



THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
CORAL GABLES, FLORIDA 33134

DNB
DESIGN GROUP

2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA 33134
MAIN: 305.444.5545
FAX: 305.444.5509

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DRB - FINAL SUBMITTAL - 08.03.2017

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MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:		6881 Indian Creek Drive	
2	Board and file numbers :			
3	Folio number(s):			
4	Year constructed:	1939	Zoning District:	TC-3
5	Based Flood Elevation:	8.0' (NGVD)	Grade value in NGVD:	5.27' (NGVD)
6	Adjusted grade (Flood+Grade/2):		Lot Area:	12,062 S.F.
7	Lot width:		Lot Depth:	
8	Minimum Unit Size	203 S.F.	Average Unit Size	248 S.F.
9	Existing use:	HOTEL	Proposed use:	HOTEL

		Maximum	Existing	Proposed	Deficiencies
10	Height	45'-0"	19'-0"	NOT ALTERED	
11	Number of Stories	4 STORIES	2 STORIES	NOT ALTERED	
12	FAR	15,077 s.f.	9,513 s.f.	9,830 s.f.	
13	Gross square footage				
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A	30 units	30 units	
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:	N/A			
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
	At Grade Parking:	N/A			
24	Front Setback:				
25	Side Setback:				
26	Side Setback:				
27	Side Setback facing street:				
28	Rear Setback:				
	Pedestal:				
29	Front Setback: INDIAN CREEK	15'-0'	4'-0" AT BUILDING	3" AT NEW STAIRS	14'-9"
30	Side Setback:Front Setback Byron ave.	15'-0'	4'-9" AT BUIDLING	3'-4" AT STAIR	11'-8"
31	Side Setback:				
32	Side Setback facing street: 69th STREET	10'-0"	5'-2" AT BUILDING	5'-3" AT BAR	4'-9"
33	Rear Setback:				
	Tower:	N/A			
34	Front Setback:				
35	Side Setback:				

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	N/A			
40	Total # of parking spaces				
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions				
44	Parking Space configuration (45o,60o,90o,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	racks				

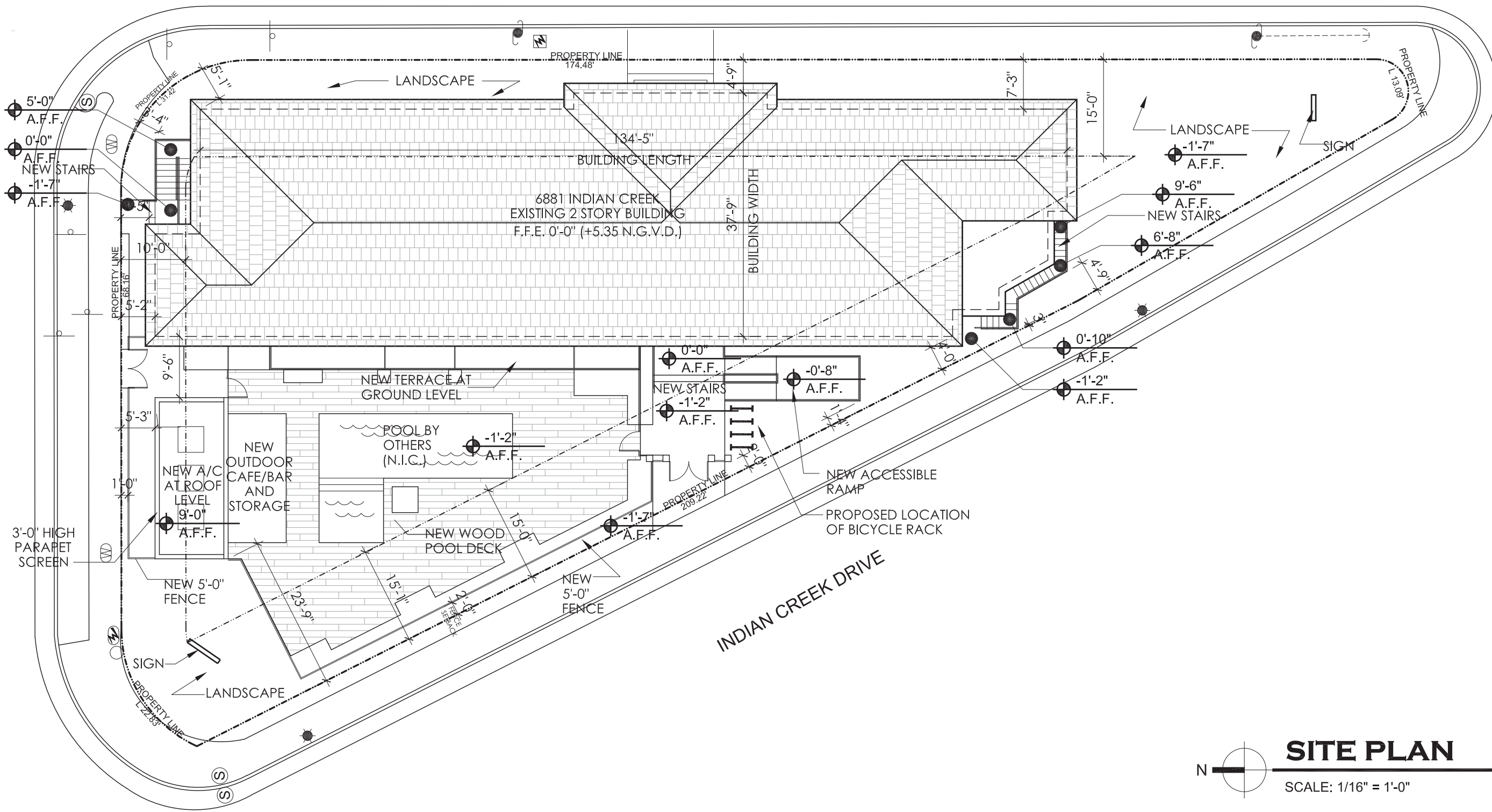
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	POOL BAR	N/A	POOL BAR	
52	Number of seats located outside on private property	40 SEATS	N/A	30 SEATS	
53	Number of seats inside	N/A	N/A	0 SEATS	
54	Total number of seats	40 SEATS	N/A	30 SEATS	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A		
56	Total occupant content	45	N/A	45	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A		

58	Proposed hours of operation	7:00 AM TO 12 MIDNIGHT			
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO			
61	Is this a contributing building?	YES Yes or No			
62	Located within a Local Historic District?	NO Yes or No			

Notes:
If not applicable write N/A
All other data information may be required and presented like the above format.

BYRON AVE.

69th STREET



SITE PLAN
SCALE: 1/16" = 1'-0"

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SITE PLAN C-3

SITE PLAN VARIANCE

SCALE: 1/16" = 1'-0"

ZONING VARIANCE

- A VARIANCE FROM THE MINIMUM UNIT SIZE FOR M... SF. PROVIDED: MINIMUM 203 SF.
- A VARIANCE FROM THE REQUIRED FRONT SETBACK... FACING BYRON AVENUE. PROVIDED: 3'-4", REQU...
- A VARIANCE FROM THE REQUIRED FRONT SETBACK... FACING INDIAN CREEK. PROVIDED: 3", REQUIRED...
- A VARIANCE FROM THE REQUIRED STREET SIDE SE... AND POOL BAR STRUCTURE FACING 69TH STREET... 10'-0".
- A VARIANCE FROM THE FRONT SETBACK FOR A M... BYRON AVENUE. PROVIDED: 5'-6", REQUIRED: 10'...
- A VARIANCE FROM THE FRONT SETBACK FOR A M... INDIAN CREEK. PROVIDED: 5'-9", REQUIRED: 10'-0...
- A VARIANCE TO EXCEED THE MAXIMUM 25% PRO... OVERHANGS FACING BYRON AVENUE AND INDIA...
- A VARIANCE FROM THE REQUIRED SETBACK FOR ... 4'-0", REQUIRED: 15'-0" (POOL DECK CANNOT BE ... YARD. THEREFORE, THE REQUIRED SETBACK IS THE...
- A VARIANCE TO ALLOW ENCROACHMENTS WITH... STREET. SEE SECTION 12-737(B)(G)(2). ENCROACH... VARIANCE FOR THE RAMP IS NOT NECESSARY, AS...

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

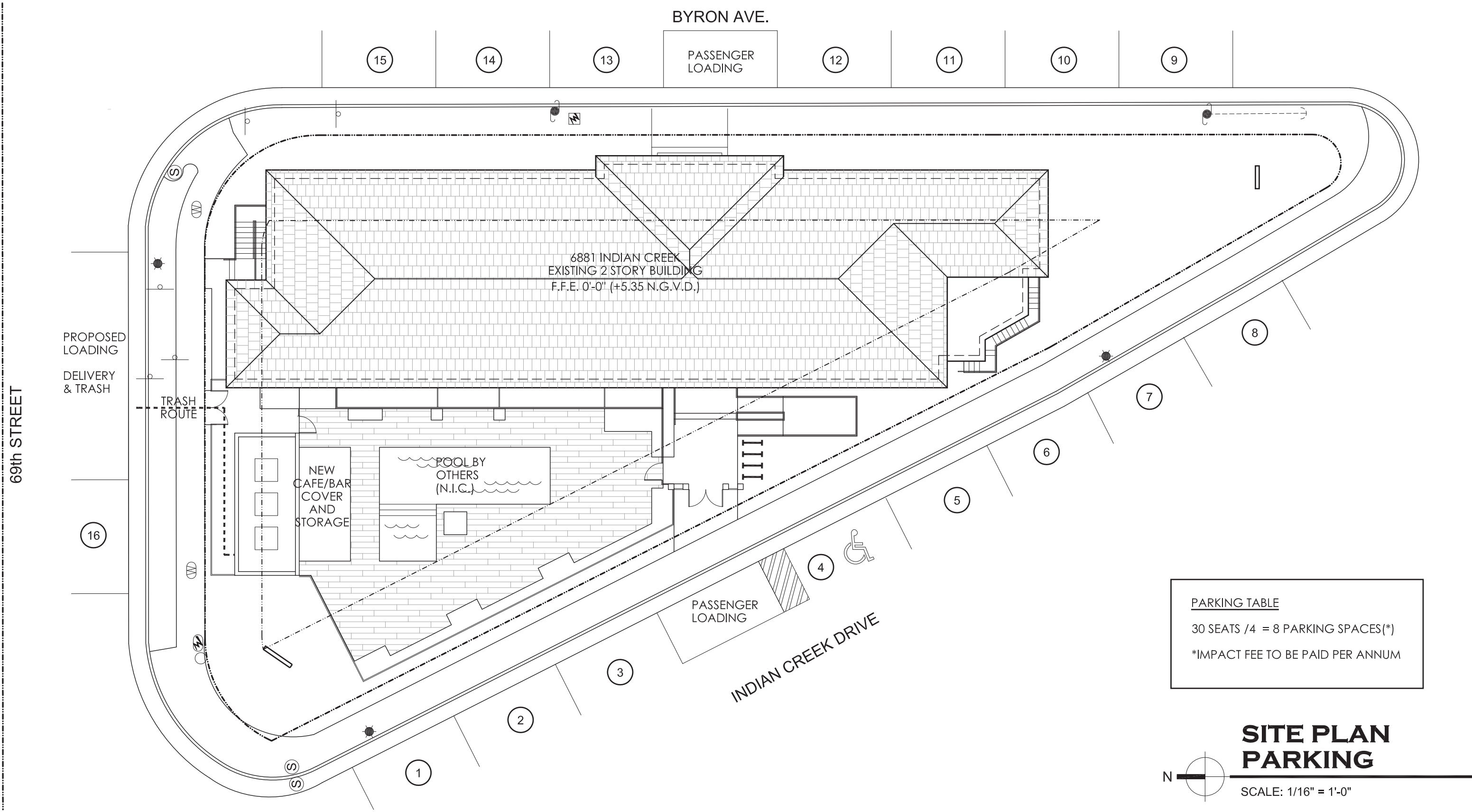
- A recycling or salvage plan for partial or total demolition shall be provided.
WILL BE PROVIDED DURING CONSTRUCTION DRAWINGS
- Windows that are proposed to be replaced shall be hurricane proof impact windows.
PROPOSED WINDOWS ARE IMPACT RESISTANT
- Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.
PROPOSED WINDOWS ARE OPERABLE WINDOWS
- Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.
PROPOSED LANDSCAPE PROVIDE WITH NATIVE PLANTS
- Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.
NOTED
- The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.
N/A. PROJECT IS RENOVATION OF AN EXISTING BUILDING
- Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
ALL MECHANICAL AND ELECTRICAL SYSTEMS WILL BE ABOVE FLOOD LEVEL
- Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.
NOT FEASIBLE FOR THIS PROJECT
- When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.

1. A VARIANCE FROM THE MINIMUM UNIT SIZE FOR HOTEL ROOM. REQUIRED: 300 SF. PROVIDED: MINIMUM 203 SF.
2. A VARIANCE FROM THE REQUIRED FRONT SETBACK FOR THE NEW STAIRS FACING BYRON AVENUE. PROVIDED: 3'-4", REQUIRED: 15'-0".
3. A VARIANCE FROM THE REQUIRED FRONT SETBACK FOR THE NEW STAIRS FACING INDIAN CREEK. PROVIDED: 3", REQUIRED: 15'-0".
4. A VARIANCE FROM THE REQUIRED STREET SIDE SETBACK FOR THE NEW STAIRS AND POOL BAR STRUCTURE FACING 69TH STREET. PROVIDED: 5'-2", REQUIRED: 10'-0".
5. A VARIANCE FROM THE FRONT SETBACK FOR A MONUMENT SIGN FACING BYRON AVENUE. PROVIDED: 5'-6", REQUIRED: 10'-0"
6. A VARIANCE FROM THE FRONT SETBACK FOR A MONUMENT SIGN FACING INDIAN CREEK. PROVIDED: 5'-9", REQUIRED: 10'-0".
7. A VARIANCE TO EXCEED THE MAXIMUM 25% PROJECTION FOR ROOF OVERHANGS FACING BYRON AVENUE AND INDIAN CREEK DRIVE.
8. A VARIANCE FROM THE REQUIRED SETBACK FOR A POOL DECK. PROVIDED: 4'-0", REQUIRED: 15'-0" (POOL DECK CANNOT BE LOCATED WITHIN THE FRONT YARD. THEREFORE, THE REQUIRED SETBACK IS THE BUILDING SETBACK.).
9. A VARIANCE TO ALLOW ENCROACHMENTS WITHIN THE FIRST 5'-0" FACING A STREET. SEE SECTION 12-737(B)(G)(2). ENCROACHMENTS. VARIANCE FOR THE RAMP IS NOT NECESSARY, AS IT IS CONSIDERED AS A MEANS OF ENTRANCE/WALKWAY AND DOES NOT EXCEED 30" ABOVE ADJUSTED GRADE.

- (1) A recycling or salvage plan for partial or total demolition shall be provided.
WILL BE PROVIDED DURING CONSTRUCTION DRAWINGS
- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.
PROPOSED WINDOWS ARE IMPACT RESISTANT
- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.
PROPOSED WINDOWS ARE OPERABLE WINDOWS
- (4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.
PROPOSED LANDSCAPE PROVIDE WITH NATIVE PLANTS
- (5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.
NOTED
- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.
N/A. PROJECT IS RENOVATION OF AN EXISTING BUILDING
- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
ALL MECHANICAL AND ELECTRICAL SYSTEMS WILL BE ABOVE FLOOD LEVEL
- (8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.
NOT FEASIBLE FOR THIS PROJECT
- (9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.
FLOOD PANELS WILL BE ADDED
- (10) Where feasible and appropriate, water retention systems shall be provided.
N/A

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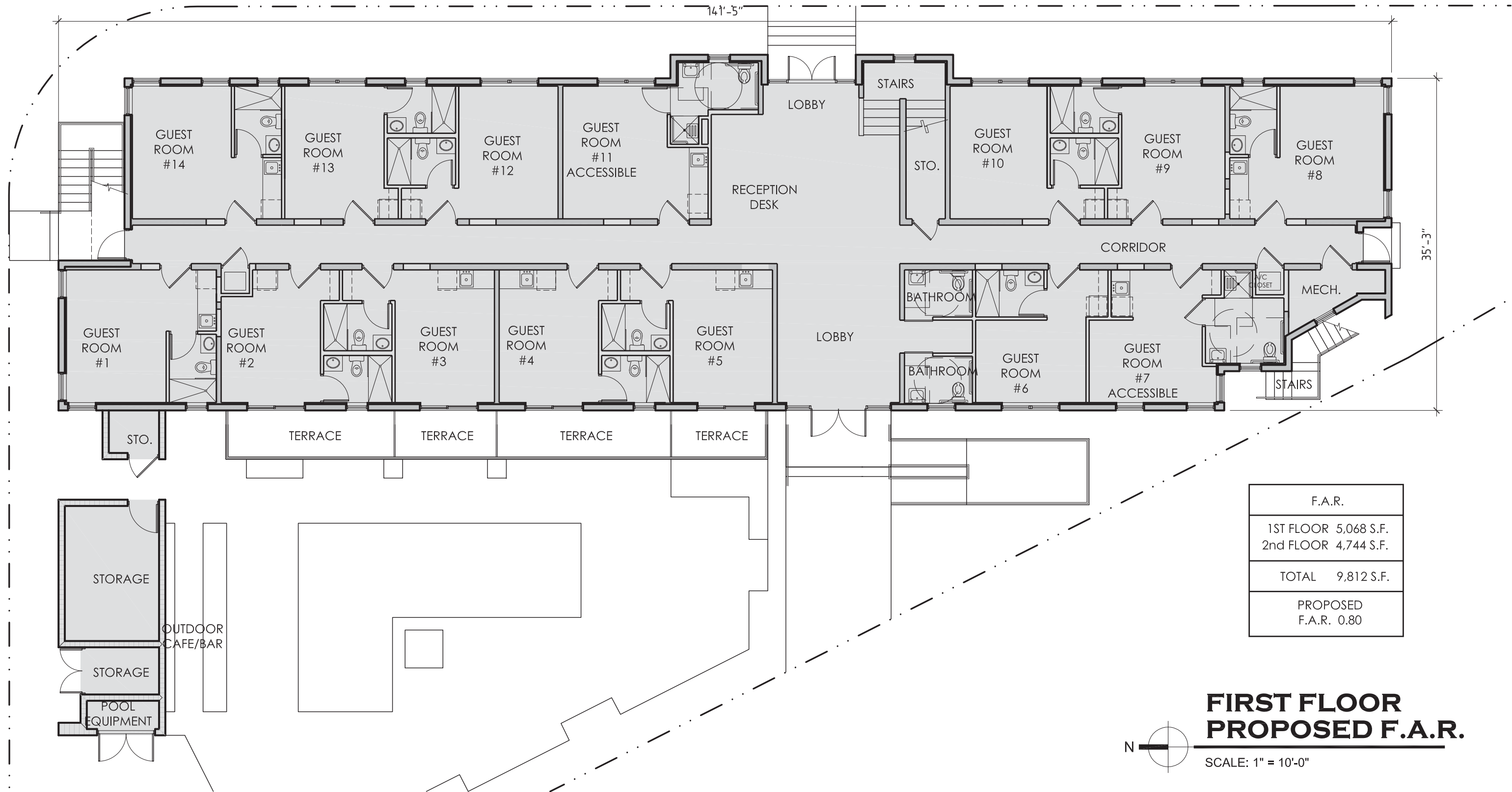
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PROPOSED PARKING C-5

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F.A.R.	
1ST FLOOR	5,068 S.F.
2nd FLOOR	4,744 S.F.
TOTAL	9,812 S.F.
PROPOSED F.A.R.	0.80



**FIRST FLOOR
PROPOSED F.A.R.**

SCALE: 1" = 10'-0"

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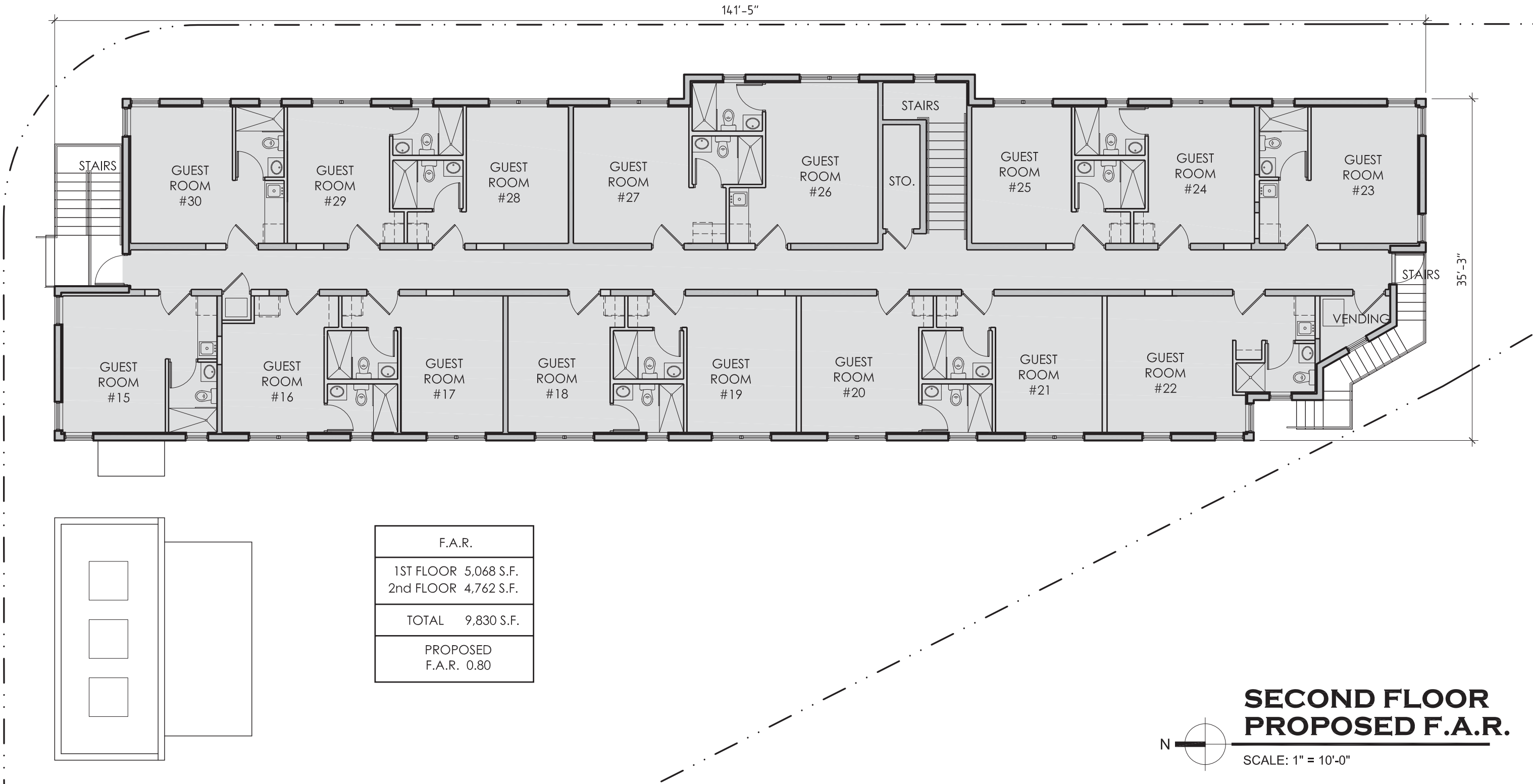
PROPOSED F.A.R. C-8

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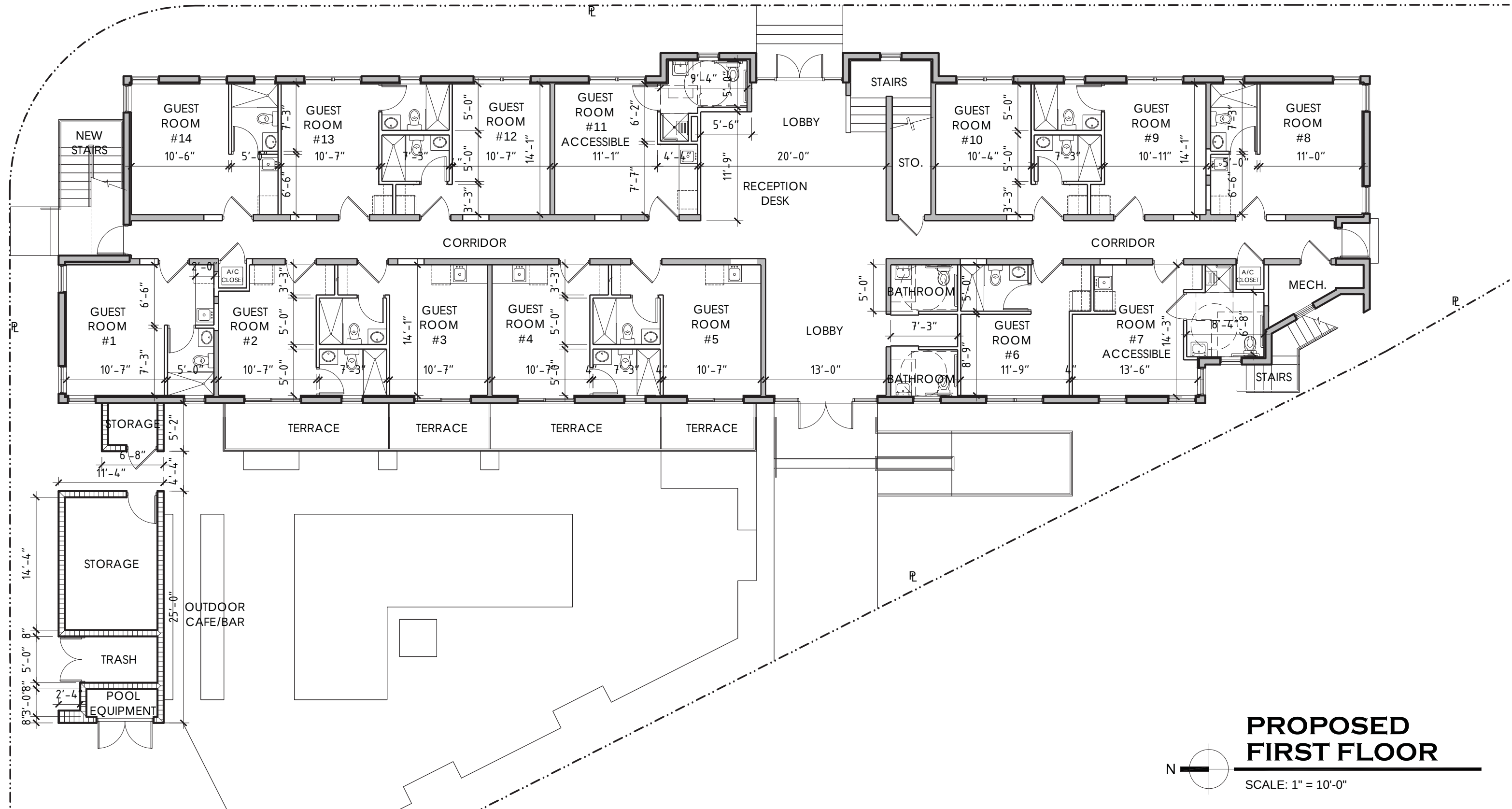
PROPOSED F.A.R. C-9

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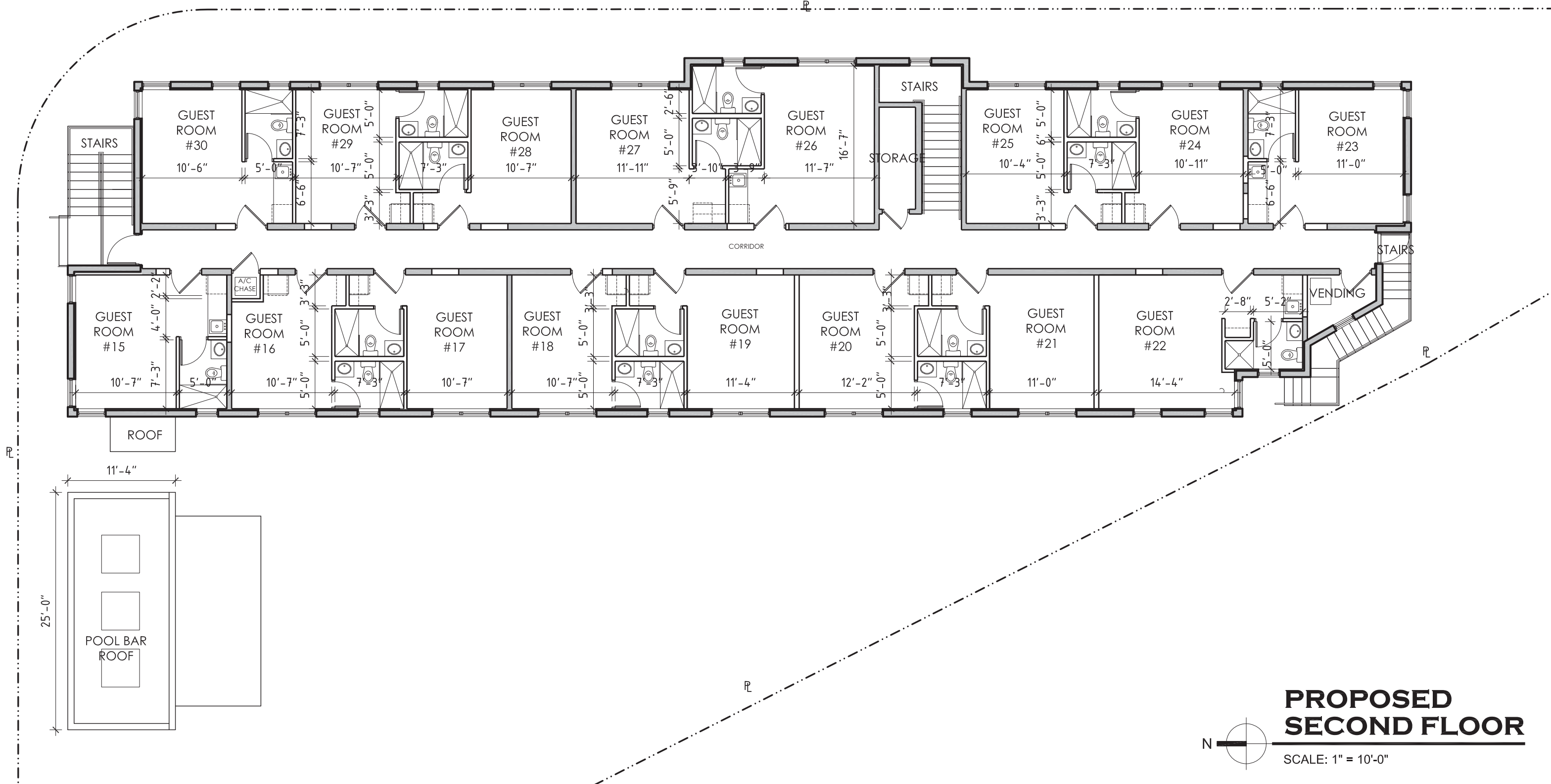
PROPOSED PLAN A-1

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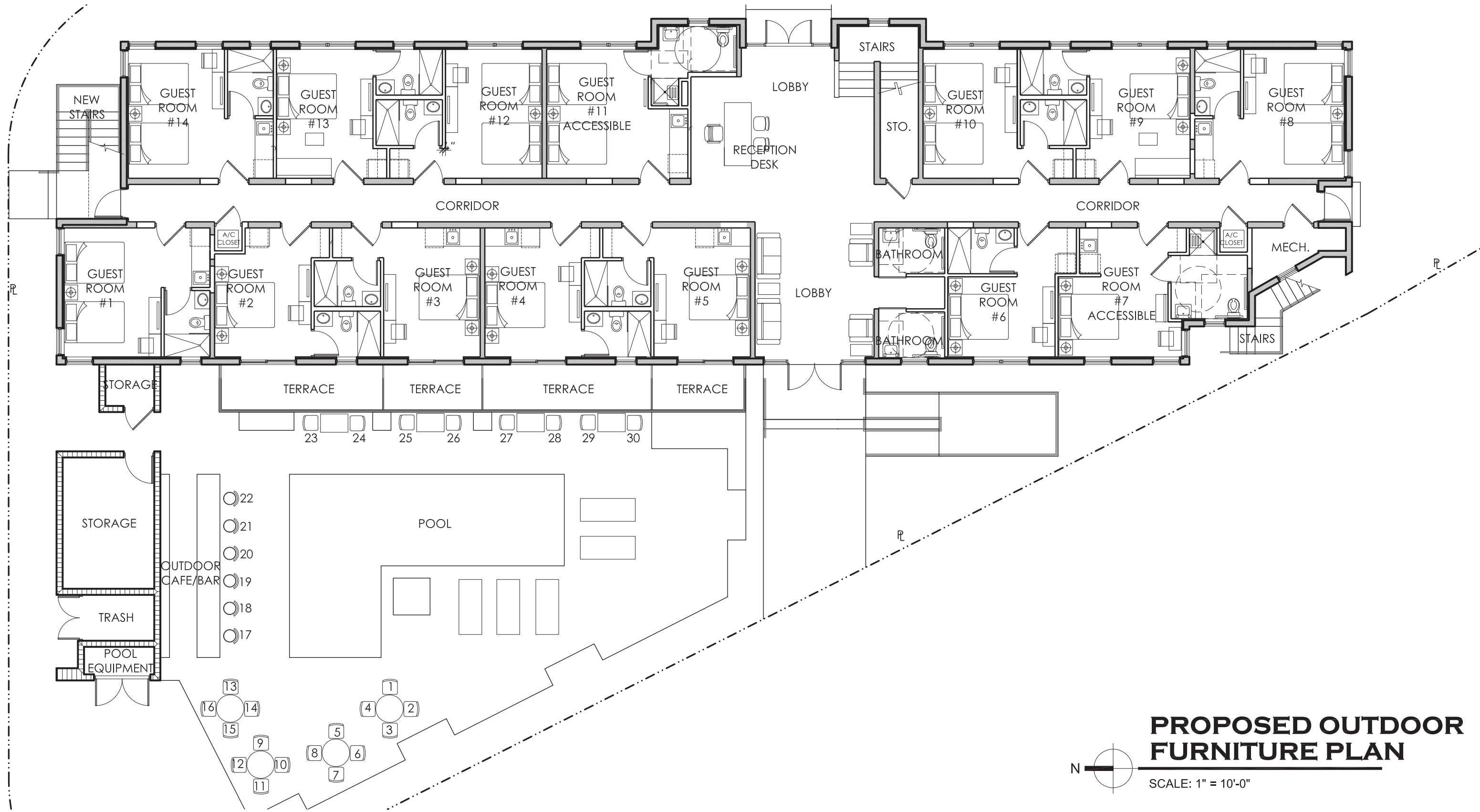
PROPOSED PLAN A-2

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PROPOSED OUTDOOR FURNITURE PLAN



SCALE: 1" = 10'-0"

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PROPOSED FURNITURE PLAN A-3

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ELEVATION LEGEND

- | | | | |
|---|--|----|-------------------------------|
| 1 | NEW IMPACT RESISTANT WINDOWS | 7 | NEW CONCRETE STAIRS |
| 2 | NEW HOLLOW METAL DOOR | 8 | NEW METAL RAILING |
| 3 | NEW IMPACT RESISTANT DOOR
STOREFRONT | 9 | NEW CONCRETE RAMP |
| 4 | NEW SLIDING GLASS DOOR | 10 | NEW CONCRETE BALCONY |
| 5 | NEW FLAT TILE ROOFING | 11 | REPAIR EXISTING STUCCO DETAIL |
| 6 | PAINT ENTIRE BUILDING (WHITE) PATCH
STUCCO AS NECESSARY | | |

PROPOSED EAST ELEVATION

SCALE: 1" = 10'-0"

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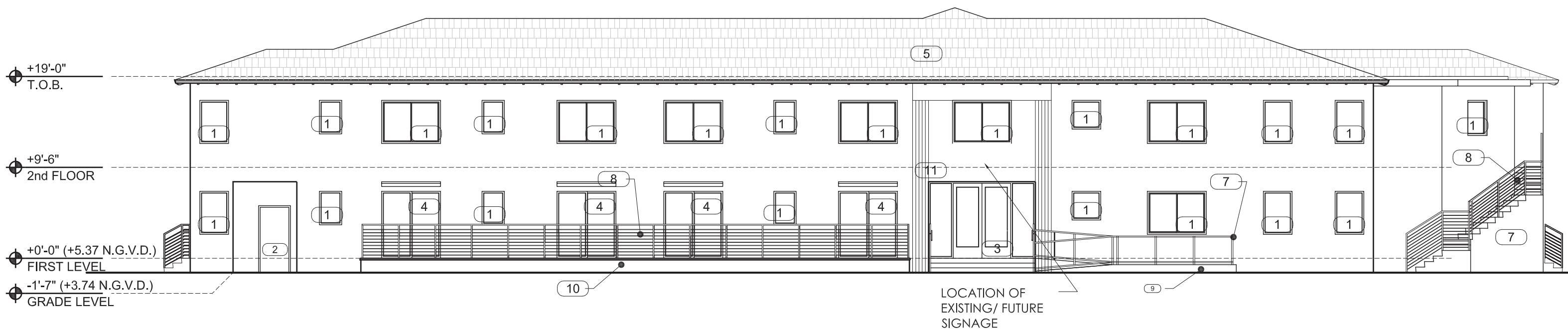
EXTERIOR ELEVATIONS A-4

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ELEVATION LEGEND

- | | |
|---|----------------------------------|
| 1 NEW IMPACT RESISTANT WINDOWS | 7 NEW CONCRETE STAIRS |
| 2 NEW HOLLOW METAL DOOR | 8 NEW METAL RAILING |
| 3 NEW IMPACT RESISTANT DOOR STOREFRONT | 9 NEW CONCRETE RAMP |
| 4 NEW SLIDING GLASS DOOR | 10 NEW CONCRETE BALCONY |
| 5 NEW FLAT TILE ROOFING | 11 REPAIR EXISTING STUCCO DETAIL |
| 6 PAINT ENTIRE BUILDING (WHITE) PATCH STUCCO AS NECESSARY | |

PROPOSED WEST ELEVATION

SCALE: 1" = 10'-0"

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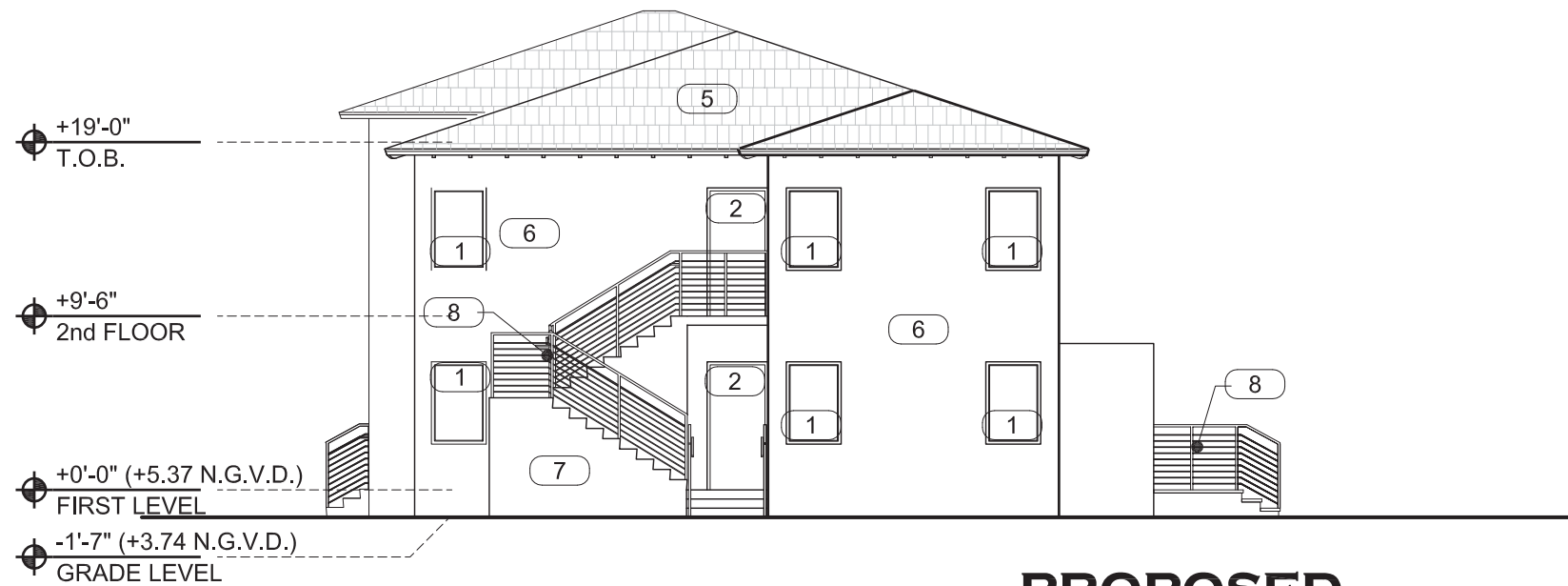
EXTERIOR ELEVATIONS A-5

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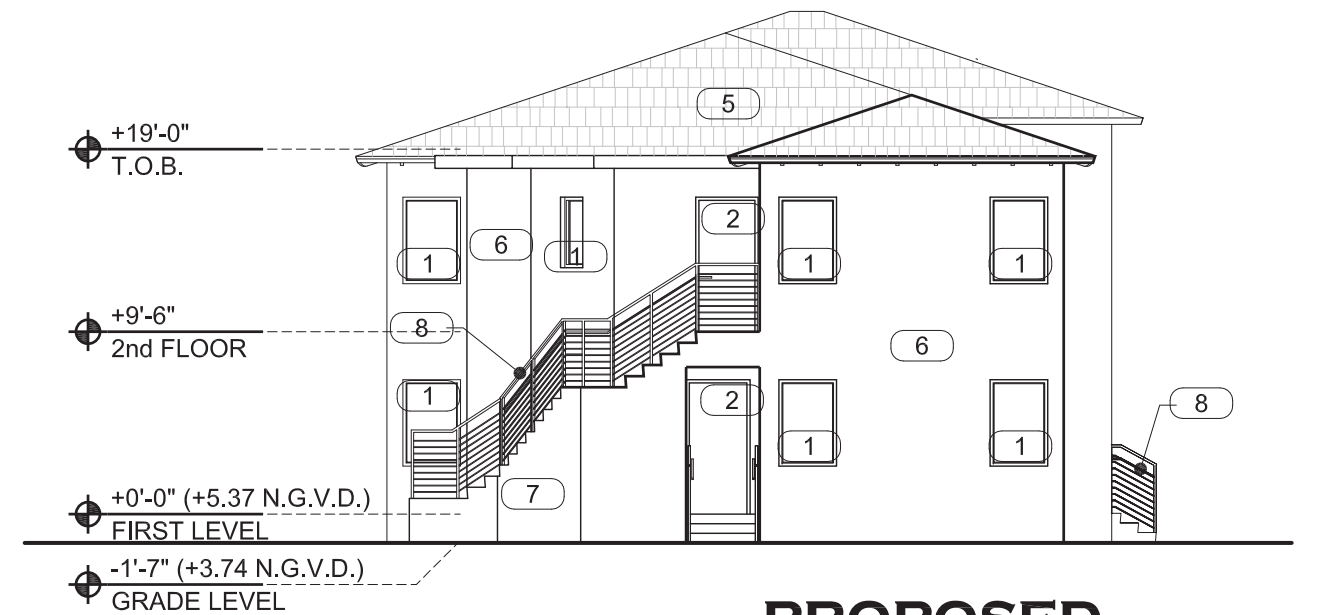


PROPOSED NORTH ELEVATION

SCALE: 1" = 10'-0"

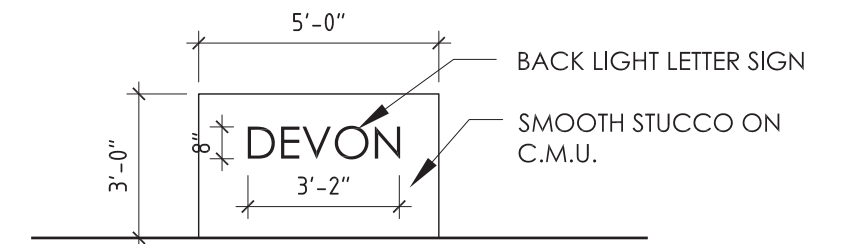
ELEVATION LEGEND

- | | |
|---|----------------------------------|
| 1 NEW IMPACT RESISTANT WINDOWS | 7 NEW CONCRETE STAIRS |
| 2 NEW HOLLOW METAL DOOR | 8 NEW METAL RAILING |
| 3 NEW IMPACT RESISTANT DOOR STOREFRONT | 9 NEW CONCRETE RAMP |
| 4 NEW SLIDING GLASS DOOR | 10 NEW CONCRETE TERRACE |
| 5 NEW FLAT CONC. TILE ROOFING | 11 REPAIR EXISTING STUCCO DETAIL |
| 6 PAINT ENTIRE BUILDING (WHITE) PATCH STUCCO AS NECESSARY | |



PROPOSED SOUTH ELEVATION

SCALE: 1" = 10'-0"



PROPOSED SIGN

SCALE: 1/4" = 1'-0"

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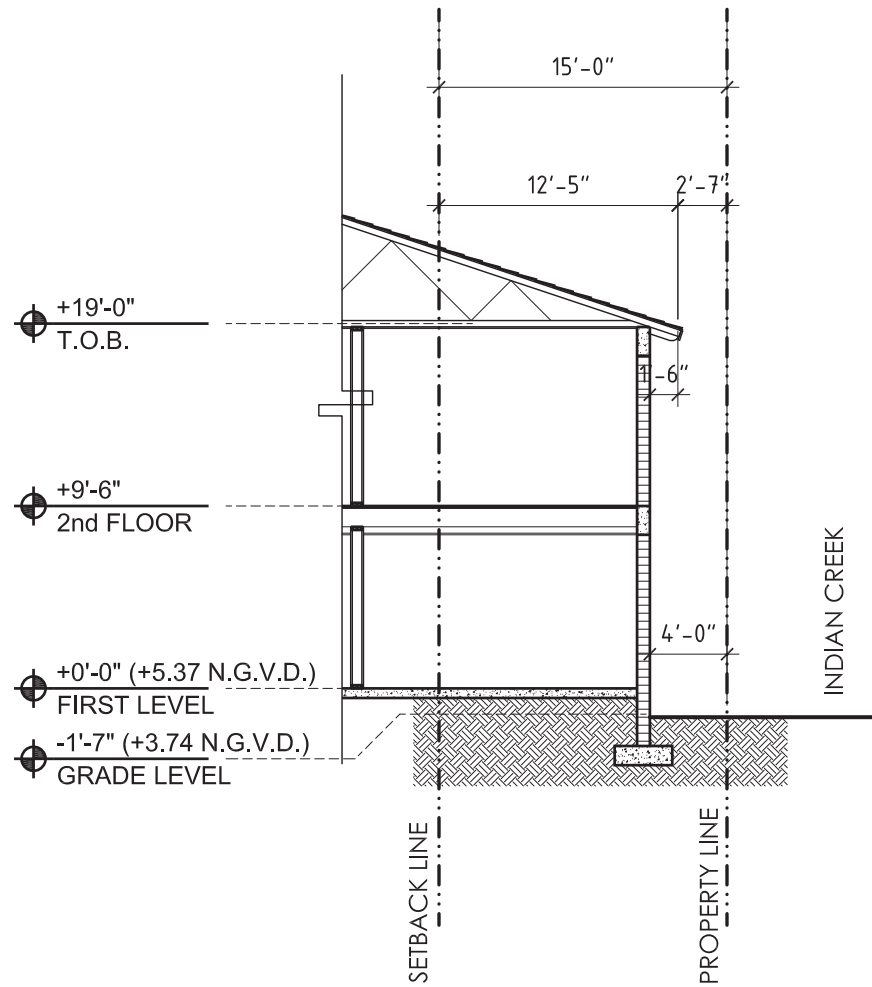
EXTERIOR ELEVATIONS A-6

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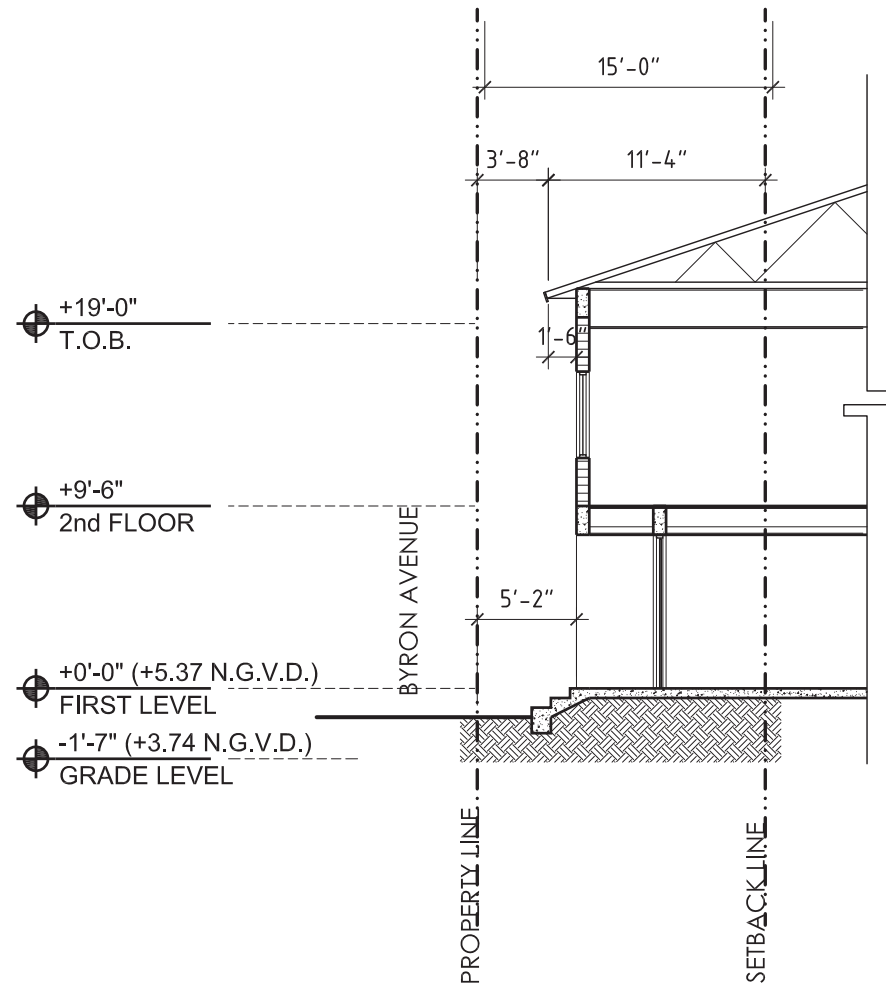
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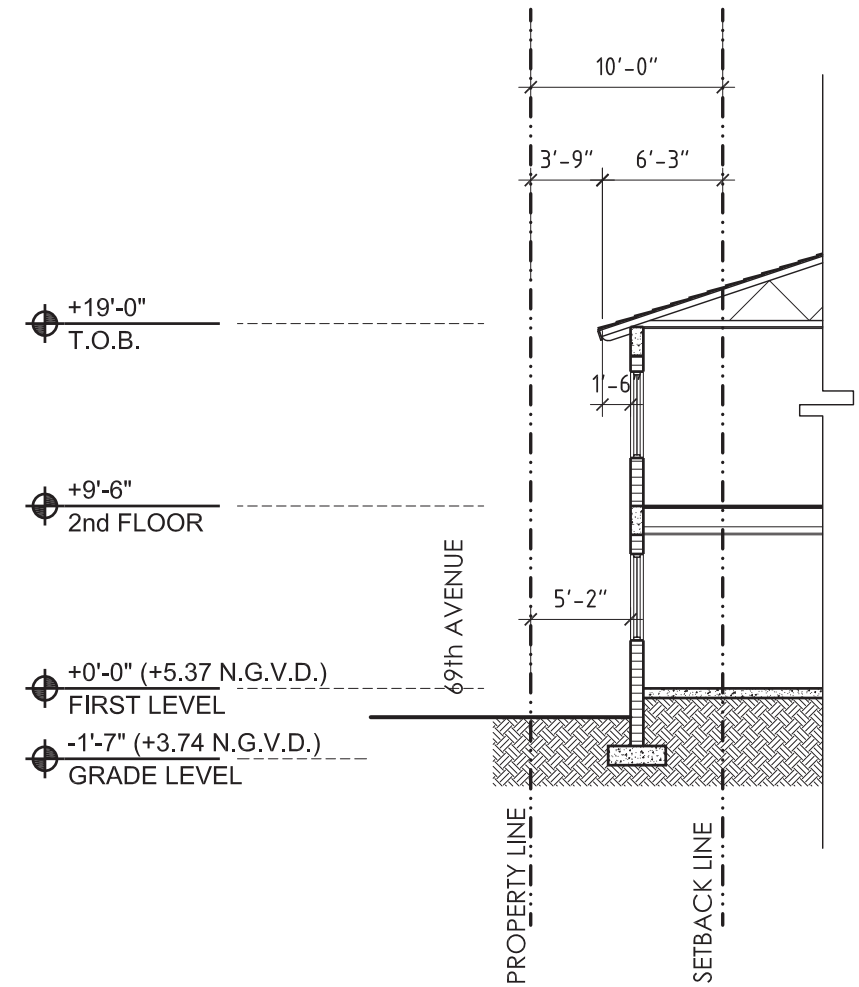
SECTION A-A

SCALE: 1" = 10'-0"



SECTION B-B

SCALE: 1" = 10'-0"



SECTION C-C

SCALE: 1" = 10'-0"

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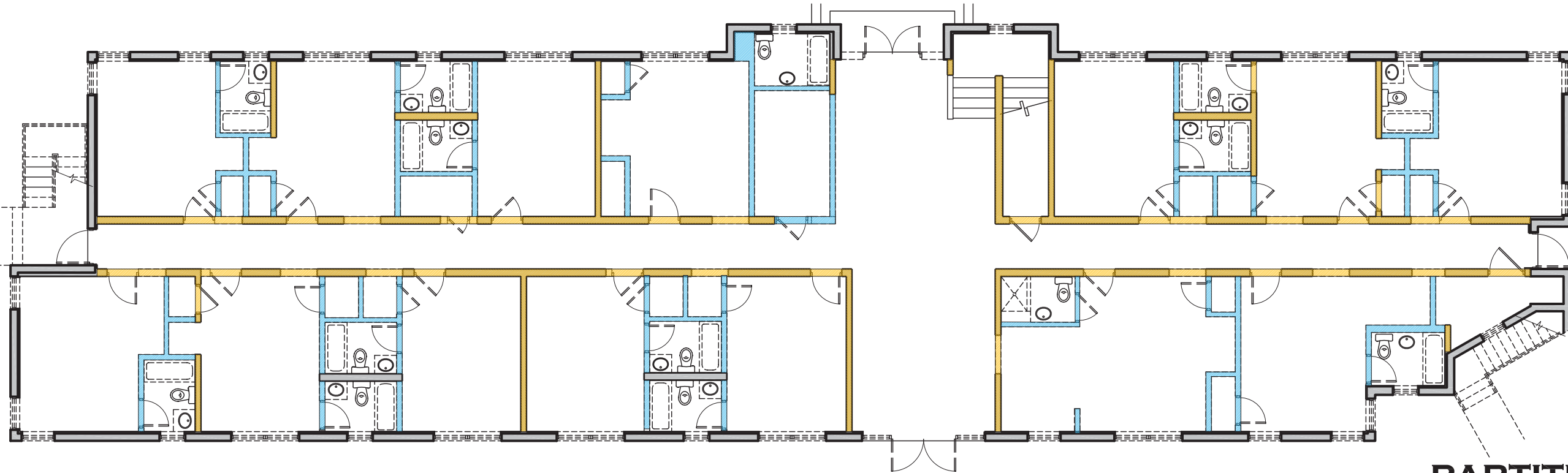
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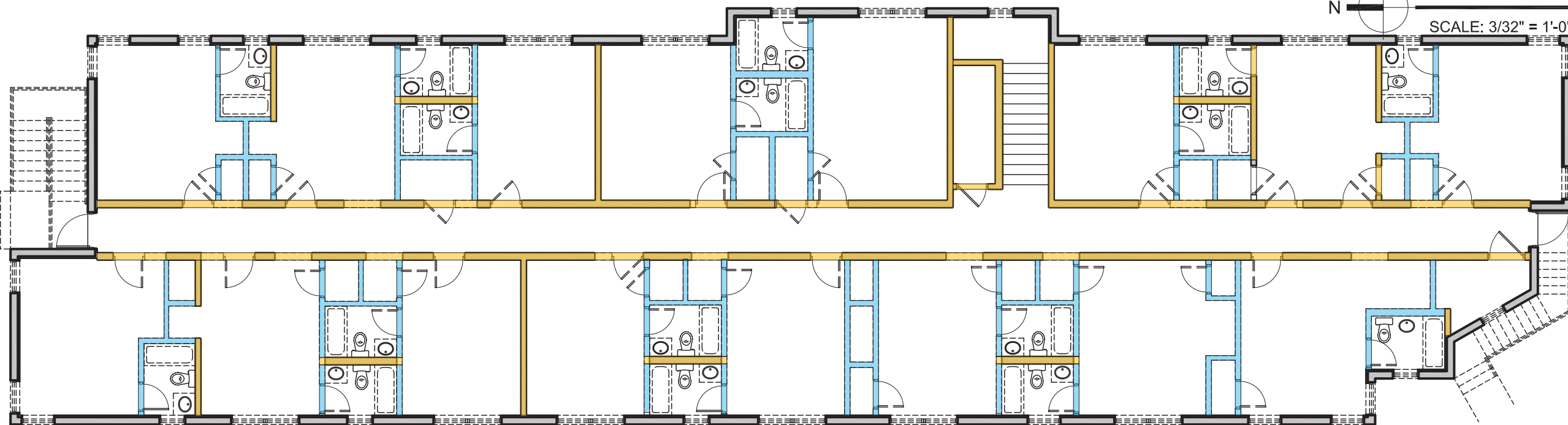
SECTIONS A-7



— EXIST WALL/PARTITION
TO BE REMOVED 320 LINER FEET

— EXIST WALL/PARTITION
TO REMAIN 372 LINER FEET

PARTITION WALL CALCULATION 1ST FLOOR



— EXIST WALL/PARTITION
TO BE REMOVED 340 LINER FEET

— EXIST WALL/PARTITION
TO REMAIN 377 LINER FEET

PARTITION WALL CALCULATION 2ND FLOOR

THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

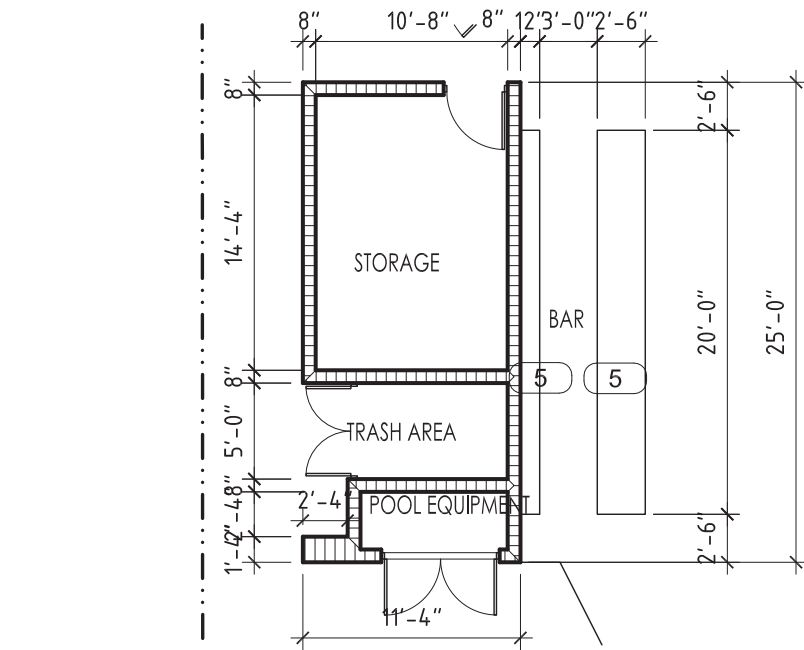
PARTITION DIAGRAM A-8

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
CORAL GABLES, FLORIDA 33134

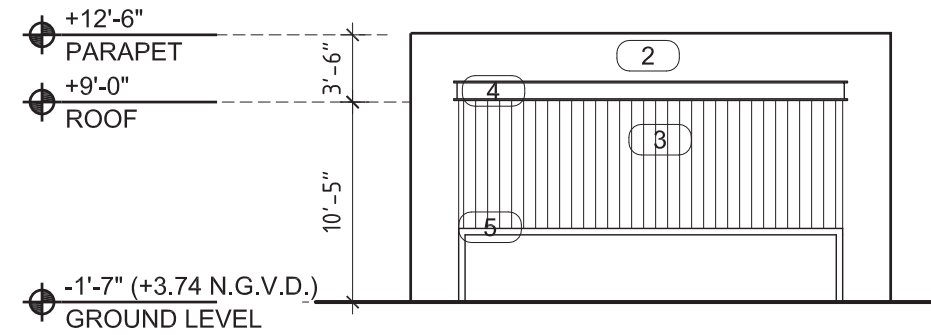
DNB
DESIGN GROUP

2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA 33134
MAIN: 305.444.5545
FAX: 305.444.5509



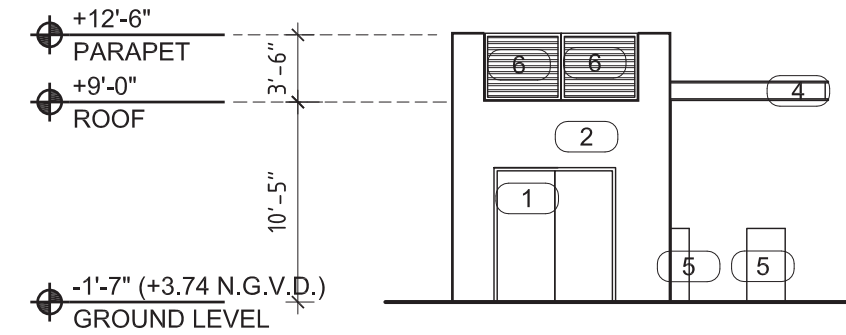
PROPOSED OUTDOOR CAFE/ BAR PLAN

SCALE: 1" = 10'-0"



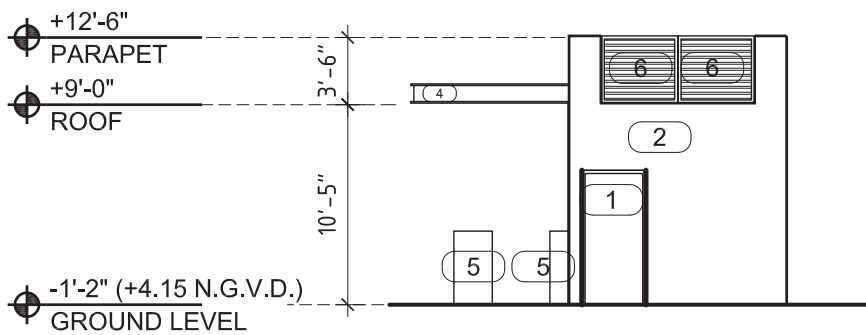
PROPOSED SOUTH ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



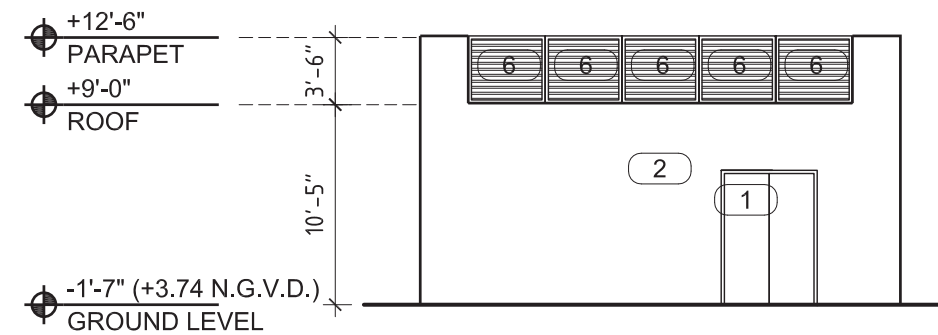
PROPOSED WEST ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



PROPOSED EAST ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



PROPOSED NORTH ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"

ELEVATION LEGEND

- | | |
|-------------------------------------|-------------------------|
| 1 NEW HOLLOW METAL DOOR | 4 NEW METAL TRIM |
| 2 NEW STUCCO FINISH AND WHITE PAINT | 5 NEW STONE SLAB AT BAR |
| 3 NEW STUCCO REVEAL | 6 ALUMINUM LOUVER |

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BAR ELEVATIONS & DETAILS A-9

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RENDERINGS A-10

LANDSCAPE ARCHITECT
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RENDERINGS A-11

LANDSCAPE ARCHITECT
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