocarpus lutescens	Avea Palm	5.3"	18'	14'	-	-	-	YES
37	Filicium Despinens	Japanese Fern Tree	8"	24'	16'	-	-	-	YES
38	Ficus Spira	Ficus Spira	50"	30'	-	-	-	-	SEE NOTE C
39	Ficus Spira	Ficus Spira	2"	7'	-	-	-	-	CONTINUOUS HERE
40	Ficus Spira	Ficus Spira	2"	7'	-	-	-	-	YES
41	Phoenix Roebelinii	Dwarf Date Palm	3.7"	18'	18'	YES	-	-	CONTINUOUS HERE
42	Phoenix Roebelinii	Dwarf Date Palm	2"	7'	-	-	-	-	YES
43	Chrysalidocarpus lutescens	Avea Palm	1.8"	20'	14'	-	-	-	YES
44	Chrysalidocarpus lutescens	Avea Palm	1.8"	20'	14'	-	-	-	YES
45	Chrysalidocarpus lutescens	Avea Palm	1.3"	20'	14'	-	-	-	YES
46	Chrysalidocarpus lutescens	Avea Palm	7"	22'	12'	-	-	-	YES
47	Chrysalidocarpus lutescens	Avea Palm	2.5"	18'	12'	-	-	-	YES
48	Chrysalidocarpus lutescens	Avea Palm	2.5"	18'	12'	-	-	-	YES
49	Chrysalidocarpus lutescens	Avea Palm	2.5"	18'	12'	-	-	-	YES
50	Chrysalidocarpus lutescens	Avea Palm	1.4"	9'	12'	-	-	-	YES
51	Chrysalidocarpus lutescens	Avea Palm	1.4"	9'	12'	-	-	-	SEE NOTE A
52	Chrysalidocarpus lutescens	Avea Palm	1.4"	9'	12'	-	-	-	YES
53	Chrysalidocarpus lutescens	Avea Palm	1.4"	9'	12'	-	-	-	YES
54	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	YES
55	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	YES
56	Chrysalidocarpus lutescens	Avea Palm	1.6"	45'	18'	YES	-	-	YES
57	Chrysalidocarpus lutescens	Avea Palm	7"	9'	12'	-	-	-	YES
58	Chrysalidocarpus lutescens	Avea Palm	2.6"	7'	-	-	-	-	CONTINUOUS HERE
59	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
60	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
61	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
62	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
63	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
64	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
65	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
66	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
67	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
68	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
69	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
70	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
71	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
72	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
73	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
74	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES
75	Chrysalidocarpus lutescens	Avea Palm	1.9"	28'	20'	-	-	-	YES

EXISTING TREES - NOTES

- NOTE A. DEFINED AS A CATEGORY II INVASIVE EXOTIC BY THE 2009 EXOTIC PLANT COUNCIL.
- NOTE B. CONDITIONS OF FILE 3433 OF THE BOARD OF ADJUSTMENT OF THE CITY OF MIAMI BEACH.
- NOTE C. LANDSCAPE CONTRACTOR OR ARBORIST RESPONSIBLE FOR THE RELOCATION AND REMOVAL SHALL FILE ON NOVEMBER 17, 2009.
- NOTE D. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TREES REMAINING IN PLACE IN ALL TREES WHICH ARE RELOCATED AND THOSE WHICH ARE TO REMAIN.
- NOTE E. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF HIS EMPLOYEES AND SUBCONTRACTORS FROM CAUSING ANY TYPE OF DAMAGE TO THE EXISTING TREES AND LANDSCAPE.
- NOTE F. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF HIS EMPLOYEES AND SUBCONTRACTORS FROM CAUSING ANY TYPE OF DAMAGE TO THE EXISTING TREES AND LANDSCAPE.
- NOTE G. TRIMMING OF TREE 438 CANOPY TO BE PERFORMED BY A CERTIFIED ARBORIST AS PER DEM AND ANSI CODES AND REGULATIONS.

- SYMBOLS:
- TRE - TO REMAIN
 - REL - TO BE RELOCATED TO NLO
 - TBR - TO BE REMOVED
 - NLO - NEW LOCATION

LANDSCAPE NOTES

01. Non Cypress variety mulch shall extend under all trees, shrubs and ground cover beds to the closest hard edge or sod border, in a minimum of 3' depth. Red or any other colored mulch will not be acceptable.
02. All plants shall be installed in accordance with the Florida Department of Agriculture, latest edition.
03. All shrubs to be planted a minimum of 24" and ground covers a minimum of 12" from the edge of any hardscape walks, building walls, pond's edge, etc. Shrubs such as Ivora, Raphiophis and other species which grow larger than 48" spread, shall be planted at 1/2 the estimated adult's spread diameter from the edges of any hardscape.
04. Plants over 8' in height shall be braced to prevent lateral movement for a period of six months from the date of planting. Either wood braces as shown in the planting detail, or the wire and turnbuckle method shall be used. No nails, screws, metal straps or wires are to be used directly against the trees or palms trunks.
05. All palms except for species such as Coccol, Acoelobranchia, Raphis, and other multitrunk palms, shall have straight trunks. No buttresses or other irregularities shall be present. Palms trunks shall be free of scale, decay or any damage caused by insects or other organisms. Palms trunks shall be free of scale, decay or any damage caused by insects or other organisms.
06. All work by the Landscape Contractor shall be performed in a professional and sound manner in accordance with established standards of landscape installation practices and workmanship.
07. Landscape Contractor is responsible for verifying & counting all plant quantities prior to bidding individual quantities by areas shall prevail over the quantities shown in Legend, therefore it shall be the Landscape Contractor's responsibility to verify the quantities shown in the Legend. Quantities shown in the plan may vary due to actual site conditions or quantity shown in the Legend. Quantities shown in the plan may vary due to actual site conditions or quantity shown in the Legend.
08. Landscape Architect assumes no responsibility for the actual plant count necessary for the successful completion of the work.
09. Landscape Contractor and his subcontractors shall be licensed and insured as required by the municipality, county, state or any other governmental agency requiring a license or insurance in order for the Landscape Contractor to perform the work.
10. All work shall conform to the City of Miami Beach and Miami-Dade County landscape ordinances and any other landscape ordinance in effect at the project's location.
11. Landscape Contractor is required to procure and obtain any necessary permits applicable for the successful completion of this project, if applicable.
12. Landscape material shall not be allowed to grow in such a manner as to impede streetfront triangle of property to property owner or neighbors, so as to materially impair vision between a height of 4.5 feet and 8 feet.
13. Landscape Contractor shall call Sunshine State One Call Center of Florida at 1-800-432-4770 (Toll Free) 48 hours before digging.
14. Landscape Contractor is responsible for inspecting the site and physically observing all the site conditions prior to entering into Agreement or Contract with Owner. Landscape Contractor shall coordinate his work with the Owner and the City of Miami Beach and Miami-Dade County landscape ordinances and any other landscape ordinance in effect at the project's location.
15. Any excess soil, landscape materials and debris from the Landscape Contractor's work shall be removed from the site immediately upon completion of his work.
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PLANT LEGEND (THIS SHEET)

Code	Botanical Name	Common Name	Height	Spread	Nat. Quantity/Specification
BS1	Bucaya sinensis	Gumbo Limbo	20'-22'	10'	11
BS2	Coccoloba diversifolia	Pisonium	12' min.	6' min.	7
BS3	Coccoloba diversifolia	Pisonium	12' min.	6' min.	7

Code	Botanical Name	Common Name	Height	Spread	Nat. Quantity/Specification
BS4	Thrinax parviflora	Parrot Palm	5'-6'	N/A	8

SHRUBS

Code	Botanical Name	Common Name	Height	Spread	Nat. Quantity/Specification
BS5	Alseodaphne bartramia	Orange Scented	12'	N/A	13
BS6	Alseodaphne bartramia	Orange Scented	12'	N/A	13
BS7	Begonia odorata	White Begonia	24"	18"	N/A
BS8	Begonia odorata	White Begonia	24"	18"	N/A
BS9	Begonia odorata	White Begonia	24"	18"	N/A
BS10	Begonia odorata	White Begonia	24"	18"	N/A
BS11	Begonia odorata	White Begonia	24"	18"	N/A
BS12	Begonia odorata	White Begonia	24"	18"	N/A
BS13	Begonia odorata	White Begonia	24"	18"	N/A
BS14	Begonia odorata	White Begonia	24"	18"	N/A
BS15	Begonia odorata	White Begonia	24"	18"	N/A
BS16	Begonia odorata	White Begonia	24"	18"	N/A
BS17	Begonia odorata	White Begonia	24"	18"	N/A
BS18	Begonia odorata	White Begonia	24"	18"	N/A
BS19	Begonia odorata	White Begonia	24"	18"	N/A
BS20	Begonia odorata	White Begonia	24"	18"	N/A
BS21	Begonia odorata	White Begonia	24"	18"	N/A
BS22	Begonia odorata	White Begonia	24"	18"	N/A
BS23	Begonia odorata	White Begonia	24"	18"	N/A
BS24	Begonia odorata	White Begonia	24"	18"	N/A
BS25	Begonia odorata	White Begonia	24"	18"	N/A
BS26	Begonia odorata	White Begonia	24"	18"	N/A
BS27	Begonia odorata	White Begonia	24"	18"	N/A
BS28	Begonia odorata	White Begonia	24"	18"	N/A
BS29	Begonia odorata	White Begonia	24"	18"	N/A
BS30	Begonia odorata	White Begonia	24"	18"	N/A
BS31	Begonia odorata	White Begonia	24"	18"	N/A
BS32	Begonia odorata	White Begonia	24"	18"	N/A
BS33	Begonia odorata	White Begonia	24"	18"	N/A
BS34	Begonia odorata	White Begonia	24"	18"	N/A
BS35	Begonia odorata	White Begonia	24"	18"	N/A
BS36	Begonia odorata	White Begonia	24"	18"	N/A
BS37	Begonia odorata	White Begonia	24"	18"	N/A
BS38	Begonia odorata	White Begonia	24"	18"	N/A
BS39	Begonia odorata	White Begonia	24"	18"	N/A
BS40	Begonia odorata	White Begonia	24"	18"	N/A
BS41	Begonia odorata	White Begonia	24"	18"	N/A
BS42	Begonia odorata	White Begonia	24"	18"	N/A

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
2. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS UNLESS OTHERWISE NOTED (U.O.U).
3. ALL REINFORCING STEEL SHALL BE DEFORMED BARS AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
4. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
5. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (U.O.U).
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7. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI -308 ETC. "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
8. REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI-341 RECOMMENDED PRACTICE FOR CONCRETE FORM.
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15. OBTAIN THE LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE COMMENCING WORK. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER/DESIGNER.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE "FLORIDA BUILDING CODE" EXISTING 2001. NOTE: ALL LOCAL CODES SHALL PREVAIL.
17. THE ARCHITECT DOES NOT ACCEPT RESPONSIBILITY FOR THE MISINTERPRETATION OF THESE PLANS BY OTHERS, THE REVIEW AND APPROVAL OF SHOP DRAWINGS PRODUCT CONTROL APPROVAL BY OTHERS.
18. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO HIM FOR INSTALLATION.
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20. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL SANITARY FACILITIES, BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES.
21. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER/ ARCHITECT/ ENGINEER.
22. THE ARCHITECT / INTERIOR DESIGNER / OWNER HAVE THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.
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FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY U.L. 144B:
No. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL 1/2" GYPSUM BOARD APPLIED VERTICALLY ATTACHED WITH 1-1/2" LONG NO. 6 DRYWALL SCREWS TO EACH SIDE (SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY U.L. 1512:
METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE 1/2" GYPSUM WALLBOARD, GYPSUM-CEMENT COATED OR RING SHANKED NAILS 6" O.C. @ BUTT JOINTS STAGGERED, PAPER TAPE SPREAD OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. 144B:
1-HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE 1/2" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COMMON NAILS 12" O.C. WITH END JOINTS ON WALLING MEMBERS. PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION. PROVIDE TWO ROUS BLOCKING AT 40" O.C.

TYPICAL NON-BEARING PARTITION:
No. 25 Ga. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- 1- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- 2- RECONSTRUCT SIDEWALKS/ SOD ALONG THE ENTIRE PROPERTY.
- 3- MILL AND RESURFACE 2 INCH ABOVE USING 5-111 TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- 4 - ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET ISLANDS 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND: BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 801 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12, FOR A DISTANCE OF 188.9 FEET MORE OR LESS TO THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHEASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

NOTE NOTES

1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2. CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
3. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
4. NOTE: CROSS HATCHED AREAS DENOTES TRUSS RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS.
5. ALL AREA MARKED 'SOD' TO BE SODDED PER LANDSCAPING PLANS.
6. TERMITE PROTECTION ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

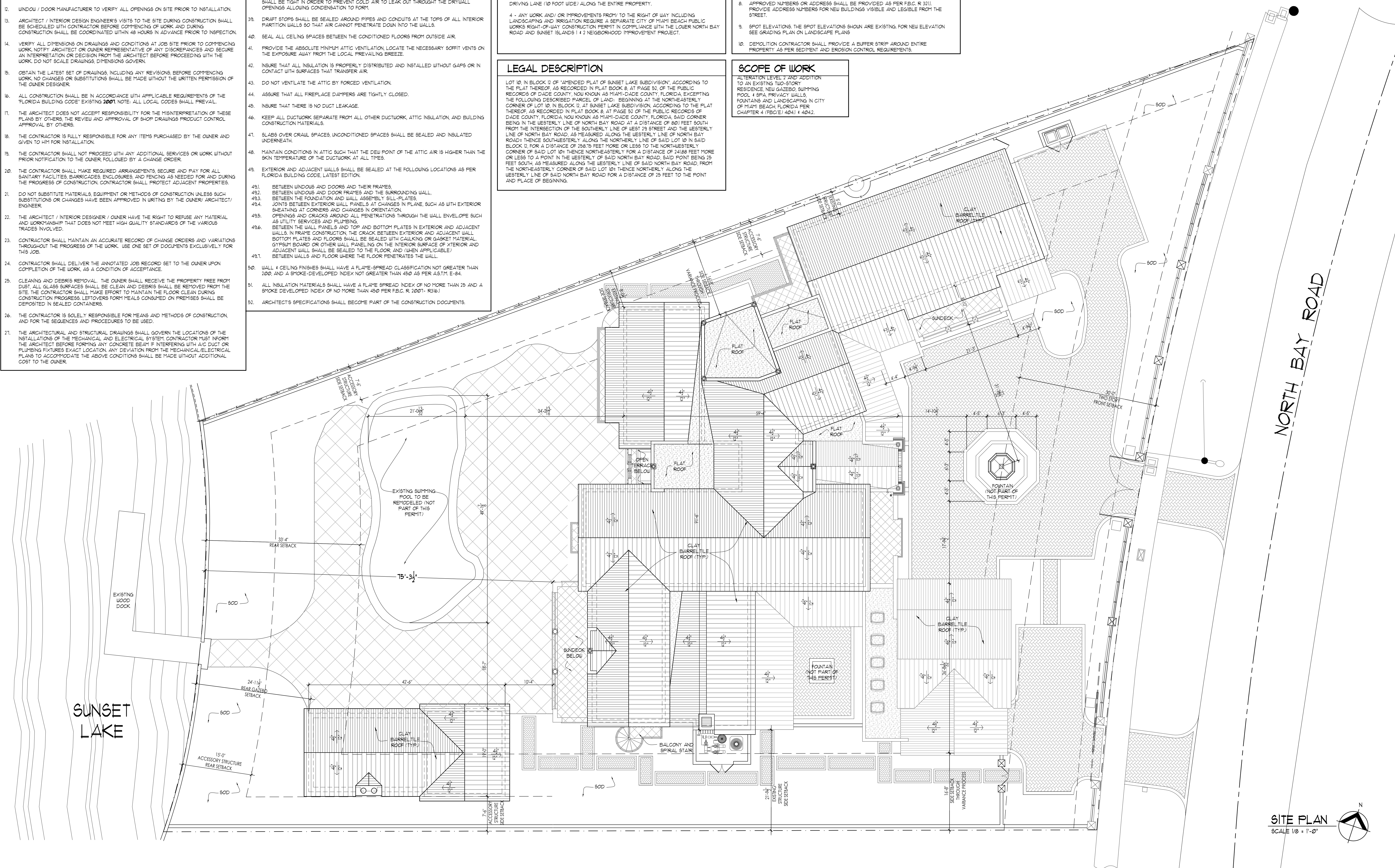
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
7. CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2001 AND PER MIAMI-DADE COUNTY HABS. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
8. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 3211. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
9. SPOT ELEVATIONS, THE SPOT ELEVATIONS SHOWN ARE EXISTING FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS.
10. DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.

SCOPE OF WORK

ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SUMMING POOL, & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBCS) 4041 & 4042.

ATTIC ROOF VENTILATION CALCULATIONS

MAIN BUILDING ROOF	
ROOF AREA =	4,311 @ 1/50 = 30 SQ. FT. VENTILATION REQUIRED
PERIMETER =	311'-10" x 15' = 38 SQ. FT. VENTILATION PROVIDED
GARAGE BUILDING ROOF	
ROOF AREA =	623 @ 1/50 = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	45'-0" x 15' = 5 SQ. FT. VENTILATION PROVIDED
GAZEBO BUILDING ROOF	
ROOF AREA =	151 @ 1/50 = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	63'-0" x 15' = 8 SQ. FT. VENTILATION PROVIDED



RESIDENCE REMODELING FOR:

Ms. DELPHINE DRAY
2740 NORTH BAY ROAD

revisions

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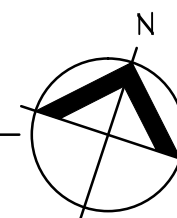
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SITE PLAN
SCALE 1/8" = 1'-0"

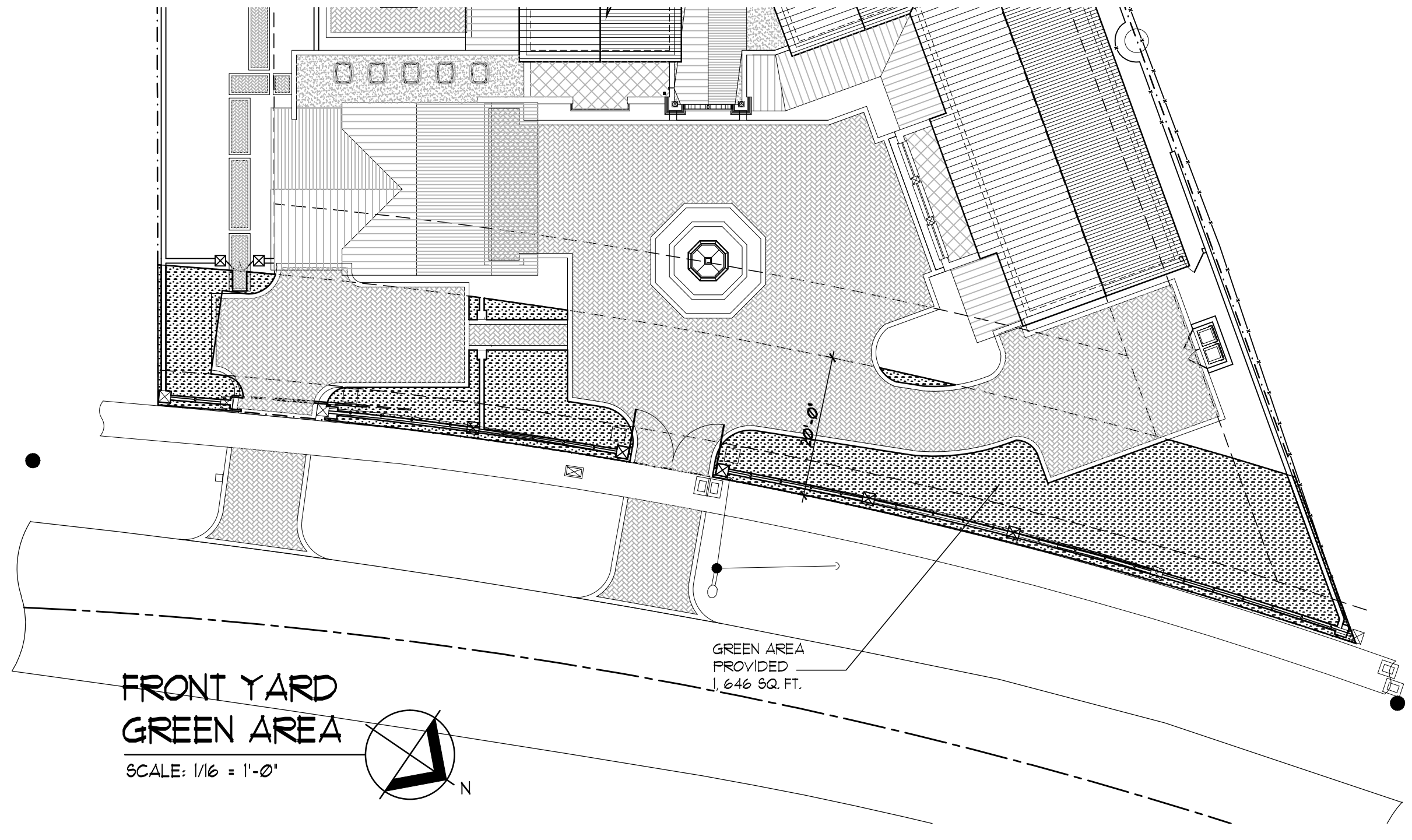
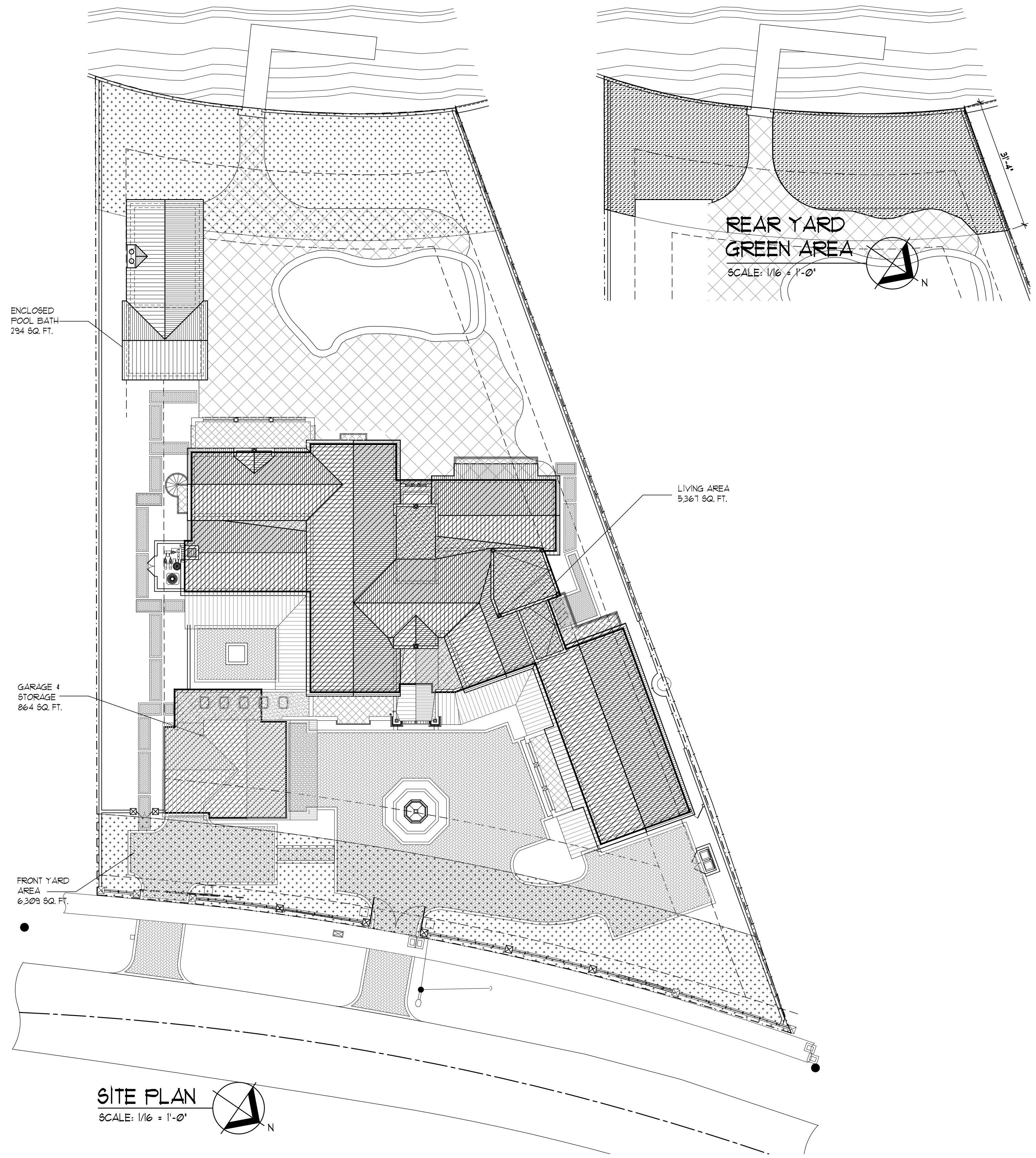
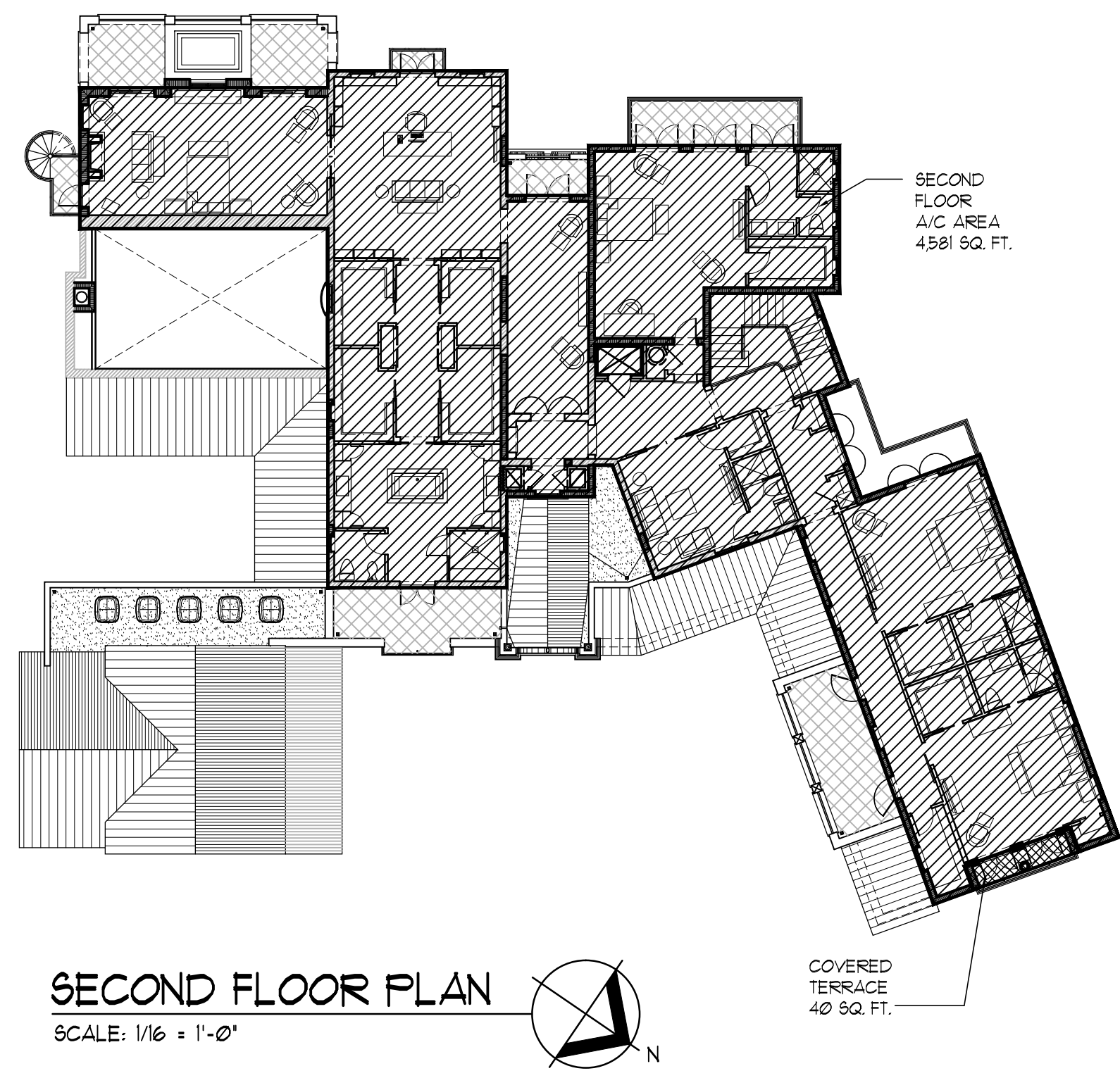
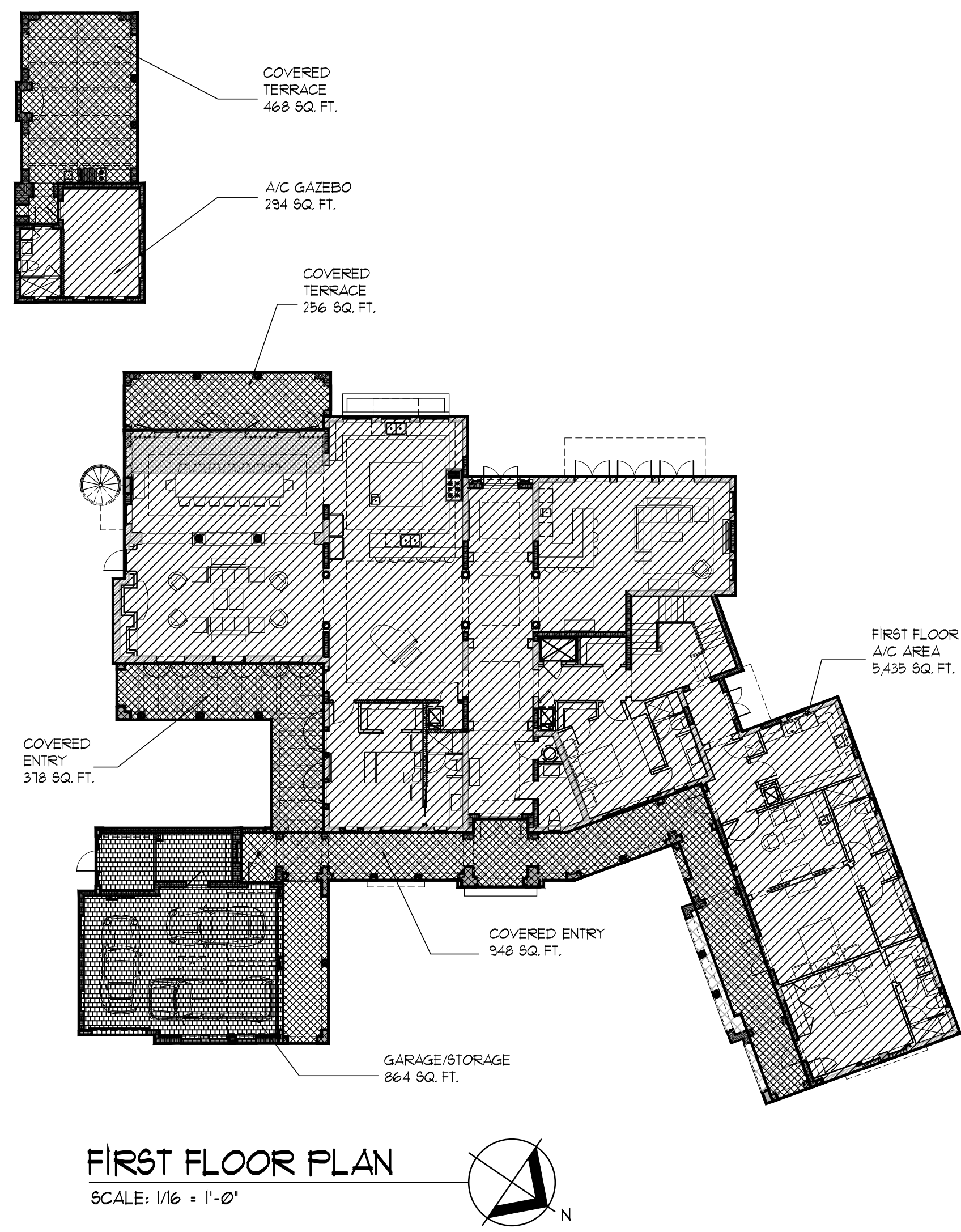


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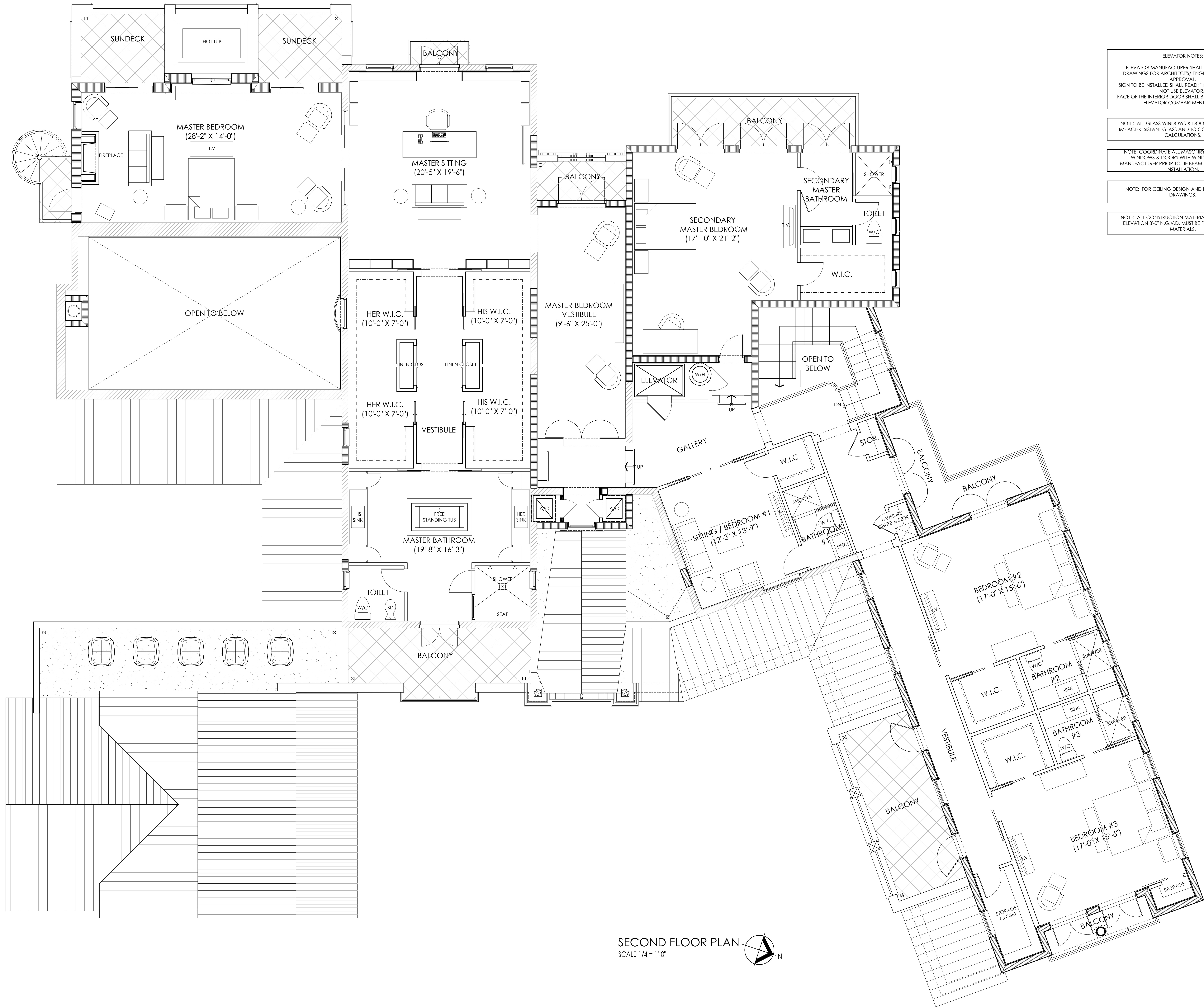
PACHECO-MARTINEZ
& ASSOCIATES LLC.
AA26002619 - AR6412 - AR93773
4990 SW 72nd. AVE. SUITE 101 MIAMI FL. 33155
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MIAMI BEACH, FLORIDA



AREA COMPUTATIONS FOR MIAMI BEACH			
RS-2 SINGLE FAMILY RESIDENTIAL			
MAIN BUILDING SETBACKS:		ALLOWED	PROVIDED
FRONT SETBACK			
ONE STORY		20'-0"	21'-4" -NEW
TWO STORY		30'-0"	31'-9.5" -EXISTING
SIDE SETBACK			
SUM 25% LOT WIDTH (165.5'x0.25=41.38')		41'-4.5"	5'-0" -EXISTING
ONE SIDE MINIMUM (1'-6" MIN. OR 10% LOT WIDTH (165.5'x0.10=16.55'))		16'-8"	8'-0" -EXISTING
REAR SETBACK (MIN. 20' & MAX. 50') 15% LOT DEPTH (209'x0.15=33.34')		31'-4"	75'-3.5" -NEW
ACCESSORY SETBACKS:		ALLOWED	PROVIDED
SIDE SETBACK		7'-6"	7'-6" -EXISTING
REAR SETBACK		15'-0"	35'-2.5" -EXISTING
LOT AREA =			26,184 SQ. FT.
LOT COVERAGE:			
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=			7,855 SQ. FT.
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=			9,164 SQ. FT.
LOT COVERAGE PROVIDED =			7,181 SQ. FT. (27.4 %)
UNIT SIZE (FAR):			
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=			13,092 SQ. FT.
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=			18,329 SQ. FT.
UNIT SIZE PROVIDED =			10,744 SQ. FT. (41.0 %)
FRONT YARD: 3,401 SQ. FT.			
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0' FROM PROPERTY LINE)=			1,192 SQ. FT.
FRONT YARD GREEN AREA PROVIDED:			1,646 SQ. FT.
REAR YARD: 2,980 SQ. FT.			
MINIMUM REAR YARD GREEN AREA REQUIRED (10% OF AREA 31'-4' FROM PROPERTY LINE)=			2,086 SQ. FT.
REAR YARD GREEN AREA PROVIDED:			2,220 SQ. FT.
RESIDENCE SQUARE FOOTAGE:			
FIRST FLOOR A/C:		5,435	SQ. FT.
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581	SQ. FT.
POOL BATH ENCLOSED AREA		294	SQ. FT.
TOTAL A/C AREA :		10,310	SQ. FT.
FIRST FLOOR COVERED TERRACES:		2,050	SQ. FT.
SECOND FLOOR COVERED TERRACES:		0	SQ. FT.
TOTAL COVERED TERRACES AREA:		2,050	SQ. FT.
GARAGE / STORAGE AREA:		864	SQ. FT.
TOTAL GROSS AREA:		13,224	SQ. FT.



- ELEVATOR NOTES:
ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S/ENGINEER'S REVIEW & APPROVAL.
SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR!"
FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- NOTE: ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND TO COMPLY W/ ENERGY CALCULATIONS.
- NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE: FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE: ALL CONSTRUCTION MATERIALS BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT MATERIALS.

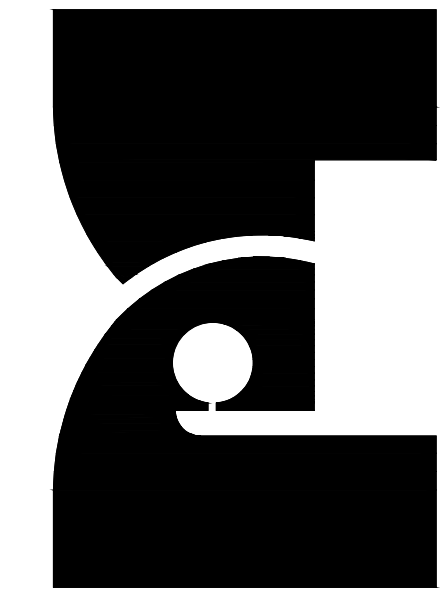
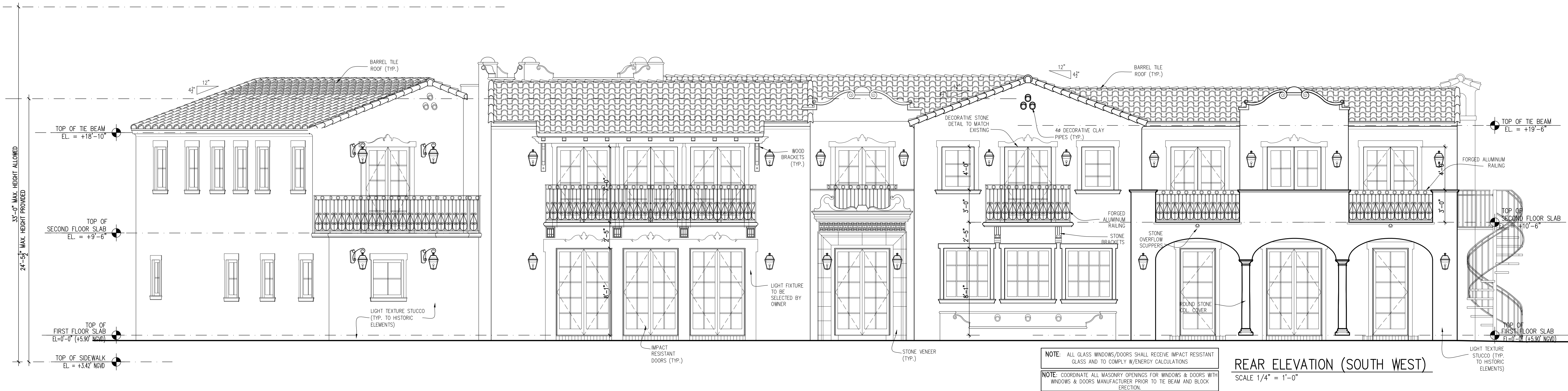
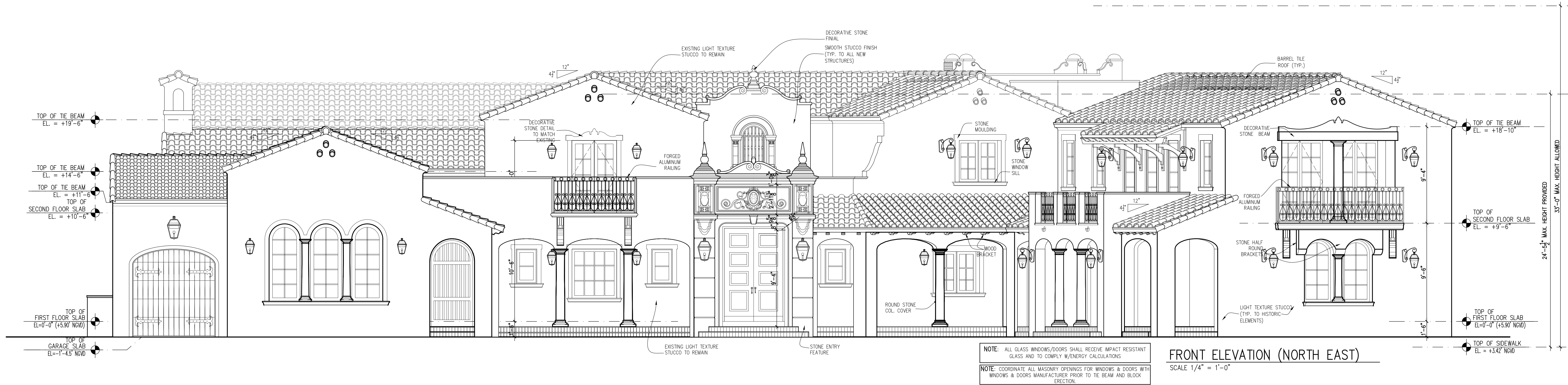
SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

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MIAMI BEACH, FLORIDA

RESIDENCE REMODELING FOR:
Ms. DELPHINE DRAY
2740 NORTH BAY ROAD

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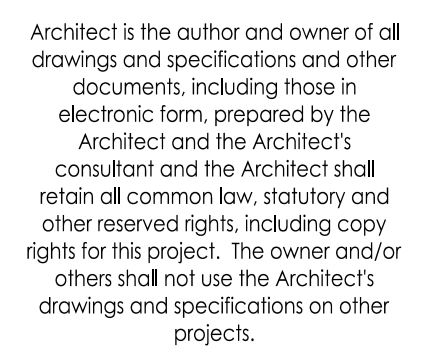


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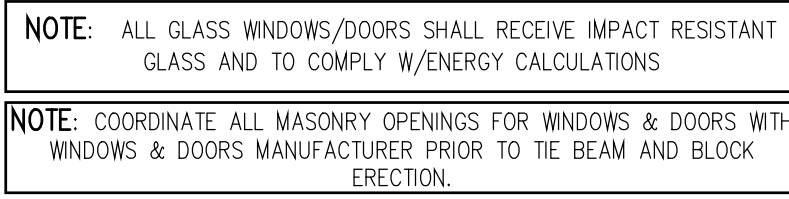
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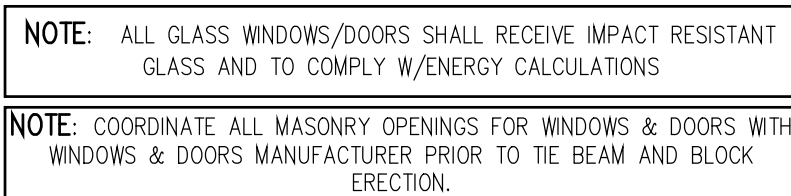
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SIDE ELEVATION (NORTH WEST)

SCALE 1/4" = 1'-0"



SIDE ELEVATION (SOUTH EAST)

SCALE 1/4" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ANY GOVERNMENTAL AGENCIES NECESSARY IN ORDER TO ESTABLISH ANY UTILITY EASEMENTS OR LINES PRESENT WITHIN THE PROPERTY PRIOR TO PERFORMING ANY WORK.
2. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.U).
3. ALL REINFORCING STEEL SHALL BE DEFORMED BARS, AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI GRADE 60, AND MEET ASTM A-36 SPECS.
4. ALL STRUCTURAL STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI, AND MEET ASTM A-36 SPECS.
5. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS MUST FOLLOW THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (U.O.U).
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9. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
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28. THE CONTRACTOR SHALL PRODUCE, BY MEANS OF SHOP DRAWINGS, ALL ADDITIONAL DETAILS WHICH ARE INFERRABLE FROM THESE PLANS AND WHICH ARE NECESSARY FOR THE EXECUTION AND COMPLETION OF THE CONSTRUCTION.
29. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB.
30. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCHLIST", INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITHIN 14 CALENDAR WORKING DAYS.
31. ANY OMISSION OF EQUIPMENT INSTALLATIONS AND MATERIALS SHALL BE PROMPTLY RECTIFIED, BY CONTRACTOR UPON NOTIFICATION BY ARCHITECT/ENGINEER/OWNER.
32. ANY OTHER SERVICES NECESSARY FOR THE COMPLETION OF THIS JOB THAT MAY BE INVOLUNTARY UNDER THE JURISDICTION OF THE FLORIDA BUILDING CODES AND NOT SPECIFIED IN THE GENERAL NOTES AND OR SPECIFICATIONS ARE THE CONTRACTOR'S SOLE RESPONSIBILITY.
33. CONTRACTOR SHALL SUBMIT TO ARCHITECT/ENGINEER A BUILDING DEPARTMENT ALL REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL AS REQUIRED.
34. ALL GLASS SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED GLASS CAT. II.
35. ALL FIXED GLASS SHALL BE 1/4" THICK, TEMPERED (U.O.U).
36. ALL CEILINGS SHALL BE SEALED SO THAT AIR FLOW FROM SHAFTS, WALL CHASES, CAVITIES AND BETWEEN CONDITIONED AND UNCONDITIONED ATTIC SPACE IS STOPPED.
37. USE ONLY HIGH HAT LIGHTS WITH SEALED CANS OR SEAL THEM FROM THE ATTIC DRYWALL SO THAT COLD AIR DOES NOT GET INTO THE ATTIC.
38. ALL DIFFUSERS AND GRILLS SHALL HAVE GASKETTS AND THE FIBERGLASS BOOT CONNECTIONS SHALL BE TIGHT IN ORDER TO PREVENT COLD AIR TO LEAK OUT THROUGH THE DRYWALL OPENINGS ALLOWING CONDENSATION TO FORM.
39. DRAFT STOPS SHALL BE SEALED AROUND PIPES AND CONDUITS AT THE TOPS OF ALL INTERIOR PARTITION WALLS SO THAT AIR CANNOT PENETRATE DOWN INTO THE WALLS.
40. SEAL ALL CEILING SPACES BETWEEN THE CONDITIONED FLOORS FROM OUTSIDE AIR.
41. PROVIDE THE ABSOLUTE MINIMUM ATTIC VENTILATION, LOCATE THE NECESSARY SOFFIT VENTS ON THE EXPOSURE AWAY FROM THE LOCAL PREVAILING BREEZE.
42. INSURE THAT ALL INSULATION IS PROPERLY DISTRIBUTED AND INSTALLED WITHOUT GAPS OR IN CONTACT WITH SURFACES THAT TRANSFER AIR.
43. DO NOT VENTILATE THE ATTIC BY FORCED VENTILATION.
44. ASSURE THAT ALL FIREPLACE DAMPERS ARE TIGHTLY CLOSED.
45. INSURE THAT THERE IS NO DUCT LEAKAGE.
46. KEEP ALL DUCTWORK SEPARATE FROM ALL OTHER DUCTWORK, ATTIC INSULATION, AND BUILDING CONSTRUCTION MATERIALS.
47. SLABS OVER CRAWL SPACES UNCONDITIONED SPACES SHALL BE SEALED AND INSULATED UNDERNEATH.
48. MAINTAIN CONDITIONS IN ATTIC SUCH THAT THE DEW POINT OF THE ATTIC AIR IS HIGHER THAN THE SKIN TEMPERATURE OF THE DUCTWORK AT ALL TIMES.
49. EXTERIOR AND ADJACENT WALLS SHALL BE SEALED AT THE FOLLOWING LOCATIONS AS PER FLORIDA BUILDING CODE, LATEST EDITION.
 491. BETWEEN WINDOWS AND DOORS AND THEIR FRAMES.
 492. BETWEEN WINDOWS AND DOOR FRAMES AND THE SURROUNDING WALL.
 493. BETWEEN THE FOUNDATION AND WALL ASSEMBLY SILL PLATES.
 494. JOINTS BETWEEN EXTERIOR WALL PANELS AT CHANGES IN PLANE, SUCH AS WITH EXTERIOR SHEATHING AT CORNERS AND CHANGES IN ORIENTATION.
 495. OPENINGS AND CRACKS AROUND ALL PENETRATIONS THROUGH THE WALL ENVELOPE SUCH AS UTILITY SERVICES AND PIPING.
 496. BETWEEN THE WALL PANELS AND TOP AND BOTTOM PLATES IN EXTERIOR AND ADJACENT WALLS. IN FRAME CONSTRUCTION, THE CRACK BETWEEN EXTERIOR AND ADJACENT WALL BOTTOM PLATES AND FLOORS SHALL BE SEALED WITH CAULKING OR GASKET MATERIAL AND GYPSUM BOARD OR OTHER WALL PANELING ON THE INTERIOR SURFACE OF XTERIOR AND ADJACENT WALL SHALL BE SEALED TO THE FLOOR, AND (WHEN APPLICABLE) BETWEEN WALLS AND FLOOR WHERE THE FLOOR PENETRATES THE WALL.
 - 497.
50. WALL & CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION NOT GREATER THAN 200, AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER A.S.T.M. E-84.
51. ALL INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NO MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NO MORE THAN 450 PER F.B.C. R. 2001- R306.
52. ARCHITECT'S SPECIFICATIONS SHALL BECOME PART OF THE CONSTRUCTION DOCUMENTS.

FIRE RATINGS DESCRIPTION :

FIRE-RATED PARTITION ASSEMBLY U.L. 146B.
No. 25 CHANNEL-SHAPED STUDS AT 16" O.C. WITH ONE FULL LENGTH LAYER OF 5/8" TYPICAL 1/2" GYPSUM BOARD APPLIED VERTICALLY, ATTACHED WITH 1-1/2" LONG NO. 6 DRYWALL SCREWS TO EACH SIDE (SCREWS ARE 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS.)

FIRE-RATED CEILING ASSEMBLY U.L. 1518
METAL CHANNELS AT 16" O.C. ONE LAYER 5/8" TYPE 1/2" GYPSUM WALLBOARD, GYPSUM COATED OR RING SHANKED NAILS 6" O.C. @ BUTT & SIDE JOINTS STAGGERED, PAPER TAPE SPREAD OVER JOINTS AND EXPOSED NAIL HEADS COVERED WITH COMPOUND.

INTERIOR BEARING PARTITION ASSEMBLY U.L. 146B.
1-HOUR FIRE RATED 2"x4" OR 2"x6" STUDS AT 16" O.C. WITH ONE LAYER 5/8" TYPE 1/2" GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 16d COMMON NAILS 12" O.C. WITH END JOINTS ON WALLING MEMBERS, PROVIDE 2"x4" OR 2"x6" DOUBLE TOP PLATE AND BASE PLATE SECURED TO FOUNDATION, PROVIDE TWO ROUS BLOCKING AT 40" O.C.

TYPICAL NON-BEARING PARTITION
No. 25 Ga. CHANNEL-SHAPED STUDS AT 24" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (16" O.C. AT WET AREAS.)

PUBLIC WORK NOTES

- 1- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
- 2- RECONSTRUCT SIDEWALKS/ 500' ALONG THE ENTIRE PROPERTY.
- 3- MILL AND RESURFACE 2 INCH ABOVE USING 5-111 TYPE ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- 4 - ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT OF WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT IN COMPLIANCE WITH THE LOWER NORTH BAY ROAD AND SUNSET ISLANDS 1 & 2 NEIGHBORHOOD IMPROVEMENT PROJECT.

LEGAL DESCRIPTION

LOT 10, IN BLOCK 12 OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, EXCEPTING THE FOLLOWING DESCRIBED PARCEL OF LAND, BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 10, IN BLOCK 12, AT SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 30, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, NOW KNOWN AS MIAMI-DADE COUNTY, FLORIDA, SAID CORNER BEING IN THE WESTERLY LINE OF NORTH BAY ROAD AT A DISTANCE OF 801 FEET SOUTH FROM THE INTERSECTION OF THE SOUTHERLY LINE OF WEST STREET AND THE WESTERLY LINE OF NORTH BAY ROAD, AS MEASURED ALONG THE WESTERLY LINE OF NORTH BAY ROAD; THENCE SOUTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 10 IN SAID BLOCK 12, FOR A DISTANCE OF 186.9 FEET MORE OR LESS TO THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHEASTERLY FOR A DISTANCE OF 241.88 FEET MORE OR LESS TO A POINT IN THE WESTERLY LINE OF SAID NORTH BAY ROAD, SAID POINT BEING 25 FEET SOUTH, AS MEASURED ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD, FROM THE NORTHEASTERLY CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID NORTH BAY ROAD FOR A DISTANCE OF 25 FEET TO THE POINT AND PLACE OF BEGINNING.

NOTE NOTES

1. ALL RAIN WATER SHALL BE RETAINED WITHIN PROPERTY.
2. CONTRACTOR TO COORDINATE ALL APPROACHES WITH STREET TREES, STREET LIGHTS, FIRE HYDRANTS, ETC.
3. LANDSCAPING SHALL COMPLY WITH ALL LANDSCAPING REGULATIONS REQUIRED BY THE CITY OF MIAMI BEACH.
4. NOTE: CROSS HATCHED AREAS DENOTES TRUSS RECESS FOR COVES. SEE FLOOR PLANS & CROSS SECTIONS FOR DIMENSIONS
5. ALL AREA MARKED '500' TO BE SLOPPED PER LANDSCAPING PLANS.
6. TERMITE PROTECTION ALL BUILDINGS SHALL HAVE PRECONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

1. CONTRACTOR SHALL VERIFY IF THERE IS AN EXISTING SEPTIC TANK & DRAIN FIELD WITHIN THE PROPERTY. IF A SEPTIC TANK & DRAIN FIELD IS PRESENT IT SHALL BE ABANDONED AS RECOMMENDED PER THE FLORIDA BUILDING CODE EXISTING 2001 AND PER MIAMI-DADE COUNTY LAWS. REQUIREMENTS PRIOR TO ANY NEW CONSTRUCTION.
8. APPROVED NUMBERS OR ADDRESS SHALL BE PROVIDED AS PER F.B.C. R. 3211. PROVIDE ADDRESS NUMBERS FOR NEW BUILDINGS VISIBLE AND LEGIBLE FROM THE STREET.
9. SPOT ELEVATIONS, THE SPOT ELEVATIONS SHOWN ARE EXISTING, FOR NEW ELEVATION SEE GRADING PLAN ON LANDSCAPE PLANS
10. DEMOLITION CONTRACTOR SHALL PROVIDE A BUFFER STRIP AROUND ENTIRE PROPERTY AS PER SEDIMENT AND EROSION CONTROL REQUIREMENTS.

SCOPE OF WORK

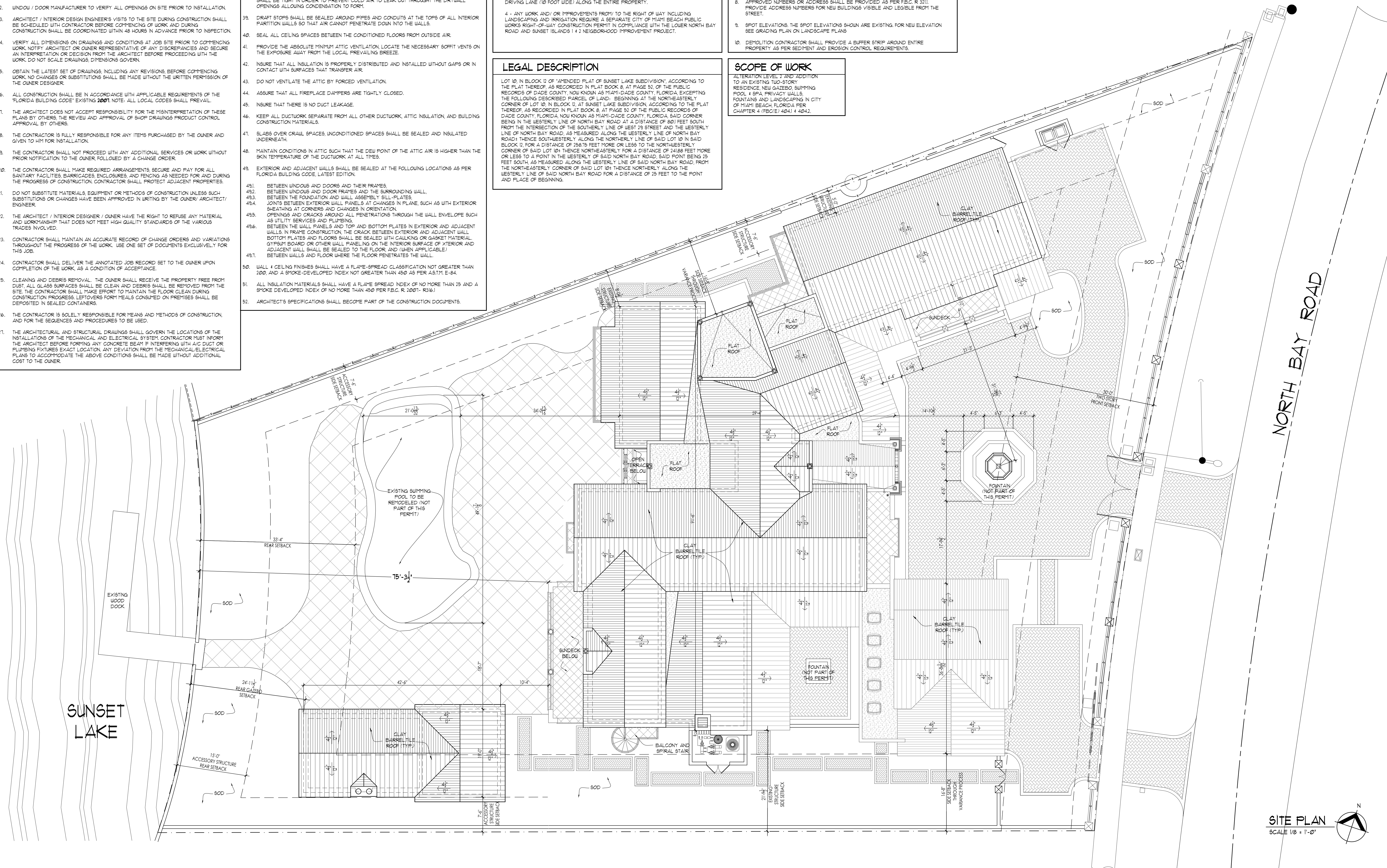
ALTERATION LEVEL 2 AND ADDITION TO AN EXISTING TWO-STORY RESIDENCE, NEW GAZEBO, SUMMING POOL, & SPA, PRIVACY WALLS, FOUNTAINS AND LANDSCAPING IN CITY OF MIAMI BEACH, FLORIDA PER CHAPTER 4 (FBCS) 4041 & 4042.

ITEMS UNDER SEPARATE PERMIT

- NOTE: ALL ITEMS NOTED BELOW ARE NOT PART OF THIS PERMIT, BUT NOT LIMITED TO BUILDER SHALL COORDINATE WITH ALL TRADES REQUIRING SEPARATE PERMITS.
1. PRIVACY WALL
 2. WATERPROOFING
 3. WINDOWS & DOORS/ SKYLIGHTS
 4. DRIVEWAY
 5. SWIMMING POOL
 6. FOUNTAINS
 7. RAILWORK (RAILINGS, ETC.)

ATTIC ROOF VENTILATION CALCULATIONS

MAIN BUILDING ROOF	
ROOF AREA =	4,311 @ 1/50' = 30 SQ. FT. VENTILATION REQUIRED
PERIMETER =	311'-10" x 15' = 38 SQ. FT. VENTILATION PROVIDED
GARAGE BUILDING ROOF	
ROOF AREA =	623 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	45'-0" x 15' = 5 SQ. FT. VENTILATION PROVIDED
GAZEBO BUILDING ROOF	
ROOF AREA =	151 @ 1/50' = 5 SQ. FT. VENTILATION REQUIRED
PERIMETER =	63'-0" x 15' = 8 SQ. FT. VENTILATION PROVIDED



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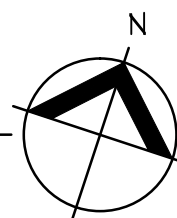
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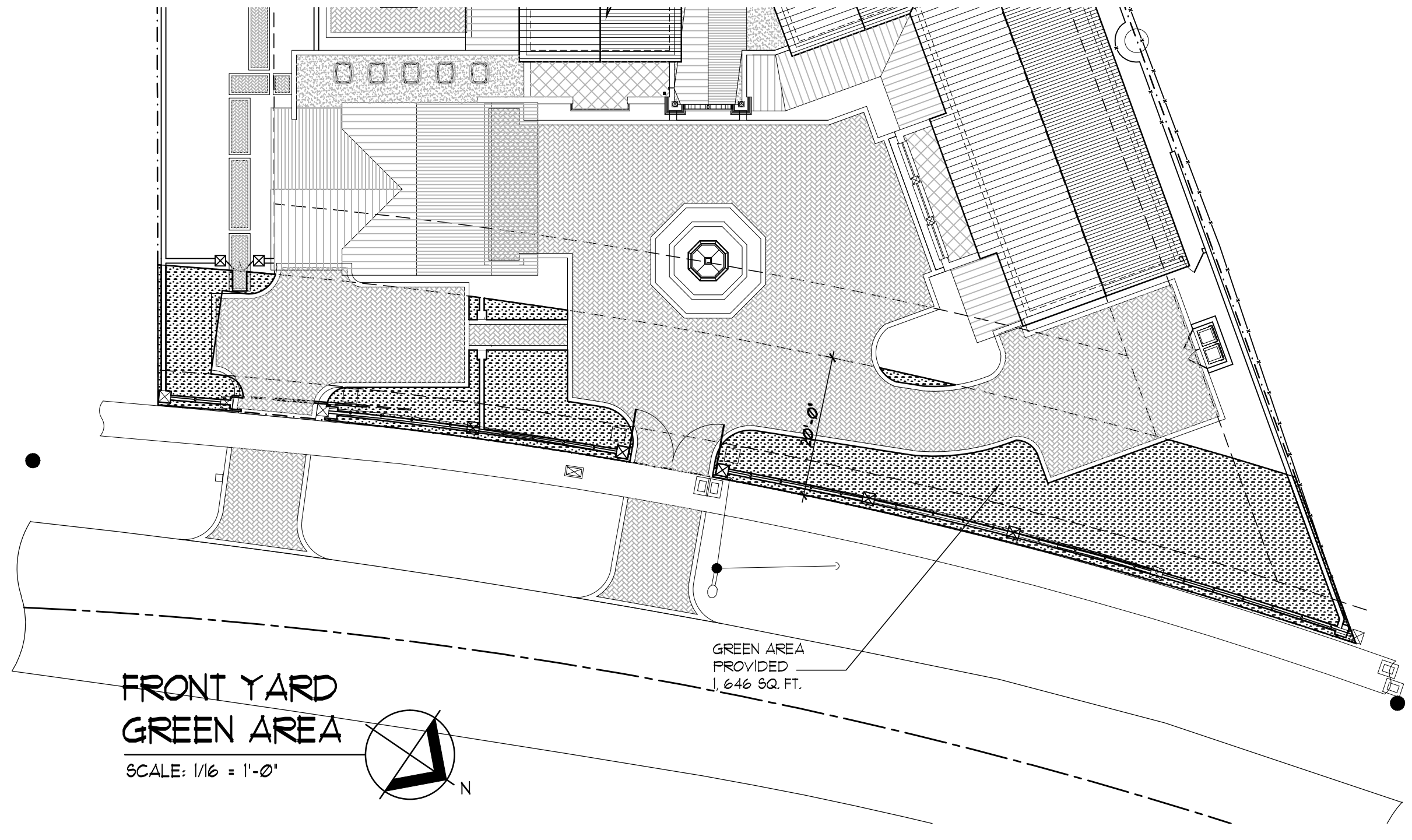
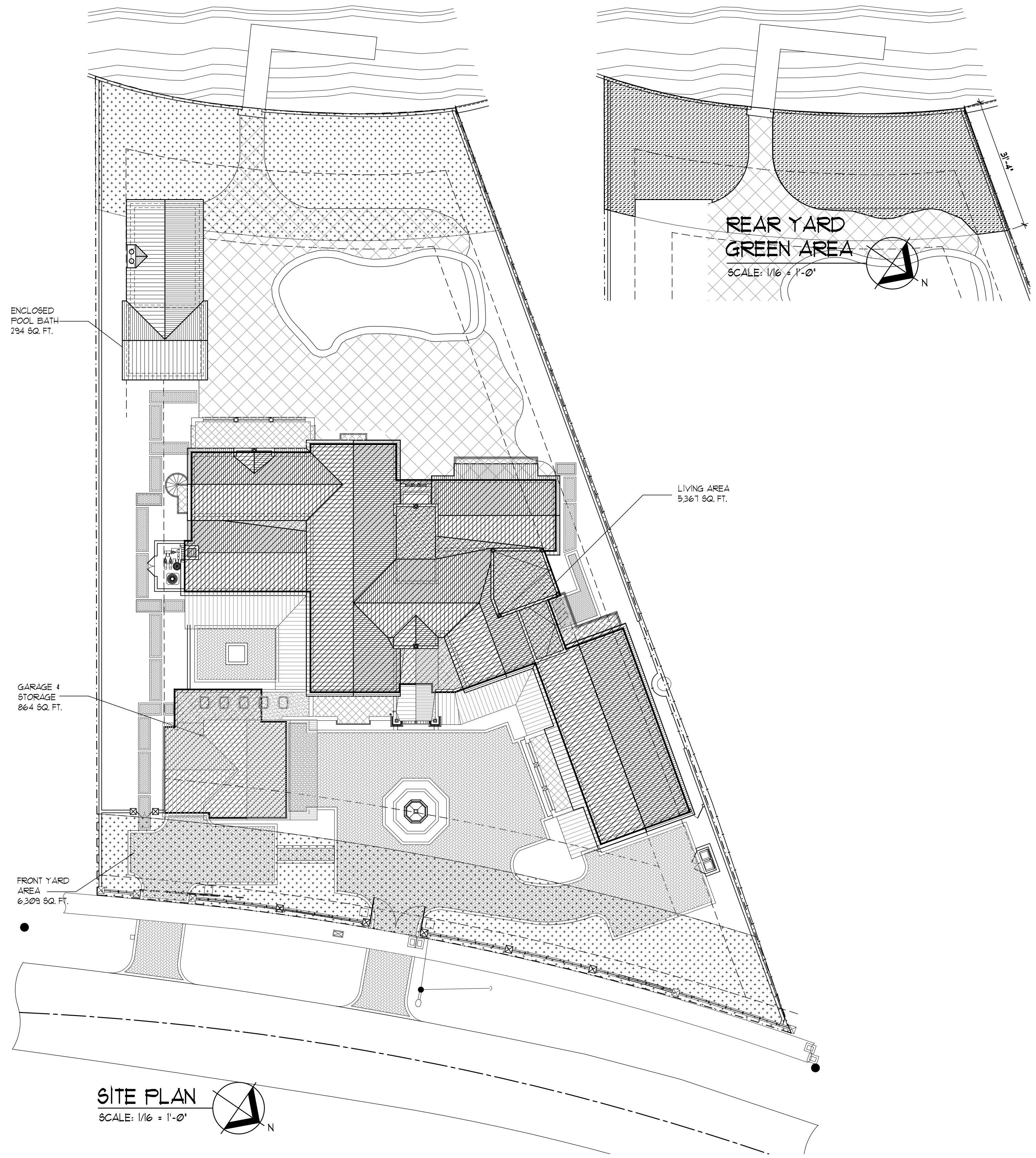
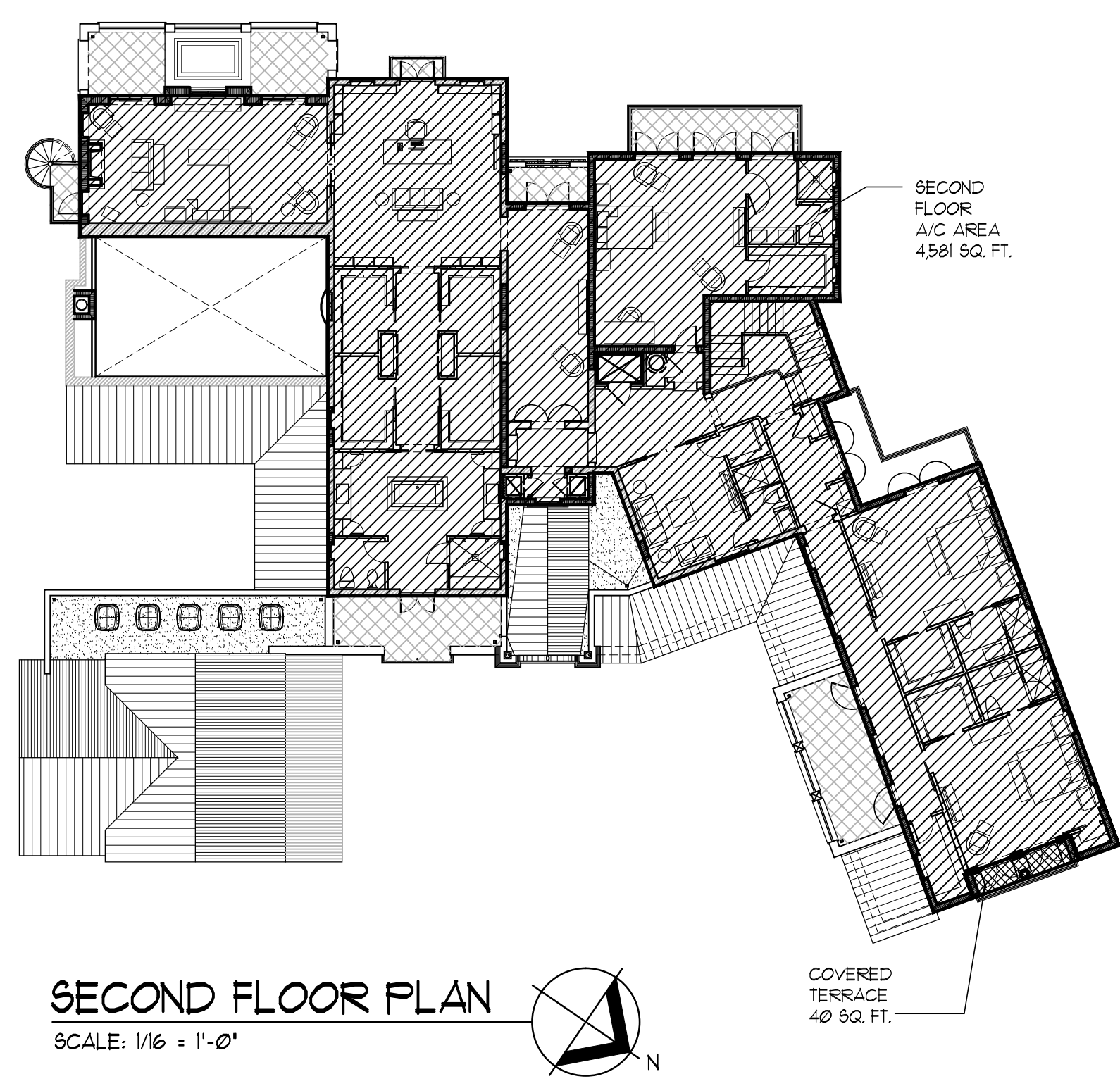
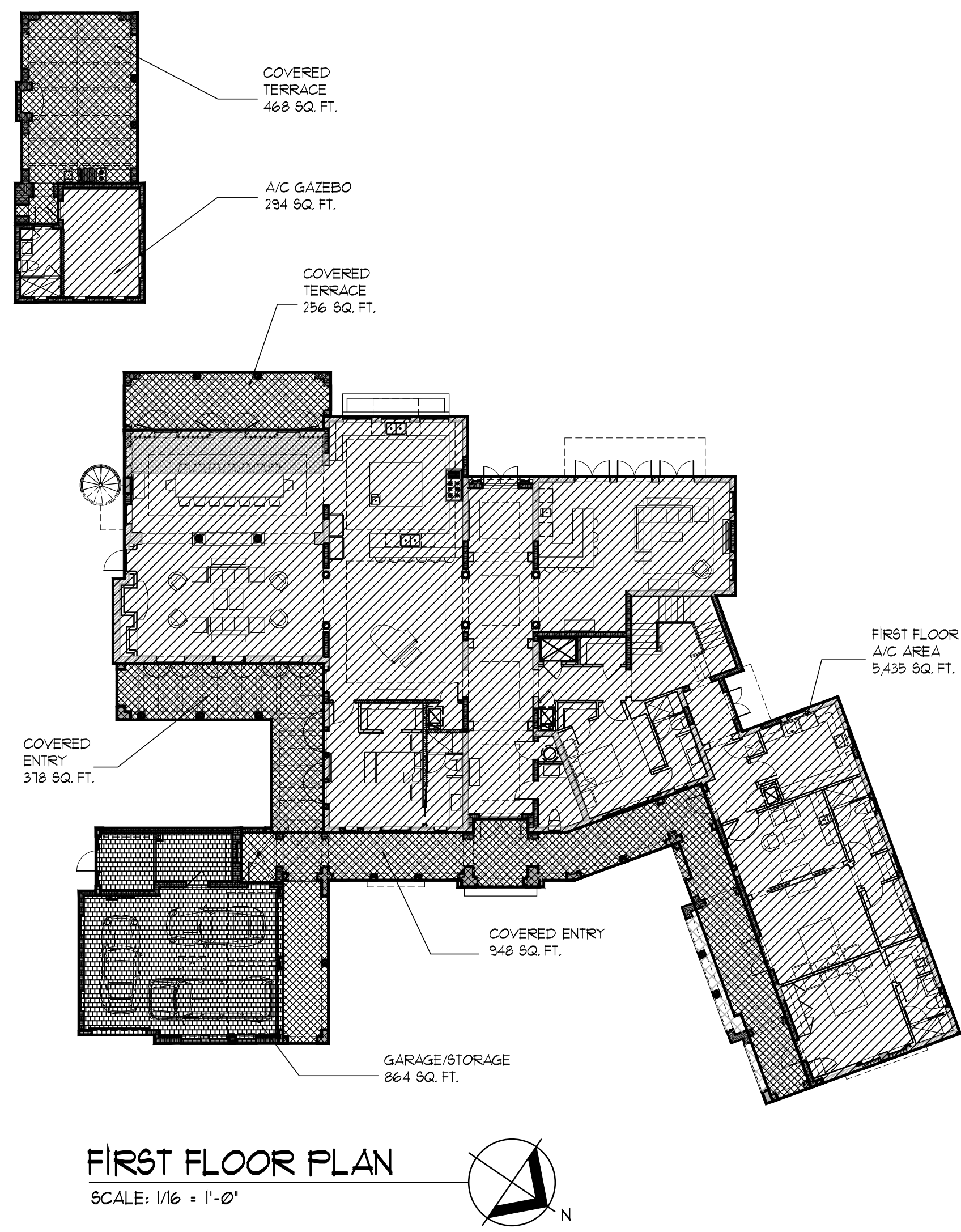
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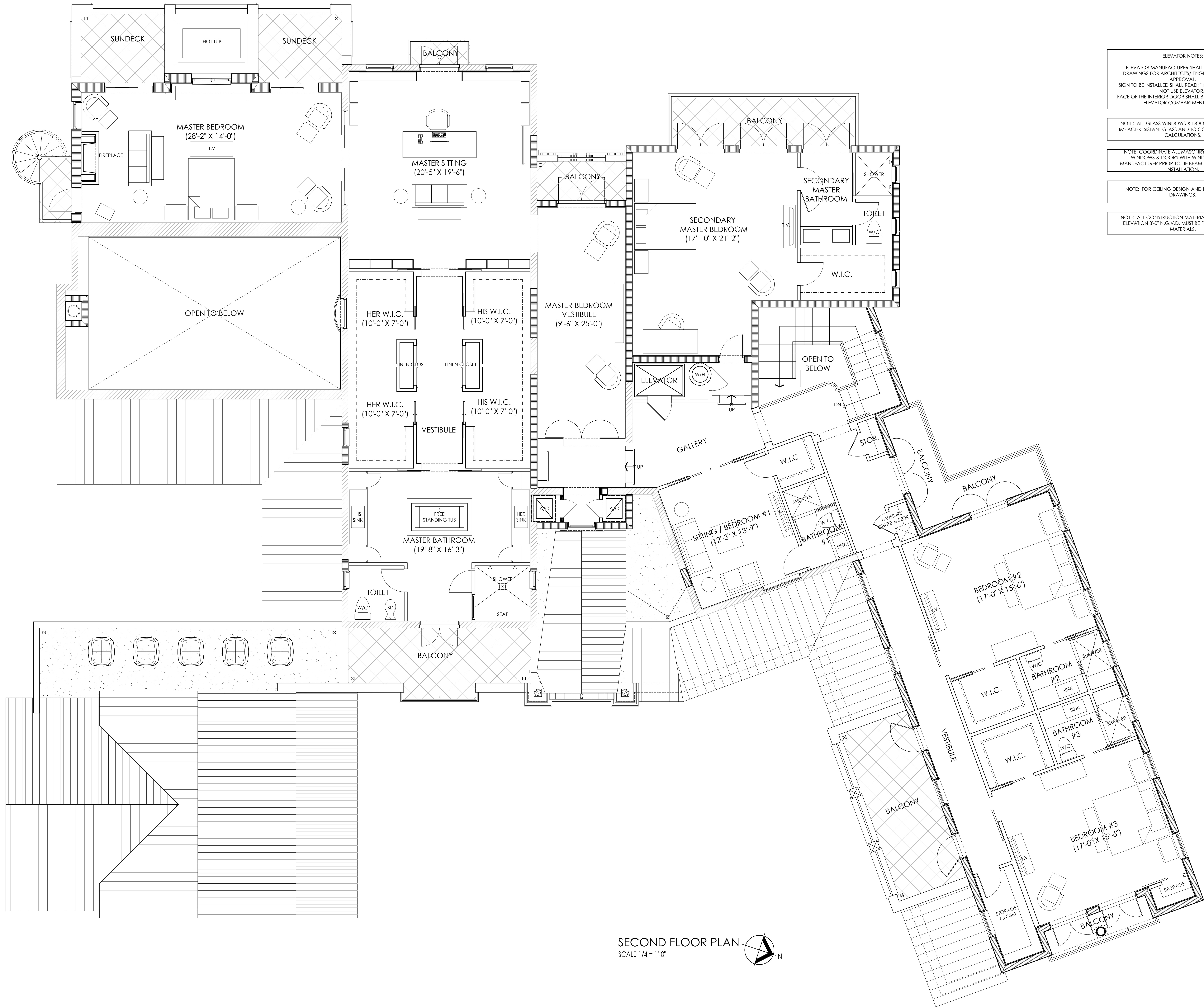
SITE PLAN
SCALE 1/8" = 1'-0"



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AREA COMPUTATIONS FOR MIAMI BEACH			
RS-2 SINGLE FAMILY RESIDENTIAL			
MAIN BUILDING SETBACKS:		ALLOWED	PROVIDED
FRONT SETBACK			
ONE STORY		20'-0"	21'-4" -NEW
TWO STORY		30'-0"	31'-9.5" -EXISTING
SIDE SETBACK			
SUM 25% LOT WIDTH (165.5'x0.25=41.38')		41'-4.5"	5'-0" -EXISTING
ONE SIDE MINIMUM (1'-6" MIN. OR 10% LOT WIDTH (165.5'x0.10=16.55'))		16'-8"	8'-0" -EXISTING
REAR SETBACK (MIN. 20' & MAX. 50') 15% LOT DEPTH (209'x0.15=33.34')		31'-4"	75'-3.5" -NEW
ACCESSORY SETBACKS:		ALLOWED	PROVIDED
SIDE SETBACK		7'-6"	7'-6" -EXISTING
REAR SETBACK		15'-0"	35'-2.5" -EXISTING
LOT AREA =			26,184 SQ. FT.
LOT COVERAGE:			
MAXIMUM LOT COVERAGE WITHOUT HPB APPROVAL (30%)=			7,855 SQ. FT.
MAXIMUM LOT COVERAGE WITH HPB APPROVAL (35%)=			9,164 SQ. FT.
LOT COVERAGE PROVIDED =			7,181 SQ. FT. (27.4 %)
UNIT SIZE (FAR):			
MAXIMUM UNIT SIZE WITHOUT HPB APPROVAL (50%)=			13,092 SQ. FT.
MAXIMUM UNIT SIZE WITH HPB APPROVAL (70%)=			18,329 SQ. FT.
UNIT SIZE PROVIDED =			10,144 SQ. FT. (41.0 %)
FRONT YARD: 3,401 SQ. FT.			
MINIMUM FRONT YARD GREEN AREA REQUIRED (35% OF AREA 20'-0' FROM PROPERTY LINE)=			1,192 SQ. FT.
FRONT YARD GREEN AREA PROVIDED:			1,646 SQ. FT.
REAR YARD: 2,980 SQ. FT.			
MINIMUM REAR YARD GREEN AREA REQUIRED (10% OF AREA 31'-4' FROM PROPERTY LINE)=			2,086 SQ. FT.
REAR YARD GREEN AREA PROVIDED:			2,220 SQ. FT.
RESIDENCE SQUARE FOOTAGE:			
FIRST FLOOR A/C:		5,435	SQ. FT.
SECOND FLOOR A/C (WITHOUT TWO STORY AREAS):		4,581	SQ. FT.
POOL BATH ENCLOSED AREA		294	SQ. FT.
TOTAL A/C AREA :		10,310	SQ. FT.
FIRST FLOOR COVERED TERRACES:		2,050	SQ. FT.
SECOND FLOOR COVERED TERRACES:		0	SQ. FT.
TOTAL COVERED TERRACES AREA:		2,050	SQ. FT.
GARAGE / STORAGE AREA:		864	SQ. FT.
TOTAL GROSS AREA:		13,224	SQ. FT.



- ELEVATOR NOTES:
ELEVATOR MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S/ENGINEER'S REVIEW & APPROVAL.
SIGN TO BE INSTALLED SHALL READ: "IN CASE OF FIRE DO NOT USE ELEVATOR!"
FACE OF THE INTERIOR DOOR SHALL BE 3" FROM FACE OF ELEVATOR COMPARTMENT DOOR.
- NOTE: ALL GLASS WINDOWS & DOORS SHALL RECEIVE IMPACT-RESISTANT GLASS AND TO COMPLY W/ ENERGY CALCULATIONS.
- NOTE: COORDINATE ALL MASONRY OPENINGS FOR WINDOWS & DOORS WITH WINDOW & DOOR MANUFACTURER PRIOR TO THE BEAM AND BLOCK WALL INSTALLATION.
- NOTE: FOR CEILING DESIGN AND LAYOUT, SEE I.D. DRAWINGS.
- NOTE: ALL CONSTRUCTION MATERIALS BELOW FLOOD ELEVATION 8'-0" N.G.V.D. MUST BE FLOOD-RESISTANT MATERIALS.

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

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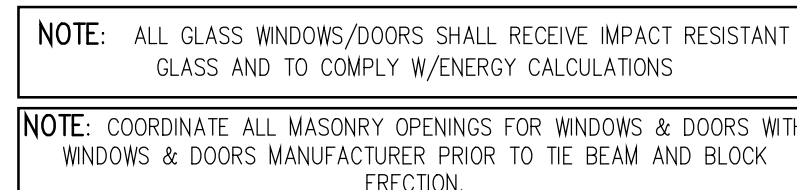
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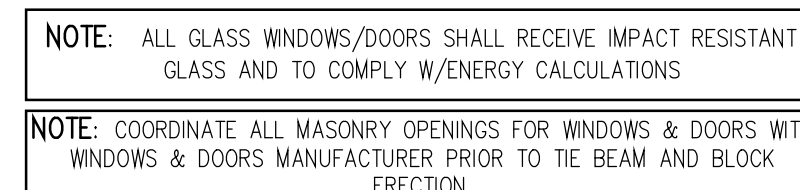
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SCALE $1/4" = 1'-0"$



SCALE 1/4" = 1'-0"

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