

3400 CHASE AVENUE

3400 CHASE AVENUE MIAMI BEACH, FLORIDA

DESIGN REVIEW BOARD SUBMITTAL

FINAL SUBMITTAL

AUGUST 14TH, 2017



NEW RESIDENCE

DESIGN REVIEW BOARD

3400 CHASE AVENUE

MIAMI BEACH, FLORIDA

CLIENT	ARCHITECT	LANDSCAPE ARCHITECT	CONSULTANTS	SCOPE OF WORK
3400 CHASE LLC 2800 PRAIRIE AVE MIAMI BEACH, FLORIDA 33140 T: 310.880.6305	DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING 420 LINCOLN ROAD SUITE 506 MIAMI BEACH, FLORIDA 33139 O: 305.674.8031 F: 305.328.9006 WWW.DOMODESIGNSTUDIO.COM	CRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC 780 NE 69TH STREET SUITE 1106 MIAMI, FLORIDA 33138 O: 305.979.1585 WWW.CHRISTOPHERCAWLEY.COM		- NEW CONSTRUCTION OF SINGLE FAMILY RESIDENCE, POOL, DRIVEWAY, CABANA STRUCTURE, AND LANDSCAPING - VARIANCE TO REDUCE THE SIDE SETBACK TO CONSTRUCT A STAIR IN THE REQUIRED YARD. -VARIANCE TO REDUCE THE SUM OF THE SIDE SETBACKS TO CONSTRUCT A STIAR IN THE REQUIRED YARD.



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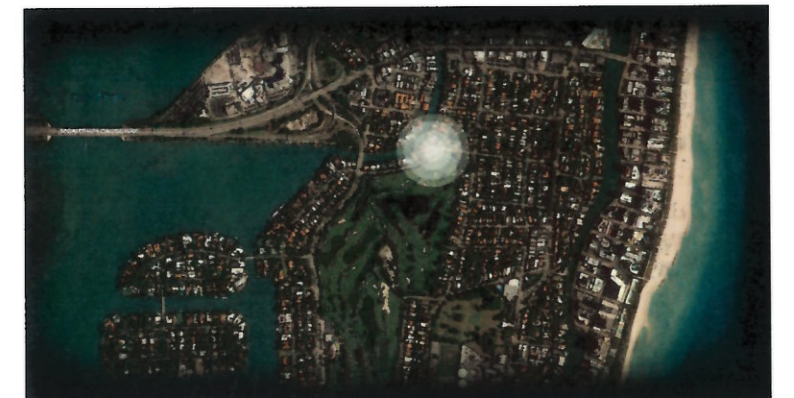
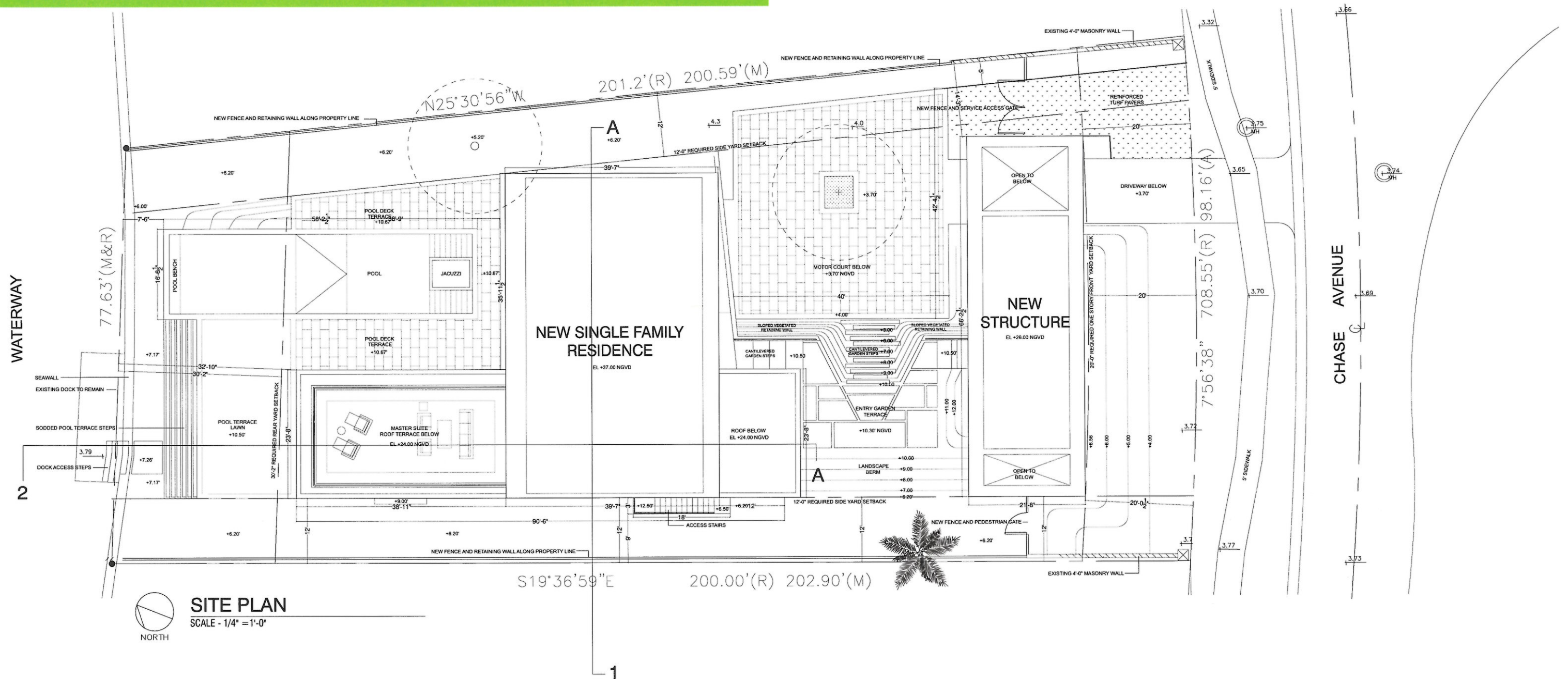


Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

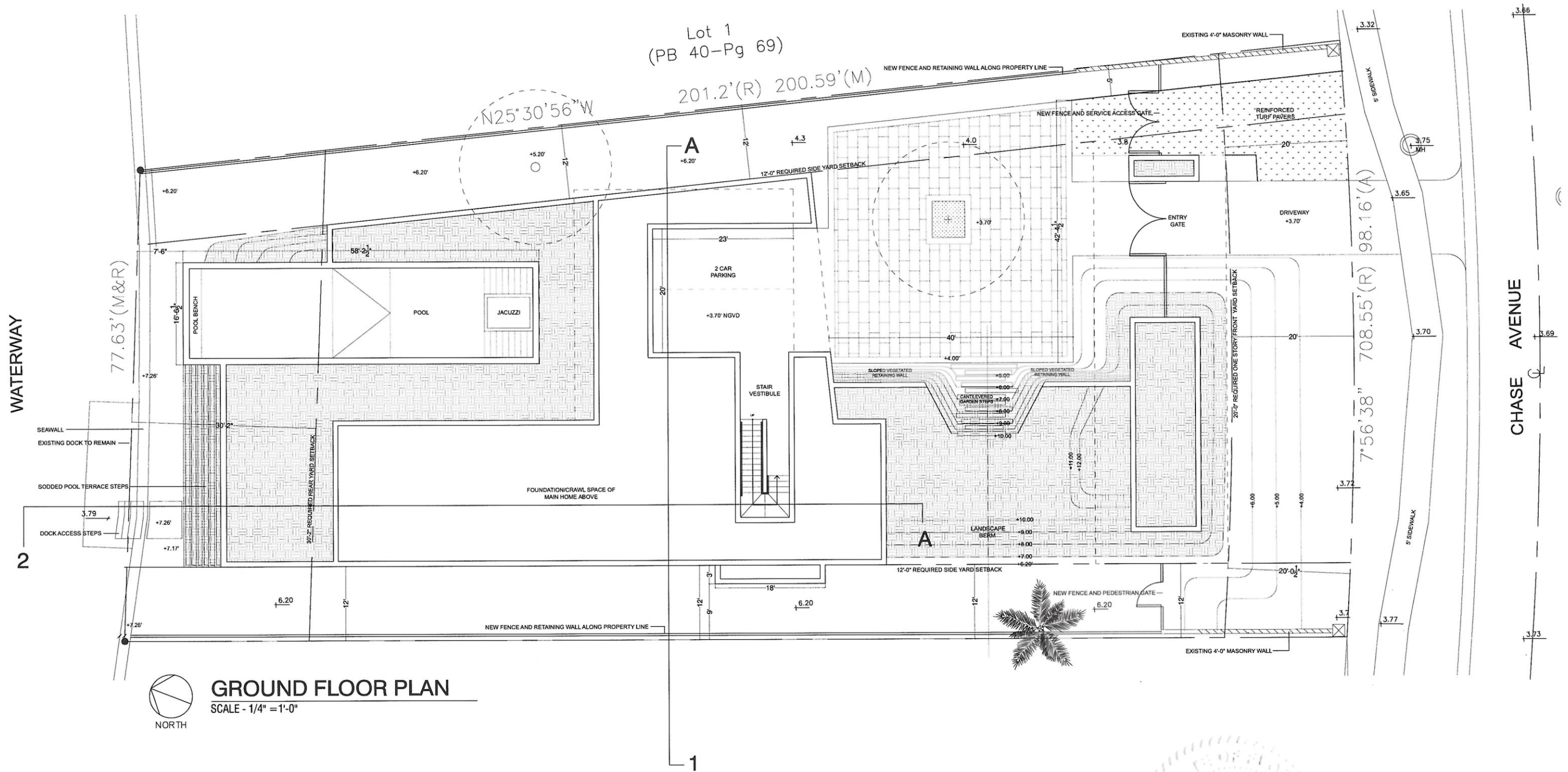
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	3400 CHASE AVE, MIAMI BEACH FL 33139			
2	Folio number(s):	02-3227-007-0130			
3	Board and file numbers :				
4	Year built:	1940	Zoning District:	RS-3	
5	Based Flood Elevation:	+8'-0"NGVD	Grade value in NGVD:	3.70' NGVD	
6	Adjusted grade (Flood+Grade/2):	5.85'	Free board:	13'-0"	
7	Lot Area:	17,738 SQ. FT			
8	Lot width:	98.16'FRNT 77.77'REAR	Lot Depth:	200'-0" (S) 201.2' (N)	
9	Max Lot Coverage SF and %:	5,321.4 SF (30%)	Proposed Lot Coverage SF and %:	4,539.30 sf (25.37%)	
10	Existing Lot Coverage SF and %:	5,560.2 SF (31.4%)	Lot coverage deducted (garage-storage) SF:	0 sf	
11	Front Yard Open Space SF and %:	1,651.58 sf (84.54%)	Rear Yard Open Space SF and %:	1,802.20 sf (76.50%)	
12	Max Unit Size SF and %:	8,846 SF (50%)	Proposed Unit Size SF and %:	6,670.80 sf (37.29%)	
13	Existing First Floor Unit Size:	5560.2 SF	Proposed First Floor Unit Size:	4,025.10 sf	
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	1,978.90 (55.5%)	
15		3,633 SF	Proposed Second Floor Unit Size SF and % :	2,361.33 (35.4%)	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	22'-7"	24'-0"	N/A
18	Setbacks:				
19	Front First level:	20'-0"	25'-5 3/8"	20'-0"	N/A
20	Front Second level:	30'-0"	104'-3 3/4"	73'-1"	N/A
21	Side 1:	12'-0"	11'-5 3/8"	12'-0"	N/A
22	Side 2 or (facing street):	12'-0"	10'-8 1/2"	9'-0"	3'-0"
23	Rear:	30'-0"	52'-1 1/2"	32'-10"	N/A
	Accessory Structure Side 1:	N/A	N/A		N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A		N/A
25	Accessory Structure Rear:	N/A	N/A	N/A	N/A
26	Sum of Side yard :	24'-0"	22'-1 7/8"	21'-0"	3'-0"
27	Located within a Local Historic District?			no	
28	Designated as an individual Historic Single Family Residence Site?			no	
29	Determined to be Architecturally Significant?			no	
Notes:					
If not applicable write N/A					
All other data information should be presented like the above format					

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08/14/17

PROPOSED BUILDING - SITE PLAN



PROPOSED BUILDING - GROUND FLOOR PLAN



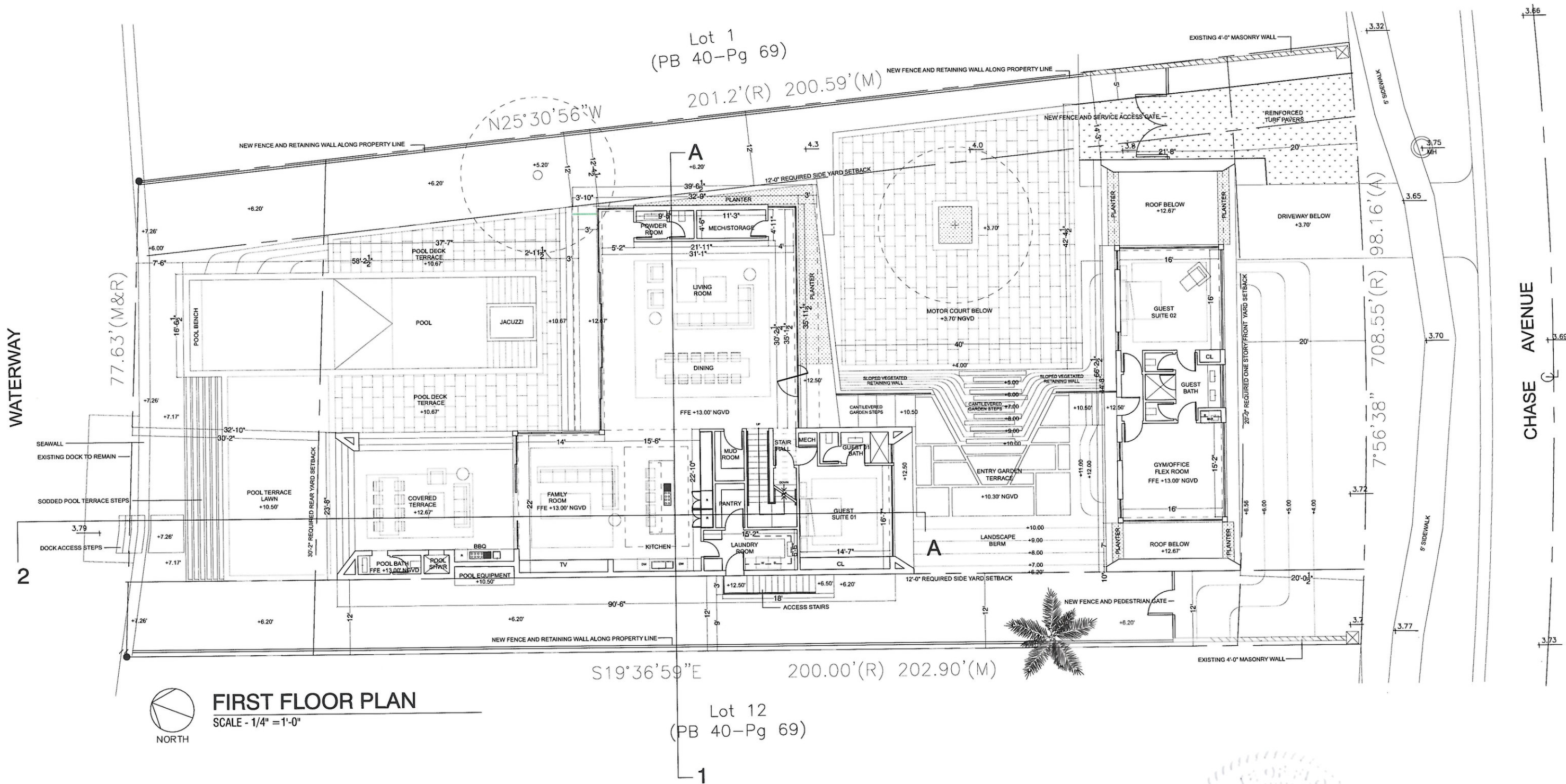
3400 CHASE AVENUE
MIAMI BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
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A26002383

A-1.1

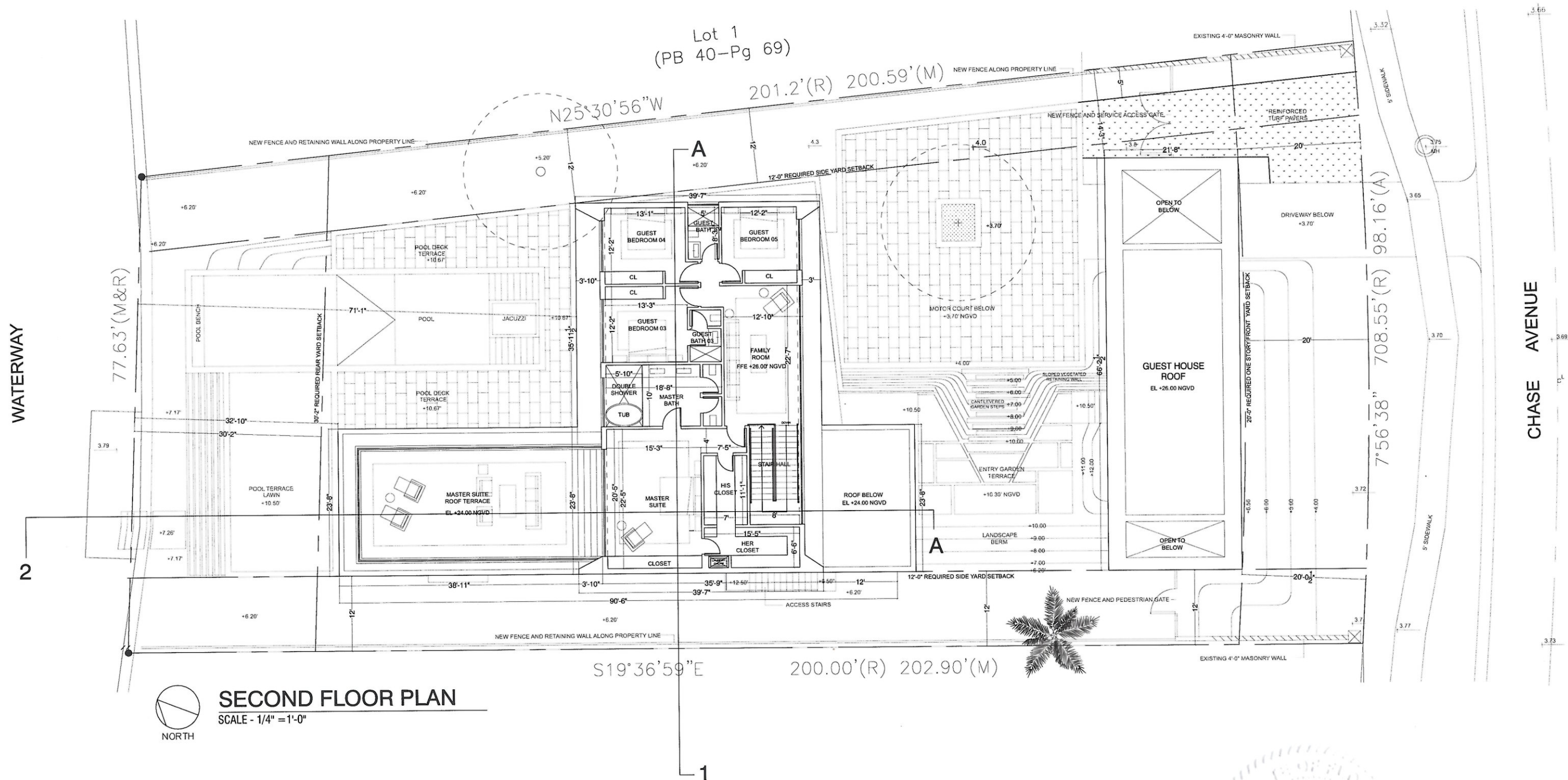
Ratna
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PROPOSED BUILDING - FIRST FLOOR PLAN



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PROPOSED BUILDING - SECOND FLOOR PLAN

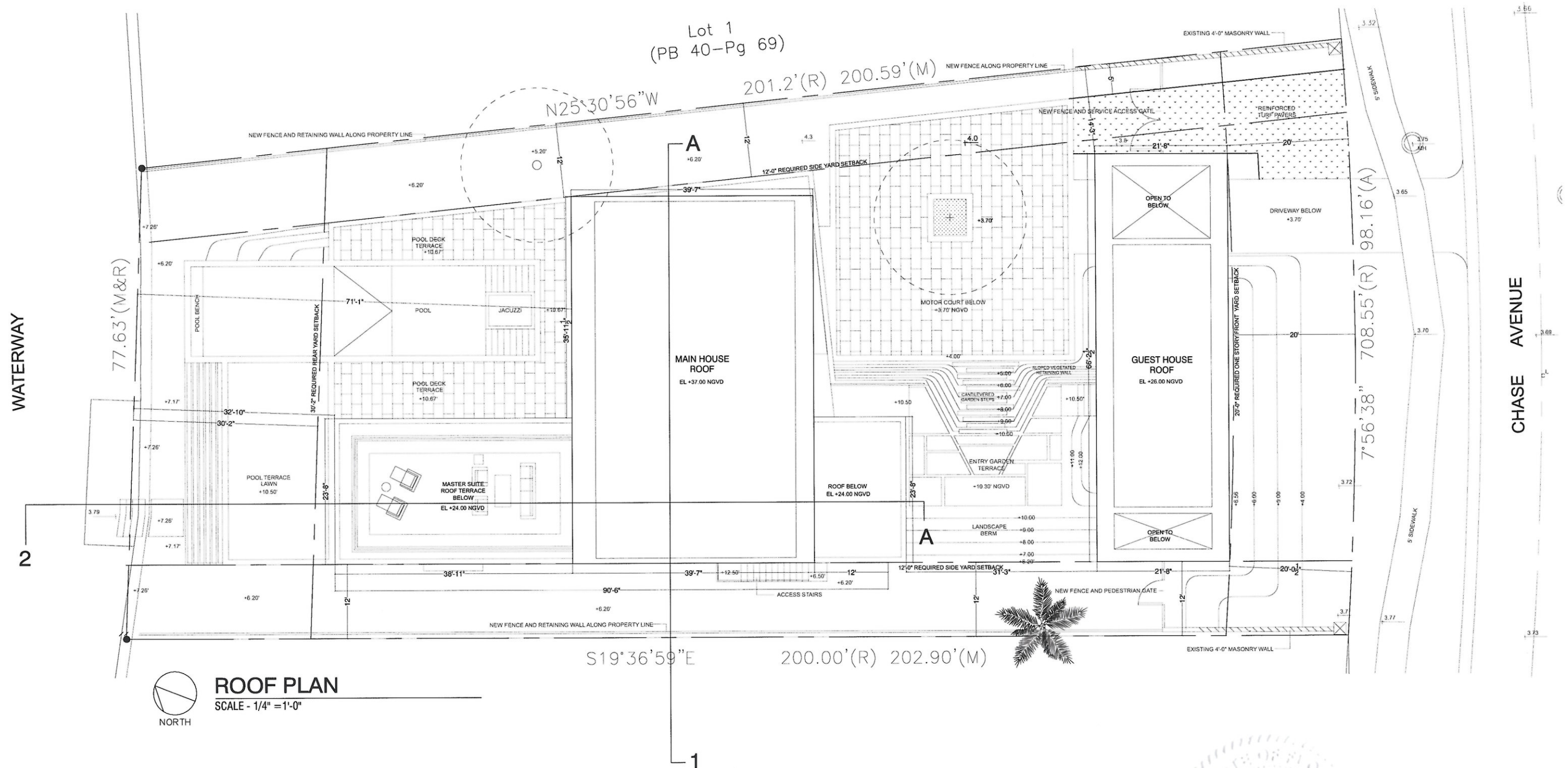


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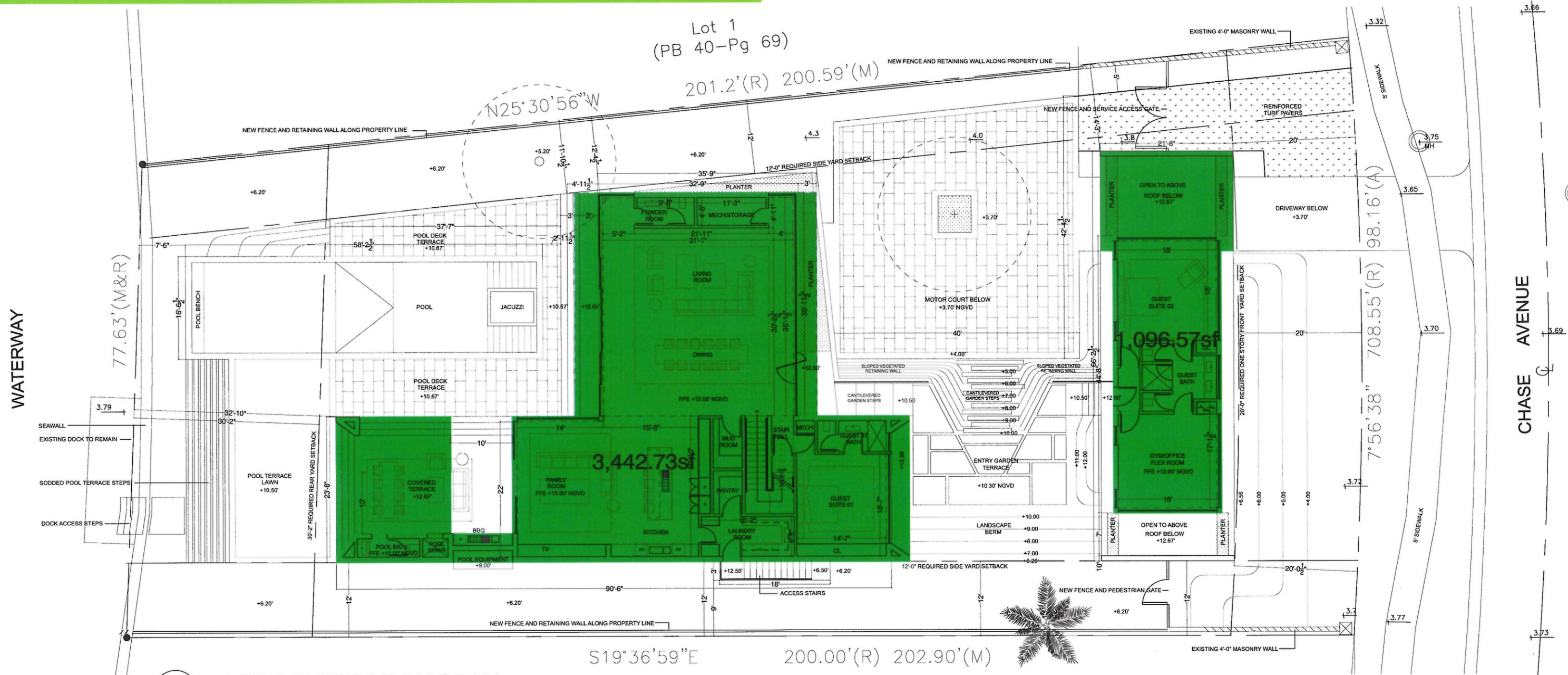
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A-1.3

PROPOSED BUILDING - ROOF PLAN



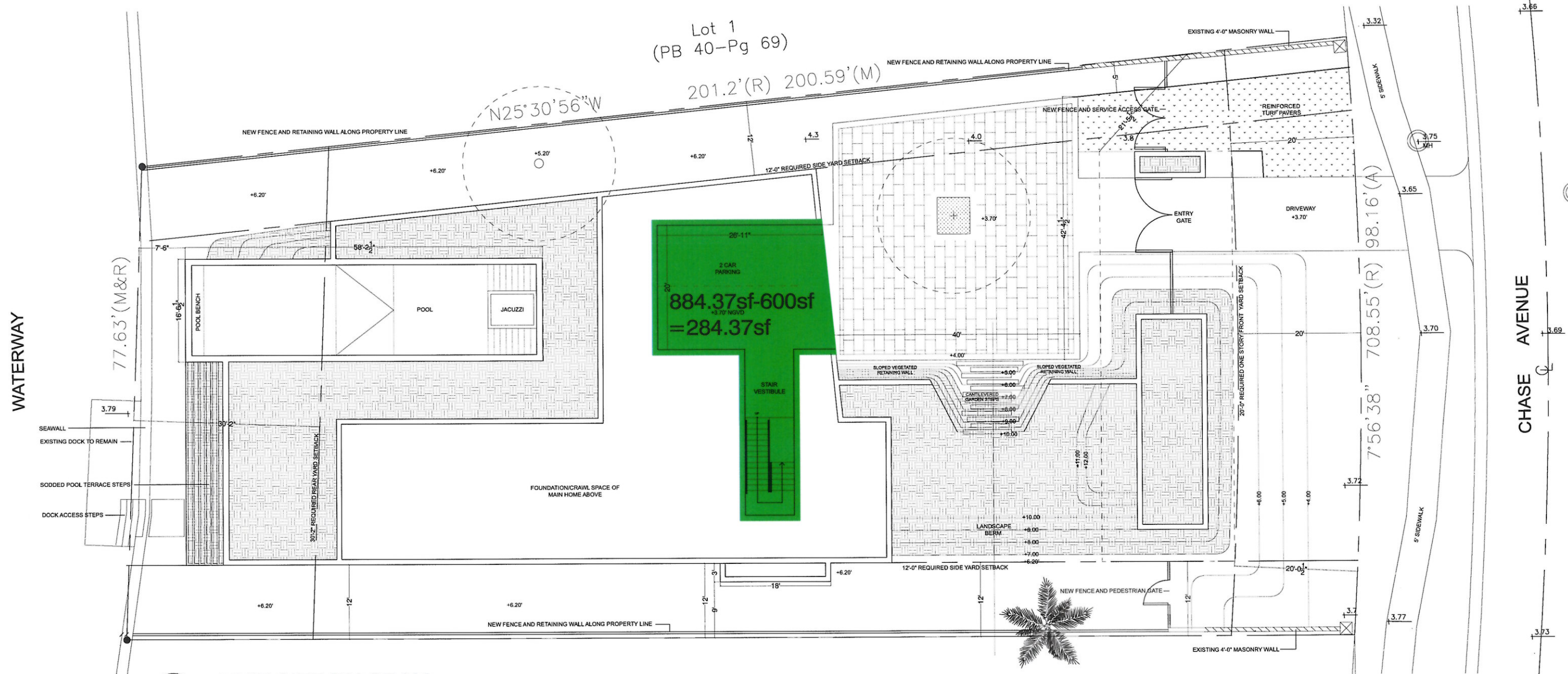
ZONING DIAGRAM - LOT COVERAGE



LOT COVERAGE DIAGRAM

LOT SIZE	17,889sf
ALLOWED LOT COVERAGE	5,366.7sf (30%)
PROPOSED LOT COVERAGE:	
MAIN HOUSE	3,442.73sf
GUEST HOUSE	1,096.57sf
SUBTOTAL	4,539.30sf (25.37%)

ZONING DIAGRAM - UNIT SIZE

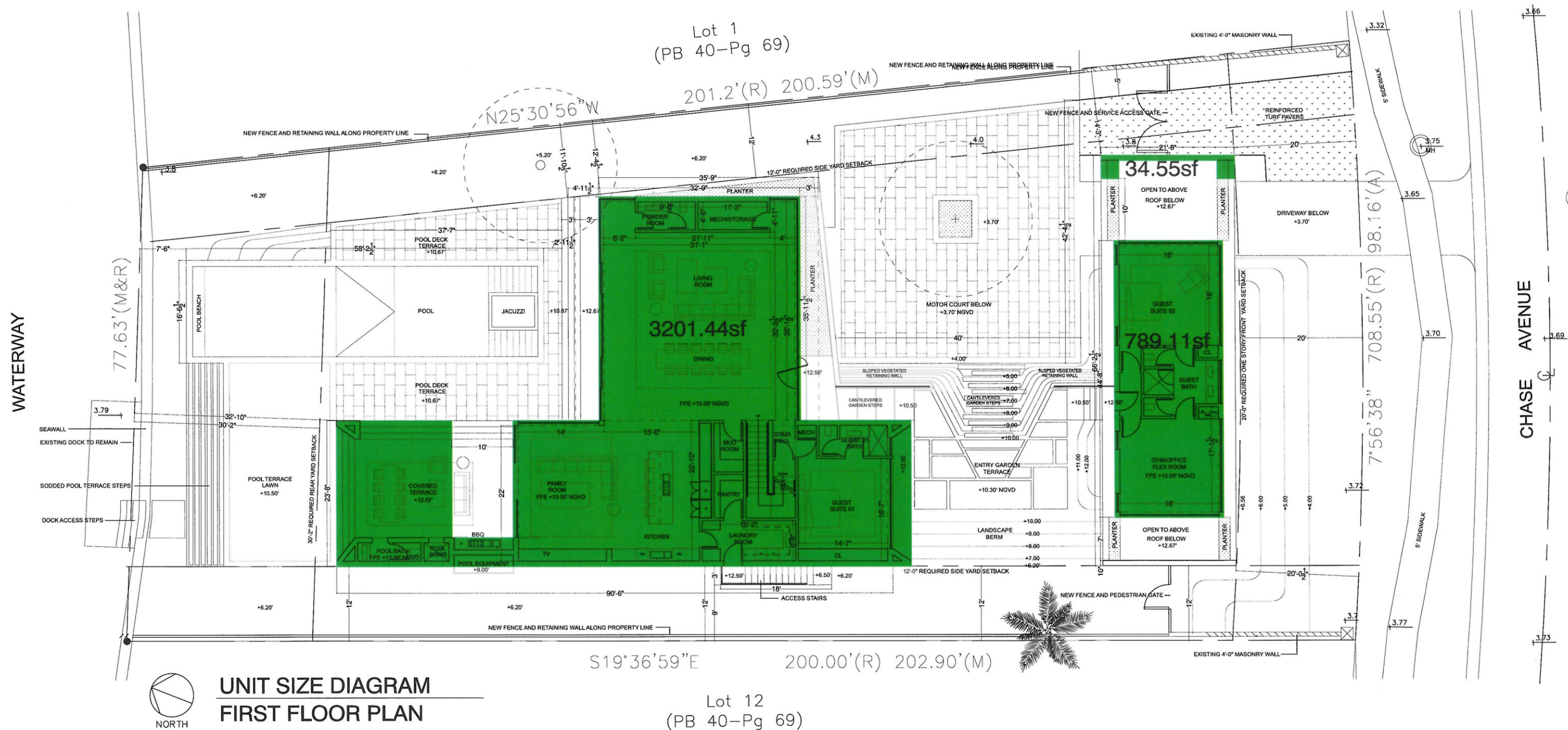


UNIT SIZE DIAGRAM
GROUND FLOOR PLAN

LOT SIZE	17,889sf
ALLOWED UNIT SIZE	8,944.50sf (50%)
PROPOSED UNIT SIZE:	
SECOND FLOOR	2,361.33sf
FIRST FLOOR	4025.10sf
GROUND FLOOR	284.37sf
SUBTOTAL	6,670.80sf (37.29%)

Auth
08/14/17

ZONING DIAGRAM - UNIT SIZE



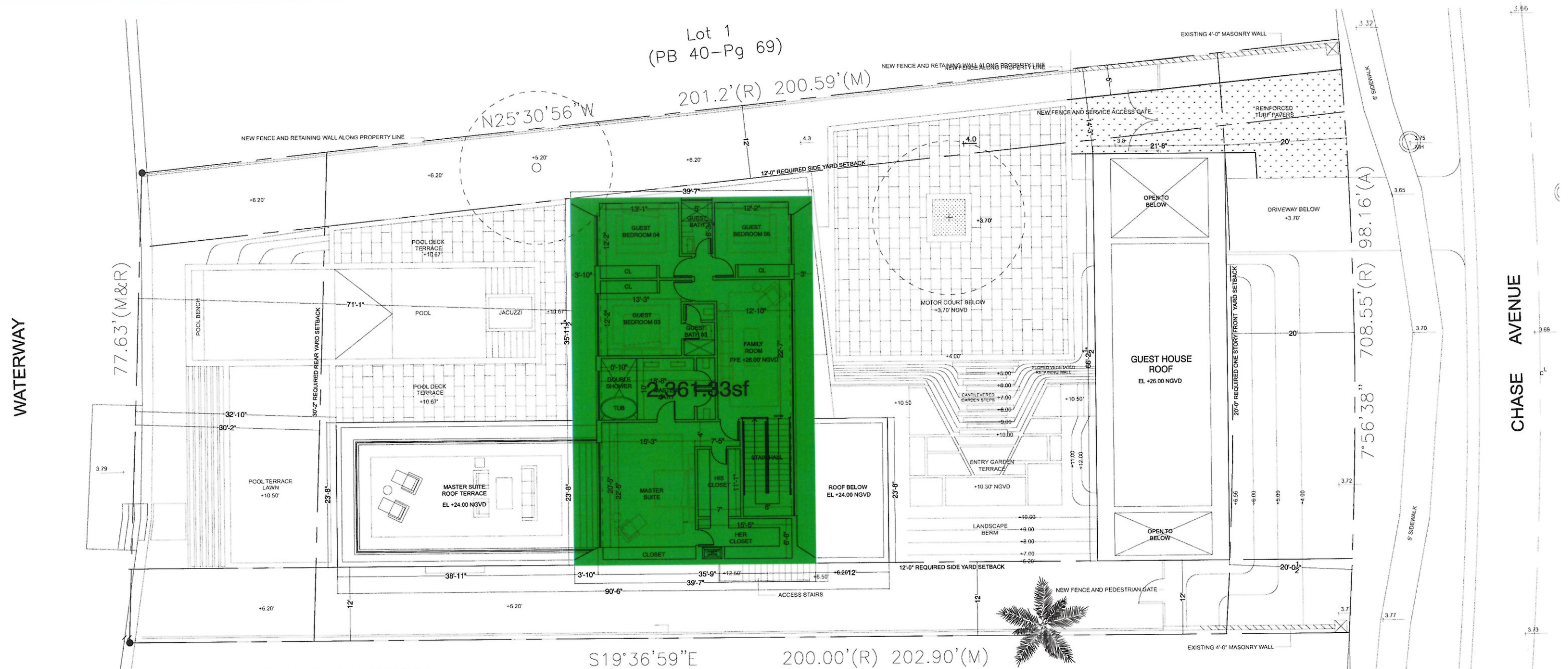
UNIT SIZE DIAGRAM
FIRST FLOOR PLAN

LOT SIZE	17,889sf
ALLOWED UNIT SIZE	8,944.50sf (50%)
PROPOSED UNIT SIZE:	
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FIRST FLOOR	4025.10sf
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ZONING DIAGRAM - UNIT SIZE



UNIT SIZE DIAGRAM

SECOND FLOOR PLAN

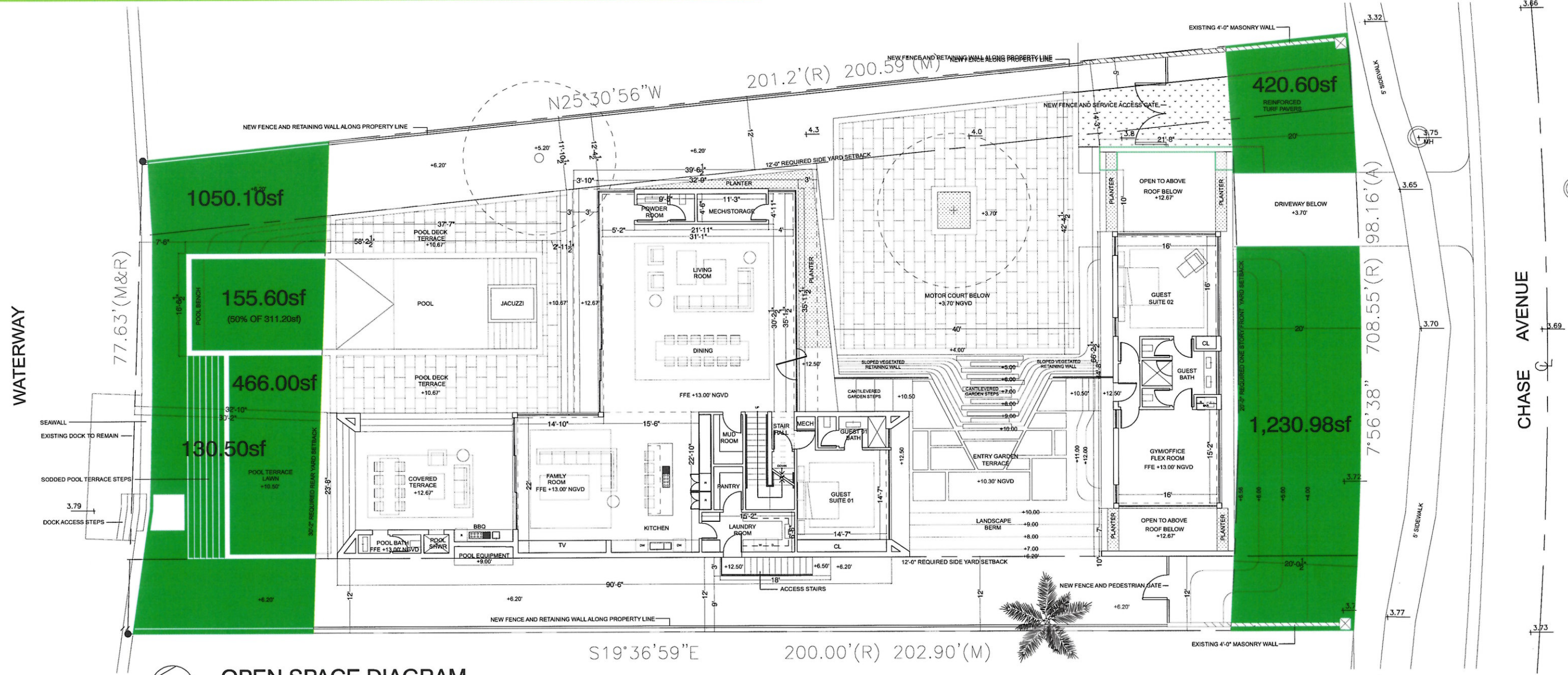
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A-2.3

ZONING DIAGRAM - OPEN SPACE



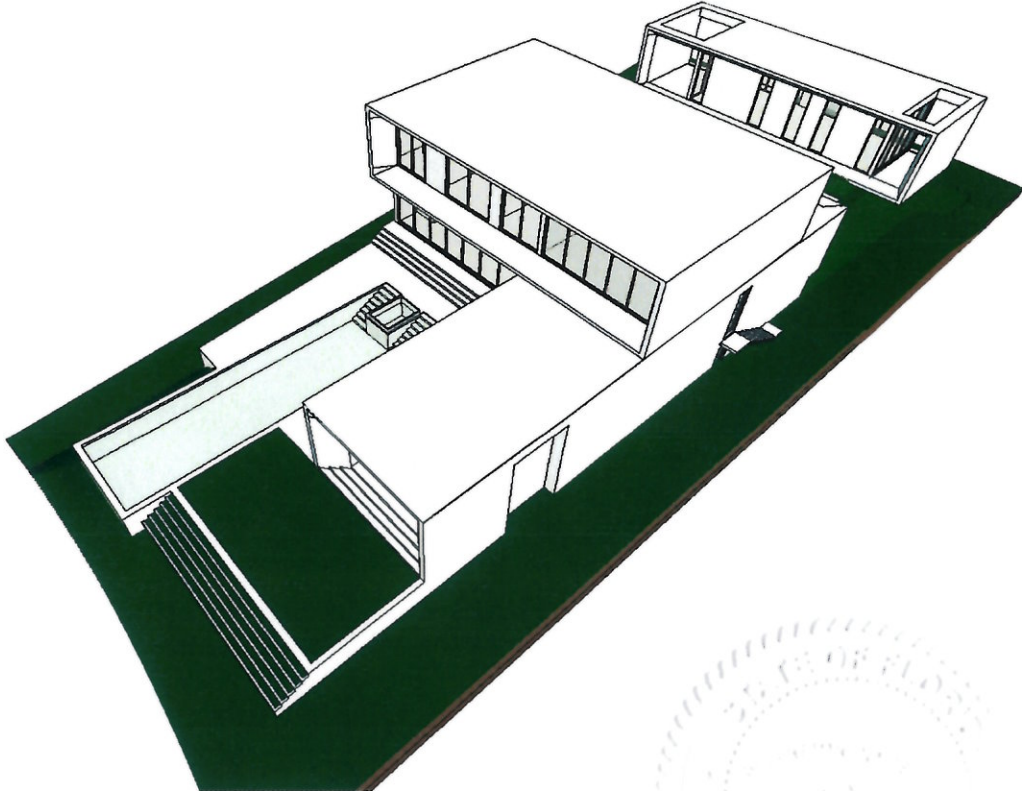
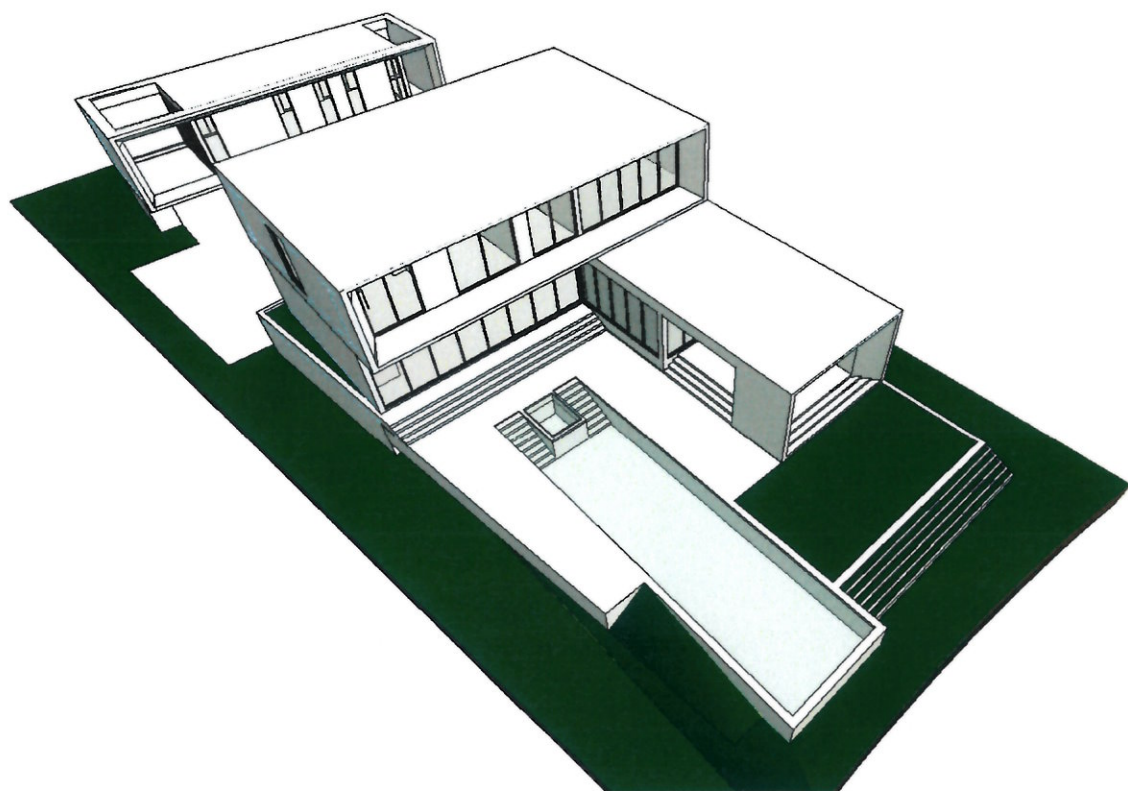
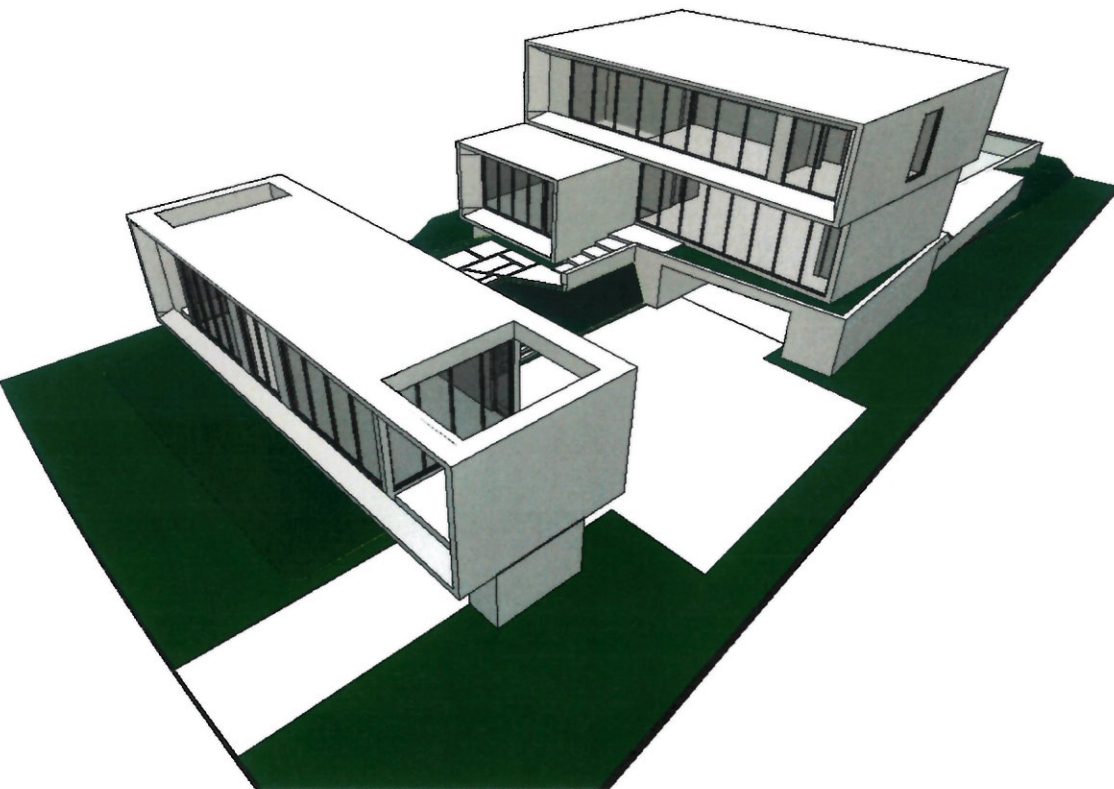
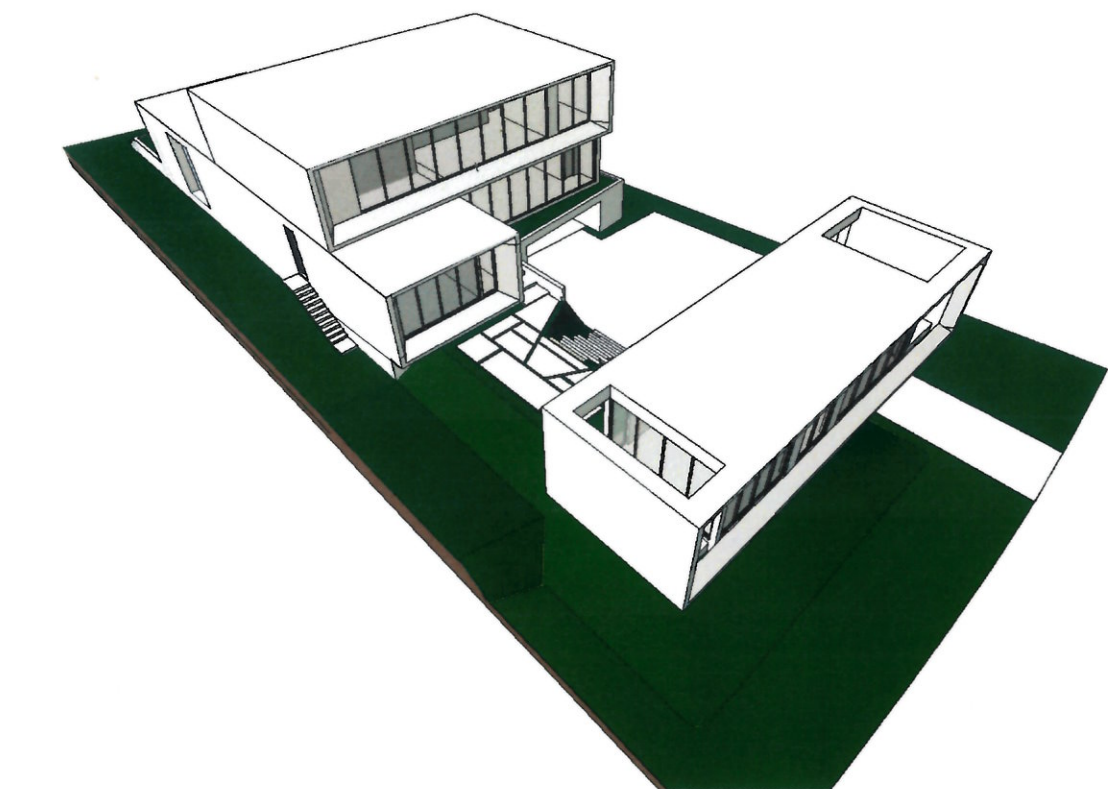
OPEN SPACE DIAGRAM
FRONT AND REAR YARDS

AREA OF REAR YARD	2,355.67sf
REQUIRED REAR YARD OPEN SPACE	1,648.97sf (70%)
PROPOSED REAR YARD OPEN SPACE	1,802.20sf (76.50%)

AREA OF FRONT YARD	1,953.56sf
REQUIRED FRONT YARD OPEN SPACE	976.78sf (50%)
PROPOSED FRONT YARD OPEN SPACE	1,651.58sf (84.54%)

Path
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ZONING DIAGRAM - AXONOMETRIC

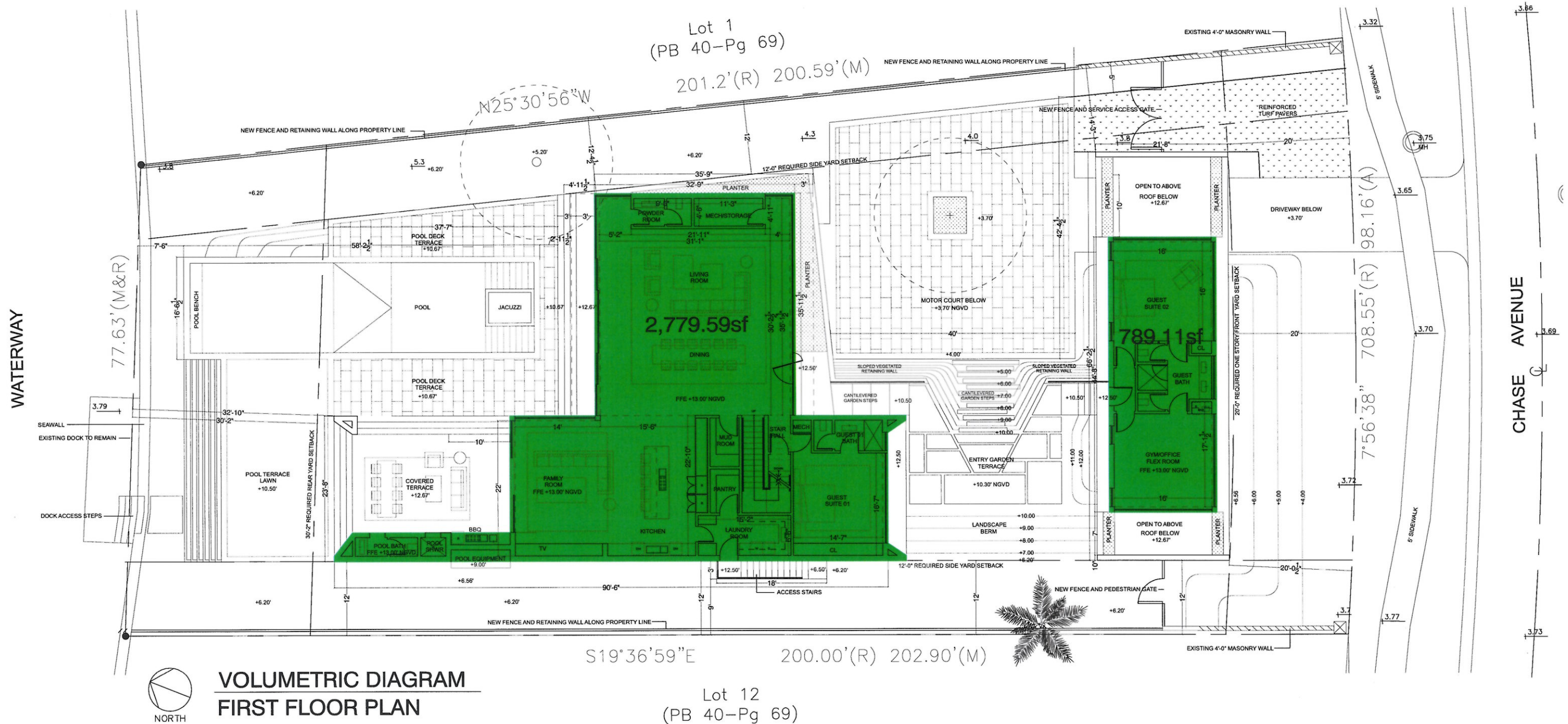


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Seal of the City of Miami
City of Miami
08/14/17

ZONING DIAGRAM - VOLUMETRIC DIAGRAM



VOLUMETRIC DIAGRAM

FIRST FLOOR PLAN

LOT SIZE 17,889sf

PROPOSED UNIT SIZE:
SECOND FLOOR 1,978.90sf
FIRST FLOOR 3,568.70sf

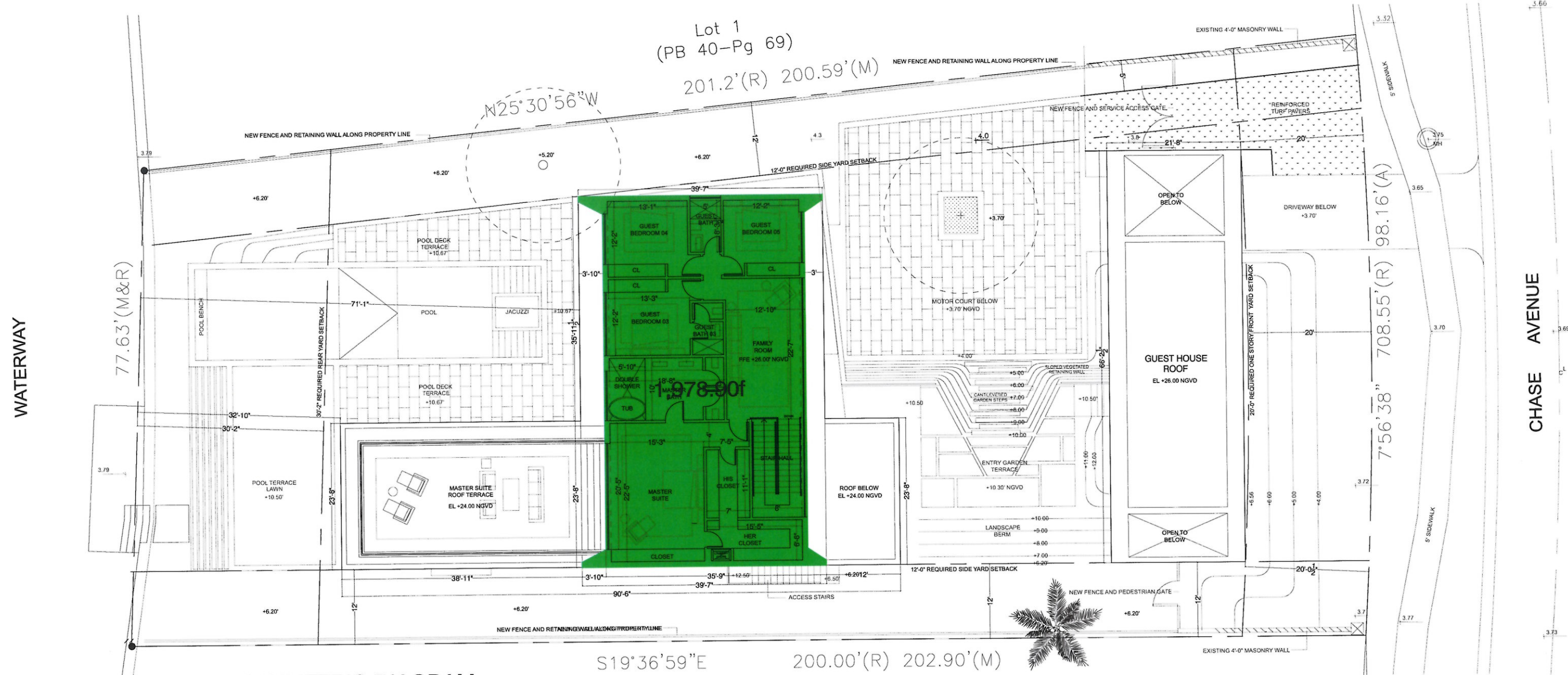
VOLUMETRIC RATIO	55.5%
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A-2.6

ZONING DIAGRAM - VOLUMETRIC DIAGRAM



VOLUMETRIC DIAGRAM
SECOND FLOOR PLAN

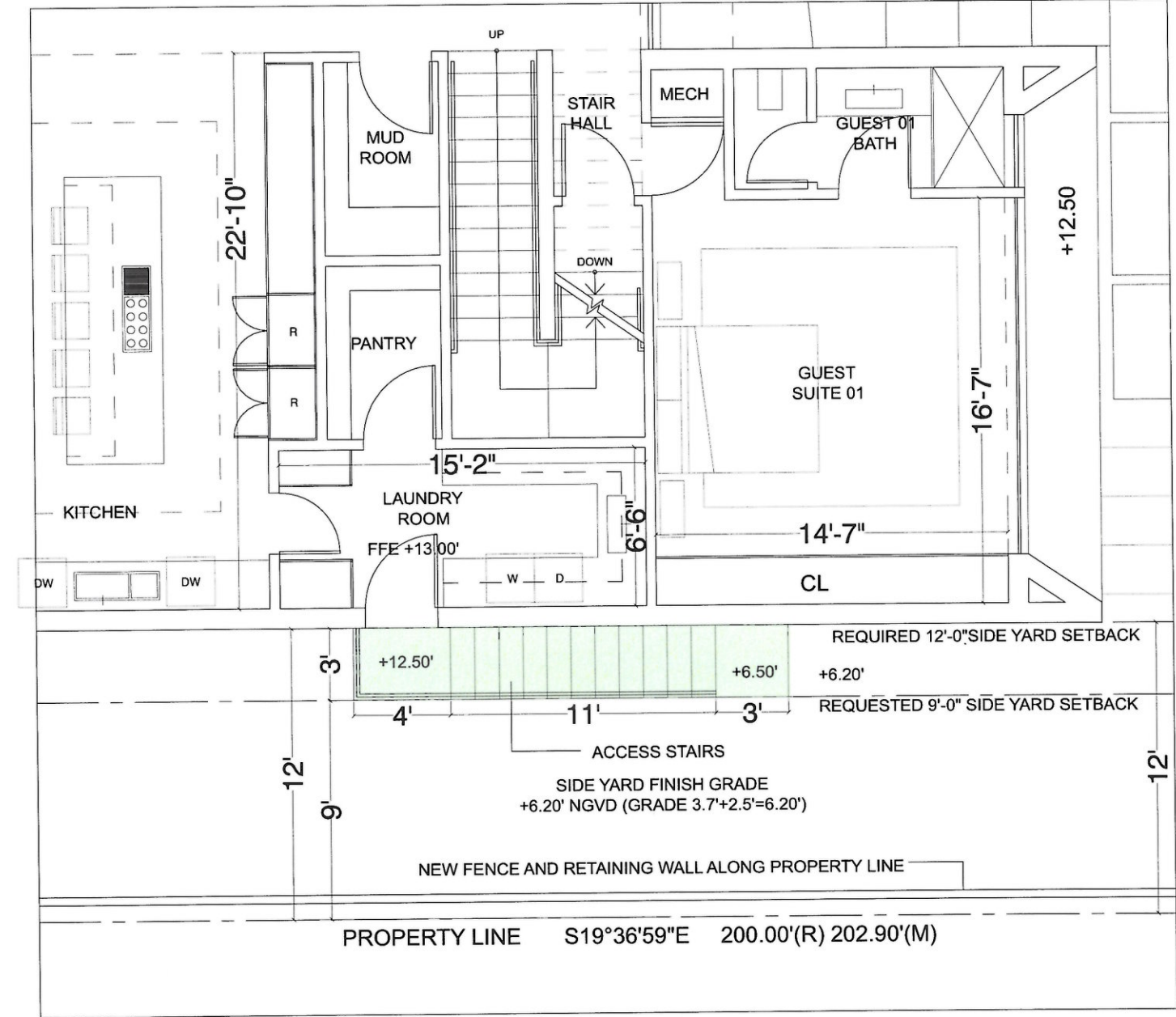
LOT SIZE 17,889sf

PROPOSED UNIT SIZE:
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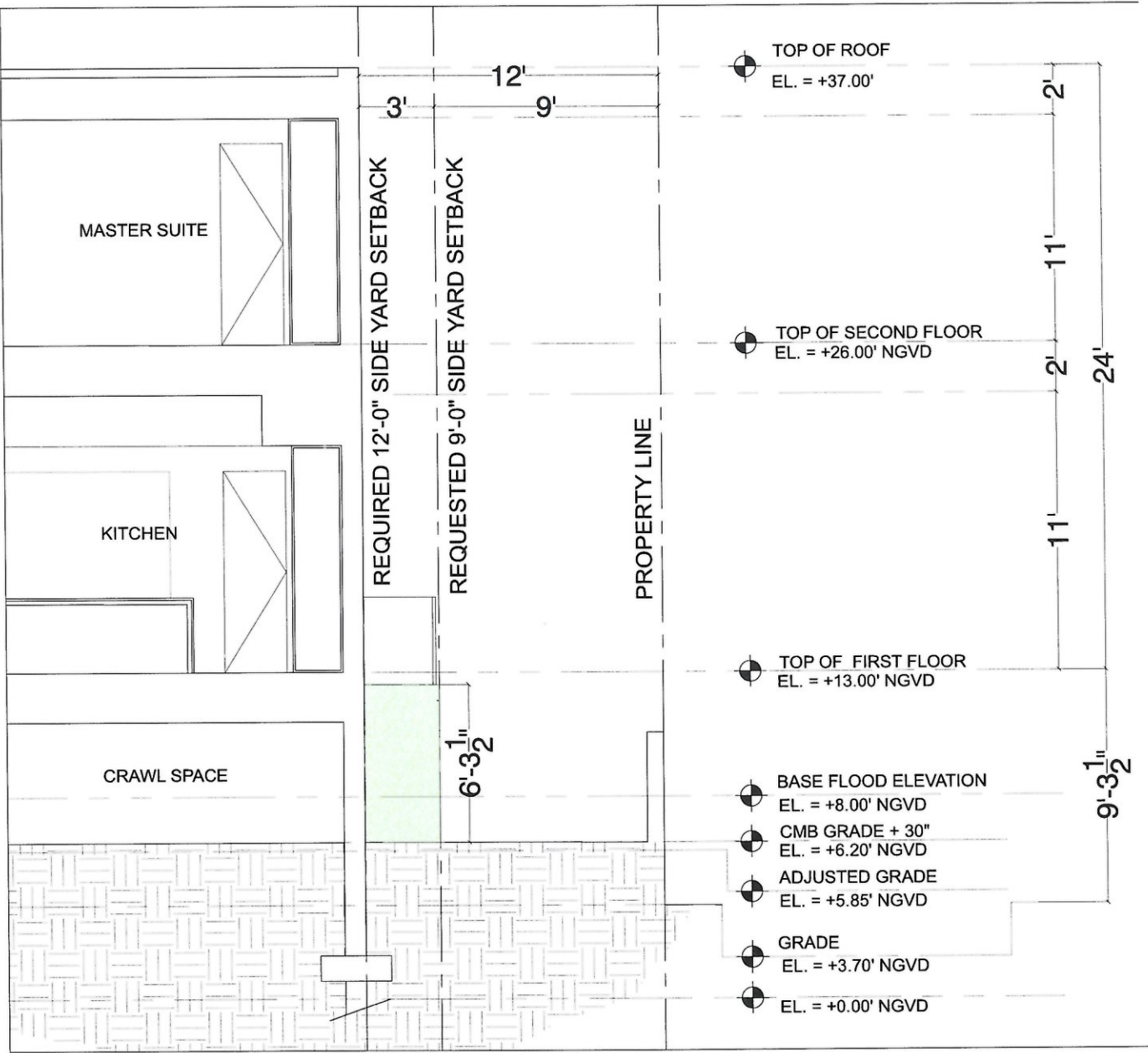
VOLUMETRIC RATIO 55.5%

Paul M.
08/14/17

ZONING DIAGRAM - VARIANCE DIAGRAMS



VARIANCE DIAGRAM- WEST SIDE YARD PLAN



VARIANCE DIAGRAM- WEST SIDE YARD SECTION

Patricia
08/14/17