

SKETCH OF TOPOGRAPHIC BOUNDARY SURVEY

SURVEYOR'S NOTES:

All distances as shown are based on the US Survey foot.

The property described on this Sketch of "TOPOGRAPHIC BOUNDARY SURVEY" is the same property as described in Exhibit "A" In Title Insurance Commitment Agent's File # TV-MAN-16-326, File No.: 16057614, with an effective date of April 20th, 2017 at 8:00 AM, Issued by Old Republic National Title Insurance Company.

The National Flood Insurance Rate Map for Florida, Community Panel No. 120651 (City of Miami Beach) 12086 C, 0326 L, FIRM Date 09/11/2009 and Revised with an effective date of 09/11/2009, published by the United States Department of Housing and Urban Development, delineates the herein described parcel of land to be situated within the Special Flood Hazard Area designated by the Federal Emergency Management Agency (FEMA). Subject property lies within Flood Hazard Zone "AE", Base Flood Elevation 8 feet. The Base Flood Elevation (AE 8') refers to the NGVD Datum 1929.

All elevations as shown on this survey drawing are referred to the National Geodetic Vertical Datum, 1929 (NGVD).

Elevations shown hereon are referred to the National Geodetic Vertical Datum, 1929 (NGVD). Elevations are based on Miami-Dade County Benchmark L-313-R the same being a USC & G brass disc in top of North end of East abutment of bridge over Indian Creek along 71st Street. Elevation 11.73 feet (NGVD) 1929 Datum.

Elevations shown hereon are referred to the National Geodetic Vertical Datum, 1929 (NGVD). Elevations are based on Miami-Dade County Benchmark M-313 the same being a USC & G brass disc in the SW corner of a sewer pump station, BM is 32' East of curb along Rue Vendome and 51' South of south curb of Normandy Drive. Elevation 4.48 feet (NGVD) 1929 Datum.

The total area of the surveyed parcels, Parcels 1 and 2 combined as described and shown herein contains 12,062.12 square feet more or less (0.276) acres more or less.

Although care was taken with the identification of the tree noted hereon, an arborist, landscape architect, botanist, environmental specialist or others with advanced education in dendrology should be utilized if critical identification of the tree is required. Shrubs and vines has not been located.

Survey done by occupation, physical evidence, the recovery of existing property corners, field measurements, calculations, adjacent plats and legal description provided to the surveyor and also from the Miami-Dade County Public Records/ Property Appraiser Office and no claims as to ownership are made or implied.

Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description as it appears on this drawing. Although no formal dedications for the roadways located within the Subject Property was determined, there may be an underlying prescriptive right to the constructed roadways.

In some instances graphic representations have been exaggerated to more clearly illustrate the relationship between physical improvements and/or lot lines. In all cases dimensions shall control the location of the improvements over scaled positions.

The dimensions and directions shown hereon are in substantial agreement with record and calculated values unless otherwise noted.

A comparison between record and measured dimensions are delineated hereon. All dimensions are based directly on the recovered monumentation, unless otherwise noted.

Obstructed corners are witnessed by Improvements.

There is no visible evidence of any kind of any earth moving or building construction within recent months. Nor is there any observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.

There is no observable evidence that any portion of site lies within a wetland area, nor was there any evidence provided to the surveyor that the site was delineated as a wetland area by the proper authorities.

Property is subject to restrictions, conditions, limitations, easements, and reservations of record and existing zoning ordinances.

There may be restrictions not shown on this survey that may affect the future development of this property. Such restrictions might be found in the Public Records or Building and Zoning Department of the City of Miami Beach, and Miami-Dade County, Florida.

Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership are made or implied.

Legal description subject to any dedications, limitations, reservations or easements of records; search of the Public Records not performed by this office. Code Restrictions not reflected on this survey.

Setback requirements vary within the Use District based on but not limited to its use, height of the structure and special use as defined under the Section of the Zoning Code. Verify with the appropriate building official for specific requirements.

Contact the City of Miami Beach and/or Miami-Dade County for setbacks requirements as setbacks may vary depending on proposed construction, addition, or variances.

Only the surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. Underground utility references based on limited information provided by the utility company. Owner of his agent should verify all utility locations with the appropriate utility provider before using.

The scope of this survey is to define the boundary lines as defined by the deed and referenced plats, and show all above ground improvements.

No encroachments were noted by this survey. No underground footings were located.

The legal ownership of the fences and/or walls as shown hereon was not determined, and the locations as shown are based on the recovered boundary monumentation and calculations.

This survey is intended for the use of the parties to whom this survey is certified to and for. Any reproduction is not an original. This surveyor retains an original to verify these dated contents for validity.

This survey was conducted for the purpose of a "Boundary Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity. This survey does not reflect or determine ownership.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.051(3)(b) 15.6 of 1 foot in 10,000 feet for Commercial / High Risk Areas.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format. This map is intended to be displayed at a scale of 1" = 20'

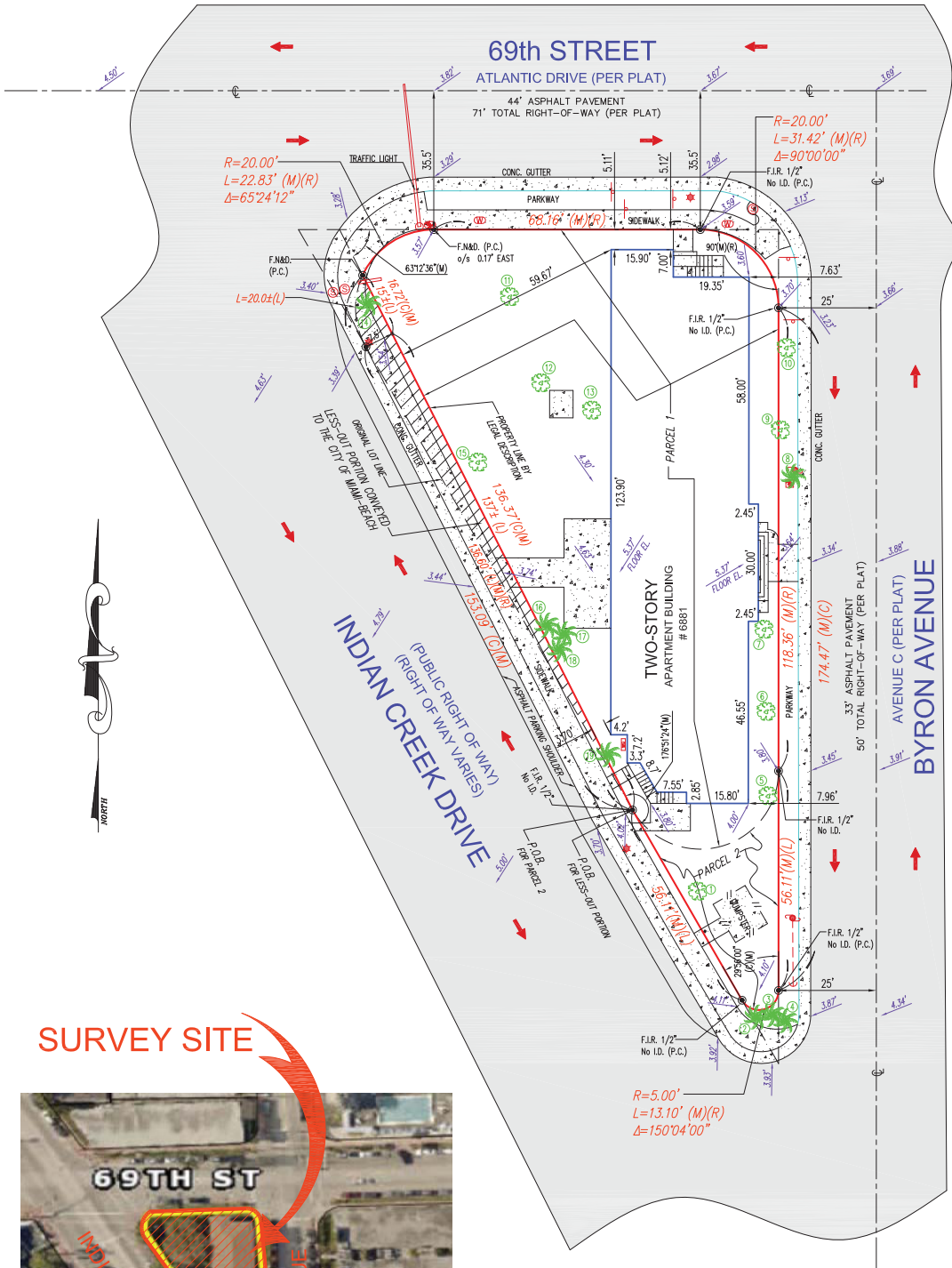
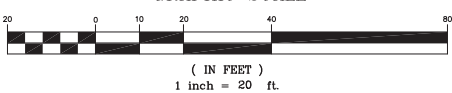
SYMBOLS

- AIR CONDITIONER
- CATCH BASIN
- WATER METER
- CONCRETE POLE
- WOOD POLE
- LIGHT POLE
- SANITARY MANHOLE
- ELECTRIC BOX
- SIGN
- FLOW TRAFFIC
- FPL TRANSFORMER
- METER GAS
- TREE
- PALM
- EXISTING ELEVATION
- WOOD FENCE (W.F.)

LEGEND

- (C) = Calculated
- CL = Clear
- CL = Center Line
- CONC. = Concrete
- Δ = Delta
- (L) = Legal
- ENC. = Encroachment
- F.F.E.L. = Finish Floor Elevation
- F.I.R. = Found Iron Rod
- F.N&D. = Found Nail & Disc
- I.D. = Identification
- L = Length of Arc
- (M) = Measured
- O/L = On Line
- ORB. = Official Record Book
- (P) = Plat
- P.C. = Point of Curvature
- P.B. = Plat Book
- P.G. = Page
- P.S. = Parking Spaces
- R = Radius
- (R) = Record

GRAPHIC SCALE



SURVEY SITE



LOCATION MAP
NOT TO SCALE

Tree Number	Common Name	Scientific Name	Trunk Size (Inches) +/-	Canopy Size (Feet) +/-	Height (Feet) +/-
1	Sea Grape Tree	Coccoloba uvifera	7"	40'	25'
2	Thatch Palm	Thrinax radata	10"	12'	12'
3	Thatch Palm	Thrinax radata	10"	12'	12'
4	Thatch Palm	Thrinax radata	10"	12'	12'
5	Bottle Brush Tree	Calisemon	10"	15'	18'
6	Ficus Tree	Ficus benjamina	36"	30'	45'
7	Queensland Umbrella Tree	Schefflera actinophylla	14"	18'	20'
8	Thatch Palm	Thrinax radata	20"	14'	16'
9	Bottle Brush Tree	Calisemon	24"	25'	25'
10	Bottle Brush Tree	Calisemon	18"	22'	20'
11	Bottle Brush Tree	Calisemon	26"	30'	25'
12	Bottle Brush Tree	Calisemon	30"	30'	28'
13	Bottle Brush Tree	Calisemon	24"	18'	18'
14	Thatch Palm	Thrinax radata	24"	15'	18'
15	Avocado Tree	Persea americana	28"	25'	35'
16	Coconut Palm	Cocos nucifera	10"	24'	25'
17	Coconut Palm	Cocos nucifera	10"	24'	25'
18	Coconut Palm	Cocos nucifera	10"	24'	25'
19	Coconut Palm	Cocos nucifera	28"	26'	35'

LEGAL DESCRIPTION:

PARCEL 1

All of Block "K", Atlantic Heights, according to the plat thereof as recorded in Plat Book 9, Page 14, of the Public Records of Miami-Dade County, Florida, LESS AND EXCEPT the following described lands conveyed to the City of Miami Beach, Florida, a municipal corporation, for street purposes:

Commence at a point, being the point of curvature of a circular curve at the Southerly end of Block "K" and the Westerly line of said Block "K", CORRECTED PLAT OF ATLANTIC HEIGHTS; thence Northerly along a straight line, a distance of 137 feet more or less to a point 7.50 feet easterly, measured at right angles, of said Westerly line of Block "K", at the point of curvature of the circular curve at the Northwesterly corner of said Block "K"; thence continue northerly along said last mentioned course, a distance of 15 feet more or less, to it's Intersection with said circular curve at the Northwesterly corner of said Block "K"; thence Westerly and Southerly, along said circular curve, a distance of 20 feet, more or less, to said point of curvature of the circular curve at the Northwesterly corner of said Block "K"; thence Southerly along said westerly line of Block "K", a distance of 136.6 feet, more or less, to the Point of Beginning.

PARCEL 2

Commence at a point which is on the Westerly line of Block "K", which is the beginning point of curvature of the circular curve at the Southerly end of said Block "K", Corrected Plat of Atlantic Heights; thence Southerly along the Westerly line of said Block "K", a distance of 56.11 feet to a point of tangency; thence Southerly, Easterly and Northerly, along a circular curve, having a radius of 5 feet, more or less, to a point of tangency on the Easterly line of said Block "K", said point of tangency being 56.11 feet Southerly of the point of tangency of said circular curve at the Southerly end of said Block "K", being on the Easterly line of said Block "K"; thence Northerly, along the Easterly line of said Block "K", a distance of 56.11 feet to said point of tangency of the circular curve at the Southerly end of said Block "K"; thence Southerly, Westerly and Northerly, along said circular curve to the Point of Beginning.

FOLIO NUMBER:

02 3211 001 0750 (Miami-Dade County Public Records/Property Appraiser's Office)

CERTIFIED TO:

6881 Indian Creek, LLC, a Florida limited liability company
Sanchez Vadiello, LLP
Old Republic National Title Insurance Company
Devon Apartments, Inc., a Florida corporation

This is to certify to the above named firm and or persons that the "SKETCH OF TOPOGRAPHIC BOUNDARY SURVEY" of the herein described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction, also there are no visible encroachments other than those shown. Owner or his representative furnished the legal description contained herein. Other recorded instruments may affect this property. Surveyor has not examined the abstract of title. Locations of utilities on or adjacent to the property were not secured unless specifically requested by owner. I further certify that this map or plat meets the Standards of Practice and the Minimum Technical Standard Requirements, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 5J-17, Florida Administrative Code, under Sections 5J-17.051 and 5J-17.052 and is a "SKETCH OF TOPOGRAPHIC BOUNDARY SURVEY" as defined in Section 5J-17.050.

JORGE L. CABRERA

Professional Surveyor & Mapper, # 6487
State of Florida



JORGE L. CABRERA

Professional Surveyor and Mapper

State of Florida

PLS/PSM License No. 6487

2852 S.W. 149th Place, Miami, Florida 33185

Phone: (305) 302-2522 Fax: (305) 207-9537

No.	Date	Description
1	07/06/2017	Revised to Show Lot Square Feet

Prepared for:

6881 Indian Creek, LLC

CHECKED BY:	JLC.
DRAWN BY:	ELF.
FIELD DATE:	05/31/2017
DATE:	06/07/2017
SCALE:	1" = 20'
JOB No.	17-4041

SHEET:

1 OF 1

BUILDING RENOVATIONS
PROJECT CRITERIA - ZONING / SETBACKS / OVERVIEW
ADDRESS
6881 INDIAN CREEK
MIAMI BEACH, FL
ZONING CLASSIFICATION
RESIDENTIAL MULTIFAMILY, LOW INTENSITY (TC-3)

BUILDING CLASSIFICATION	
OCCUPANCY GROUP	GROUP "R-1" HOTEL TRANSIENT(FBC)
TYPE OF CONSTRUCTION: TYPE IIIB	
ALTERATION LEVEL 3 (E FBC - SEC 404.1)	

LOT SIZE: 12,062 SQFT

FLORIDA BUILDING CODE EXISTING 2014 USE FOR DESIGN STANDARDS
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FLORIDA BUILDING CODE 2014 USE FOR DESIGN STANDARDS

FLORIDA FIRE PREVENTION CODE 5th EDITION USE FOR DESIGN STANDARDS

FLOOD MANAGE INFORMATION	
FLOOD ZONE	AE
BASE FLOOD ELEVATION	8.0
LOWEST FFE OF HABITABLE SPACE	5.27
LOWEST GRADE ELEVATION ADJECENT TO BUILDING	4.40
HIGHEST GRADE ELEVATION ADJECENT TO BUILDING	4.10
LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING	18.0
FIRM MAP NUMBER	12086C0326

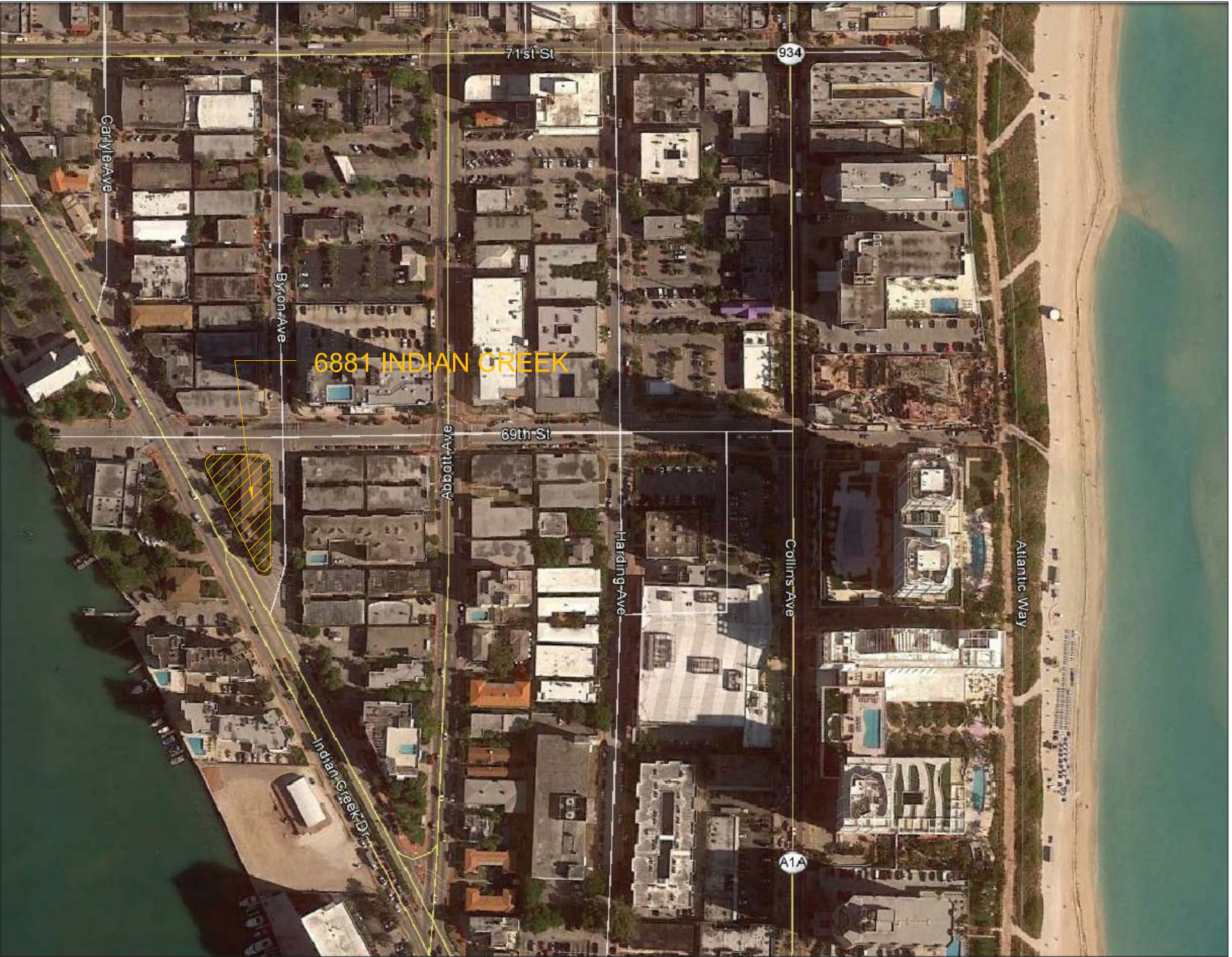
ALL ELEVATIONS REFERRED TO NGVD 1929

Classification of Structure for Flood-Resistant Design and Construction	CATEGORY II
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SETBACKS	ALLOWED	EXISTING
FRONT (INDIAN CREEK DRIVE)	15'-0"	4'-0"
FRONT (BYRON ROAD)	15'-0"	4'-9"
SIDE (69th STREET)	10'-0"	5'-2"

BUILDING HEIGHT	ALLOWED	EXISTING
STORIES	4-STORIES - 45'-0"	2-STORIES - 28'-0"

UNIT S.F.	
UNIT #	S.F.
UNIT #1	253 S.F.
UNIT #2	225 S.F.
UNIT #3	234 S.F.
UNIT #4	293 S.F.
UNIT #5	238 S.F.
UNIT #6	203 S.F.
UNIT #7	290 S.F.
UNIT #8	270 S.F.
UNIT #9	229 S.F.
UNIT #10	236 S.F.
UNIT #11	258 S.F.
UNIT #12	236 S.F.
UNIT #13	221 S.F.
UNIT #14	262 S.F.
UNIT #15	253 S.F.
UNIT #16	223 S.F.
UNIT #17	236 S.F.
UNIT #18	223 S.F.
UNIT #19	248 S.F.
UNIT #20	247 S.F.
UNIT #21	243 S.F.
UNIT #22	318 S.F.
UNIT #23	270 S.F.
UNIT #24	229 S.F.
UNIT #25	236 S.F.
UNIT #26	294 S.F.
UNIT #27	258 S.F.
UNIT #28	236 S.F.
UNIT #29	221 S.F.
UNIT #30	262 S.F.
TOTAL	7,445 S.F
AVERAGE	248 S.F



LOCATION MAP

SCALE: N.T.S.

THE DEVON HOTEL

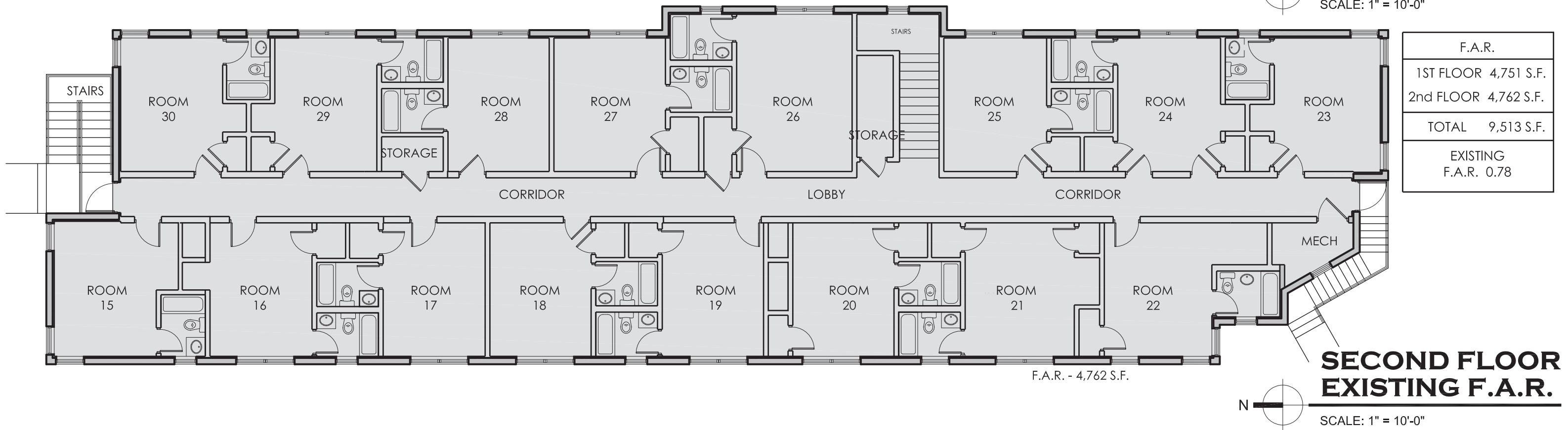
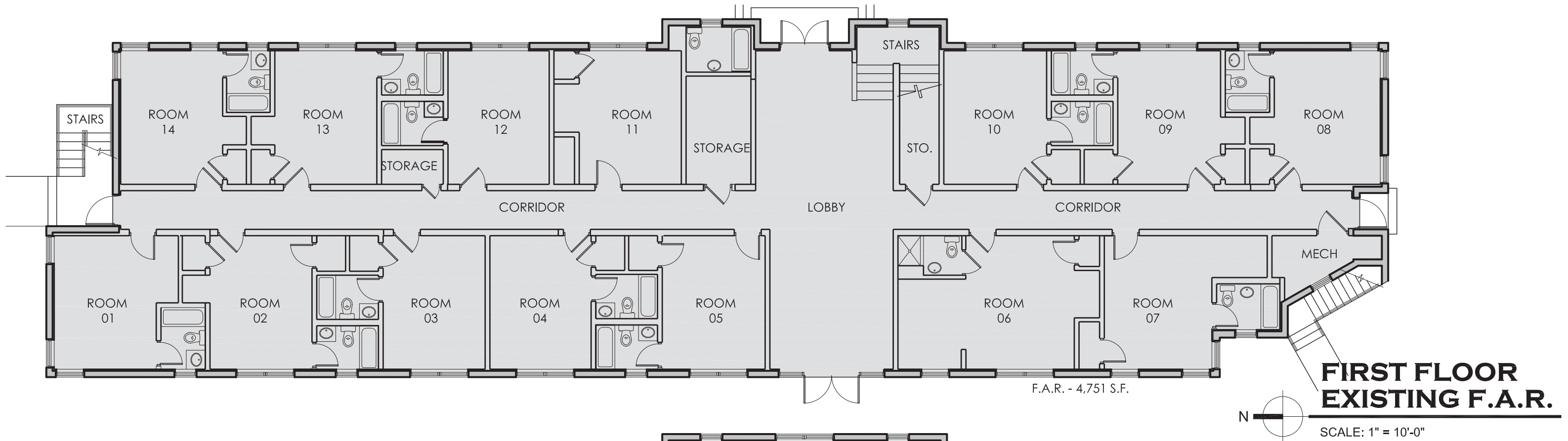
6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

LOCATION & ZONING INFORMATION C-1

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD. SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
CORAL GABLES, FLORIDA 33134

DNB
DESIGN GROUP
2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA 33134
MAIN: 305.444.5545
FAX: 305.444.5509



THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

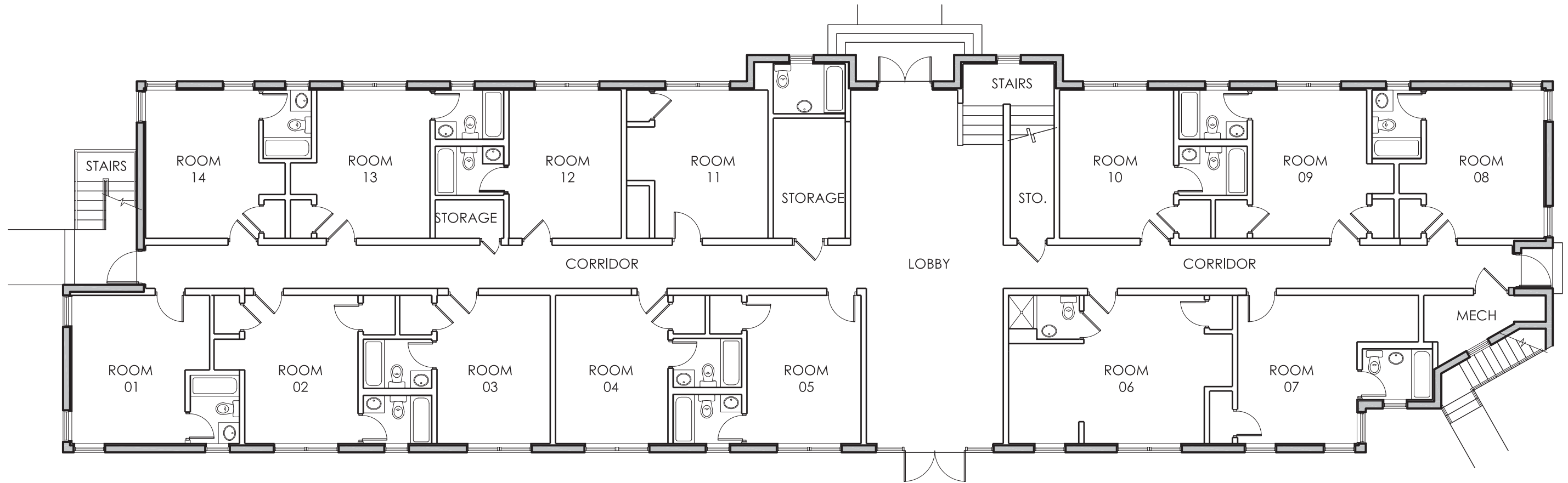
EXISTING F.A.R C-7

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
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**EXISTING
FIRST FLOOR**

N  SCALE: 1" = 10'-0"

THE DEVON HOTEL

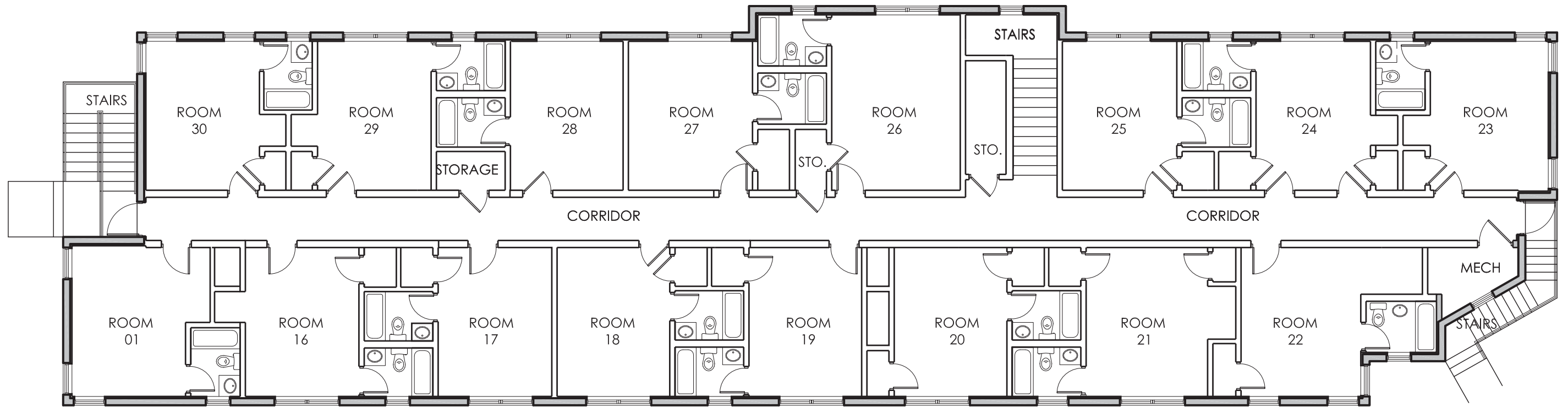
6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

EXISTING PLAN EX-1

LANDSCAPE ARCHITECT NATURALFICIAL, INC. 6915 RED ROAD, SUITE 224 CORAL GABLES, FLORIDA 33143	OWNER 6881 INDIAN CREEK, LLC 2020 PONCE DE LEON BLVD. SUITE 1103 CORAL GABLES, FLORIDA 33134
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**EXISTING
SECOND FLOOR**

N  SCALE: 1" = 10'-0"

THE DEVON HOTEL

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MIAMI BEACH, FLORIDA 33141

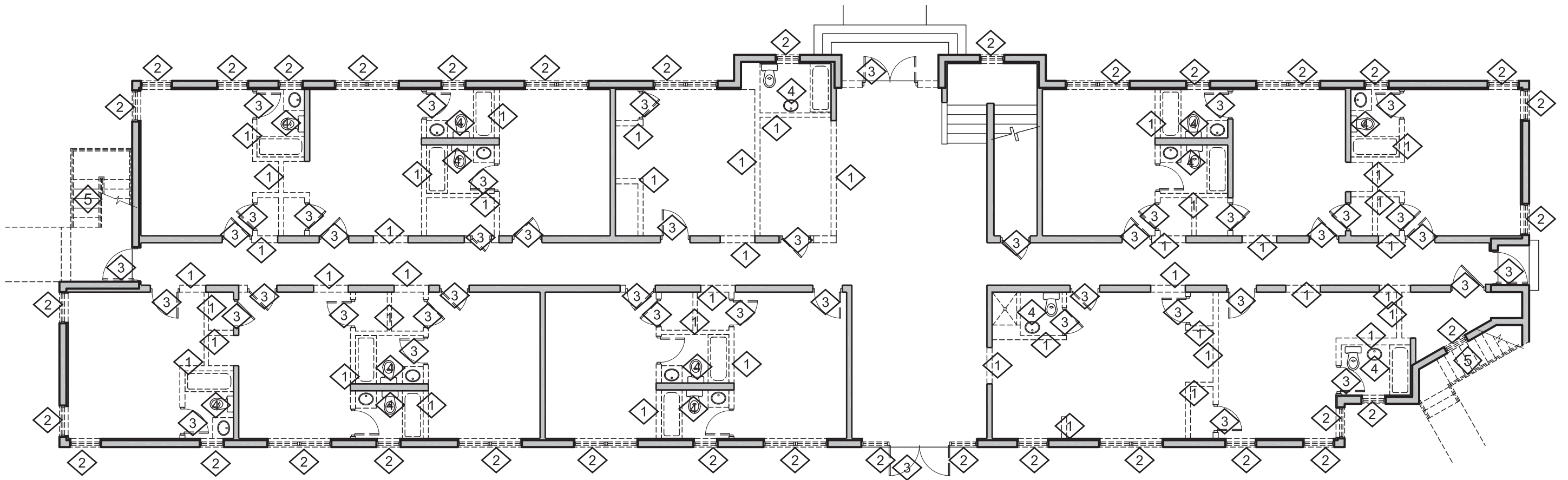
EXISTING PLAN EX-2

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143




OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
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DEMOLITION PLAN LEGEND

-  EXIST WALL/PARTITION TO REMAIN
-  EXIST WALL/PARTITION TO REMOVE
-  EXIST DOOR TO BE REMOVED

DEMOLITION KEYNOTES

-  EXISTING WALL TO BE REMOVED
-  EXISTING WINDOW + FRAME TO BE REMOVED
-  EXISTING DOOR + FRAME TO BE REMOVED
-  EXISTING PLUMBING FIXTURES TO BE REMOVED
-  EXISTING STAIRS AND RAILING TO BE REMOVED



DEMOLITION FIRST FLOOR

SCALE: 1" = 10'-0"

THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

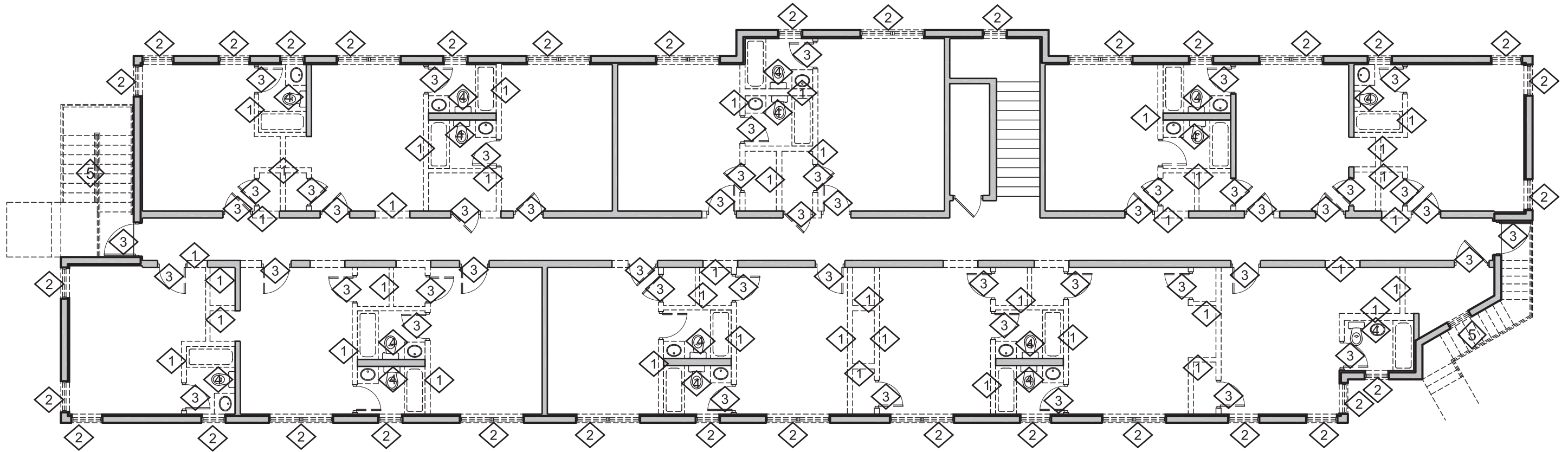
DEMOLITION PLAN D-1

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
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DEMOLITION PLAN LEGEND	DEMOLITION KEYNOTES
EXIST WALL/PARTITION TO REMAIN	EXISTING WALL TO BE REMOVED
EXIST WALL/PARTITION TO REMOVE	EXISTING WINDOW + FRAME TO BE REMOVED
EXIST DOOR TO BE REMOVED	EXISTING DOOR + FRAME TO BE REMOVED
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	EXISTING STAIRS AND RAILING TO BE REMOVED

**DEMOLITION
SECOND FLOOR**
 SCALE: 1" = 10'-0"

THE DEVON HOTEL

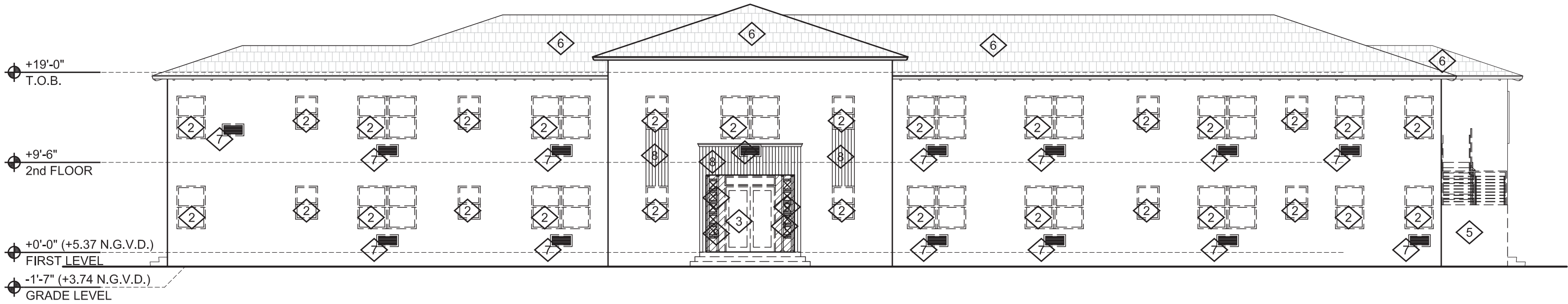
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 MIAMI BEACH, FLORIDA 33141

DEMOLITION PLAN D-2

LANDSCAPE ARCHITECT
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 CORAL GABLES, FLORIDA 33134

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(DEMOLITION) EAST ELEVATION

SCALE: 1" = 10'-0"

DEMOLITION KEYNOTES

- | | |
|---|---|
| 1 EXISTING WALL TO BE REMOVED | 6 EXISTING ROOFING TO BE REMOVED |
| 2 EXISTING WINDOW + FRAME TO BE REMOVED | 7 EXISTING A/C WALL UNIT TO BE REMOVED |
| 3 EXISTING DOOR + FRAME TO BE REMOVED | 8 EXISTING STUCCO REVEAL TO BE REPAIRED |
| 4 EXISTING RAILINGS TO BE REMOVED | 9 EXISTING WOOD DECORATION TO BE REPAIRED |
| 5 EXISTING STAIRS TO BE REMOVED | |

THE DEVON HOTEL

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MIAMI BEACH, FLORIDA 33141

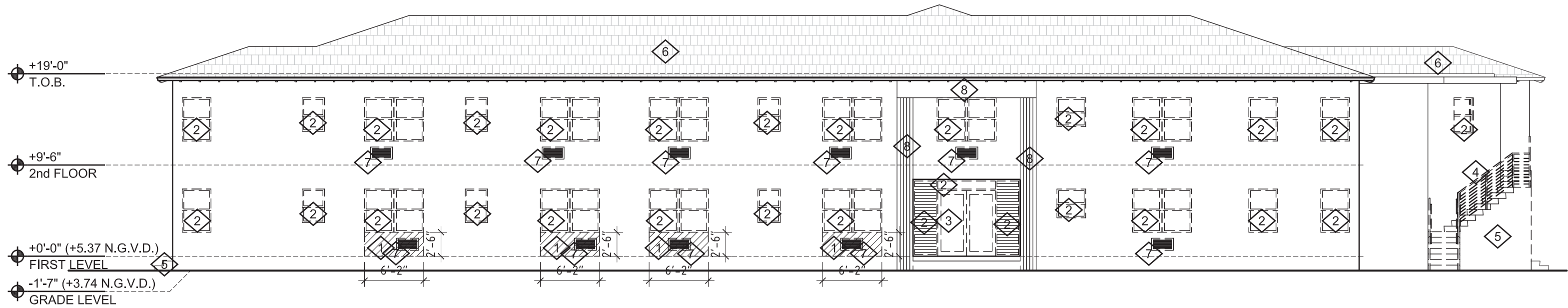
DEMOLITION ELEVATION D-3

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
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(DEMOLITION) WEST ELEVATION

SCALE: 1" = 10'-0"

DEMOLITION KEYNOTES

- | | |
|---|---|
| 1 EXISTING WALL TO BE REMOVED | 6 EXISTING ROOFING TO BE REMOVED |
| 2 EXISTING WINDOW + FRAME TO BE REMOVED | 7 EXISTING A/C WALL UNIT TO BE REMOVED |
| 3 EXISTING DOOR + FRAME TO BE REMOVED | 8 EXISTING STUCCO REVEAL TO BE REPAIRED |
| 4 EXISTING RAILINGS TO BE REMOVED | 9 EXISTING WOOD DECORATION TO BE REPAIRED |
| 5 EXISTING STAIRS TO BE REMOVED | |

THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

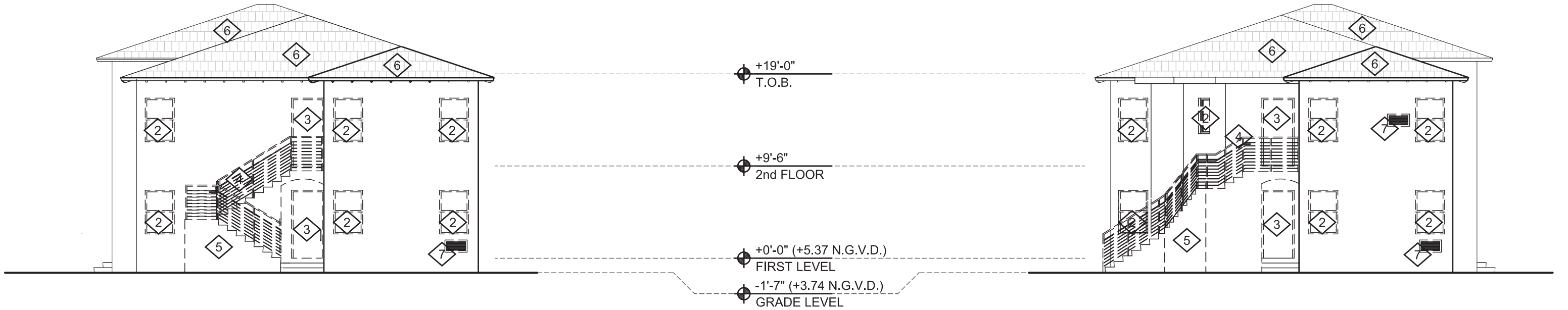
DEMOLITION ELEVATION D-4

LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
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(DEMOLITION)
NORTH ELEVATION

SCALE: 1" = 10'-0"

(DEMOLITION)
SOUTH ELEVATION

SCALE: 1" = 10'-0"

DEMOLITION KEYNOTES	
1	EXISTING WALL TO BE REMOVED
2	EXISTING WINDOW + FRAME TO BE REMOVED
3	EXISTING DOOR + FRAME TO BE REMOVED
4	EXISTING RAILINGS TO BE REMOVED
5	EXISTING STAIRS TO BE REMOVED
6	EXISTING ROOFING TO BE REMOVED
7	EXISTING A/C WALL UNIT TO BE REMOVED
8	EXISTING STUCCO REVEAL TO BE REPAIRED
9	EXISTING WOOD DECORATION TO BE REPAIRED

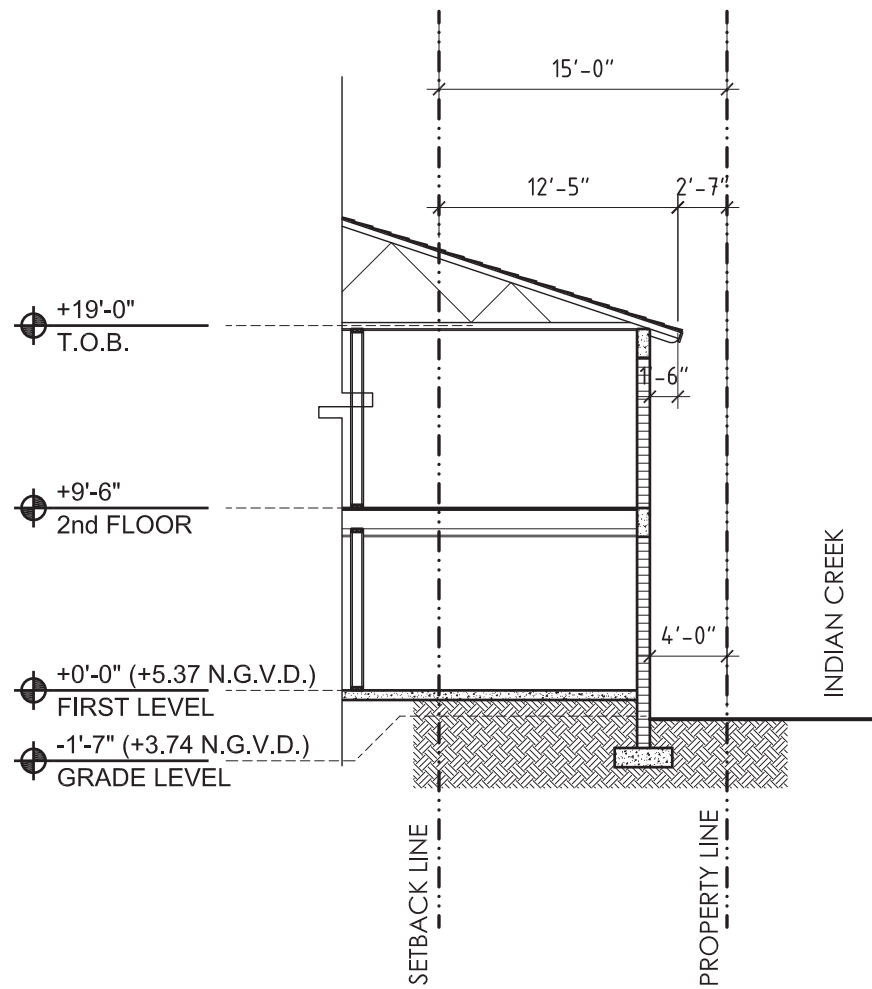
THE DEVON HOTEL

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DEMOLITION ELEVATION D-5

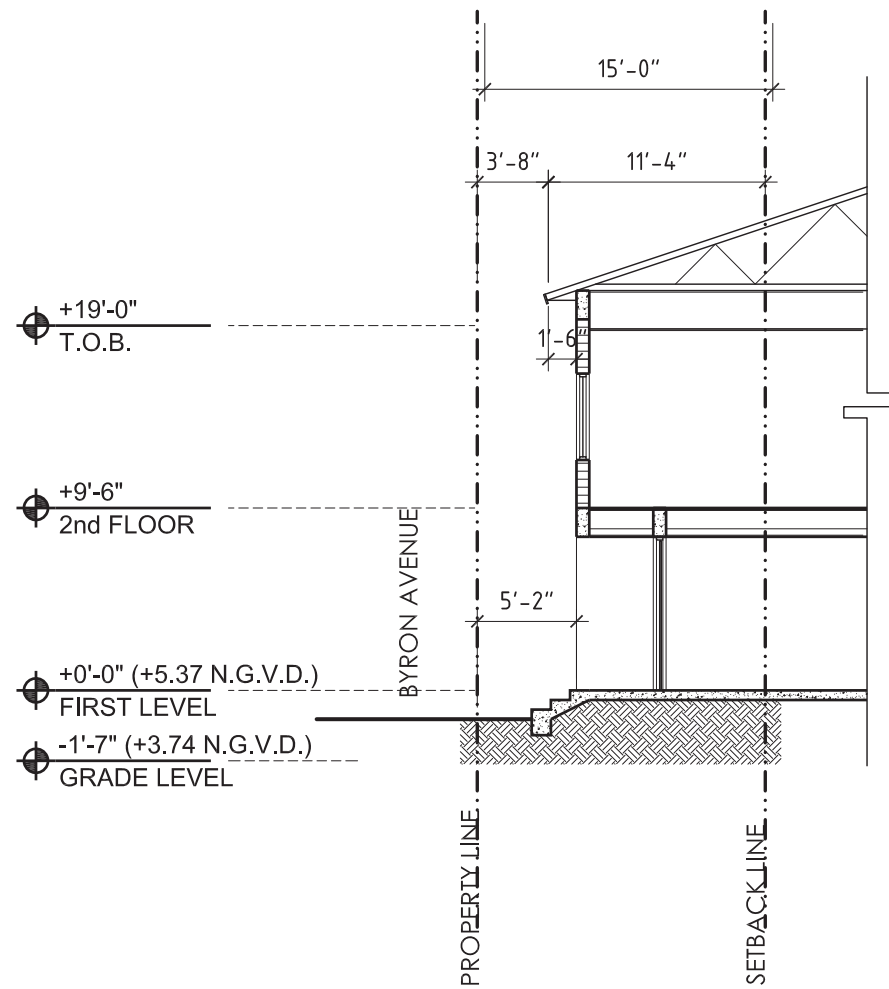
LANDSCAPE ARCHITECT NATURALFICIAL, INC. 6915 RED ROAD, SUITE 224 CORAL GABLES, FLORIDA 33143	OWNER 6881 INDIAN CREEK, LLC 2020 PONCE DE LEON BLVD. SUITE 1103 CORAL GABLES, FLORIDA 33134
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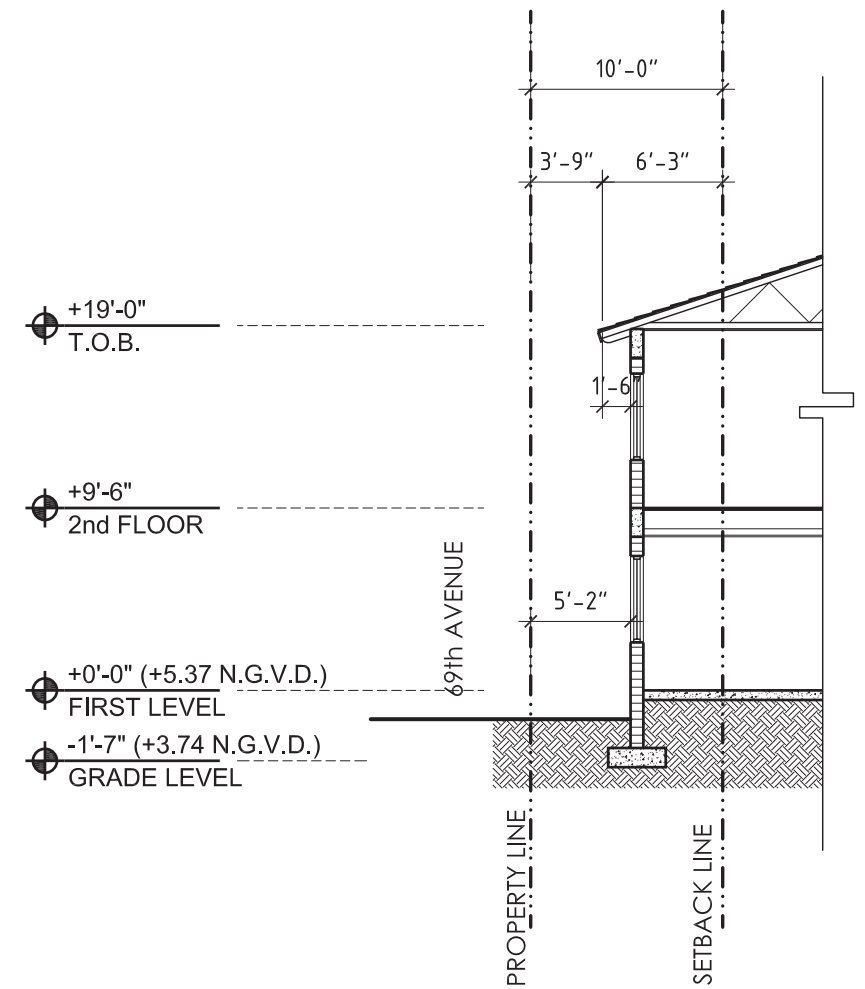
SECTION A-A

SCALE: 1" = 10'-0"



SECTION B-B

SCALE: 1" = 10'-0"



SECTION C-C

SCALE: 1" = 10'-0"

THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

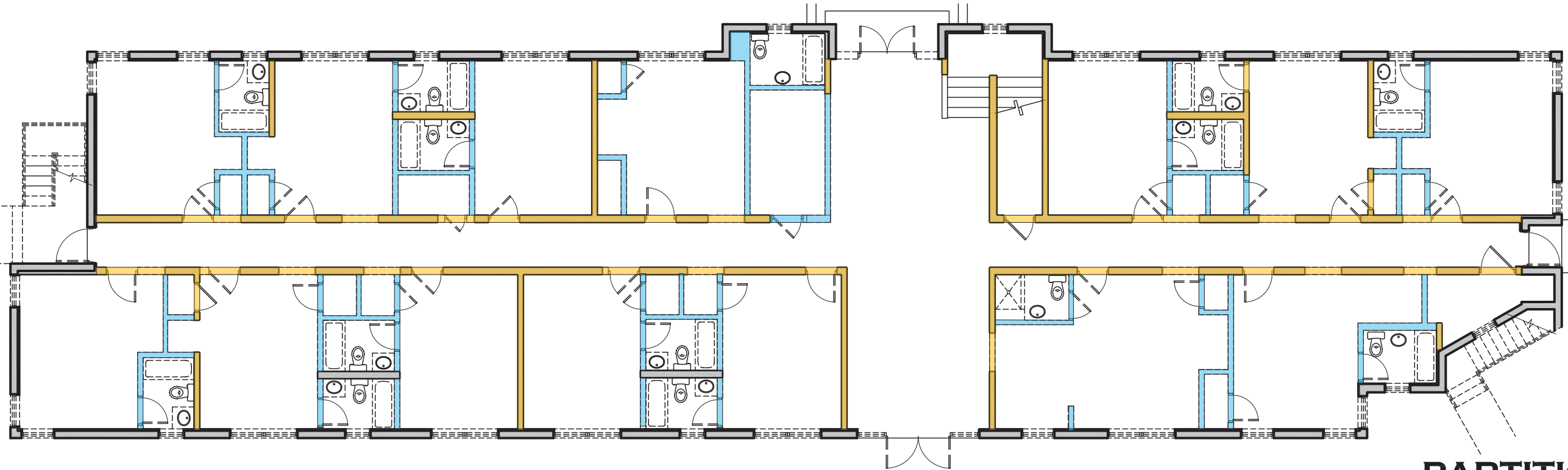
LANDSCAPE ARCHITECT
NATURALFICIAL, INC.
6915 RED ROAD, SUITE 224
CORAL GABLES, FLORIDA 33143

OWNER
6881 INDIAN CREEK, LLC
2020 PONCE DE LEON BLVD. SUITE 1103
CORAL GABLES, FLORIDA 33134

DNB
DESIGN GROUP

2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA 33134
MAIN: 305.444.5545
FAX: 305.444.5509

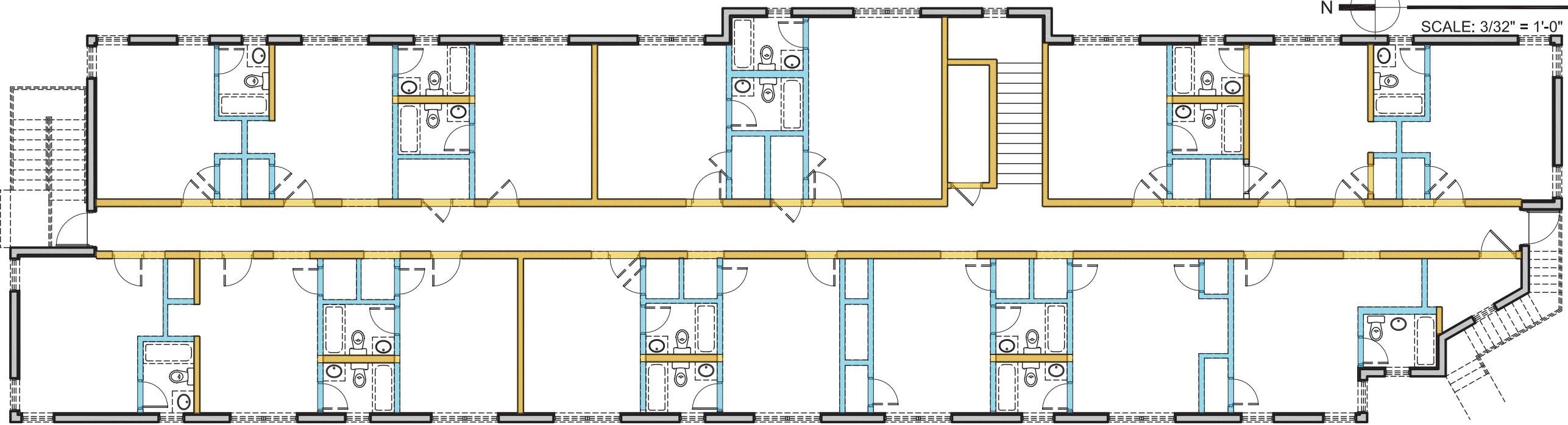
SECTIONS A-7



— EXIST WALL/PARTITION
TO BE REMOVED 320 LINER FEET

— EXIST WALL/PARTITION
TO REMAIN 372 LINER FEET

PARTITION WALL CALCULATION 1ST FLOOR



— EXIST WALL/PARTITION
TO BE REMOVED 340 LINER FEET

— EXIST WALL/PARTITION
TO REMAIN 377 LINER FEET

PARTITION WALL CALCULATION 2ND FLOOR

THE DEVON HOTEL

6881 INDIAN CREEK
MIAMI BEACH, FLORIDA 33141

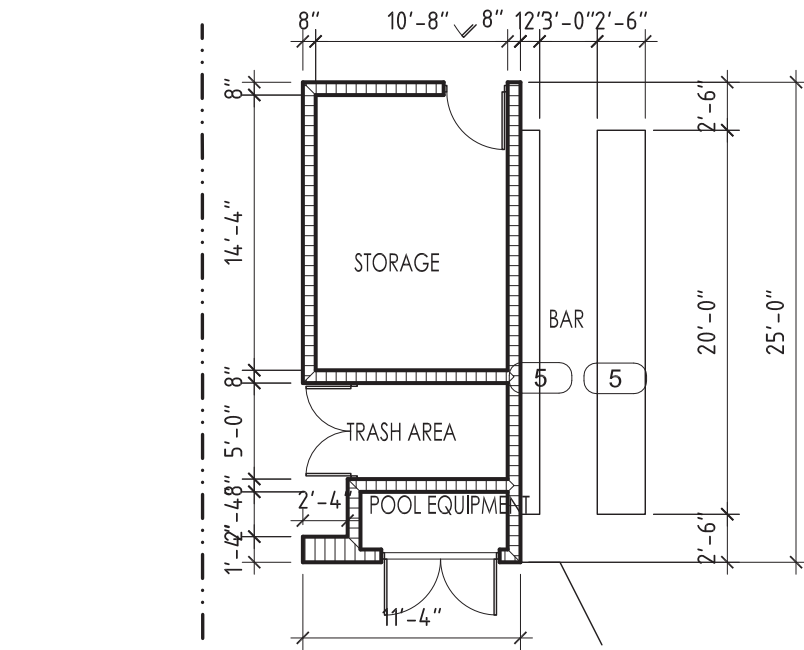
PARTITION DIAGRAM A-8

LANDSCAPE ARCHITECT
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CORAL GABLES, FLORIDA 33143

OWNER
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CORAL GABLES, FLORIDA 33134

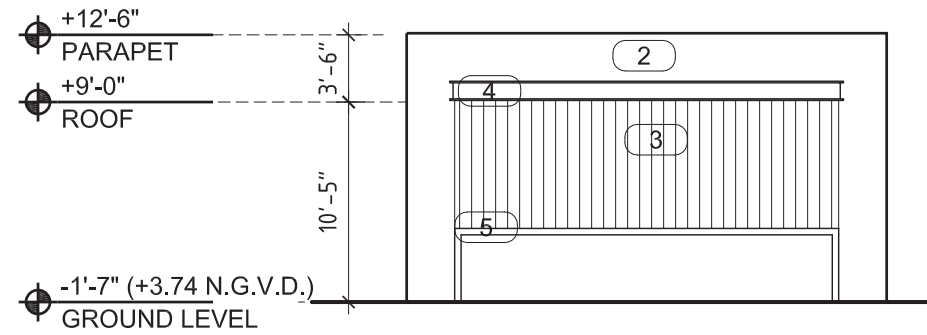
DNB
DESIGN GROUP

2020 PONCE DE LEON BOULEVARD
CORAL GABLES, FLORIDA 33134
MAIN: 305.444.5545
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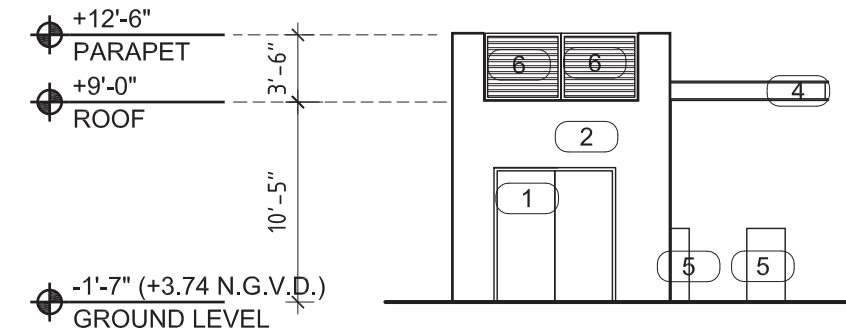
PROPOSED OUTDOOR CAFE/ BAR PLAN

SCALE: 1" = 10'-0"



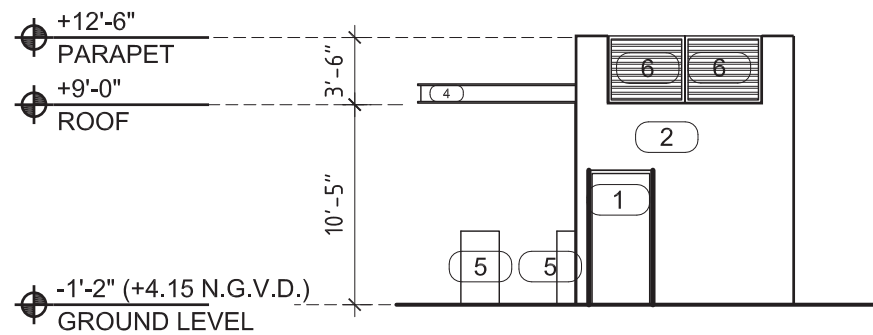
PROPOSED SOUTH ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



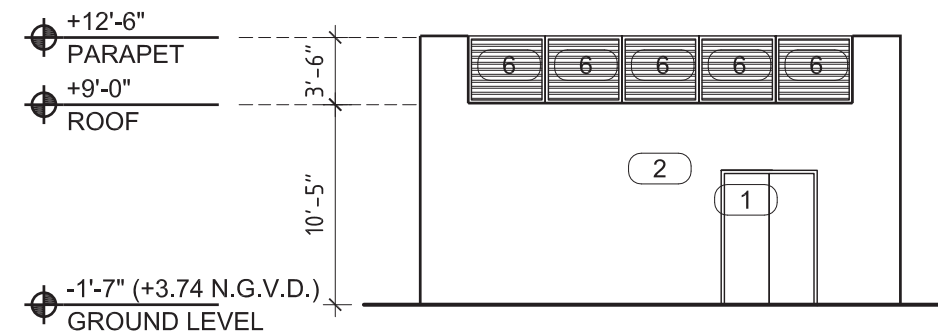
PROPOSED WEST ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



PROPOSED EAST ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"



PROPOSED NORTH ELEVATION CAFE/BAR

SCALE: 1" = 10'-0"

ELEVATION LEGEND

- | | |
|-------------------------------------|-------------------------|
| 1 NEW HOLLOW METAL DOOR | 4 NEW METAL TRIM |
| 2 NEW STUCCO FINISH AND WHITE PAINT | 5 NEW STONE SLAB AT BAR |
| 3 NEW STUCCO REVEAL | 6 ALUMINUM LOUVER |

THE DEVON HOTEL

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BAR ELEVATIONS & DETAILS A-9

LANDSCAPE ARCHITECT
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