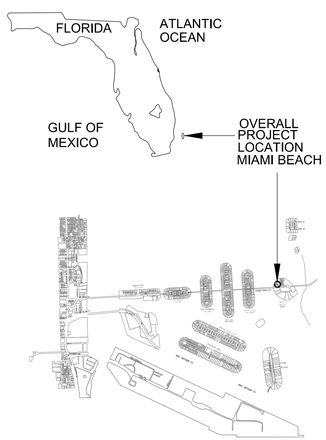
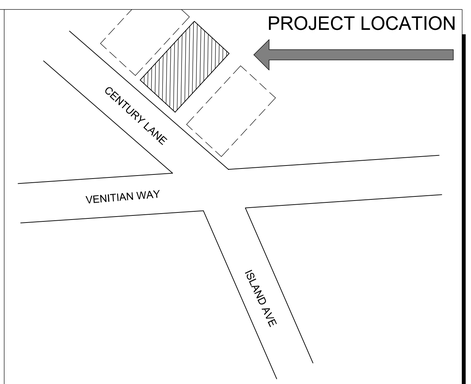
CASA EVA

11 CENTURY LN

MIAMI BEACH, FL 33139-8804





VICINITY MAP

NTS

N

ABBREVIATIONS

AB	ANCHOR BOLT	FD	FLOOR DRAIN	#	NUMBER	T & G	TONGUE & GROOVE
ABV	ABOVE	FIN	FINISH	NOM	NOMINAL	TEL	TELEPHONE
A/C	AIR CONDITIONING	FIX	FIXTURE	NTS	NOT TO SCALE	TEMP	TEMPORARY
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	OA	OVERALL, OUTSIDE AIR	THK	THICK-THICKNESS
ALUM	ALUMINUM	FLUOR	FLUORESCENT	OC	ON CENTER	T.O.	TOP OF
APPROX	APPROXIMATE	FTG	FOOTING	OPG	OPENING	TYP	TYPICAL
ARCH	ARCHITECTURAL/ARCHITECT	FURR	FURRING	OPP	OPPOSITE	UGND	UNDERGROUND
BD	BOARD	GA	GAUGE, GAUGE	ORIG	ORIGINAL	UL	UNDERWRITERS LAB.
BLDG	BUILDING	GALV	GALVANIZED	PART	PARTITION	VERT	VERTICAL
BLK	BLOCK	GL	GLASS	PL	PLATE	W/	WITH
BOTT	BOTTOM	GR	GRADE	PLAS	PLASTER	WC	WATER CLOSET
B.O.	BOTTOM OF	GYP	GYPSUM	PLWD	PLYWOOD	WH	WATER HEATER
BRG	BEARING	HB	HOSE, RIBB	PNL	PANEL	WM	WIRE MESH
BTN	BETWEEN	HERT	HERIZONTAL	PNT	PAINT	W/O	WITHOUT
CAB	CABINET	HCP	HANDICAP	POL	POLISHED	WP	WATERPROOF
CLG	CEILING	HDW	HARDWARE	PREFAB	PREFABRICATED	WS	WEATHER STRIPPING
CEM	CEMENT	HGT	HEIGHT	PROJ	PROJECT	WWF	WELDED WIRE FABRIC
CLO	CEILING	HM	HOLLOW METAL	PSF	POUNDS PER SQUARE FOOT		
CL	CLOSET	HR	HOUR	PSI	POUNDS PER SQUARE INCH		
CLR	CLEAR	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	PRTR	PRESSURE TREATED		
COL	COLUMN	IN	INCH	PTD	PAINTED		
CONC	CONCRETE	INCAND	INCANDESCENT	PVMT	PAVEMENT		
CONSTR	CONSTRUCTION	INCL	INCLUDE	QTY	QUANTITY		
CONT	CONTINUOUS	INFO	INFORMATION	REF	REFRIGERATOR		
CONTR	CONTRACTOR	INSUL	INSULATE-INSULATION	REQD	REQUIRED		
CT	CERAMIC TILE	INT	INTERIOR	REINF	REINFORCE-REINFORCING		
CTR	CENTER	KIT	KITCHEN	RET	RETURN		
DEG	(°) DEGREE	LAM	LAMINATED	REV	REVERSE, REVISION		
DEPT	DEPARTMENT	LAV	LAVATORY	RGD	RIGID		
DET	DETAIL	LB	POUND	RM	ROOM		
DF	DRINKING FOUNTAIN	LIN	LINEAR	RO	ROUGH OPENING		
DIA	DIAMETER	LL	LIVE LOAD	SCHED	SCHEDULE		
DIM	DIMENSION	LT	LIGHT	SD	SOAP DISPENSER		
DN	DOWN	LVR	LOUVER	SEP	SEPARATE		
DR	DOOR	MATL	MATERIAL	SECT	SECTION		
DWG	DRAWING	MAX	MAXIMUM	SHT	SHEET		
EA	EACH	MECH	MECHANICAL	SIM	SIMILAR		
EL	ELEVATION	MEMB	MEMBRANE	SPEC	SPECIFICATION		
ELEC	ELECTRICAL-ELECTRIC	MTL	METAL				
EQ	EQUAL	MFC	METAL FURRING CHANNEL	SQ	SQUARE		
EQPT	EQUIPMENT	MFR	MANUFACTURER	STD	STANDARD		
EQUIV	EQUIVALENT	MIN	MINIMUM	STL	STEEL		
EW	EACH WAY	MIR	MIRROR	STOR	STORAGE		
EMB.	EMBEDDED	MISC	MISCELLANEOUS	SUB	SUBSTITUTE		
EXIST	EXISTING	MO	MASONRY OPENING	SURF	SURFACE		
EXT	EXTERIOR-EXTERNAL	NAT	MOISTURE RESISTANT	SUSP	SUSPEND-SUSPENDED		
		NIC	NATURAL NOT IN CONTRACT	SYS	SYSTEM		

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- PROPOSED CONSTRUCTION OF SINGLE FAMILY RESIDENCE IN RM-1
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Project Title

CASA EVA

Date 08/04/2017

Issued

Drawn BB

Checked JC

Revisions

Scale / North Point

AS SHOWN

Drawing Title

COVER SHEET AND INDEX OF DRAWINGS

Project No.

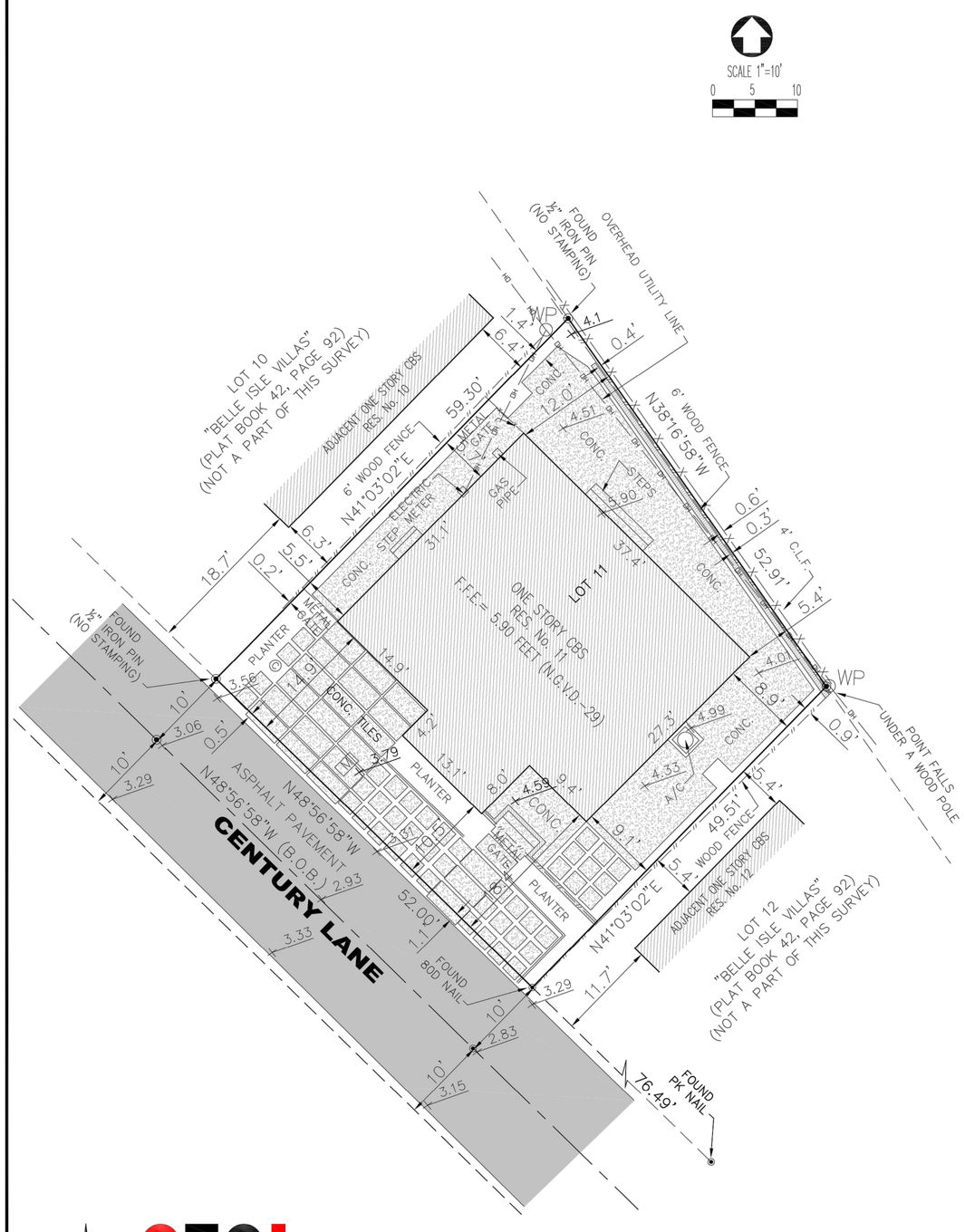
Drawing Number

C-01

Drawing Status

-

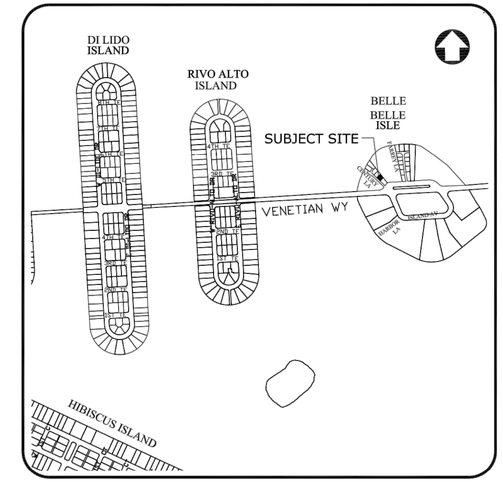
SKETCH OF SURVEY



LEGEND & ABBREVIATIONS:

- CLEANOUT
- CATCH BASIN
- CPP — CONCRETE POWER POLE
- GR — GUARD RAIL
- GT — GREASE TRAP
- DGV — GAS VALVE
- HANDICAP SIGN
- LP — LIGHT POLE
- LB — LIGHT BOLLARD
- EB — ELECTRIC BOX
- EM — ELECTRIC MANHOLE
- FIRE HYDRANT
- ICV — IRRIGATION CONTROL VALVE
- BS — METAL BUS STOP BENCH
- MW — MONITORING WELL
- MB — MAIL BOX
- NS — NEWS PAPERS AND MAGAZINE STAND
- SIGN
- SG — SIGN
- SS — SANITARY SEWER MANHOLE
- SD — STORM SEWER MANHOLE
- TM — TELEPHONE MANHOLE
- UNKNOWN MANHOLE
- LSL — LAWN SPOT LIGHT
- DETECTABLE SURFACING
- CHAIN LINK FENCE
- WOOD FENCE
- TREE
- PINE
- PALM
- 23.45 — SPOT ELEVATION
- SV — SEWER VALVE
- UB — UTILITY BOX
- WV — WATER VALVE
- WM — WATER METER
- WP — WOOD POLE
- WP/TR — WOOD POLE WITH TRANSFORMER
- GW — GUY WIRE
- SL — STREET LIGHT
- TSB — TRAFFIC SIGNAL BOX
- PTB — PUBLIC TELEPHONE BOOTH
- TCP — TRAFFIC CONTROL PANEL
- TC — TRASH CAN
- FP — FLAG POLE
- PSP — PEDESTRIAN SIGNAL POLE
- LPO — LIGHT POLE
- TB — TELEPHONE BOX
- GM — GAS METER
- PTB — PUBLIC TELEPHONE BOX
- CPP — CONCRETE POLE
- BENCH
- TRAFFIC SIGNAL MAST ARM
- DENOTES CONCRETE
- DENOTES BRICK TILE ON CONCRETE
- DENOTES TILE
- DENOTES ASPHALT
- DENOTES GRANITE
- DENOTES DETECTABLE SURFING

A/C	AIR CONDITIONING PAD
BLDG.	BUILDING
CLF	CHAIN LINK FENCE
CBS	CONCRETE BLOCK STRUCTURE
(C)	CALCULATED
CB	CATCH BASIN
CH.	CHORD DISTANCE
℄	CENTER LINE
CONC.	CONCRETE
Δ	DELTA
E	EAST
ENC.	ENCROACHMENT
F.I.P.	FOUND IRON PIPE
F.I.R.	FOUND REBAR
F.F.E.	FINISH FLOOR ELEVATION
F.N.	FOUND NAIL
GV	GAS VALVE
L	LENGTH
N	NORTH
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
O.E.	OVERHEAD ELECTRIC LINE
O/L	ON LINE
(O.R.B.)	OFFICIAL RECORD BOOK
(MEAS.)	MEASURED
P.R.M.	POINT REFERENCE MONUMENT
(REC.)	RECORD
R	RADIUS
R/W	RIGHT-OF-WAY
S	SOUTH
SEC.	SECTION
T	TANGENT
U.E.	UTILITY EASEMENT
W	WEST
W/F	WOOD FENCE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
B.O.B.	BASIS OF BEARING
V.C.P.	VITRIFIED CLAY PIPE
R.C.P.	REINFORCED CONCRETE PIPE
C.M.P.	CORRUGATED METAL PIPE



LOCATION MAP
SEC. 33-53-42
NOT TO SCALE

Lot Area = 2,829 sq.ft.

SURVEYOR'S NOTES

I-DATE OF COMPLETION:

01-24-2017

II-LEGAL DESCRIPTION AND PROPERTY ADDRESS:

Lot 11, Belle Isle Villas, according to the plat thereof as recorded in Plat Book 42, at Page(s) 92, of the Public Records of Miami-Dade County, Florida.

PROPERTY ADDRESS: 11 CENTURY LANE, MIAMI BEACH, FL 33139

FOLIO #: 02-3233-002-0110

CERTIFIED TO:

BRIGITTE EVA ALFRED, LLC.

III-ACCURACY:

THIS SURVEY WAS PREDICATED ON THE EXPECTED USE OF LAND, AS CLASSIFIED IN THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE IS "SUBURBAN" THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

IV-SOURCES OF DATA:

THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY 3TCI.

NORTH ARROW DIRECTION IS BASED ON AN ASSUMED MERIDIAN.

BEARINGS AS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF CENTURY LANE, WITH AN ASSUMED BEARING OF N48°56'58"W, SAID LINE TO BE CONSIDERED A WELL MONUMENTED LINE.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON ONLY AND THE CERTIFICATIONS HEREON DO NOT EXTEND TO ANY UNNAMED PARTIES.

THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE: AE-9, AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY-PANEL: CITY OF MIAMI BEACH-120651 , MAP-PANEL: 12086C-0317, SUFFIX L, EFFECTIVE DATE: 09-11-2009 AND A FIRM INDEX DATE OF 09-11-2009.

IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

V-VERTICAL CONTROL:

ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM 1929 AS PER MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT BENCHMARK No. D-168 SAID BENCHMARK HAS AN ELEVATION OF 7.75 FEET.

UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. SUBSURFACE SOIL CONDITIONS WERE NOT DETERMINED, AS THIS FALLS OUTSIDE THE PURVIEW OF THIS SURVEY. THESE CONDITIONS MAY INCLUDE THE DETERMINATION OF WETLANDS, FILLED-IN AREAS, GEOLOGICAL CONDITIONS OR POSSIBLE CONTAMINATION BY HAZARDOUS LIQUID OR SOLID WASTE THAT MAY OCCUR WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY.

VI-SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES.

3TCI, Inc., A FLORIDA CORPORATION
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB7799

BY: _____
ROLANDO ORTIZ
REGISTERED SURVEYOR AND MAPPER LS4312
STATE OF FLORIDA

ROLANDO ORTIZ CERTIFICATE NO. 4312 STATE OF FLORIDA PROFESSIONAL SURVEYOR & MAPPER

NOTICE: NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING

3TCI, Inc. LB7799
PROFESSIONAL LAND SURVEYORS AND MAPPERS
12211 SW 129th CT. MIAMI FL 33186
tel: 305-316-8474 fax: 305-378-1662 www.3tci.com

BOUNDARY SURVEY
OF
11 CENTURY LANE, MIAMI BEACH, FL 33139

DRAFTER:	CHECKED:	FIELD BOOK:	JOB NUMBER:	SCALE:	SHEET:
FES	RO	2013-2	14-757	1"=20'	1 OF 1

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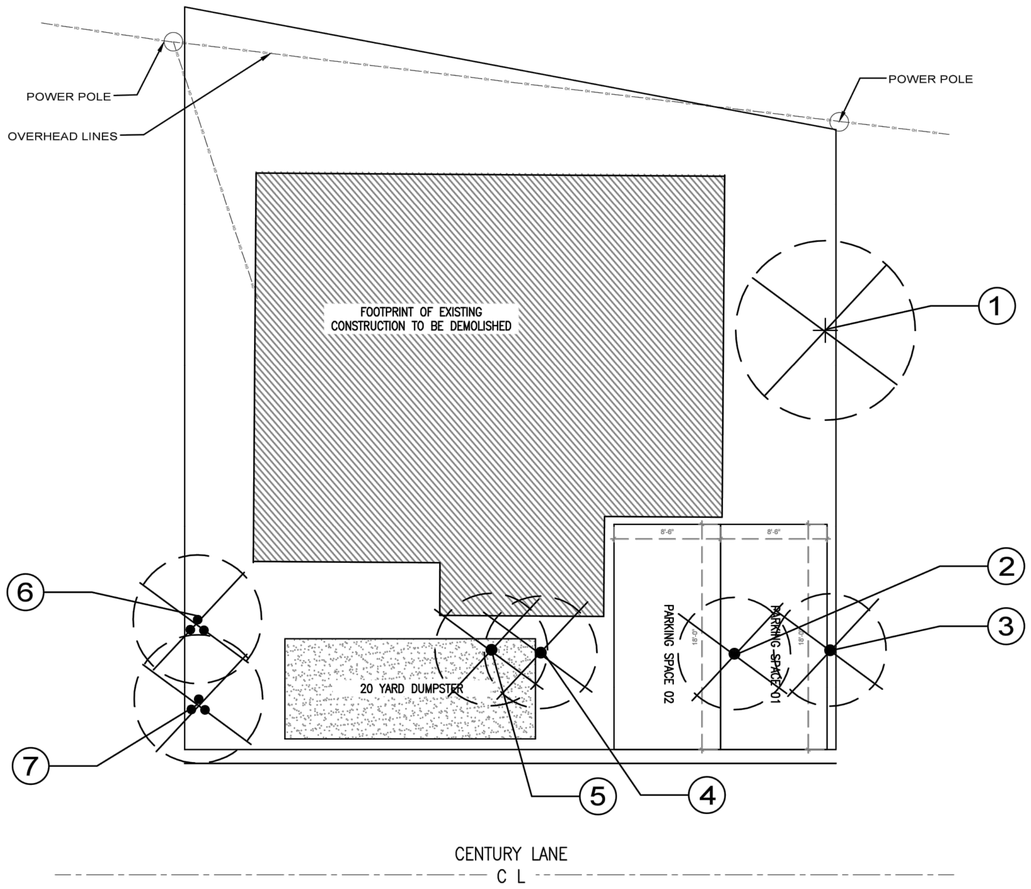
Project Title
CASA EVA

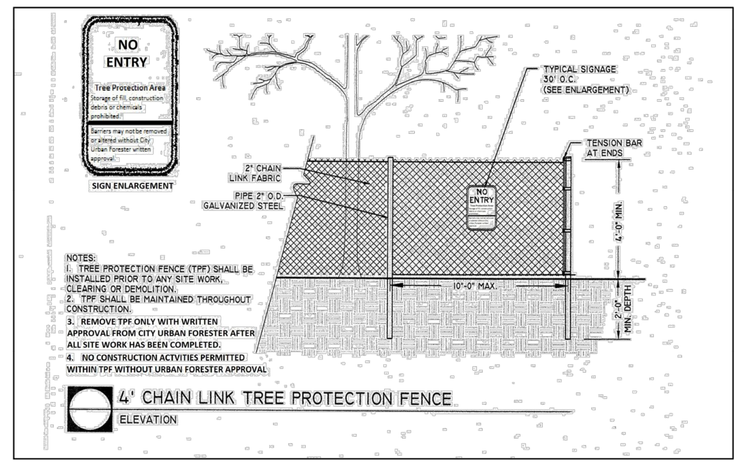
Date 08/04/2017
Issued
Drawn BB
Checked JC
Revisions

Scale / North Point
AS SHOWN

Drawing Title
SURVEY

Project No.
Drawing Number SV-01
Drawing Status
-





TREE DISPOSITION CHART

NUMBER	BOTANICAL NAME	COMMON NAME	REMARKS	DISPOSITION
1	Tamarindus indica	Wild Tamarind	fair condition / 4" cal. / NON-NATIVE	To Be Removed
2	Archontophoenix alexandrae	King Alexander Palm	fair condition / 6" cal. / NON-NATIVE	To Be Removed
3	Archontophoenix alexandrae	King Alexander Palm	fair condition / 6" cal. / NON-NATIVE	To Be Removed
4	Ptychosperma elegans	Solitaire Palm	fair condition / 4" cal / NON-NATIVE	To Be Removed
5	Ptychosperma elegans	Solitaire Palm	fair condition / 4" cal / NON-NATIVE	To Be Removed
6	Chrysalidocarpus lutescens	Areca Palm	fair condition / 10'-12' height / NON_NATIVE	To Be Removed
7	Chrysalidocarpus lutescens	Areca Palm	fair condition / 10'-12' height / NON_NATIVE	To Be Removed

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NEW CUSTOM RESIDENCE
11 CENTURY LANE
MIAMI BEACH, FLORIDA

Jeff Houghtaling

Digitally signed by Jeff Houghtaling
DN: cn=Jeff Houghtaling, o=JBD Design Inc. Landscape Architecture, ou, email=jeff@jbddesigninc.com, c=US
Date: 2017.05.03 16:57:02 -04'00'

REGISTERED LANDSCAPE ARCHITECT
JEFF A. HOUGHTALING
LA6666783
STATE OF FLORIDA

MAY 2, 2017

TREE DISPOSITION PLAN

0 05 10 20
SCALE: 1"=10'-0"

LP-1

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Project Title
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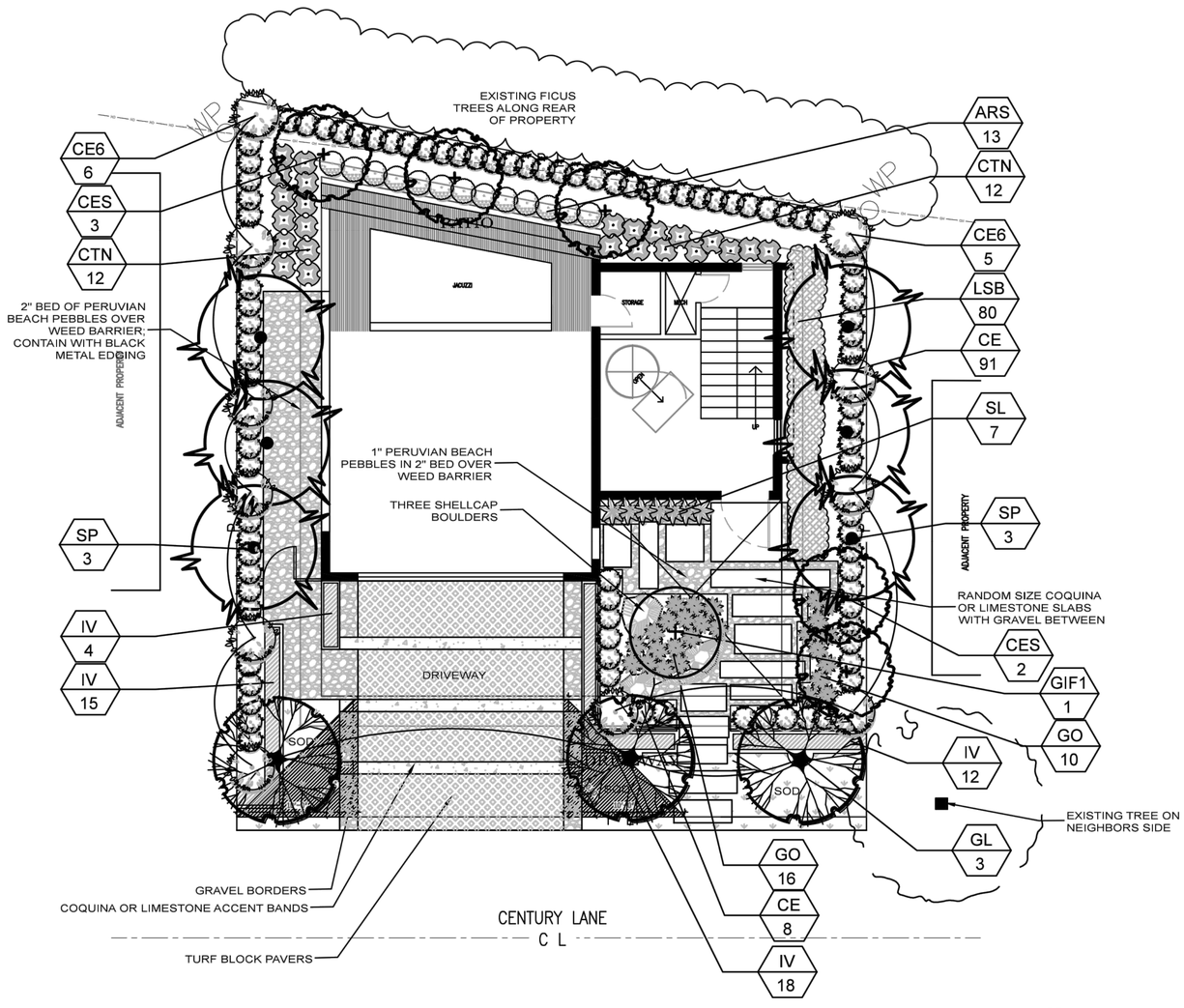
Date 08/04/2017
Issued
Drawn BB
Checked JC
Revisions

Scale / North Point
AS SHOWN

Drawing Title
TREE DISPOSITION PLAN

Project No.
Drawing Number LP-1
Drawing Status
-



CITY OF MIAMI BEACH
LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District_____RM-1_____ Lot Area ____2829 SF____ Acres_____0.649_____

	REQUIRED/ ALLOWED	PROVIDED
OPEN SPACE		
A. Square feet of required Open Space as indicated on site plan: Lot Area = 2829 _ s.f.x _____ % = _____ s.f.	N/A	1363
B. Square feet of parking lot open space required as indicated on site plan:		N/A
Number of parking spaces _____ x 10 s.f. parking space =		N/A
C. Total square feet of landscaped open space required: A+B=		N/A
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required		1363
B. Maximum lawn area (sod) permitted= ___50___ % x 1414,5 s.f.		200
TREES		
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= _____ trees x _____ net lot acres - number of existing trees=	5	5
B. % Natives required: Number of trees provided x 30% =	1.5	5
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	2.5	5
D. Street Trees (maximum average spacing of 20' o.c.) linear feet along street divided by 20'=	2.6	3
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): _____ linear feet along street divided by 20'=	N/A	N/A
SHRUBS		
A. Number of shrubs required: Sum of lot and street trees required x 12=	96	197
B. % Native shrubs required: Number of shrubs provided x 50%=	99	148
LARGE SHRUBS OR SMALL TREES		
A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	10	11
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	5	11

Jeff Houghtaling

Digitally signed by Jeff Houghtaling
DN: cn=Jeff Houghtaling, o=JBD Design Inc. Landscape Architecture, ou, email=jeff@jbddesigninc.com, c=US
Date: 2017.05.03 16:57:45 -04'00'

0 05 10 20

SCALE: 1"=10'

GROUND LEVEL LANDSCAPE PLAN

REFER TO SHEET LP-5 FOR PLANT SCHEDULE, SPECIFICATIONS, AND PLANTING DETAILS

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NEW CUSTOM RESIDENCE
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MIAMI BEACH, FLORIDA

REGISTERED LANDSCAPE ARCHITECT JEFF A. HOUGHTALING LA 6666783 STATE OF FLORIDA

MAY 3, 2017

LP-2

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GROUND LEVEL LANDSCAPE PLAN

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Drawing Status
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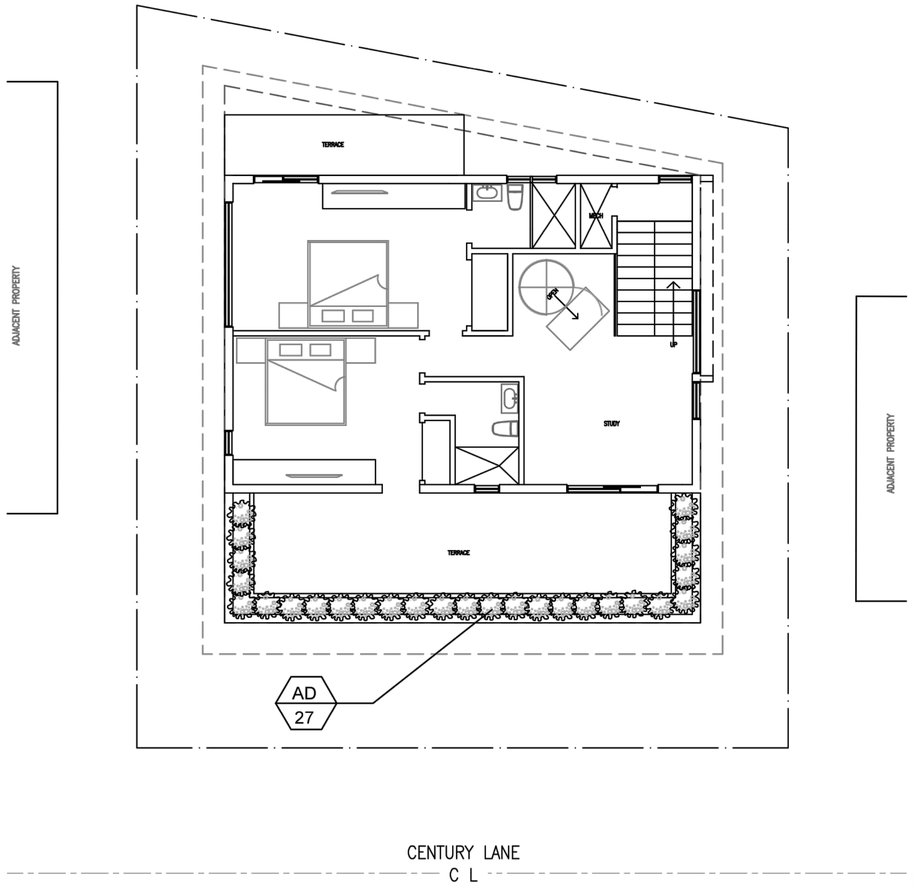

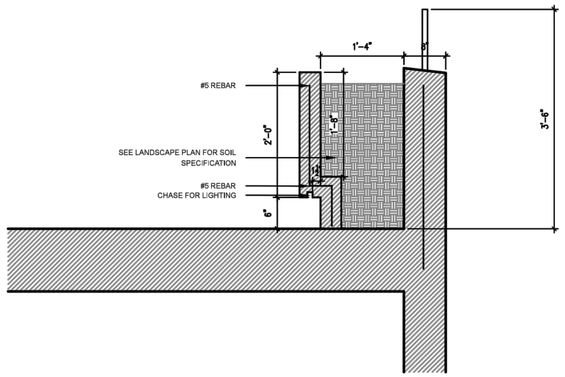

TERRACE PLANTER DETAIL

Jeff Houghtaling

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DN: cn=Jeff Houghtaling, o=JBD Design Inc. Landscape Architecture, ou, email=jeff@jbddesigninc.com, c=US
Date: 2017.05.03 16:58:29 -04'00'

0 05 10 20

SCALE: 1"=10'

SECOND LEVEL LANDSCAPE PLAN

REFER TO SHEET LP-5 FOR PLANT SCHEDULE, SPECIFICATIONS, AND PLANTING DETAILS

MAY 2, 2017

LP-3

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NEW CUSTOM RESIDENCE
11 CENTURY LANE
MIAMI BEACH, FLORIDA

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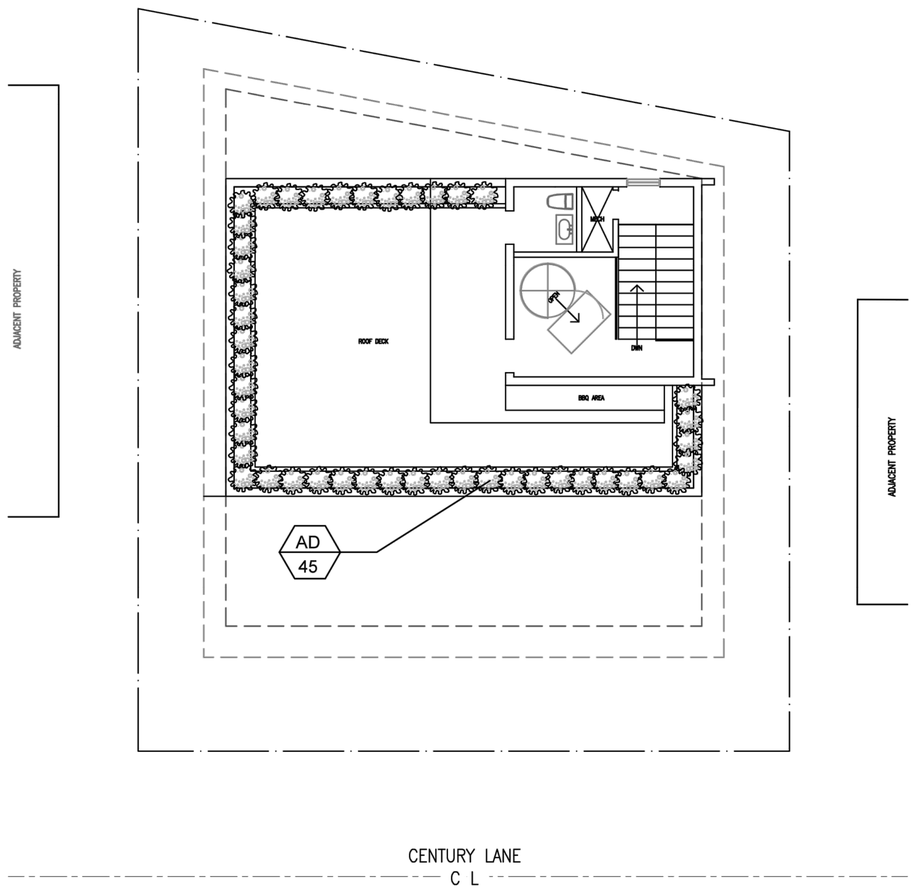
Project Title
CASA EVA

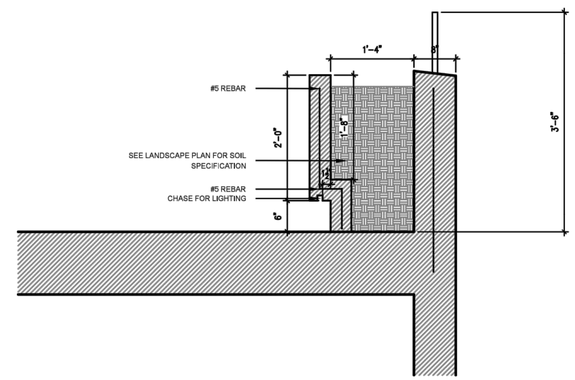
Date 08/04/2017
Issued
Drawn BB
Checked JC
Revisions

Scale / North Point
AS SHOWN

Drawing Title
SECOND LEVEL LANDSCAPE PLAN

Project No.
Drawing Number LP-3
Drawing Status
-





TERRACE PLANTER DETAIL

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SCALE: 1"=10'-0"

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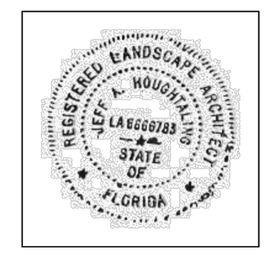
Date: 2017.05.03 16:59:08 -04'00'

UPPER LEVEL LANDSCAPE PLAN

REFER TO SHEET LP- 5 FOR PLANT SCHEDULE, SPECIFICATIONS, AND PLANTING DETAILS



MAY 2, 2017

LP-4

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Drawing Title
UPPER LEVEL LANDSCAPE PLAN

Project No.
Drawing Number LP-4
Drawing Status
-

LANDSCAPE SPECIFICATIONS

1. **SCOPE OF WORK:**

The scope of work for the Landscape Contractor includes furnishing all plants, materials and equipment and labor needed for installation of plant materials as indicated on plans and/or in these specifications.

2. **PLANT MATERIALS:**

A. All plant materials shall be nursery grown unless otherwise noted. Abbreviations on plant list:

C.T. (Indicates clear trunk)
Spr. (Indicates spread)
Ct. (Indicates clear trunk measurement from top of ball, to first branching)
O.A. (Indicates overall height from top of ball to mid point of current season's growth)

B. **Quality and Size:** Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting. Requirements for measurements, branching, grading, quality, balling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard of Nursery Stock. Plant materials shall be graded Florida No. 1 or better as outlined under Grades & Standards for nursery plants, State Plant Board of Florida, latest edition. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plants shall be free of weeds or any other objectionable vegetation.

C. **Quantities:** All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Landscape Architect is to be notified for the clarification prior to the submission of bids.

D. **Substitution:** Plant substitution requests by the Contractor will be considered by the Landscape Architect only upon submission of proof that any plant is not obtainable in the type and size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the owner.

3. **COMMERCIAL FERTILIZERS:**

A. Commercial fertilizer shall conform to ANSI A300 Part2 fertilizer specifications.

4. **PLANTING SOIL:**

Planting soil shall be sandy loam and shall contain a minimum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots and other foreign materials which may be a hinderance to planting operations or be detrimental to good plant growth. Soil shall be delivered in a loose friable condition and be applied in accordance with the Planting Specifications.

5. **MULCH:**

Mulches shall not contain sticks larger that 1/4 inch in diameter, stones, or other foreign material that will prevent the eventual decay of the mulch necessary for its complete effectiveness. Mulch shall be applied evenly in a 3" matt.

6. **WATER:**

Water for planting will be available at the site and will be provided by the Owner. All conditions regarding site water shall be verified by Contractor prior to submission of bids.

7. **PROTECTION OF PLANTS:**

A. **Root Protection:**

1. **Balled and Burlapped Plants:** Plants designated "B & B" (balled and burlapped) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of plant. Balls shall be firmly wrapped with burlap. All collected plants shall be B&B.

2. **Container Grown Plants:** Plants grown in containers will be accepted as "B & B" providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the Drawings, and shall not be governed by container sizes.

B. **Protection During Transportation:** All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage.

C. **Protection After Delivery:** Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until planted. Storage period shall not exceed seventy-two (72) hours.

D. **Protection of Palms (If Applicable):** Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. With the exception of Cabbage Palms, which shall be "hurricane cut".

E. **Protection During Planting:** Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens, or other approved methods.

8. **IMPLEMENTATION**

A. **Layout:** Locations of plants and outlines of shrub beds are indicated on the PLAN. All tree, palm, and accent locations shall be staked in the field by the Contractor, so as to satisfactorily match the locations indicated on the plan. Any unforeseen underground utilities shall be verified by General Contractor and communicated to the L.A. ASAP so that necessary adjustments can be made.

B. **Soil Preparation:** Soil shall be prepared in accordance with specifications outlined in statement 4.

C. **Excavation for Planting:** Excavation of plant pits shall be circular in outline and shall extend to the required subgrades as specified hereunder. The minimum depth of plant pits specified below shall be measured from the finish grade. Mass planting beds shall be stripped of all vegetation prior to planting.

D. **Balled and Burlapped Plants:** After final setting, loosen burlap wrappings exposing the top of the root ball, leaving the ball unbroken. Remove excessive amounts of burlap to eliminate voids which may be caused upon decomposition.

E. **Container Grown Plants:** Container grown plants shall, when delivered, have sufficient growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of the root balls and containers shall be removed carefully to prevent damage to plant or root system.

F. **Pit Sizes:** Minimum diameter (width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

1. Diameter – Trees: 18" greater than diameter of ball or spread of roots.
2. Diameter – Shrubs: 6" greater than diameter of ball or spread of roots.
3. Depth – Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the rootball. (Large, heavy trees and shrubs may sit directly on unexcavated pit bottom if it is determined that undue settlement may occur.)
4. Depth – Vine Groundcovers: Pits shall conform to accepted nursery practice for the particular species and equal the plant pot depth plus one (1) inch.

G. **Setting Trees and Shrubs:** Unless otherwise specified, all trees and shrubs shall be planted in pits, centered, and set on four inches (4") of compacted planting soil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire, and surplus binding from top and sides of the balls, shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly, avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in to the level of the finished grade allowing for three inches (3") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.

H. **Setting Palms:** All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.

I. **Fertilization:** All fertilization shall conform to ANSI A300 Part 2 specifications.

J. **Correct Placement of Granules:** Refer to ANSI A300 Part 2 specifications on fertilization.

K. **Pruning:** Remove dead and broken branches from all plant materials. Prune to retain typical growth habit of individual species with as much height and spread as is practicable. Make all pruning cuts with a sharp instrument flush with trunk or adjacent branch, in such a manner as to ensure elimination of stubs. "Headback" cuts, right angle to line of growth, will not be permitted and trees will not be poled or topped. Paint all cuts 1/2" in diameter and larger with approved waterproof antiseptic tree paint and remove trimmings from site.

L. **Guying and Staking:** Guy all trees 1 – 1 1/2" in caliper and greater in three (3) directions with double strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less that 1/3 of the height of tree above finished diameter or more, if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizontal. Keep guys tight until project completion. In staking palms and broadleaf trees no nails or other fasteners will directly penetrate the trunks. Wood 2 x 4 battens 12 inches long, separated by a minimum of four (4) layers of burlap can be attached to the trunk of the tree with metal banding. Stakes can only be nailed to the wooden battens.

M. **Excess Excavated Soil:** Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner.

9. **SOD (When Applicable):**

A. **Soil:** The contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1") to all areas receiving sod.

B. **Grades:**
Finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Landscape Architect prior to the application of sod. If supplemental topsoil is to be spread, no sod shall be laid until the depth of this soil has been approved.

C. The sod shall be as called for on the Landscape Drawings. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no Bermuda Grass, weeds, or any other objectionable vegetation. The soil underlain with the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.

D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mover, with the final mowing not more that seven (7) days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

E. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

10. **CLEAN UP:**

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly, keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site.

11. **MAINTENANCE:**

A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright positions and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

B.

planting.

C. In the event of the threat of serious damage resulting from insects of disease prior to final acceptance, the plants shall be treated by preventative or remedial measures approved for good horticultural practice at no additional cost to the Owner.

12. **INSPECTION AND ACCEPTANCE:**

A. **Inspection:** Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and /or Landscape Architect, at the Contractor.

B. **Acceptance:** After inspection, the contractor will be notified by the Owner and/or Landscape Architect of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

13. **GUARANTEE AND REPLACEMENT:**

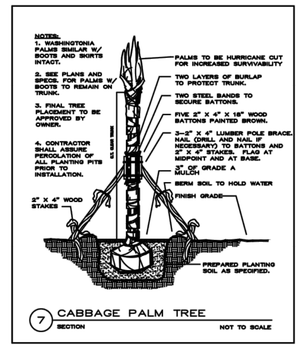
A. **Guarantee:** The Contractor, as part of his Contract, shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of six (6) months from the time of completion and acceptance. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. Where vandalism is agreed by the Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the six month guarantee after final acceptance.

*Trees and Palms shall be guaranteed for twelve (12) months.

B. Sod shall be guaranteed for a two (2) month period, dating from final acceptance and any lawn care which becomes necessary during the completion period will be the responsibility of the Contractor to ensure a vigorous strand of grass.

GENERAL NOTES

1. Contractor shall field verify all site conditions prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
2. Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
3. Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
4. Report any discrepancies between the construction drawings and field conditions to JBD Design, Inc. immediately.
5. Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
6. The location of the landscape holding area will be identified by the owner's representative. The contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others.
7. All plant materials shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants"(latest edition) published by the Florida Department of Agriculture and Consumer Services. The project manual and/or specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
8. All container and caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
9. Any tree with a trunk formed "V" shape crotch and co-dominant leaders will be rejected.
10. Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
11. Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
12. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities, structures, above ground elements. All changes shall be made and completed at the Contractor's expense and shall be coordinated with the Owner's Representative and/or the Landscape Architect.
13. Contractor shall mulch all new plant material throughout and completely to depth specified.
14. Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
15. Contractor shall refer to the landscape planting details, plant list, general notes and the specifications for further and complete landscape planting instructions.
16. Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
17. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
18. Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
19. Landscaping shall be permitted in easements only with the written permission of the easement holder. The written permission shall specify those responsible for replacing disturbed planting areas and shall be submitted to the County. Written permission to plant in easements shall be filed with the land records applicable to the site.



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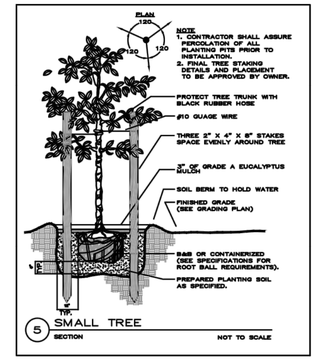

5 SMALL TREE
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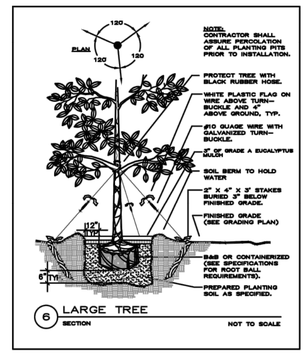

6 LARGE TREE
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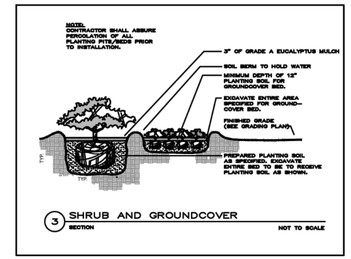

3 SHRUB AND GROUNDCOVER
SECTION NOT TO SCALE

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
AD	72	Asparagus densiflorus "Sprengeri"	Asparagus Fern	3 gallon, full,dense/ 24"x24"/ plant in well draining soil
ARS	13	Alocasia "Regal Shields"	Regal Shields	3 gallon, full,dense/ 24"x24"/ 24" on center spacing
CE	99	Conocarpus erectus	Green Buttonwood	7 gallon, full,dense/ 36"x30"/ 30" o.c./ full to base
CE6	11	Conocarpus erectus	Green Buttonwood	25 gallon, full, dense to base/ 6' height x 4' minimum spread
CES	5	Conocarpus erectus "Sericeus"	Silver Buttonwood	12' overall height x 6' spread/ 2.5" min. caliper/ full,dense canopy/ Florida #1
CTN	24	Codeaum variegatum	Croton	3 gallon, full,dense, 24"x24". 24" on center spacing "Magnificent"
GIF1	1	Ficus microcarpa 'Green Island'	Green Island Ficus	6'-7' overall height/ Bonsai Specimen/ contractor to submit photos to L.A. for review and approval
GL	3	Bursera simaruba	Gumbo Limbo	14' overall height/ 8' spread/ 6' clear trunk/ min. 3" cal./ Florida #1
GO	26	Spatheglottis SPP	Ground Orchid	3 gallon full,dense/ 18"x18"/ 18" on center spacing/ PINK
IV	49	Ilex vomitoria	Dwarf Yaupon Holly	3 gallon/ 12"x12"/ 12" on center spacing
LSB	80	Liriope "Super Blue"	Super Blue Liriope	1 gallon, full,dense / 12" on center spacing
SL	7	Sansevieria laurentii	Snake Plant	3 gallon, full,dense/ 24" height/ 18" on center spacing
SOD	200	Stenotaphrum secundatum	St. Augustine Sod	set in staggered rows with tight joints/ units in approximate square feet
SP	6	Sabal palmetto	Cabbage Palm	16'-20' C.T. heights/ Slick Trunks/ stagger heights in groupings

Jeff Houghtaling

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LP-5

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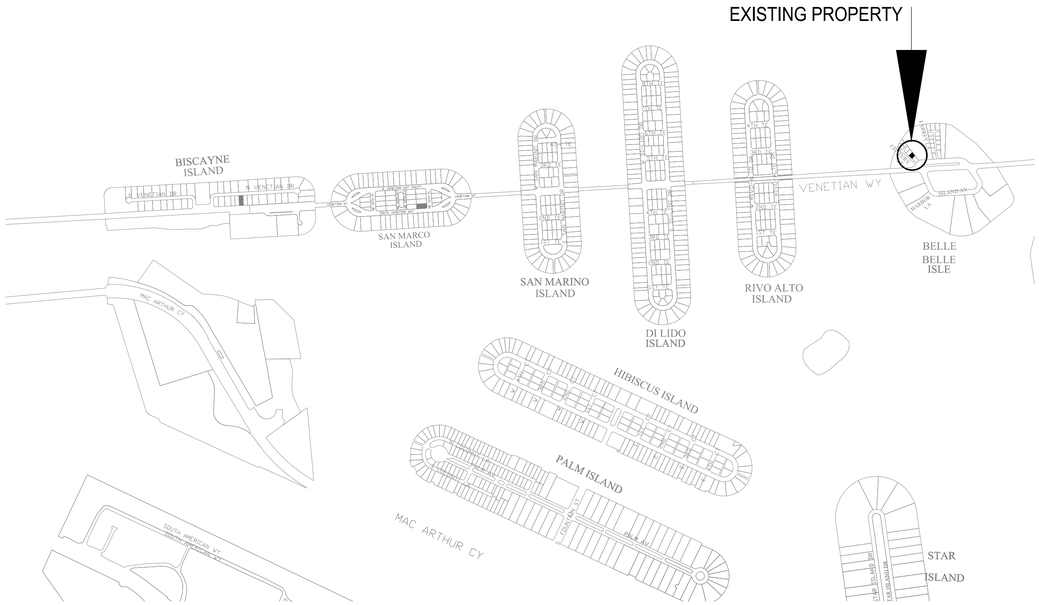

VICINITY MAP
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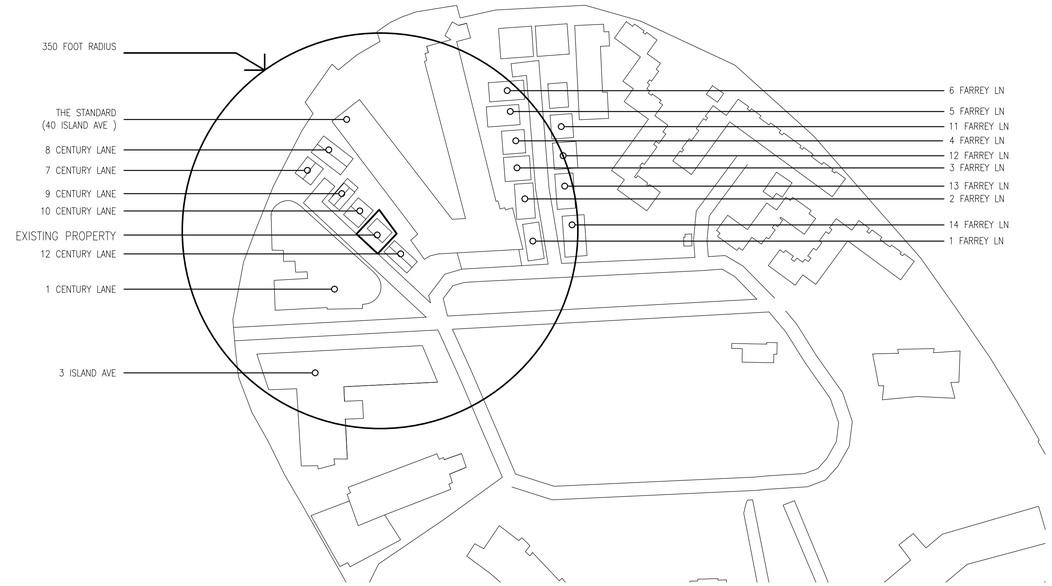
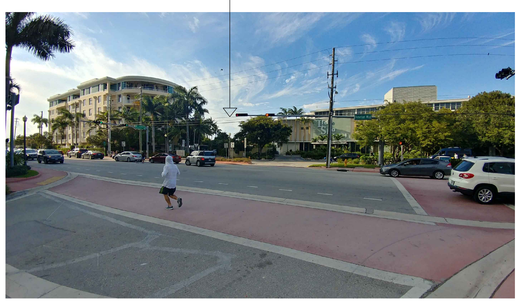
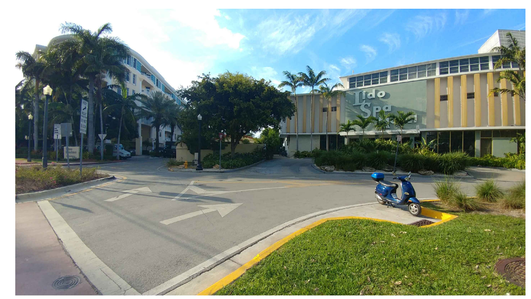


350' RADIUS MAP
SCALE: nts

EXISTING PROPERTY





EXISTING PROPERTY

EXISTING PROPERTY

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11 CENTURY LANE
MIAMI BEACH, FL 33139

Project Title
CASA EVA

Date 08/04/2017
Issued
Drawn BB
Checked JC
Revisions

Scale / North Point
AS SHOWN

Drawing Title
CONTEXTUAL INFORMATION

Project No.
Drawing Number
A-0A
Drawing Status
-

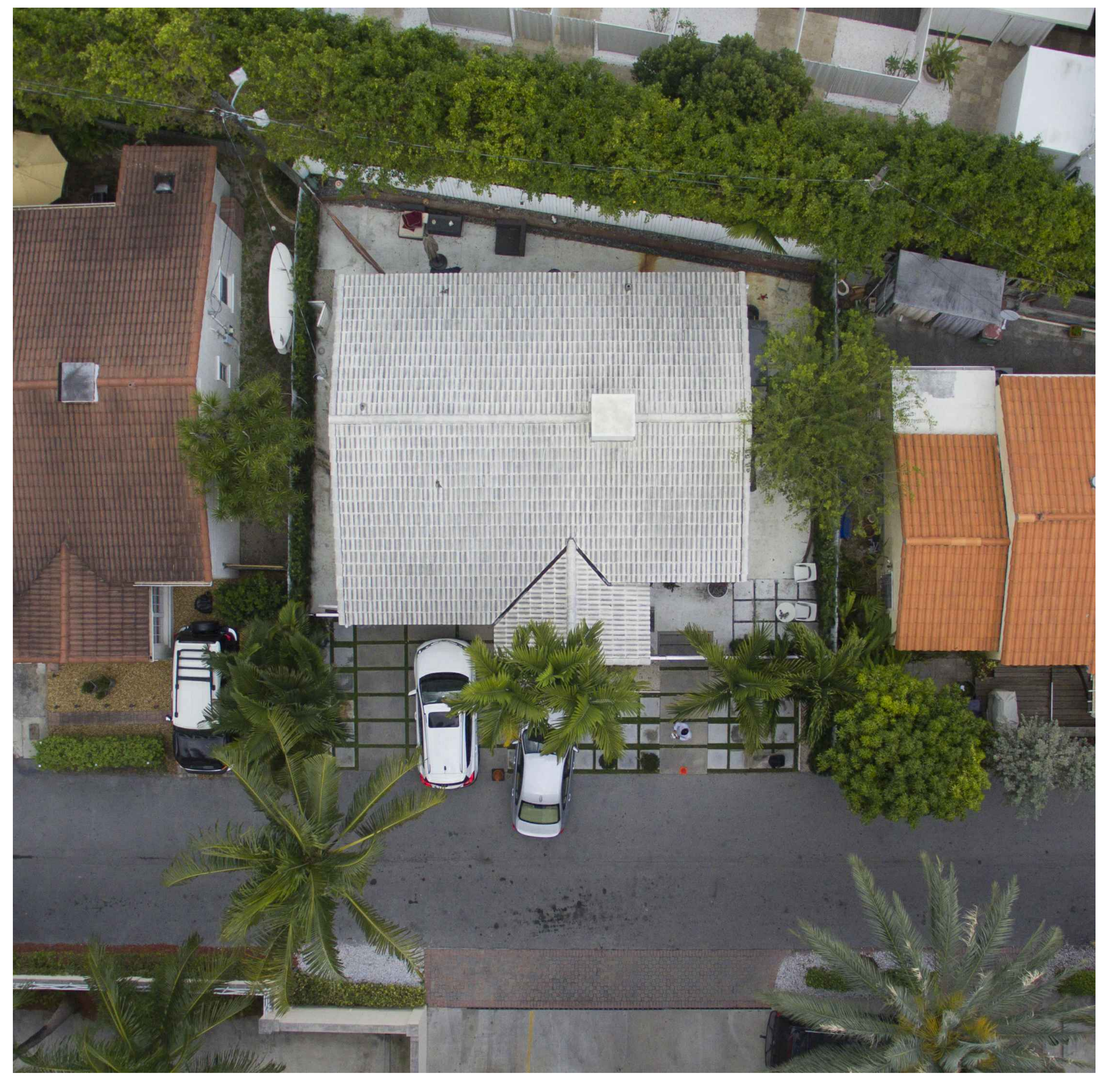
ADJACENT PROPERTY: NORTH

EXISTING PROPERTY

ADJACENT PROPERTY: SOUTH

LOOKING NORTH ON CENTURY LANE

LOOKING SOUTH ON CENTURY LANE



AERIAL OVER EXISTING PROPERTY

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Drawing Title
CONTEXTUAL INFORMATION

Project No.
Drawing Number
A-0B
Drawing Status
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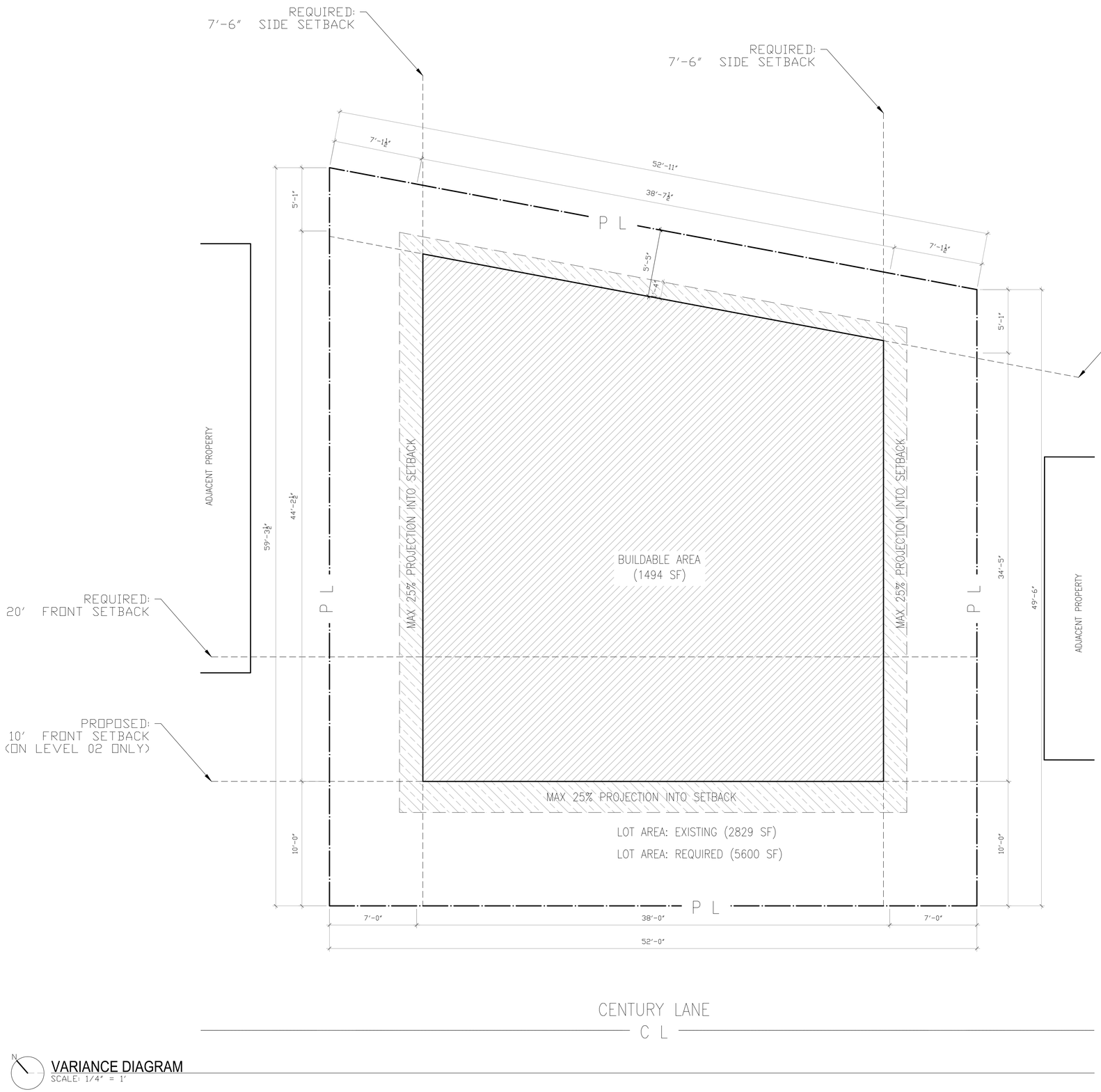

PROJECTIONS (25% OF SETBACK)

BUILDABLE AREA (1494 SF)

VARIANCES:

1. LOT SIZE: VARIANCE REQUEST TO ACCOMMODATE EXISTING LOT SIZE OF 2,829 SF FROM REQUIRED 5,600 SF.

2. FRONT SETBACK (WEST): VARIANCE REQUEST TO ALLOW 10'-0" SETBACK IN LIEU OF REQUIRED 20'-0". (THIS VARIANCE ONLY OCCURS ON LEVEL 01.

3. PARKING FRONT SETBACK (WEST): A VARIANCE TO ELIMINATE ALL OF THE REQUIRED FRONT SETBACK OF 20'-0" IN ORDER TO CONSTRUCT PARKING AREA UP TO THE FRONT (WEST) PROPERTY LINE, FACING CENTURY LANE.

N

VARIANCE DIAGRAM

SCALE: 1/4" = 1'

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Scale / North Point
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Drawing Title
VARIANCE DIAGRAM

Project No.
Drawing Status
-

Drawing Number
A-01

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	11 Century Lane Miami Beach, FL 33139			
2	Board and file numbers :	DRB17-0134			
3	Folio number(s):	02-3233-002-0110			
4	Year constructed:	1941	Zoning District:	RM-1	
5	Based Flood Elevation:	(+) 9.00 NGVD	Grade value in NGVD:	4	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	2829 sf	
7	Lot width:	52'-0"	Lot Depth:	59'-3.5"	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	Res - Single Family	Proposed use:	Res - Single Family	
		Maximum	**Existing**	**Proposed**	**Deficiencies**
10	Height	50'	12'	40' -6" (From BFE)	none
11	Number of Stories	5	1	3	none
12	**FAR**				
13	Gross square footage	3536	1190	3488	none
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A
	Setbacks	**Required**	**Existing**	**Proposed**	**Deficiencies**
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
29	Front Setback:	20'-0"	10'-0"	20'-0"	10'-0"
30	Side Setback:	7'-6"	5'-6"	7'-6"	none
31	Side Setback:	7'-6"	9'-0"	7'-6"	none
32	Side Setback facing street:	N/A	N/A	N/A	N/A
33	Rear Setback:	5'-5"	5'-4"	5'-5"	none
	Tower:				
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A
	Parking	**Required**	**Existing**	**Proposed**	**Deficiencies**

NOTE: THE 'PARKING' CATEGORY WAS REMOVED TO FORMAT THIS PAGE. PLEASE NOTE THAT THIS CONTENT DOES NOT APPLY TO THIS PROJECT. FIELDS 39 - 50 WERE MARKED 'N/A'.

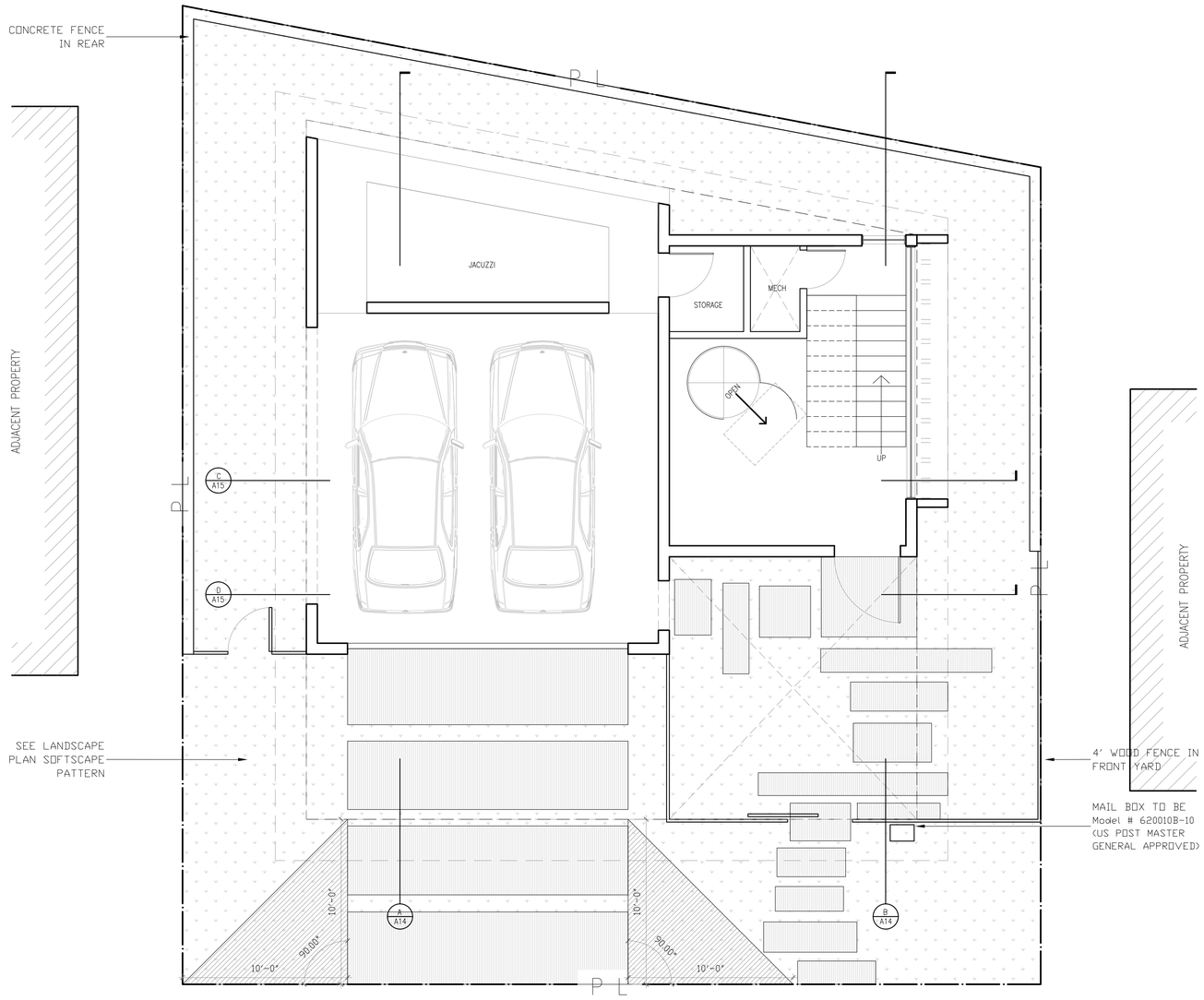
	Nightclubs	**Required**	**Existing**	**Proposed**	**Deficiencies**
51	Type of use	N/A	N/A	N/A	N/A
52	Number of seats located outside on private property	N/A	N/A	N/A	N/A
53	Number of seats inside	N/A	N/A	N/A	N/A
54	Total number of seats	N/A	N/A	N/A	N/A
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
56	Total occupant content	N/A	N/A	N/A	N/A
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
58	Proposed hours of operation	N/A			
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	No			
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	No			
61	Is this a contributing building?	No			
62	Located within a Local Historic Distr	No			

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

ZONING TABLE



N

SITE PLAN / LEVEL 00

SCALE: 1/4" = 1'

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MIAMI BEACH, FL 33139

Project Title

CASA EVA

Date 08/04/2017

Issued

Drawn BB

Checked JC

Revisions

Scale / North Point

AS SHOWN

Drawing Title

SITE PLAN

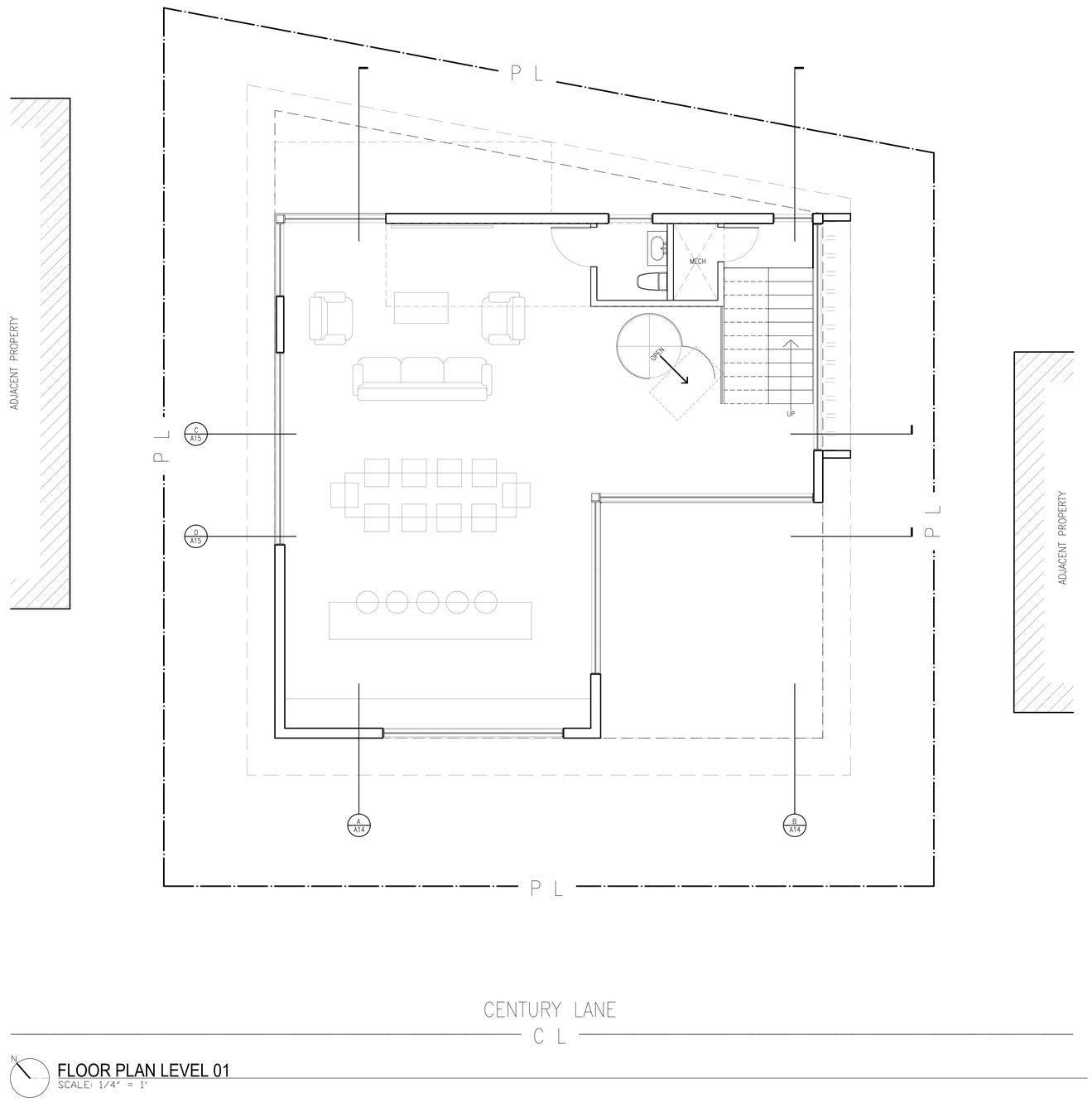
Project No.

Drawing Number

A-02

Drawing Status

-



N

FLOOR PLAN LEVEL 01

SCALE: 1/4" = 1'

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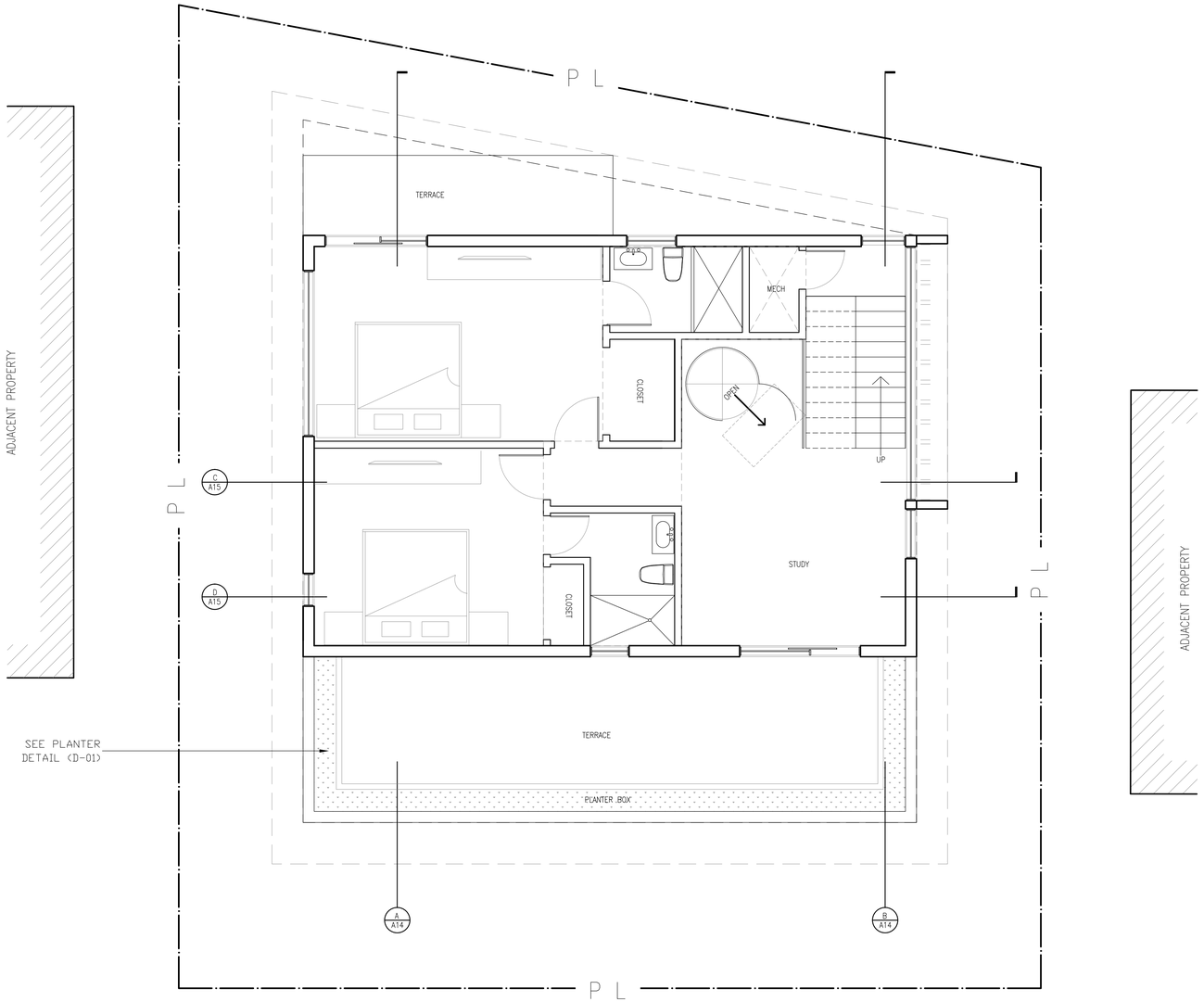
Drawing Title

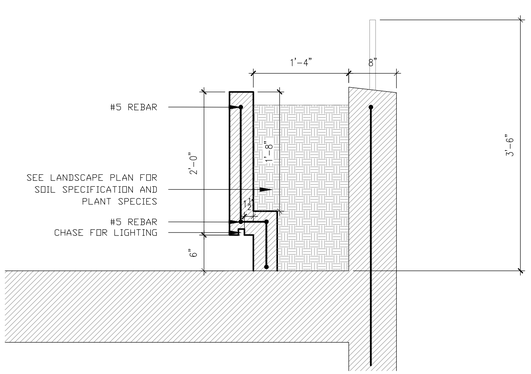
FLOOR PLAN

Project No.

Drawing Status
-

Drawing Number
A-03





D-01 TYPICAL PLANTER BOX DETAIL
SCALE: 1" = 1'

N FLOOR PLAN LEVEL 02
SCALE: 1/4" = 1'

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Project Title
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Date 08/04/2017
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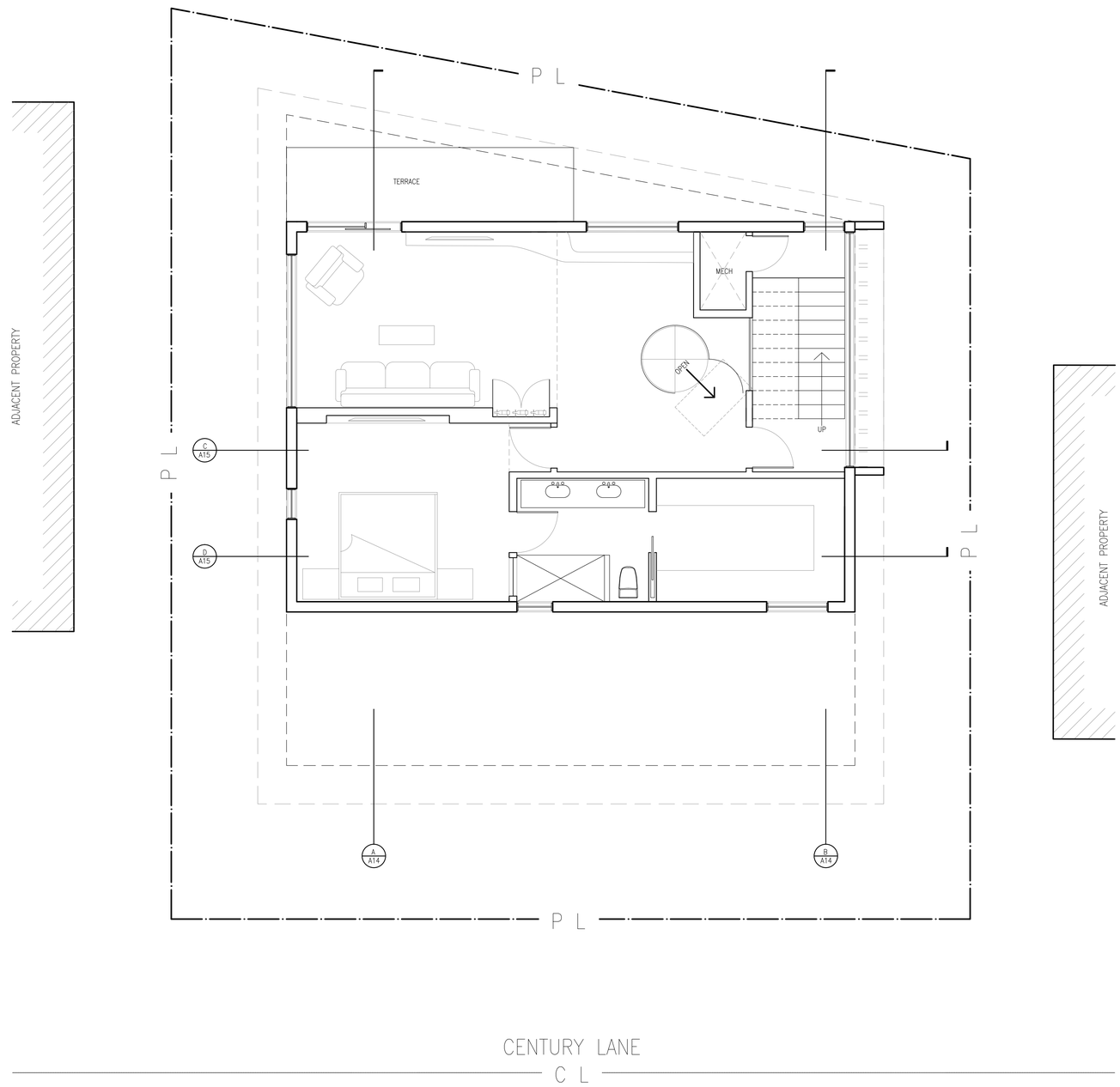
Drawing Title
FLOOR PLAN

Project No.
Drawing Number A-04
Drawing Status
-



FLOOR PLAN LEVEL 03

SCALE: 1/4" = 1'

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Drawing Title

FLOOR PLAN

Project No.

Drawing Status
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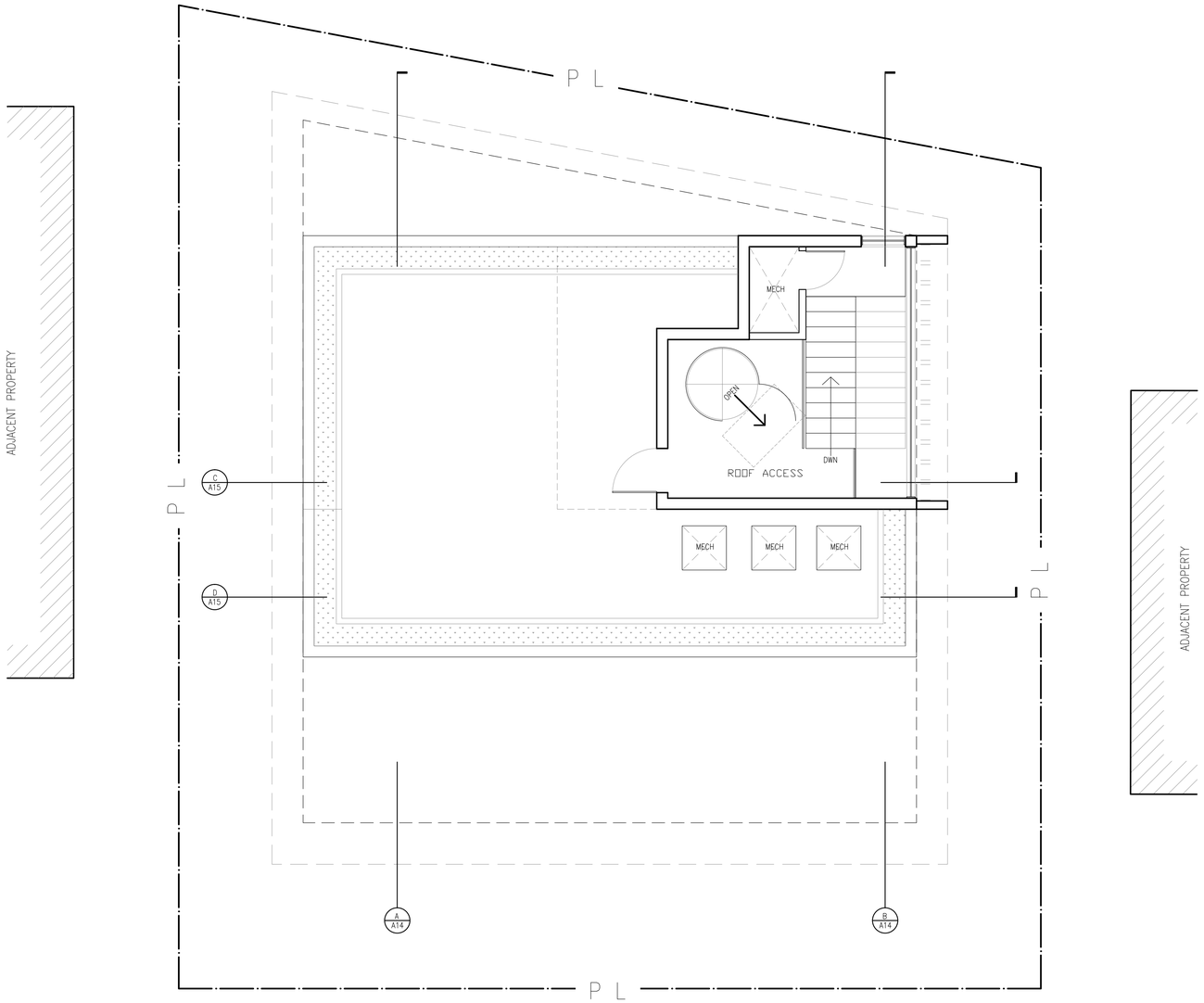
Drawing Number
A-05



CENTURY LANE

C L

N

ROOF ACCESS LEVEL

SCALE: 1/4" = 1'

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Drawing Title

FLOOR PLAN

Project No.

Drawing Status

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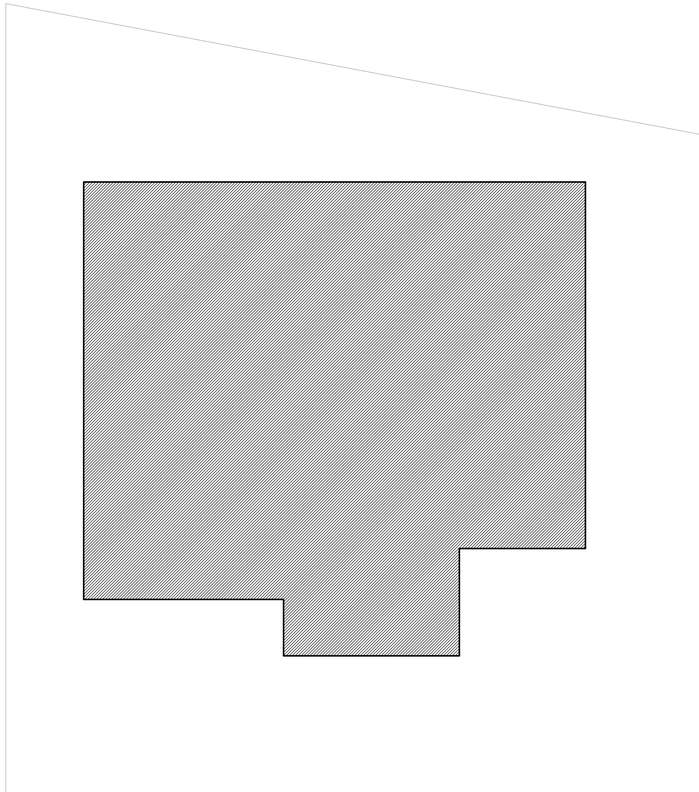
Drawing Number

A-06



N

FAR DIAGRAM - EXISTING STRUCTURE

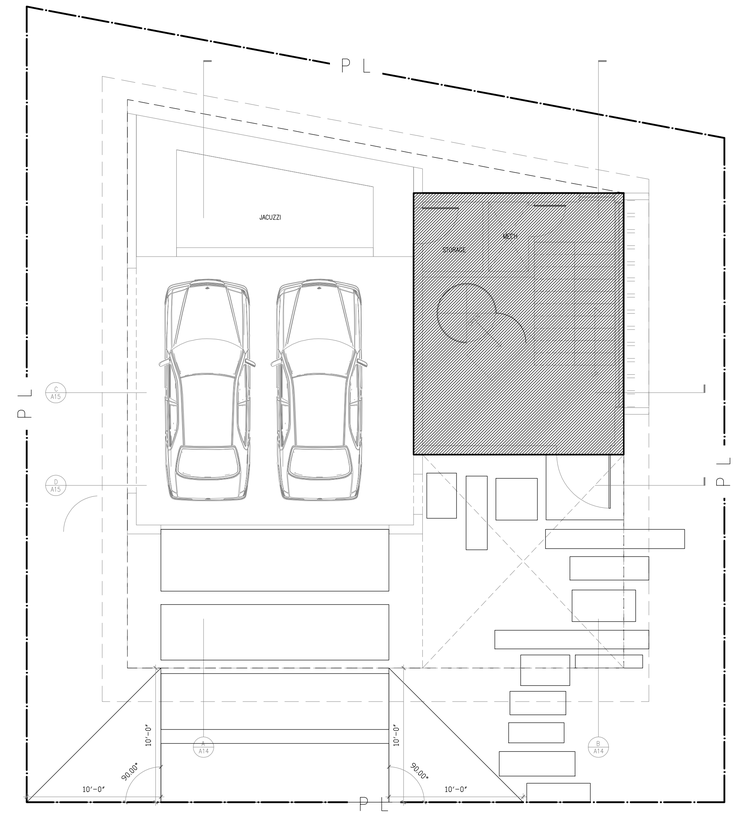
SCALE: 3/16" = 1'

FLOOR AREA RATIO (1.25)	MAX FAR: 1.25 (2829X1.25= 3536 SF)

EXISTING FAR:

FLOOR 00	1190 SF

TOTAL GROSS EXISTING: (1190 SF)



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FAR DIAGRAM - LEVEL 1

SCALE: 3/16" = 1'

FLOOR AREA RATIO (1.25)	MAX FAR: 1.25 (2829X1.25= 3536 SF)

PROPOSED FAR:

FLOOR 00	305 SF
FLOOR 01	1072 SF
FLOOR 02	940 SF
FLOOR 03	940 SF
ROOF ACCESS	231 SF

TOTAL GROSS PROPOSED: (3488 SF)

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Drawing Title

FAR CALCULATION

Project No.

Drawing Number

Drawing Status

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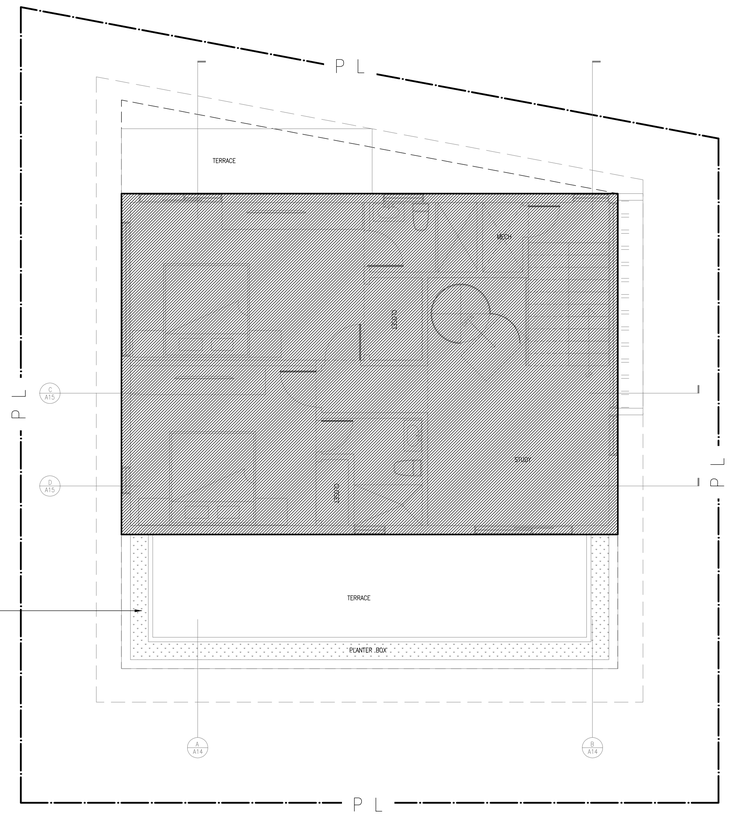
A-07



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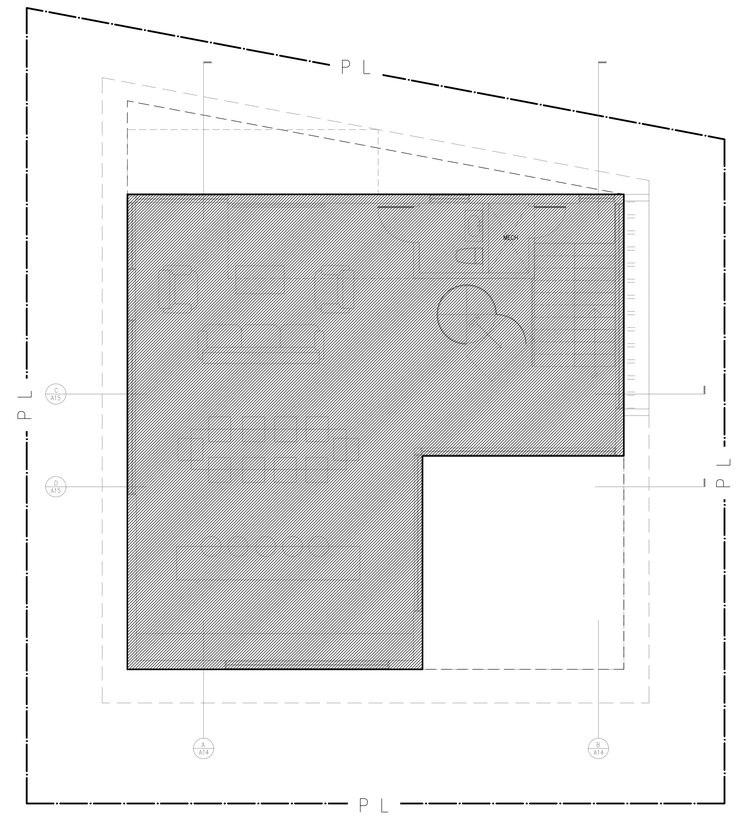
FAR DIAGRAM - LEVEL 2

SCALE: 3/16" = 1'



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FAR DIAGRAM - LEVEL 1

SCALE: 3/16" = 1'

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Drawing Title

FAR CALCULATION

Project No.

Drawing Status

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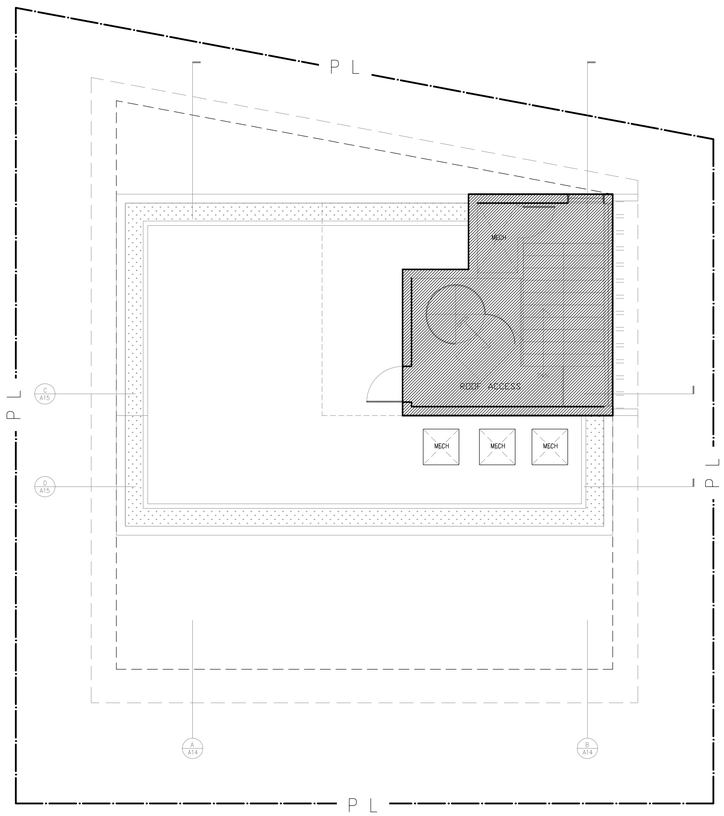
Drawing Number

A-08



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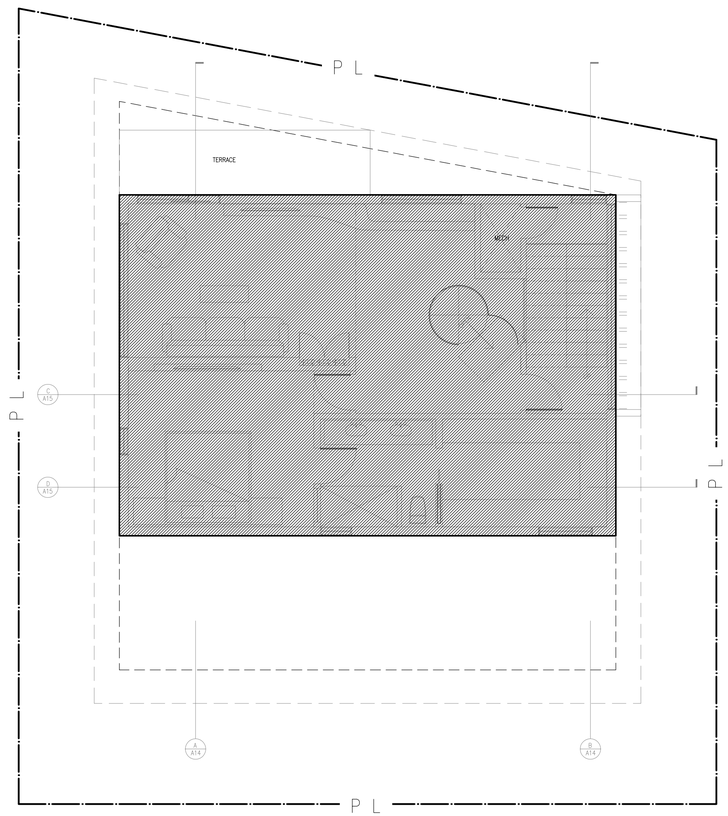
FAR DIAGRAM - ROOF ACCESS

SCALE: 3/16" = 1'



N

FAR DIAGRAM - LEVEL 03

SCALE: 3/16" = 1'

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BRIDGET EVA ALFRED LLC

11 CENTURY LANE

MIAMI BEACH, FL 33139

Project Title

CASA EVA

Date 08/04/2017

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Revisions

Scale / North Point

AS SHOWN

Drawing Title

FAR CALCULATION

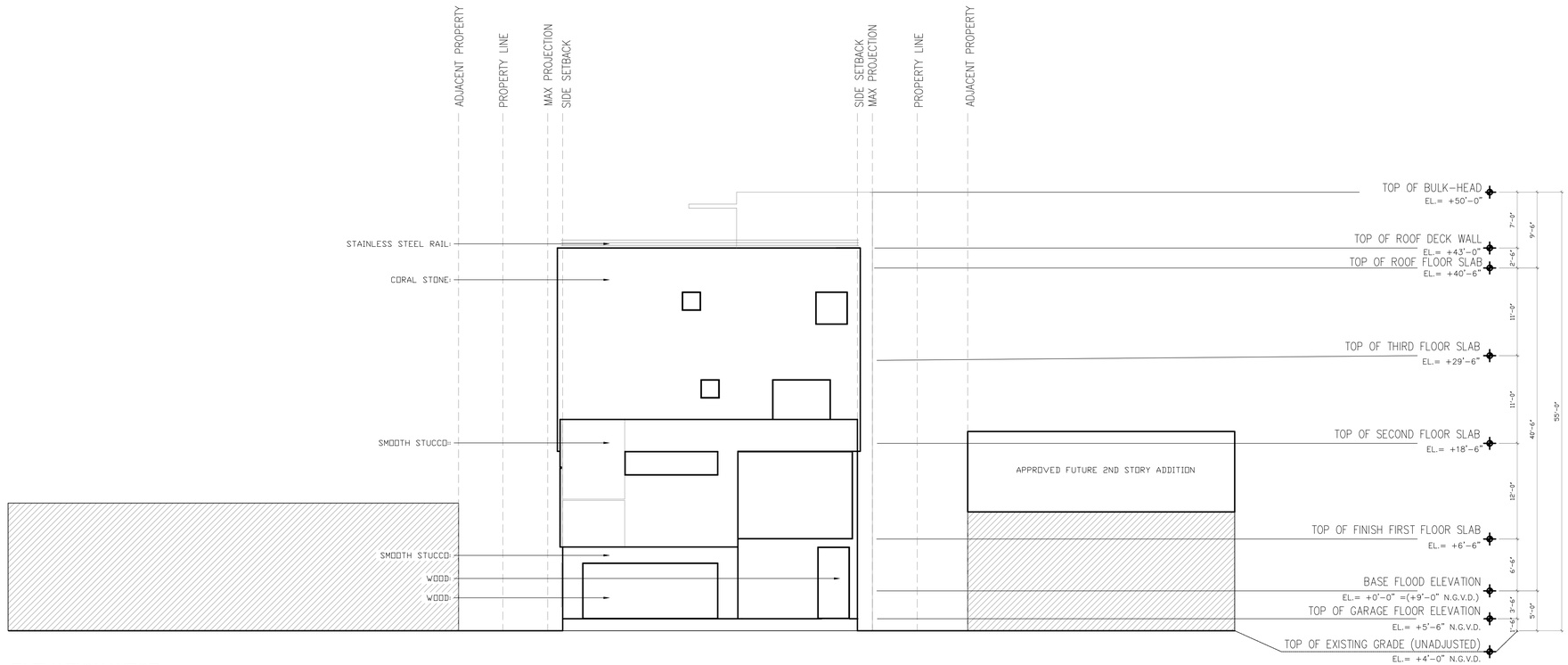
Project No.

Drawing Status

-

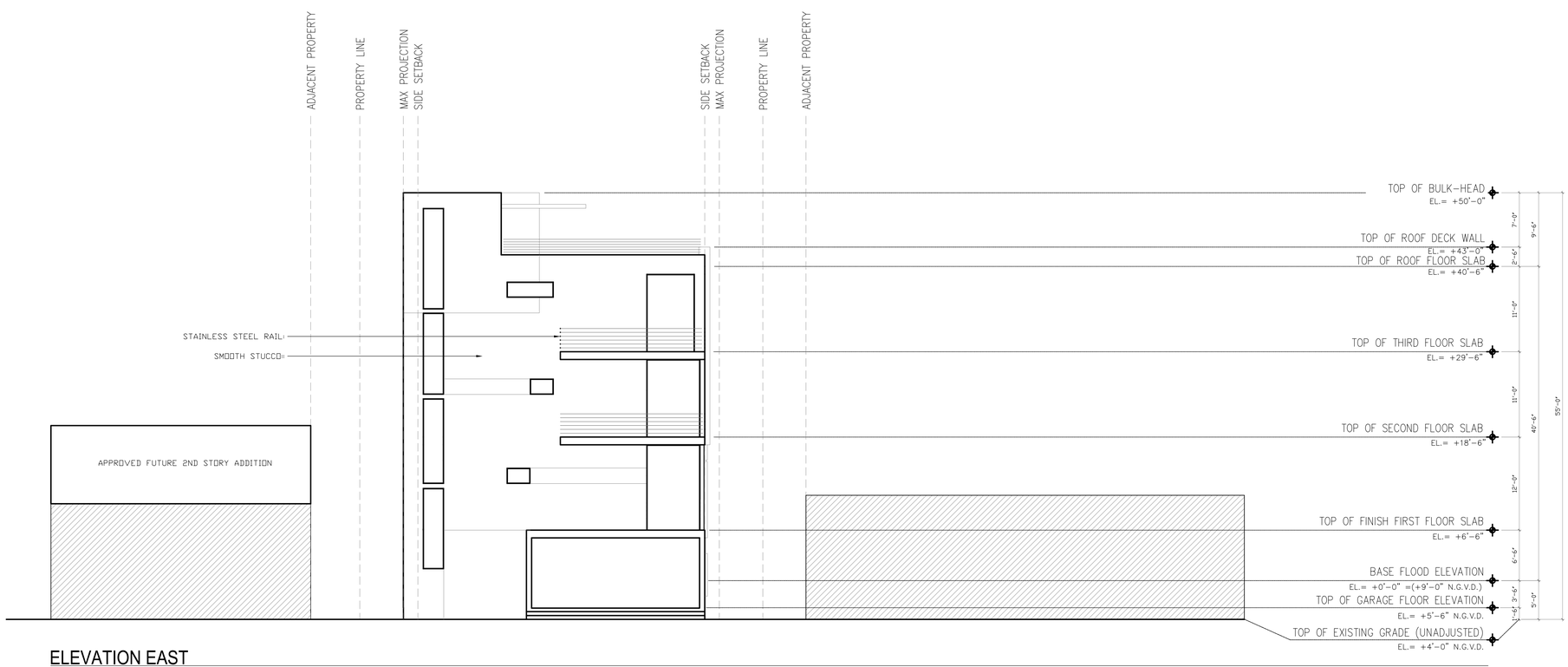
Drawing Number

A-09



ELEVATION WEST

SCALE: 1/8" = 1'



ELEVATION EAST

SCALE: 1/8" = 1'

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Drawing Title

ELEVATIONS

Project No.

Drawing Number

A-10

Drawing Status

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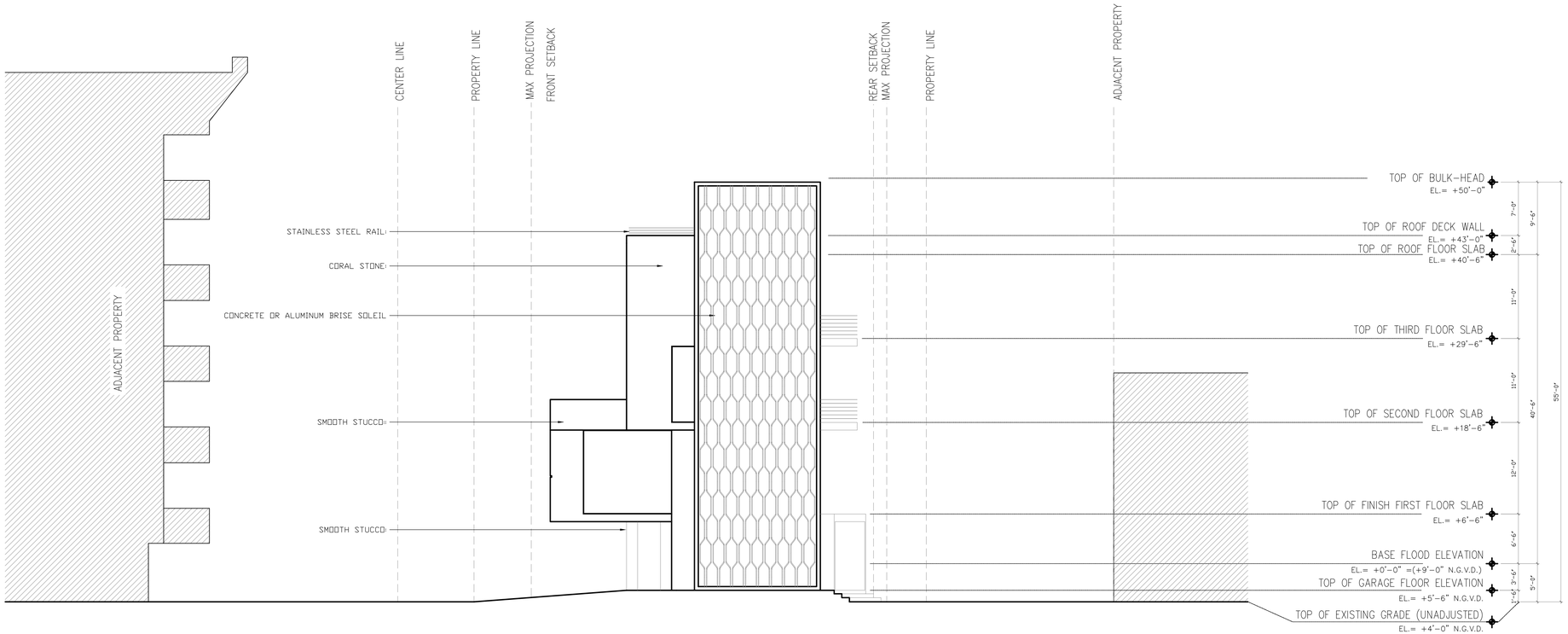
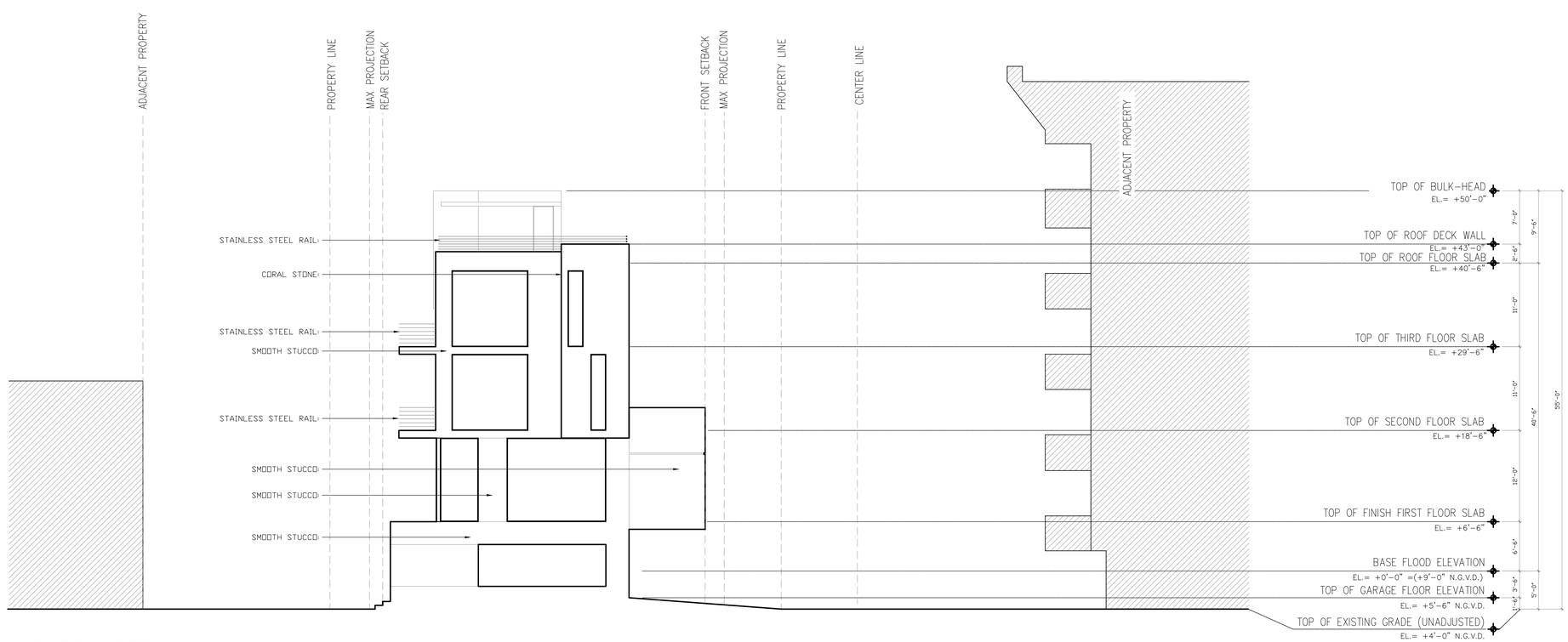


ELEVATION SOUTH

SCALE: 1/8" = 1'



ELEVATION NORTH

SCALE: 1/8" = 1'

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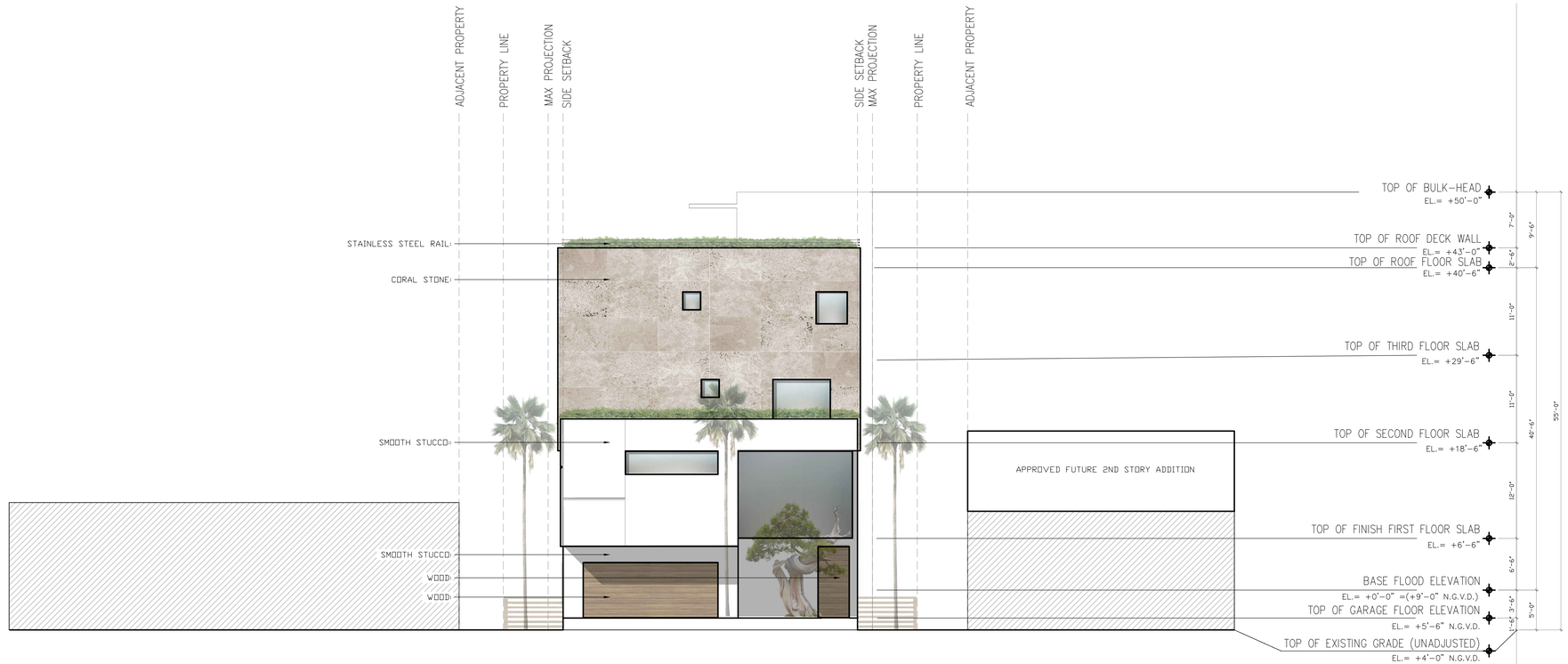
Drawing Title

ELEVATIONS

Project No.

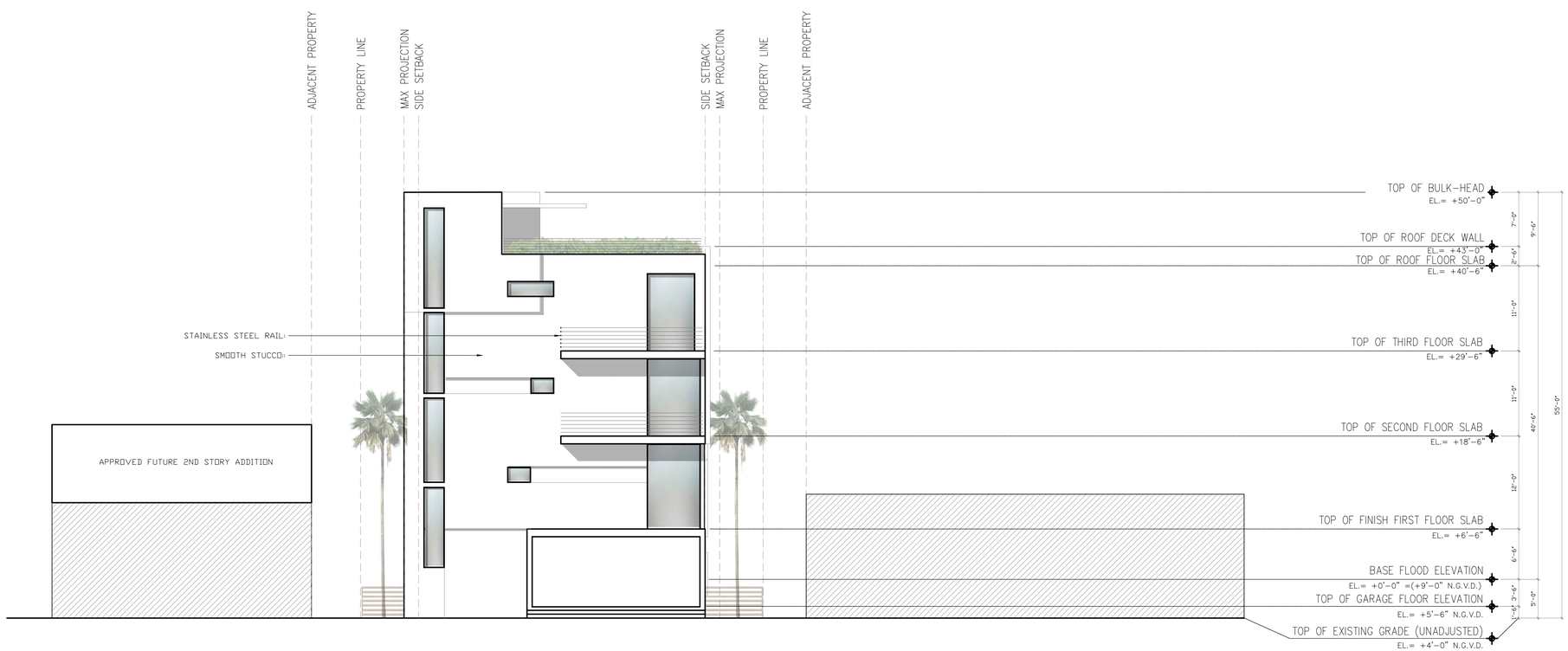
Drawing Number A-11

Drawing Status
-



ELEVATION WEST

SCALE: 1/8" = 1'



ELEVATION EAST

SCALE: 1/8" = 1'

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Drawing Title

RENDERED ELEVATIONS

Project No.

Drawing Number A-12

Drawing Status
-

ELEVATION SOUTH

SCALE: 1/8" = 1'

ELEVATION NORTH

SCALE: 1/8" = 1'

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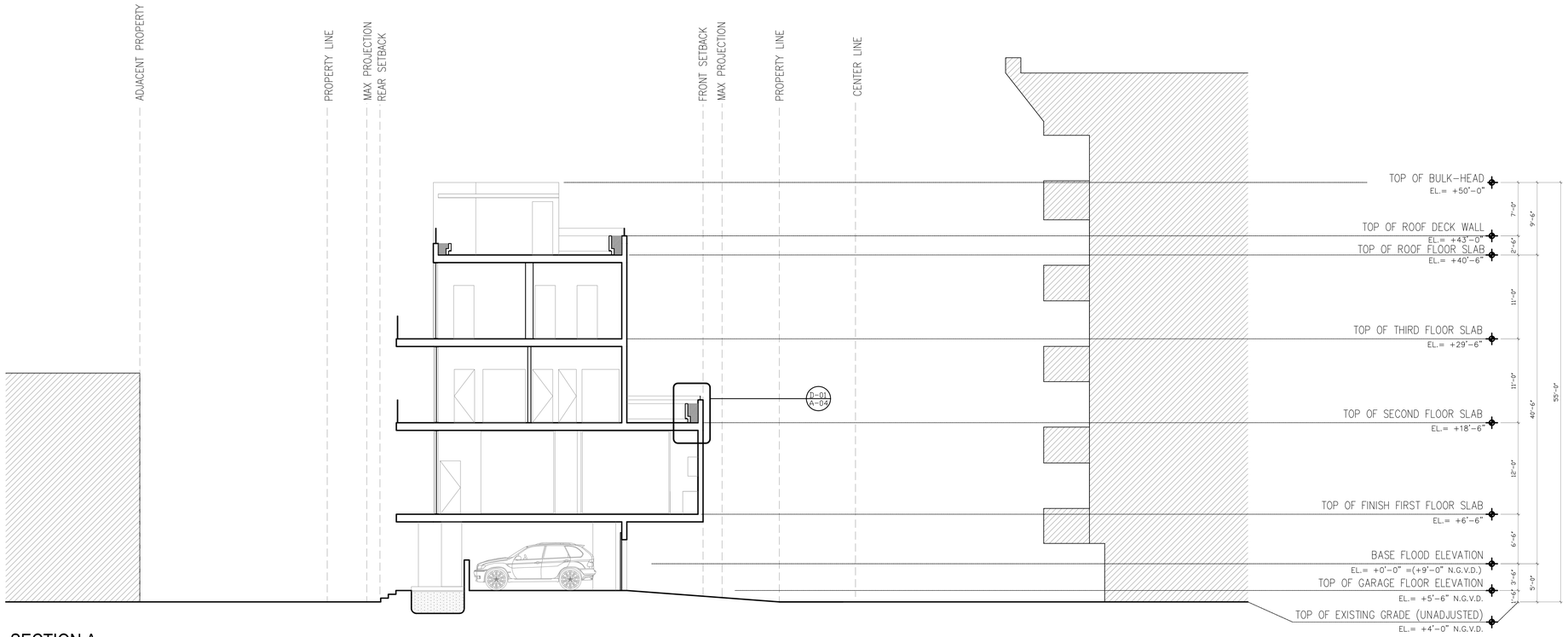
Drawing Title

RENDERED ELEVATIONS

Project No.

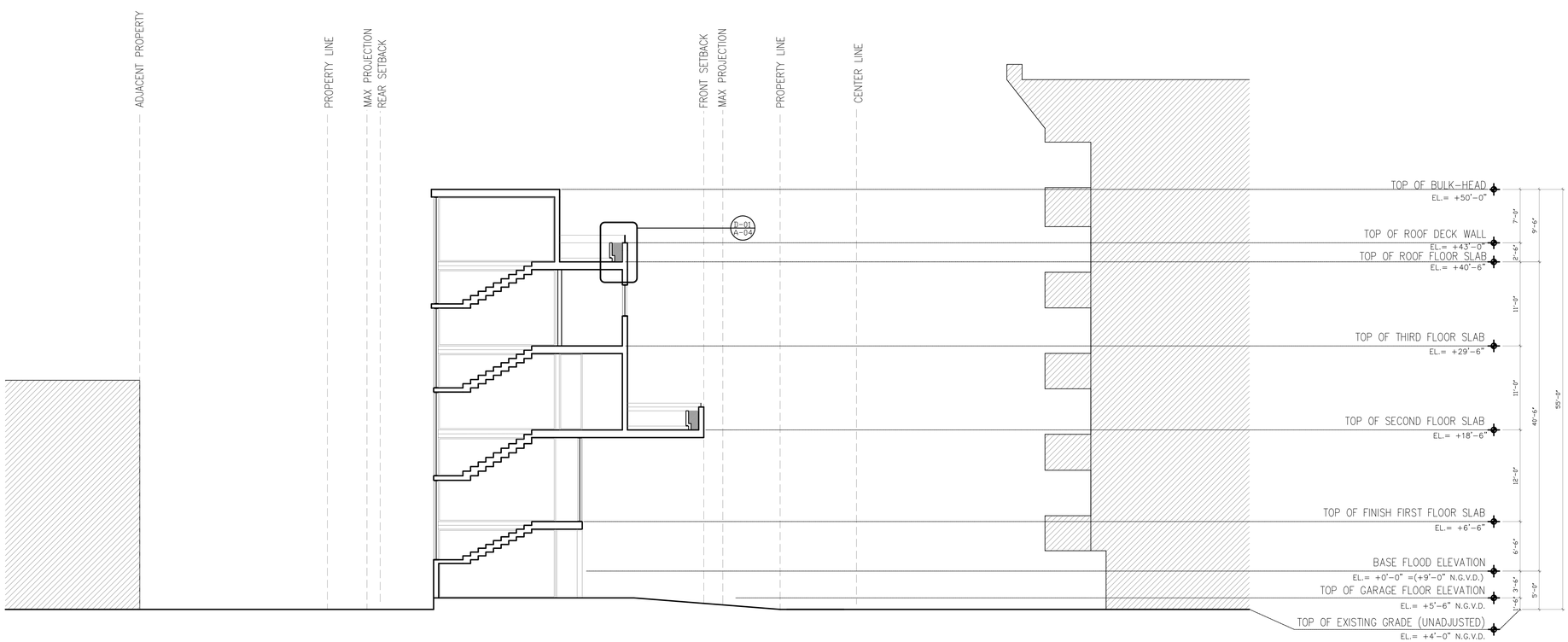
Drawing Number A-13

Drawing Status
-



SECTION A

SCALE: 1/8" = 1'



SECTION B

SCALE: 1/8" = 1'

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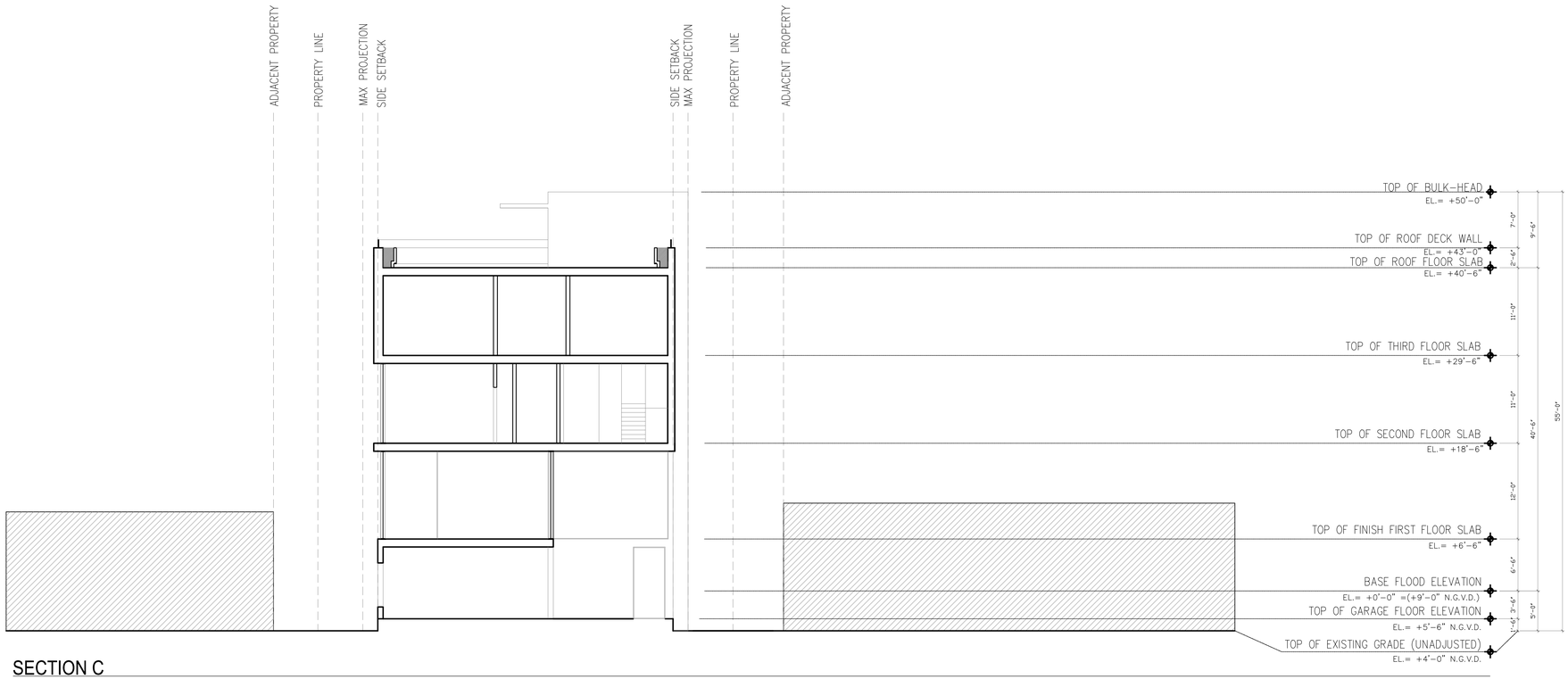
Drawing Title

SECTIONS

Project No.

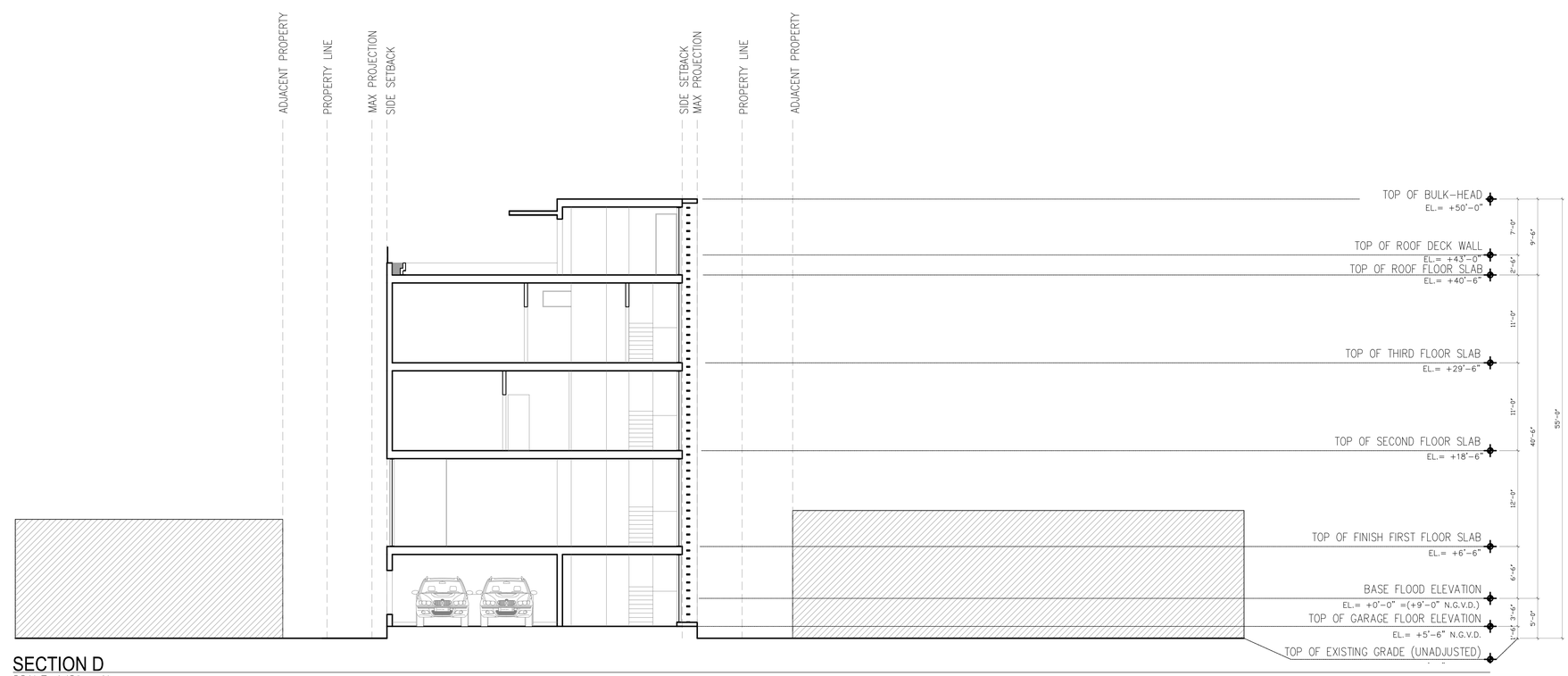
Drawing Status
-

Drawing Number
A-14



SECTION C

SCALE: 1/8" = 1'



SECTION D

SCALE: 1/8" = 1'

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Project Title

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Drawing Title

SECTIONS

Project No.

Drawing Number A-15

Drawing Status
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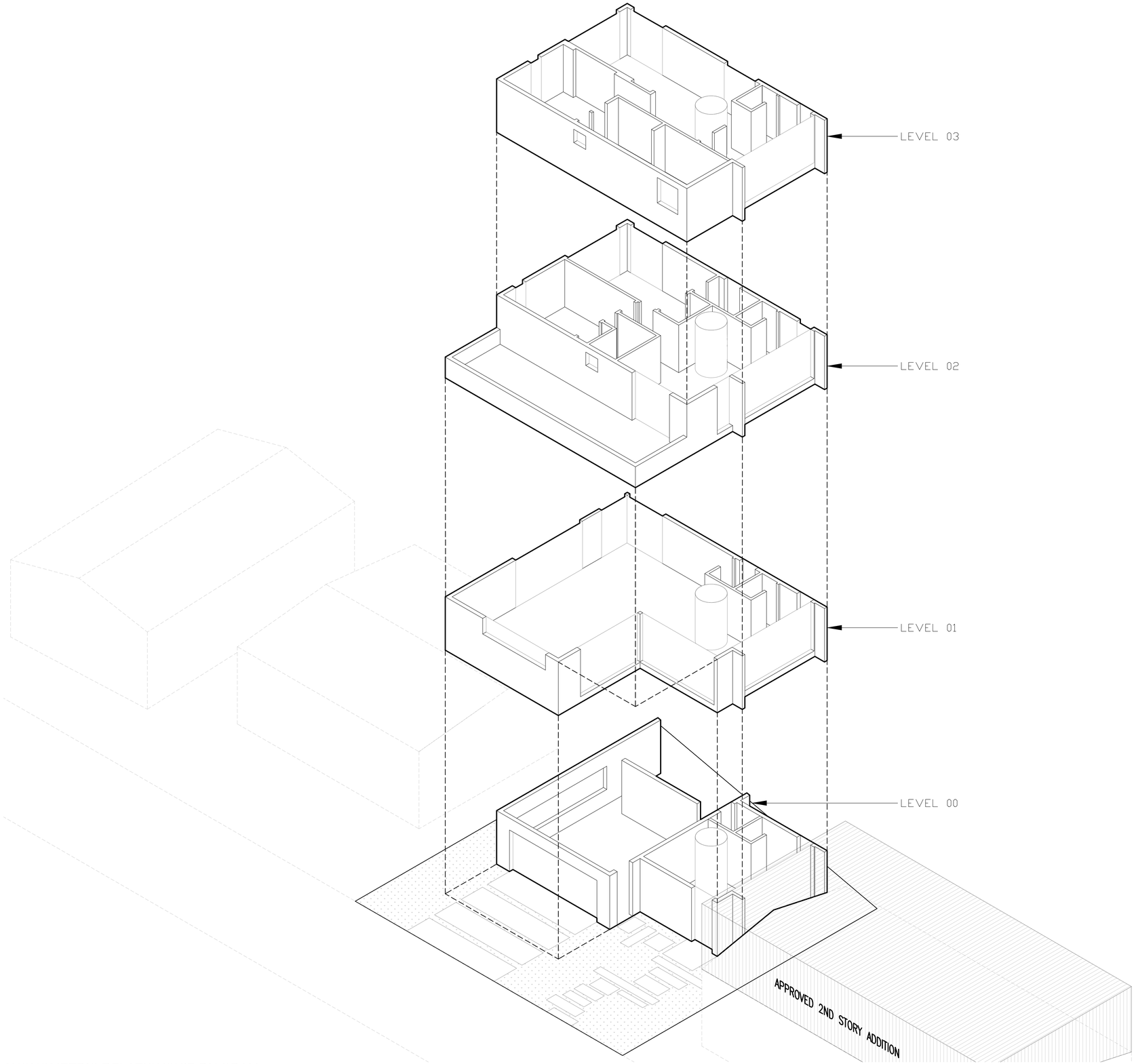

AXONOMETRIC RELATIONSHIP DIAGRAM

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Project Title
CASA EVA

Date 08/04/2017
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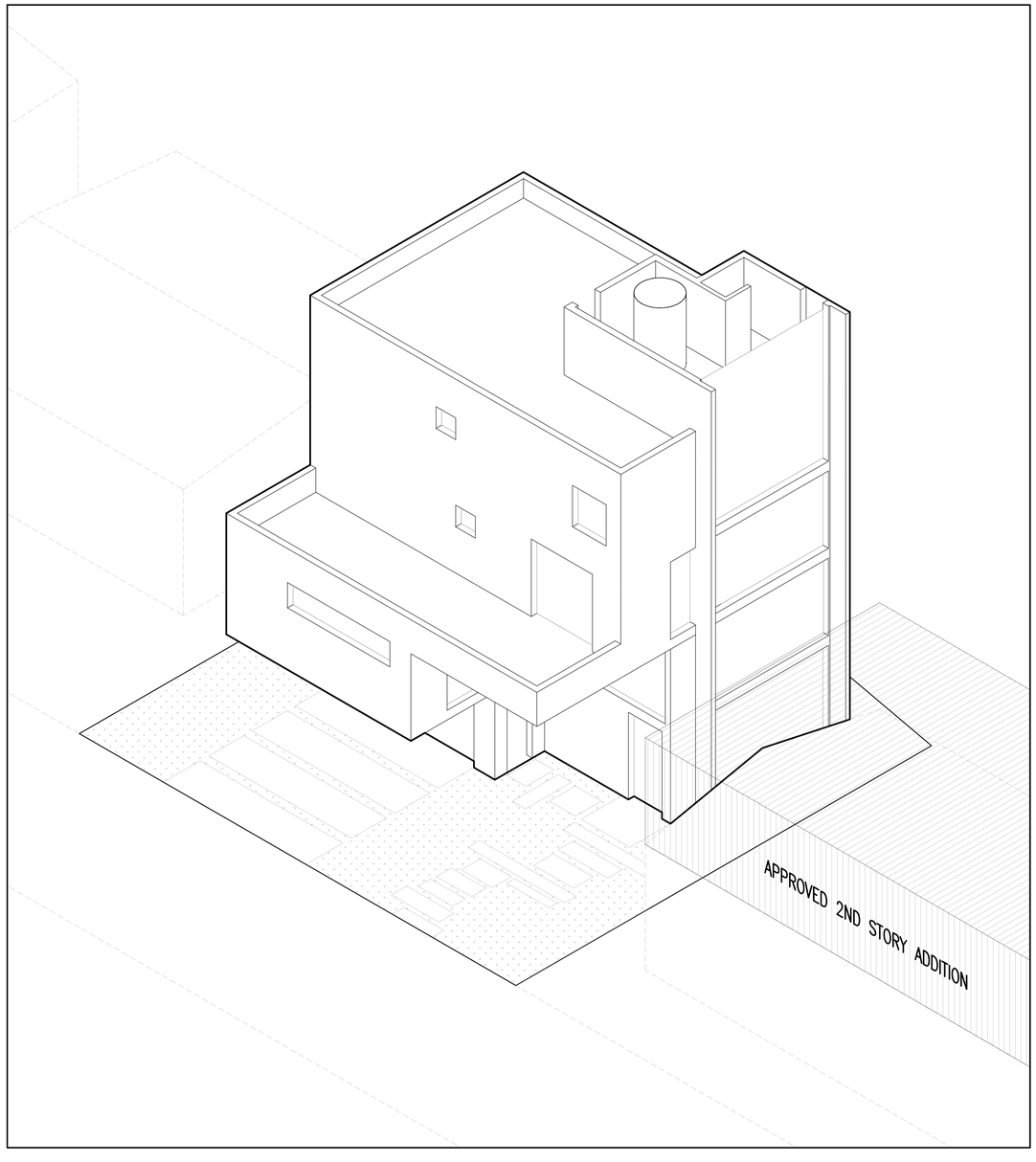
Revisions

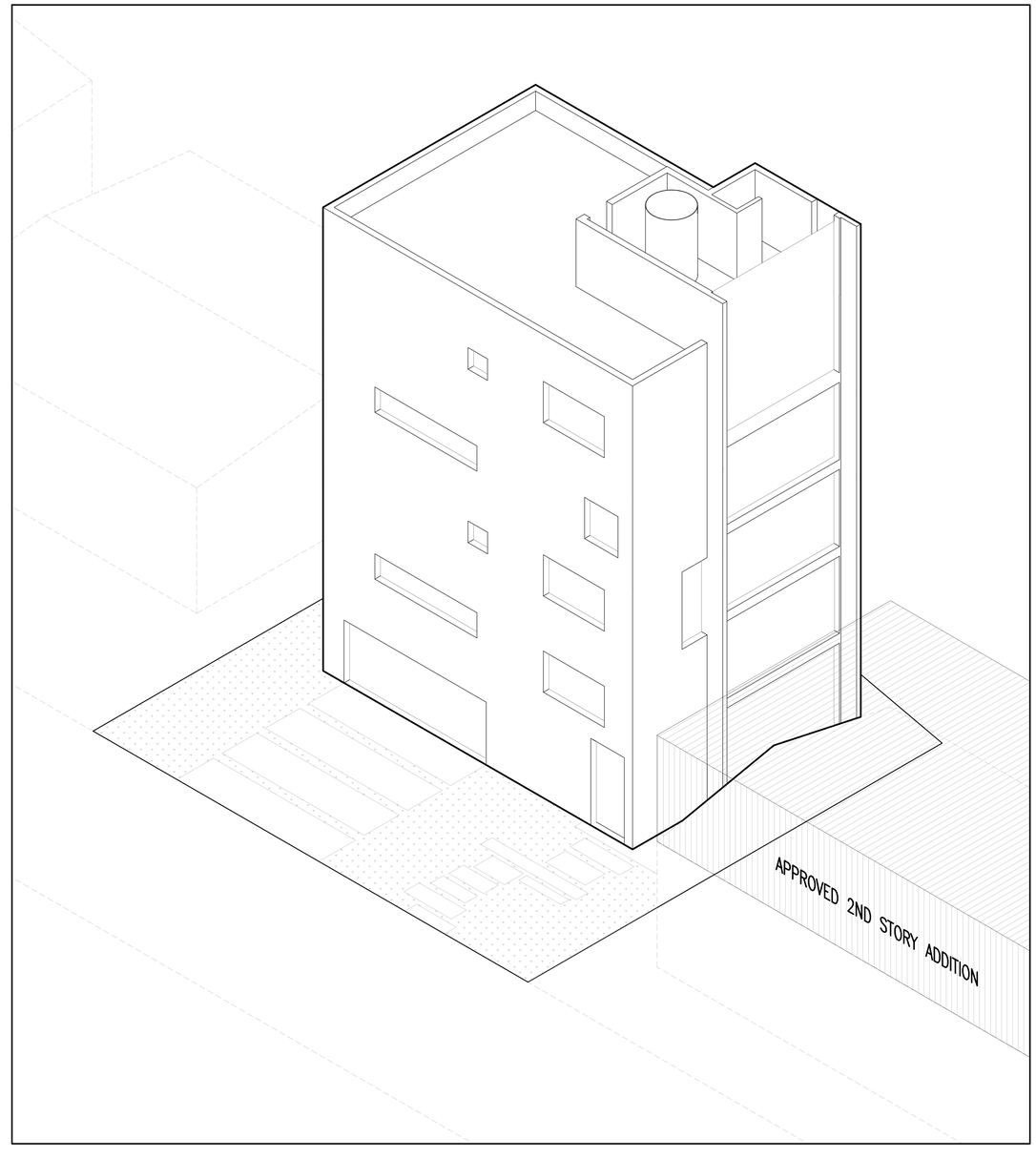
Scale / North Point
AS SHOWN

Drawing Title
AXONOMETRIC RELATIONSHIP DIAGRAM

Project No.
Drawing Number
A-16
Drawing Status
-



3D MASSING DIAGRAM : WITH PROPOSED VARIANCE



3D MASSING DIAGRAM : WITHOUT REQUESTED VARIANCE

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MIAMI BEACH, FL 33139

Project Title

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Drawing Title

AXONOMETRIC RELATIONSHIP DIAGRAM

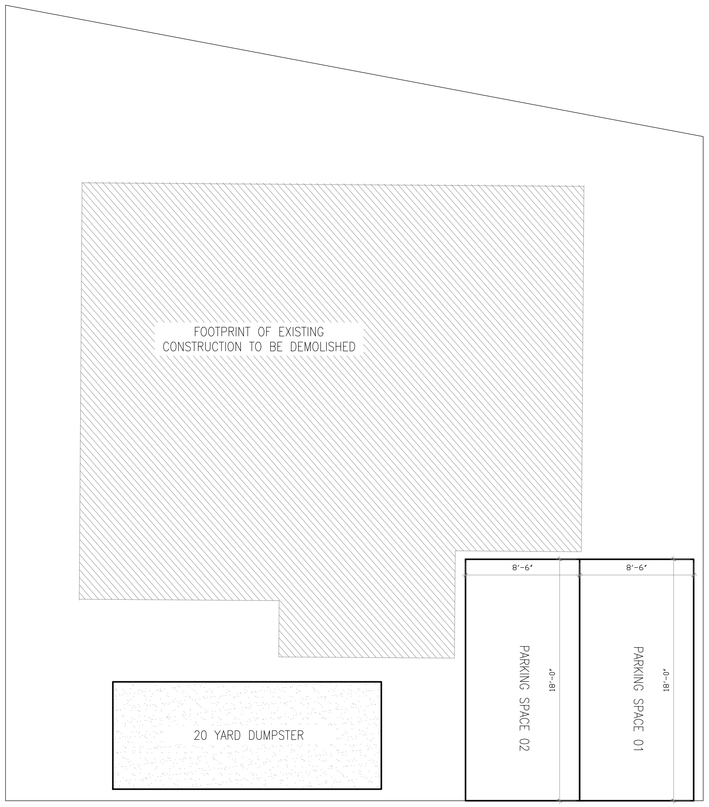
Project No.

Drawing Number

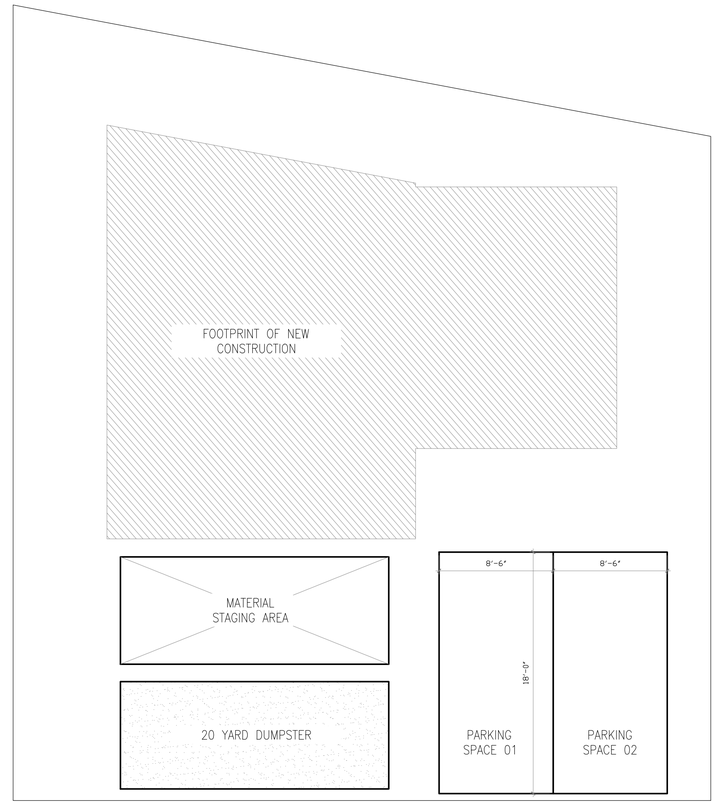
A-17

Drawing Status

-



TEMPORARY CONSTRUCTION PARKING: BEFORE DEMOLITION
SCALE: 3/16" = 1'



TEMPORARY CONSTRUCTION PARKING: AFTER DEMOLITION
SCALE: 3/16" = 1'

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MIAMI BEACH, FL 33139

Project Title

CASA EVA

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Drawing Title
TEMPORARY CONSTRUCTION PARKING PLAN

Project No.

Drawing Number
A-18

Drawing Status
-

RENDERING: VIEW LOOKING NORTH ON CENTURY LANE

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BRIDGET EVA ALFRED LLC

11 CENTURY LANE

MIAMI BEACH, FL 33139

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CASA EVA

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Scale / North Point

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Drawing Title

RENDERING

Project No.

Drawing Status

-

Drawing Number

A-19

RENDERING: LOOKING SOUTH ON CENTURY LANE

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RENDERING

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Drawing Status

-

Drawing Number

A-20

RENDERING: AERIAL LOOKING SOUTH

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Project Title
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Revisions

Scale / North Point
AS SHOWN

Drawing Title
RENDERING

Project No.
Drawing Number
A-21
Drawing Status
-

RENDERING: LOOKING AT ENTRY OF HOUSE

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A-22
Drawing Status
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