

PROPOSED TENANT IMPROVEMENT
FOR:
VICKY BAKERY

1420 ALTON ROAD

MIAMI BEACH,FL 33139

DTI PROJECT # : 17029.01



GENERAL NOTES:

QUALITY ASSURANCE

- A. USE ADEQUATE NUMBERS OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCES IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR THE PROPER PERFORMANCE OF THE WORK OF SPECIFIED HEREIN.
- B. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE 2014 EDIT.
- C. COORDINATE DIMENSIONS OF ALL DISCIPLINES WITH ARCHITECTURAL DRAWINGS.

SUBMITTALS

- A. PRODUCT DATA: WHERE PRODUCT DATA IS CALLED FOR, PROVIDE THE FOLLOWING AS A MINIMUM:

1. MATERIAL LIST OF ITEMS PROPOSED TO BE PROVIDED UNDER SPECIFIC DIVISION OF WORK.
2. MANUFACTURER'S SPECIFICATIONS AND OTHER DATA NEED TO PROVE COMPLIANCE WITH SPECIFIED REQUIREMENTS.
3. COLOR AND PATTERN CHARTS SHOWING COLORS AND PATTERNS AVAILABLE IN THE SPECIFIED PRODUCTS FROM THE PROPOSED MANUFACTURER.
4. MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES WHICH, WHEN APPROVED BY ARCHITECT, WILL BECOME THE BASIS FOR ACCEPTING OR REJECTING ACTUAL INSTALLATION PROCEDURES USED ON THE WORK.

SITE CONDITIONS

- A. MEASUREMENTS: VERIFY ALL DIMENSIONS ON DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED.
- B. SURFACE CONDITIONS: EXAMINE AREAS AND CONDITIONS UNDER WHICH WORK SPECIFIED WILL BE PERFORMED. CORRECT CONDITIONS DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- C. COORDINATION: COORDINATE AS REQUIRED WITH OTHER TRADES TO ASSURE PROPER, AND ADEQUATE PROVISION IN THE WORK OF THOSE TRADES FOR INTERFACE WITH THE WORK SPECIFIED.

ACCEPTABLE MANUFACTURERS

- A. THE SPECIFIED MANUFACTURERS/ PRODUCTS/ SYSTEMS HAVE BEEN ESTABLISHED AS STANDARDS OF QUALITY, FUNCTION AND DESIGN. ALTERNATE MANUFACTURERS WHICH CAN DUPLICATE THE ITEMS DETAILED MAY SUBMIT SHOP DRAWINGS, ENGINEERING/ PRODUCT DATA AND SAMPLES FOR CONSIDERATION.

INSTALLATION / APPLICATION

- A. INSTALL THE WORK SPECIFIED HEREIN IN STRICT ACCORDANCE WITH THE ORIGINAL DESIGN, THE APPROVED SHOP DRAWINGS, PERTINENT REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES AS APPROVED BY THE ARCHITECT, ANCHORING ALL COMPONENTS FIRMLY INTO POSITION FOR LONG LIFE UNDER HARD USE.
1. ALL DETAILS AND SECTIONS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO BE TYPICAL AND TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT, EXCEPT OTHERWISE INDICATED.
 2. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS, MATERIALS AND QUANTITIES PRIOR TO SUBMITTING BID. IF DISCREPANCIES ARE FOUND NOTIFY ARCHITECT IMMEDIATELY.
 3. GENERAL CONTRACTOR SHALL CHECK ARCHITECTURAL DRAWINGS FAR WALL MOUNTED AND CEILING MOUNTED DEVICES PRIOR TO INSTALLATION OF CEILING, AND SHALL ASSUME ALL RESPONSIBILITY FOR THEIR PROPER LOCATIONS.
 4. IF CONTRACTOR / SUBCONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR / SUBCONTRACTOR RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH FOUR COPIES OF THE PROPOSED CHANGES FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
 5. IN ADDITION THE CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM BUILDING AUTHORITIES FOR THE PROPOSED CHANGES, BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR / SUBCONTRACTOR ARE ALSO RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVAL FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
 6. CONTRACTOR SHALL PROVIDE AND INSTALL THE GREATEST QUANTITY AND/OR BEST QUALITY OF WORK AS SHOWN IN, CALLED FOR IN, OR REASONABLY INFERRABLE FROM THE BID DOCUMENTS AS REQUIRED TO OBTAIN THE FINAL RESULT AND CONFIGURATION CALLED FOR OR SHOWN IN THE BID DOCUMENTS.

LEGAL DESCRIPTION:

33-34 53 42
COMMERCIAL SUB PB 6-5
LOTS 6 & 7 BLK 78 A
LOT SIZE 15000 SQUARE FEET
OR 9422 1660

DIRECTORY:

OWNER / DEVELOPER

NAME / COMPANY
CONTACT
ADDRESS
PHONE
EMAIL

VICKY BAKERY
CARLOS DE VARONA
8000 NW 31st STREET, SUITE 8
DORAL, FLORIDA 33122
-
carlos@rpmiami.com

ARCHITECT

COMPANY

CONTACT
ADDRESS
PHONE
EMAIL
WEBSITE

DESIGN TECH INTERNATIONAL
ASSOC., INC.
CARLOS PIZARRO, R.A. AR - 0013079
14125 NW 80TH AVENUE
SUITE# 303
MIAMI LAKES, FL 33016
786.235.9097
CPIZARRO@DTIARCHITECT.COM
WWW.DTIARCHITECT.COM

STRUCTURE

COMPANY
CONTACT
ADDRESS
PHONE

J. EDUARDO GONZALEZ P.E., INC.
J. EDUARDO GONZALEZ
2050 CORAL WAY
SUITE# 210
CORAL GABLES, FL 33134
305.445.5100

ELECTRICAL / MECHANICAL / PLUMBING

COMPANY
CONTACT
ADDRESS
PHONE

BUCHANAN P.E. CONSULTING INC.
RAJA BUCHANAN
6191 W. ATLANTIC BLVD.
SUITE# 2
MARGATE, FL 33063
954.590.3300

LANDSCAPE ARCHITECT

COMPANY
CONTACT
ADDRESS
PHONE

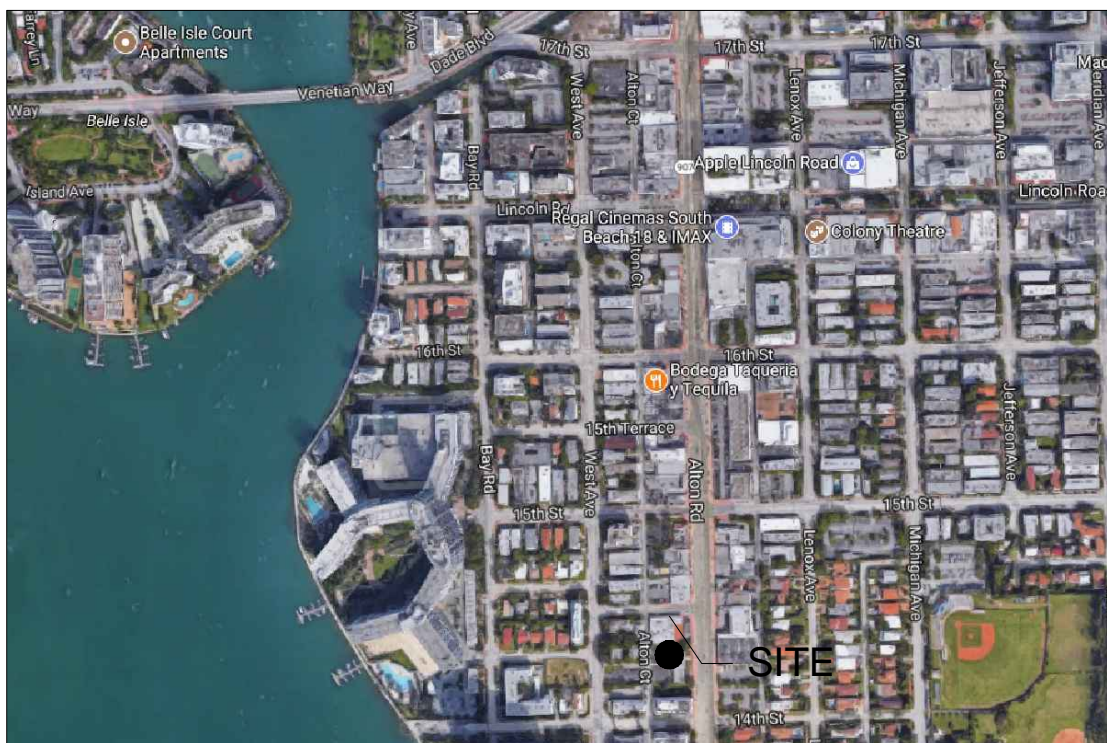
KIMBERLY MOYER ASLA
KIM MOYER
4808 NE 16TH AVE
OAKLAND PARK, FL 33334
954.492.9609

CIVIL ENGINEER

COMPANY
CONTACT
ADDRESS
PHONE

GRACE ENGINEERING
JOHN FLYNN P.E.
17110 SW 64TH COURT
SOUTHWEST RANCHES FLORIDA, 33331
786.492.9609

LOCATION MAP:



SCOPE OF WORK:

EXTERIOR AND INTERIOR RENOVATION OF EXISTING STRUCTURE. RENOVATION TO INCLUDE REMOVAL OF EXISTING STOREFRONT SYSTEM AND CREATING A COVERED SEATING AREA/NEW STOREFRONT AND NEW INTERIOR BUILD OUT, NEW REAR ENTRIES

MINIMUM OCCUPANT LOAD

OCCUPANCY TYPE	AREA / OCCUPANCY	LOAD FACTOR	TOTAL LOAD
ASSEMBLY A-2 (CUSTOMER)	2,050 SQ.FT. / FI	15 SQ. FT. / PERSON	137 OCCUPANTS
ASSEMBLY A-2 (ASSEMBLY FOOD PREPARATION)	1,550 SQ.FT. / FI	200 SQ. FT. / PERSON	8 OCCUPANTS
FLORIDA BUILDING CODE TABLE 1004.1.1			145 OCCUPANTS

MINIMUM NUMBER OF PLUMBING FACILITIES

OCCUPANCY	WATER CLOSETS		LAVATORIES	DRINKING FOUNTAINS
	MALE	FEMALE		
ASSEMBLY A-2	1 / 75	1 / 75	1 / 200	1 / 500

FLORIDA BUILDING CODE TABLE 1004.1.1

SEE TABLE 1004.1.1 ON THIS SHEET FOR OCCUPANT LOAD(EACH)	REQUIRED	PROVIDED
MALE WATER CLOSET	1	1
FEMALE WATER CLOSET	1	1
LAVATORIES	1	2
DRINKING FOUNTAINS	1	1

TABLE 1004.1.1 - CALCULATIONS

PROJECT SUMMARY:

APPLICABLE CODES:
THE FOLLOWING BUILDING CODES, CURRENT EDITIONS WITH AMENDMENTS WILL BE ADHERED TO UNLESS NOTED OTHERWISE:

SCOPE	YEAR / CODE
BUILDING	2014 FLORIDA BUILDING CODE
EXISTING BUILDING	2014 FLORIDA EXISTING BUILDING CODE
ACCESSIBILITY	2014 FLORIDA BUILDING CODE
ADA	2012 DEPARTMENT OF JUSTICE
LIFE SAFETY	2012 NFPA LIFE SAFETY CODE 101 AND NFPA 1
ELECTRIC	2011 NATIONAL ELECTRIC CODE
PLUMBING	2014 FLORIDA BUILDING CODE / PLUMBING
MECHANICAL	2014 FLORIDA BUILDING CODE / MECHANICAL
GAS	2014 FLORIDA BUILDING CODE / FUEL - GAS
ENERGY	2014 FLORIDA BUILDING CODE
FIRE	2013 FLORIDA FIRE PREVENTION/2012 NFPA

NOTES: ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE.

OCCUPANCY CLASSIFICATION

2014 FLORIDA BUILDING CODE	2012 FLORIDA NFPA 101
GROUP A-2 GROUP CHAPTER 3 SECTION 303	ASSEMBLY OCCUPANCY CHAPTER 13

TYPE OF CONSTRUCTION

LEVEL 2 ALTERATION PER SECTION 504	2014 FLORIDA BUILDING CODE EXISTING BUILDING RECONSTRUCTION PER NFPA 101 CHAPTER 43.2.2.1.4
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2014 FLORIDA BUILDING CODE	2015 FLORIDA NFPA 220	
TYPE "II" A NON-SPRINKLERED	TYPE "II" A NON-SPRINKLERED	
	REQUIRED RATING 2014 FBC	REQUIRED RATING NFPA TYPE V-000
STRUCTURAL FRAME	(1 hr)	(0 hr)
EXTERIOR BEARING WALLS	(1 hr)	(0 hr)
INTERIOR BEARING WALLS / COLUMNS	(1 hr)	(0 hr)
EXTERIOR NON-BEARING WALLS	(1 hr)	(0 hr)
INT. NON-BEARING WALLS / PARTITIONS	(0 hr)	(0 hr)
FLOOR CONSTRUCTION	(1 hr)	(0 hr)
ROOF CONSTRUCTION	(1 hr)	(0 hr)

FIRE RESISTANCE RATINGS AT FIRE WALLS, CHASES AND PARTITIONS

FBC TABLE 508.3.3, 705.1

MINIMUM FIRE RESISTANCE OF WALLS & PARTITIONS	
SHAFTS LESS THAN 4 STORIES	1 HR
FIRE SEPARATION BETWEEN OCCUPANCIES	1 HR
FIRE SEPARATION BETWEEN TENANTS	1 HR
FIRE WALL SEPARATION BETWEEN BLDG'S	1 HR

BUILDING AREA / ALLOWABLE HEIGHT

AREA	MAX ALLOWABLE AREA FBC2014	BUILDING AREA
BLDG. GROUP A, TYPE II B NON-SPRINKLERED	15,500 S.F.	12,241 S.F.
HEIGHT / STORIES	MAX ALLOWABLE HEIGHT FBC2014	BUILDING HEIGHT
HEIGHT IN FEET	65'-0"	20'-2"
HEIGHT IN STORIES	3	1

DRAWING INDEX

LEGEND

•	FIRST ISSUE
NW	NEW SHEET
NR	RE-ISSUED WITHOUT REVISION
RV	PREVIOUSLY SUBMITTED

SHEET #	DESCRIPTION	SCALE	DRB SUBMITTAL 07.19.2017	DRB COMMTS. 07.27.2017
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ARCHITECTURAL DRAWINGS

A-0.0	COVER SHEET	N/A	•	•
A-1.0	LOCATION PLAN	AS NOTED	•	
A-2.0	SURVEY	AS NOTED	•	
A-3.0	EXIST. & PROPOSED SITE PLAN	AS NOTED	•	•
A-4.0	CURRENT EXTERIOR PHOTOGRAPHS	AS NOTED	•	
A-5.0	CURRENT INTERIOR PHOTOGRAPHS	AS NOTED	•	
A-6.0	CURRENT AREA PHOTOGRAPHS	AS NOTED	•	
A-7.0	EXISTING CONDITIONS PLAN	AS NOTED	•	
A-8.0	DEMOLITION PLAN	AS NOTED	•	
A-9.0	PROPOSED FLOOR PLAN & ELEVATIONS	AS NOTED	•	•
A-9.1	PROPOSED REFLECTED CEILING PLAN	AS NOTED		•
A-10.0	PROPOSED ROOF PLAN	AS NOTED	•	
A-11.0	PROPOSED SECTIONS	AS NOTED	•	•
A-12.0	PROPOSED LANDSCAPE PLAN	AS NOTED	•	•
A-13.0	PROPOSED HARDSCAPE PLAN	AS NOTED	•	
A-14.0	COLOR RENDERINGS	AS NOTED	•	

SYMBOL LEGEND:

	ELEVATION NUMBER SHEET NUMBER		NOTE NUMBER
	DETAIL, SECTION OR PLAN NUMBER		WINDOW NUMBER
	WALL SECTION NUMBER / BUILDING SECTION LETTER SHEET NUMBER		DOOR NUMBER
	DETAIL NUMBER SHEET NUMBER		REVISION NUMBER
	ELEVATION DATUM POINT		ROOM NAME ROOM NUMBER

Carlos Pizarro, R.A.
AR - 0013079

Revisions:
07/27/2017 D.R.B COMMENTS

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

PROJECT:
PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01

File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

SHEET NAME

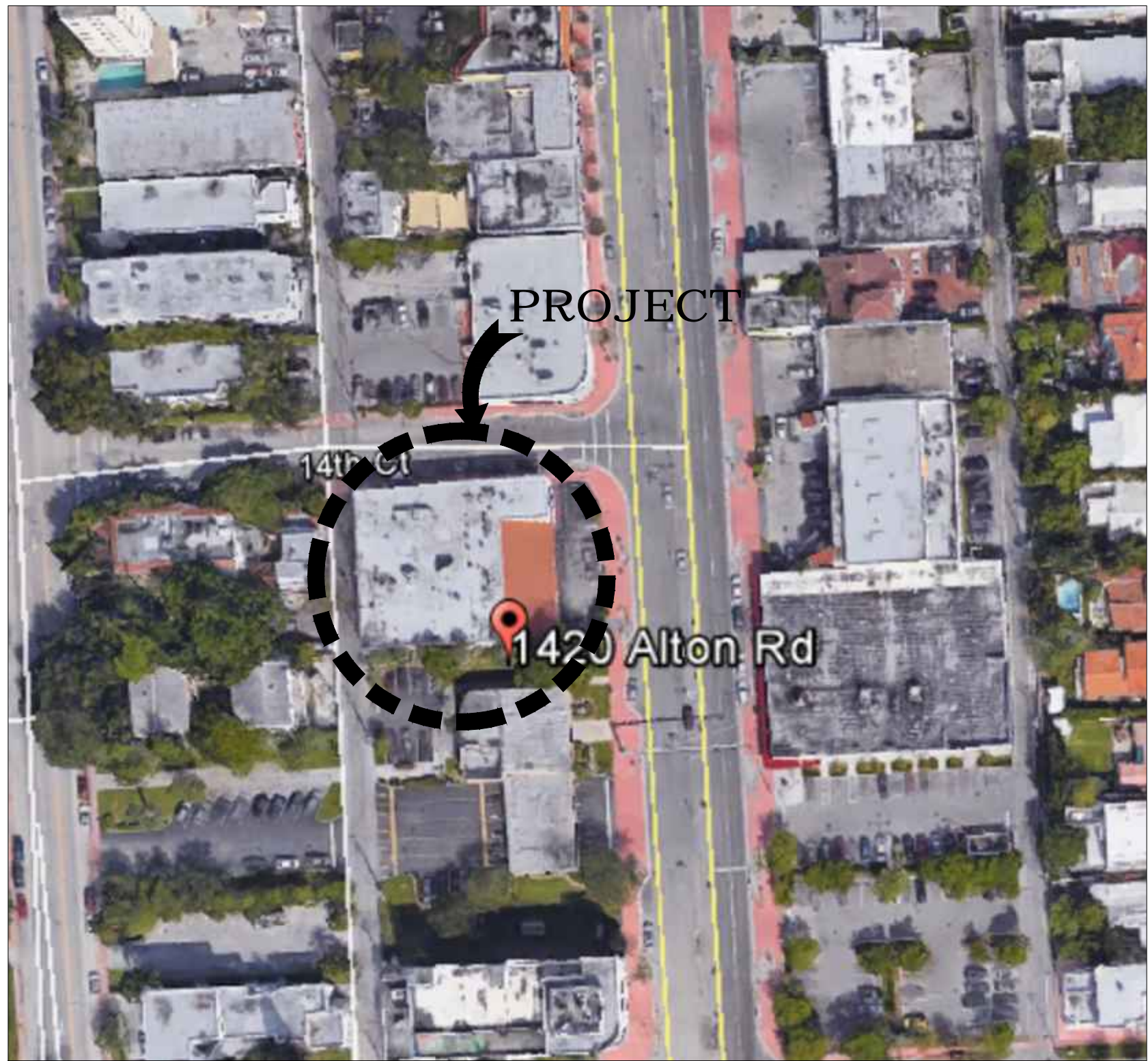
COVER

SHEET NUMBER
A-0.0

FINAL SUBMITTAL 08.14.2017



 **LOCATION PLAN**
N.T.S.



 **ENLARGE LOCATION**
N.T.S.

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AR - 0013079

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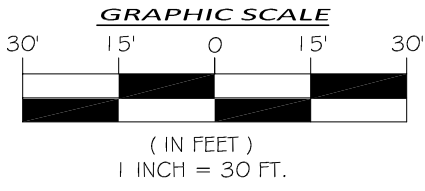
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Drawn by: LO
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SHEET NAME

**LOCATION
PLAN**

SHEET NUMBER
A-1.0



LOCATION MAP

SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)



CERTIFIED TO:

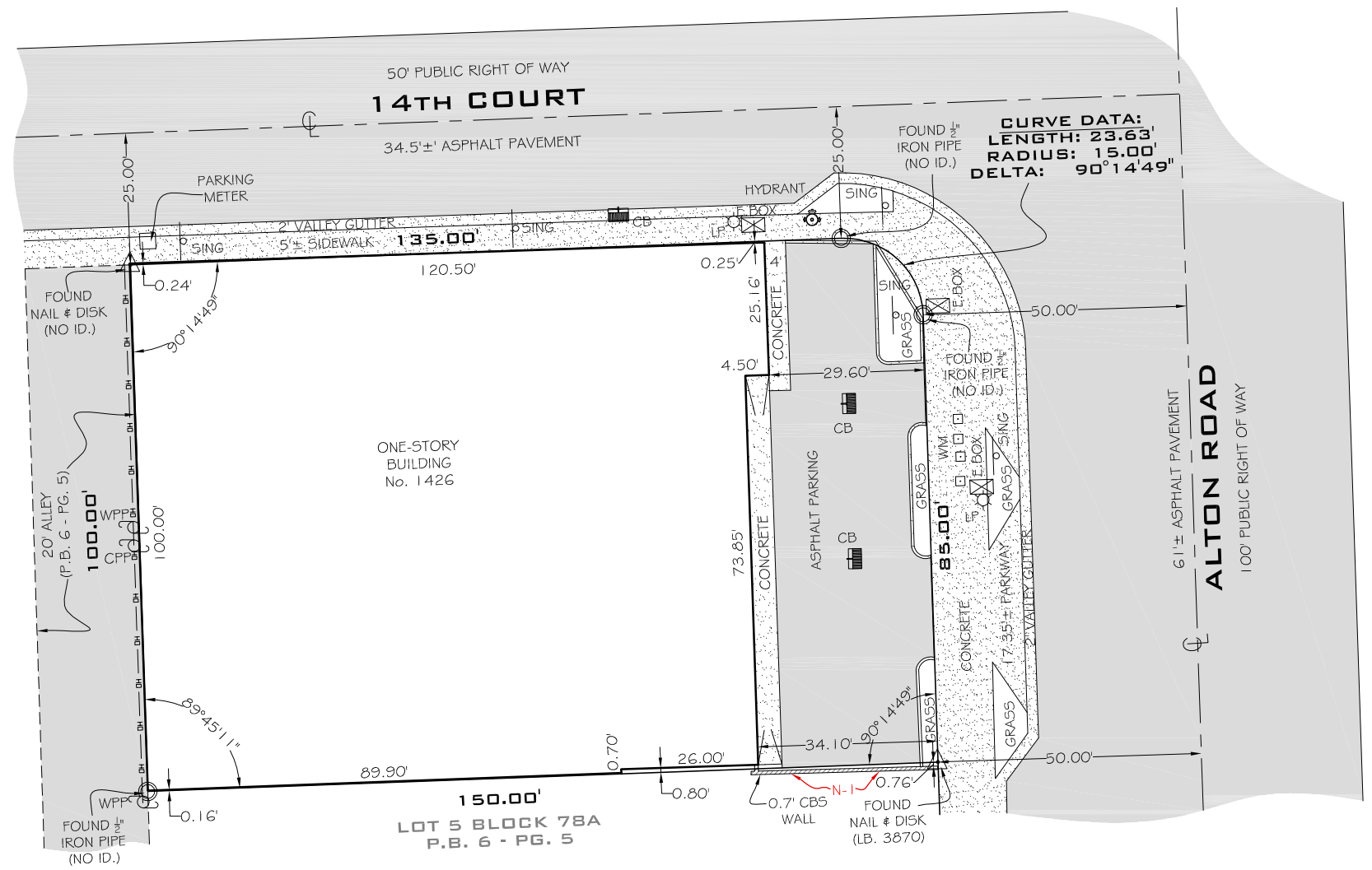
THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

- GCD DEVELOPMENT LLC

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51 FAC), IS "RESIDENTIAL".THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCRoACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BEARINGS REFERENCED TO LINE NOTED AS B.R.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATE USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "COMMERCIAL SUBDIVISION" RECORDED IN PLAT BOOK 6, AT PAGE 5.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET OR SMALLER.

MAP OF BOUNDARY SURVEY



NOTES:

N-1 = THE CBS WALL ALONG THE SOUTH BOUNDARY LINE, FALLS OUTSIDE THE PROPERTY.

PROPERTY ADDRESS:

FOLIO NO. 02-3234-018-0850

1426 ALTON ROAD

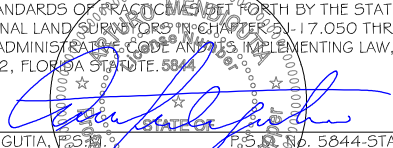
MIAMI BEACH, FL 33139

AREA OF PROPERTY: 12,102 SQUARE FEET AND/OR
0.278 ACRES MORE OR LESS.

LEGAL DESCRIPTION:

LOT 6 & 7, BLOCK 78-A, OF "COMMERCIAL SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND 65.05 IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE 5844

SIGNED  FOR THE FIRM
ARTURO MENDIGUTIA, P.E.S. 10,000, P.S.D. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IN A DIGITAL FORMAT NOT
VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED
ELECTRONIC SEAL.



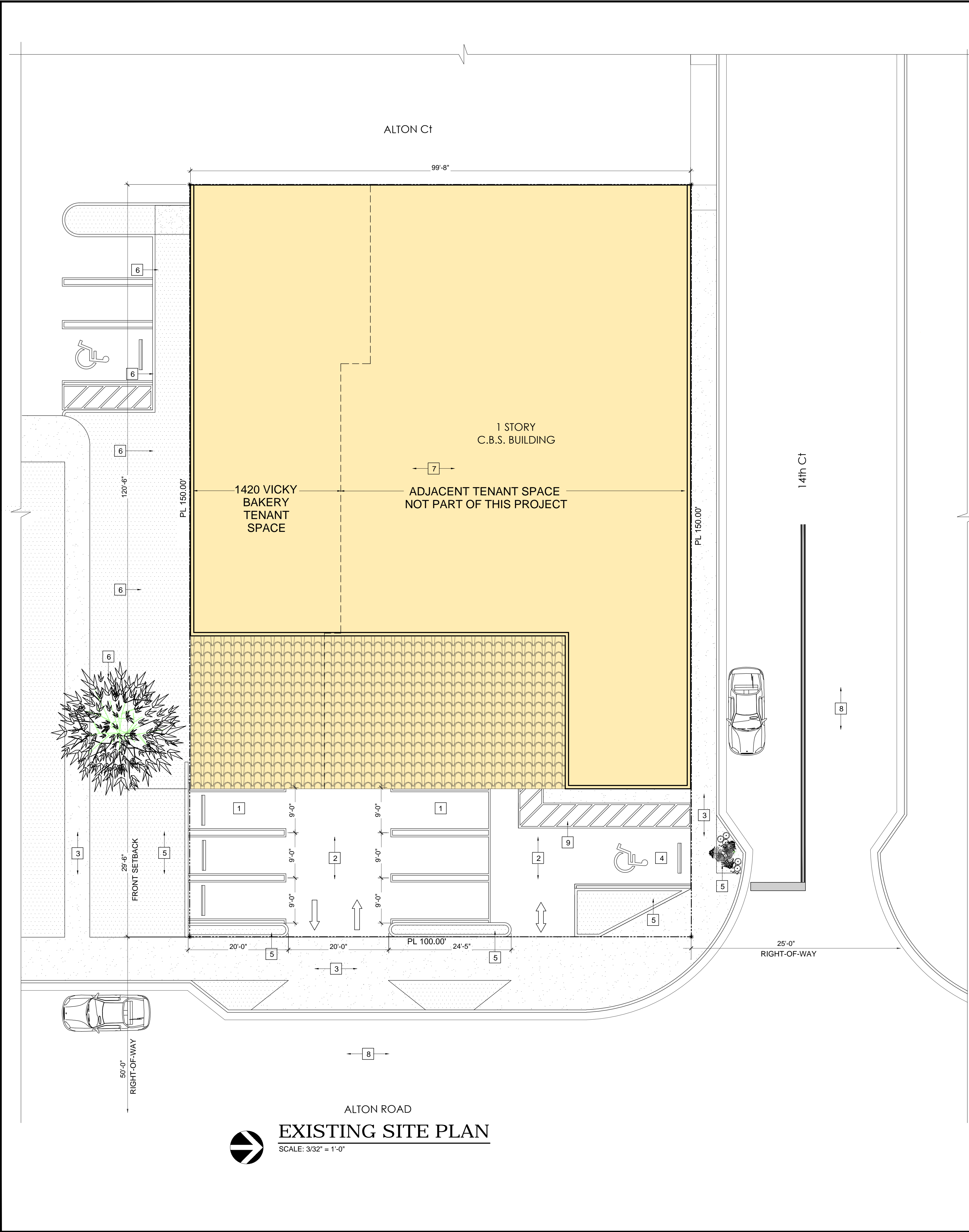
LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "201"
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-LANDMARKSURVEYING@HOTMAIL.COM

ABBREVIATIONS AND LEGEND:

A/C	= DENOTES AIR CONDITIONING UNIT
APPR.	= DENOTES APPROXIMATE
ASPH.	= DENOTES ASPHALT
B.M.	= DENOTES BENCH MARK
C.B.S.	= DENOTES CONCRETE BLOCK STUCCO
CONC.	= DENOTES CONCRETE
L.P.	= DENOTES LIGHT POLE
CB	= DENOTES CATCH BASIN
C.L.	= DENOTES CENTERLINE
M	= DENOTES MONUMENT LINE
L.M.E.	= DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	= DENOTES DRAINAGE EASEMENT
D.H.	= DENOTES DRILL HOLE
(M)	= DENOTES MEASURE
(R)	= DENOTES RECORD
WPP	= DENOTES WOOD POWER POLE
U.E.	= DENOTES UTILITY EASEMENT
P.B.	= DENOTES PLAT BOOK
PG.	= DENOTES PAGE
P.C.P.	= DENOTES PERMANENT CONTROL POINT
P.O.B.	= DENOTES POINT OF BEGINNING
TYP.	= DENOTES TYPICAL
M.H.W.	= DENOTES MEAN HIGH WATER LINE
	= DENOTES WOOD FENCE
	= DENOTES CHAIN LINK FENCE
	= DENOTES IRON FENCE
	= DENOTES FOUND IRON PIPE (NO ID.)
	= DENOTES FOUND NAIL AND DISC
	= DENOTES ASPHALT PAVEMENT
	= DENOTES BRICK
	= DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED .

MAP OF BOUNDARY SURVEY	FLOOD ZONE:		AE
	ELEVATION:		8.0
	COMMUNITY:		120651
	PANEL:		12086C0317
	DATE OF FIRM:		09-11-2009
	SUFFIX:		L
	ORIGINAL FIELD WORK SURVEY DATE		07-14-2017
	BENCH MARK:		N/A
	ELEVATION:		N/A
	DATE	DRAWN BY	SCALE
REVISION / UPDATE OF SURVEY			
1707-048			



EXISTING SITE PLAN

SCALE: 3/32" = 1'-0"

SITE PLAN KEYED NOTES:

ITEM #	DESCRIPTION
1	- EXISTING PARKING SPACE .
2	- EXISTING ASPHALT PAVEMENT AREA.
3	- EXISTING CONCRETE SIDEWALK TO REMAIN.
4	- EXISTING ACCESSIBLE PARKING SPACE ADA COMPLIANCE.
5	- EXISTING LANDSCAPE AREA TO REMAIN.
6	- EXISTING TREES TO REMAIN.
7	- EXISTING BUILDING TO REMAIN.
8	- EXISTING STREET.
9	- EXISTING 5' ACCESSIBLE ISLE.

SITE PLAN LEGEND:

	BUILDING
	CONCRETE SIDEWALK
	LANDSCAPE AREA

ZONING DATA:

PARCEL INFORMATION:

PROPERTY ADDRESS:

1426 ALTON RD
MIAMI BEACH, FL 33139-3814
1218 14 CT

LIO NUMBER:

02-3234-018-0850

ZONING DESIGNATION:

PRIMARY ZONING DESIGNATION: CD-2 - COMMERCIAL - CENTRAL

LOT AREA:

GROSS LOT AREA: 15,000 SQ.FT

FAR (FLOOR AREA RATIO):

	ALLOWED	PROVIDED
MAXIMUM FLOOR AREA RATIO	1.5	0.8

STRUCTURE INFORMATION:

USE(S) PROPOSED: COMMERCIAL

BUILDING FOOT PRINT: 12,241 S.F

PROPOSED VICKY BAKERY SPACE:
INTERIOR SEATING SPACE: 2,770 S.F
EXTERIOR SEATING SPACE: 488 S.F
TOTAL SEATS: 60 S.F

	ALLOWED	PROVIDED
HEIGHT:	50'-0"	20'-2"
	ALLOWED	PROVIDED

SETBACKS:

FRONT:	5'-0"	29'-6"
INTERIOR SIDE:	5'-0"	8"
STREET SIDE:	5'-0"	6"
REAR:	(ABUTTING ALLEY) 0'-0"	0'-0"

OPEN SPACE:	REQUIRED 20% (3,000 SF)	PROVIDED 20% (3,000 SF)
LANDSCAPE AREA:	REQUIRED LESS THAN 20% (3,000 SF)	PROVIDED 6.2% (186.25 SF)

PARKING: EXISTING PROVIDE

TOTAL PARKING SPACE: 7 7

PARKING NOTE: NO PARKING SPACE REQUIRED FOR RESTAURANT, OUTDOOR CAFE OR BAR IF THE TOTAL OF SEATS IS 60 OR LESS AS PER SECTION 130-33

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AR - 0013079

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SHEET NAME
EXISTING
&
PROPOSED
SITE PLAN

SHEET NUMBER
A-3.0

FINAL SUBMITTAL 08.14.2017

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AR - 0013079

Revisions:

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SHEET NAME
CURRENT
EXTERIOR
PHOTOGRAPHS

SHEET NUMBER
A-4.0



① EXTERIOR VIEW



② EXTERIOR VIEW



③ EXTERIOR VIEW



④ EXTERIOR VIEW



⑤ EXTERIOR VIEW



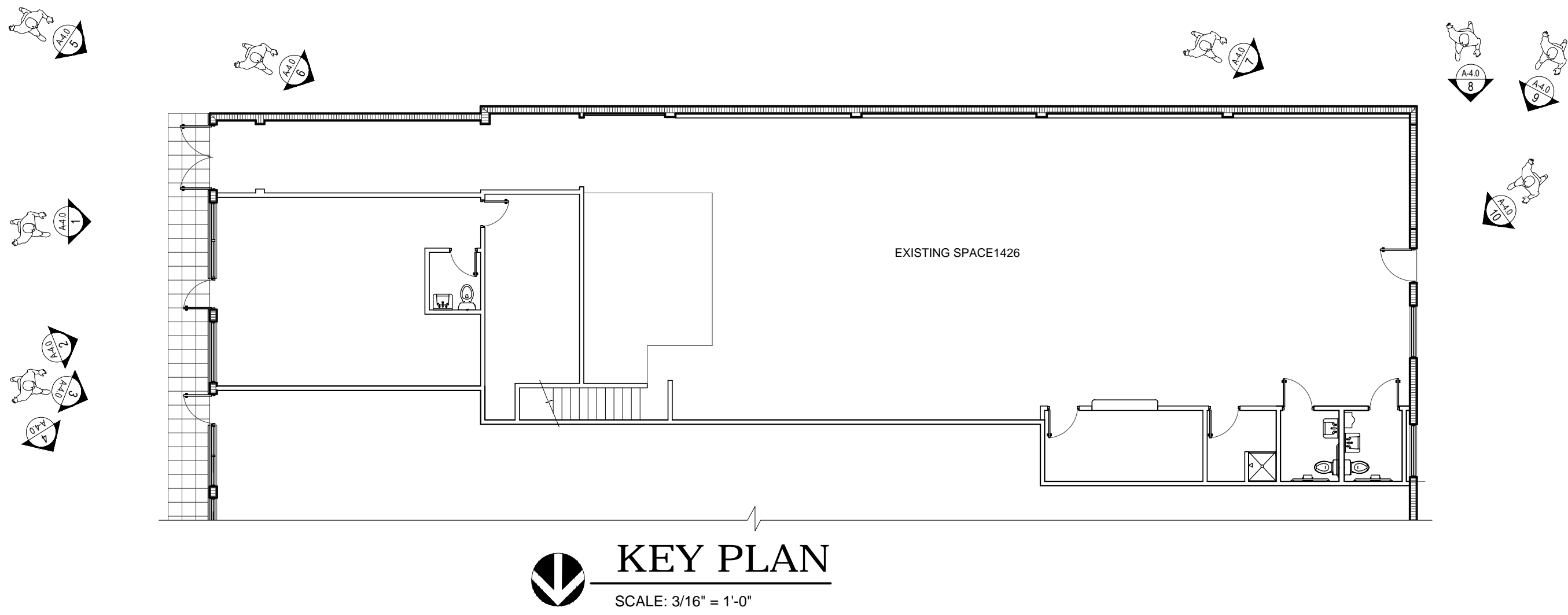
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⑦ EXTERIOR VIEW



⑧ EXTERIOR VIEW

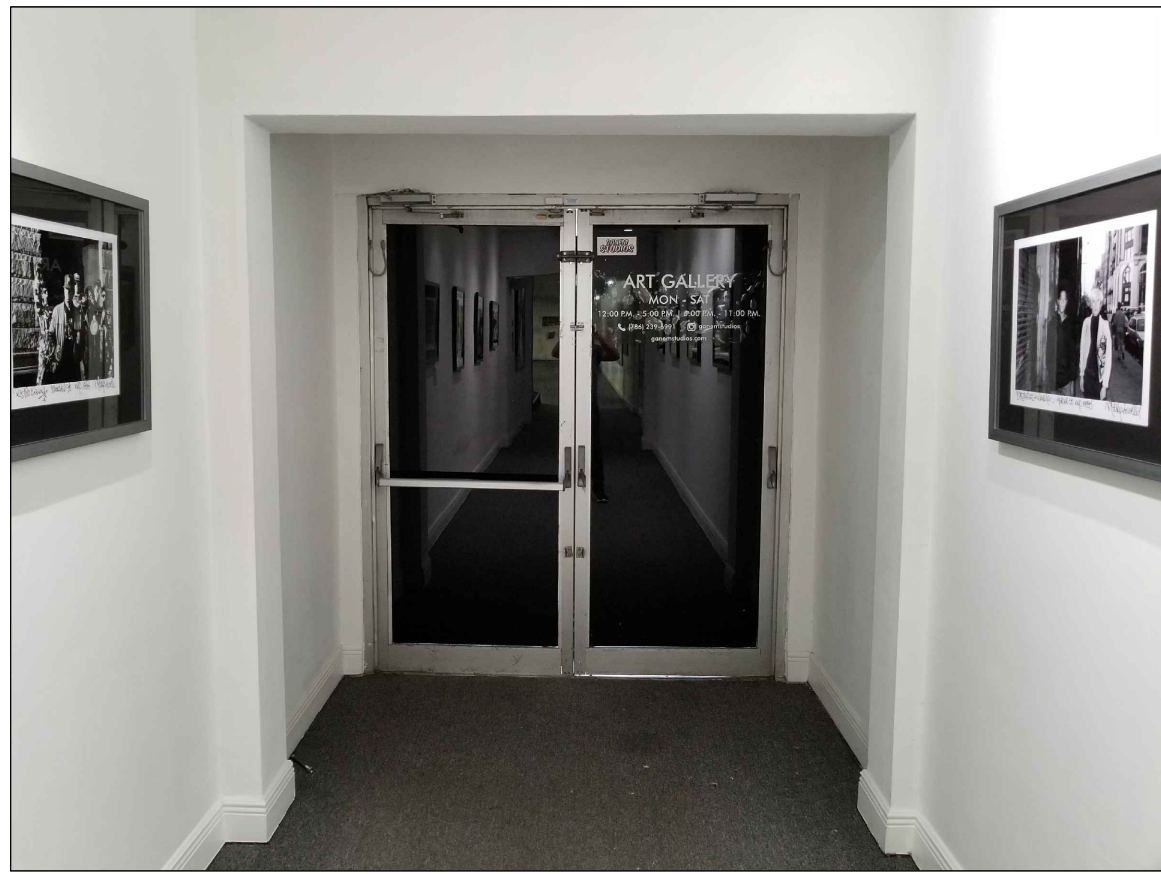


⑨ EXTERIOR VIEW



⑩ EXTERIOR VIEW

FINAL SUBMITTAL 08.14.2017



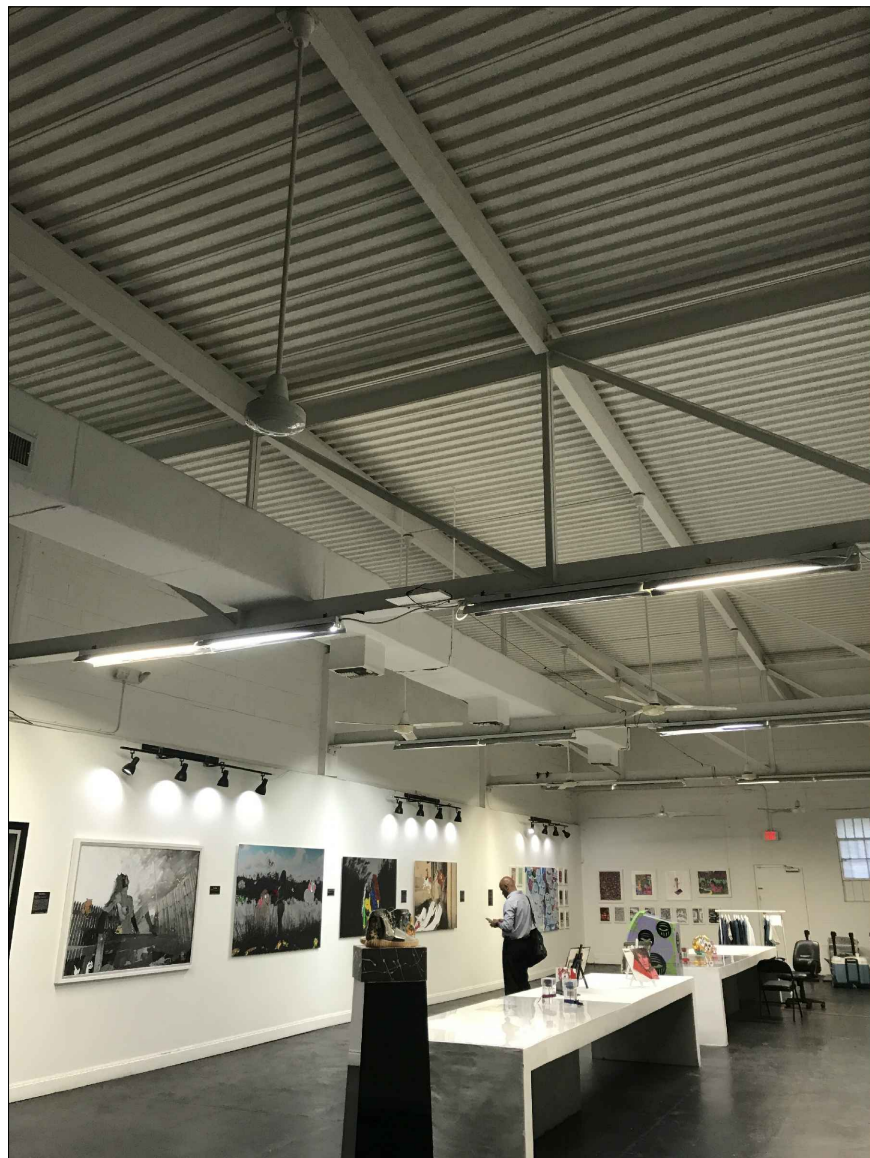
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③ INTERIOR VIEW



⑤ INTERIOR VIEW



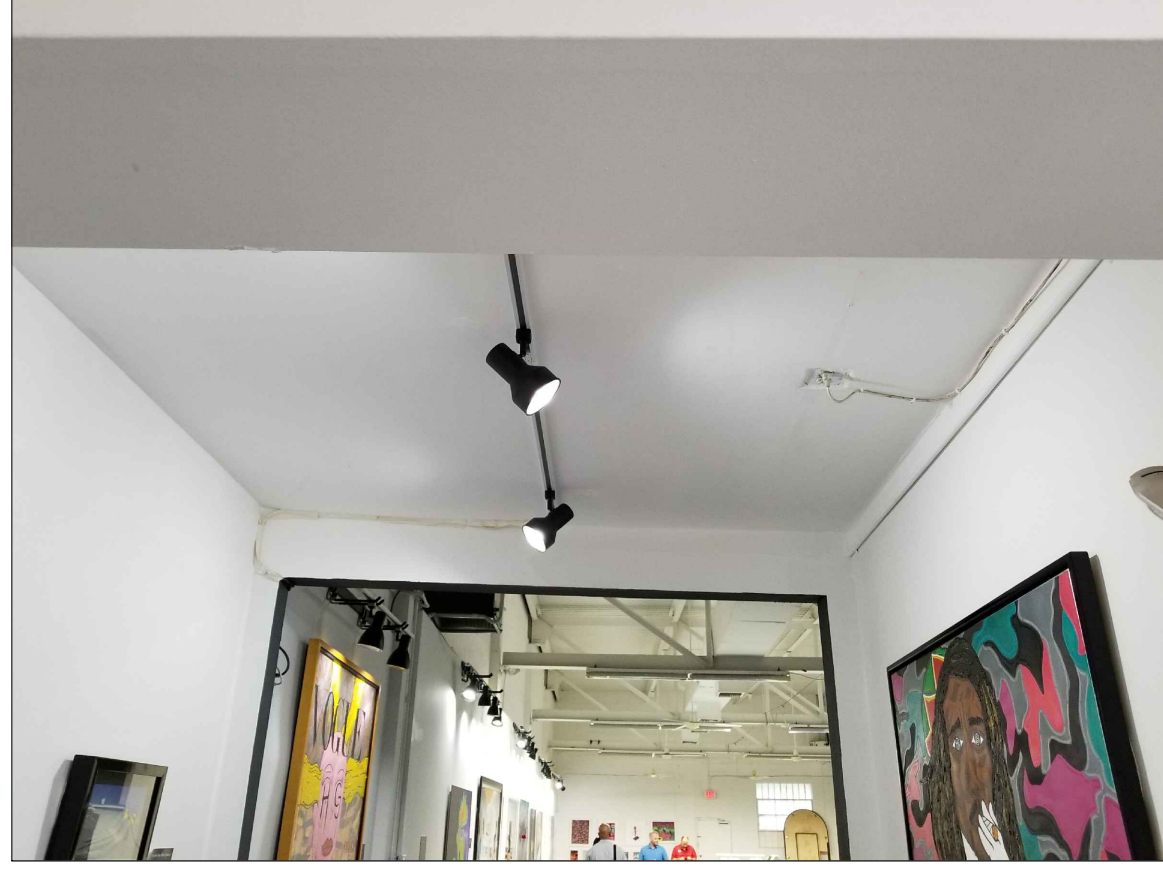
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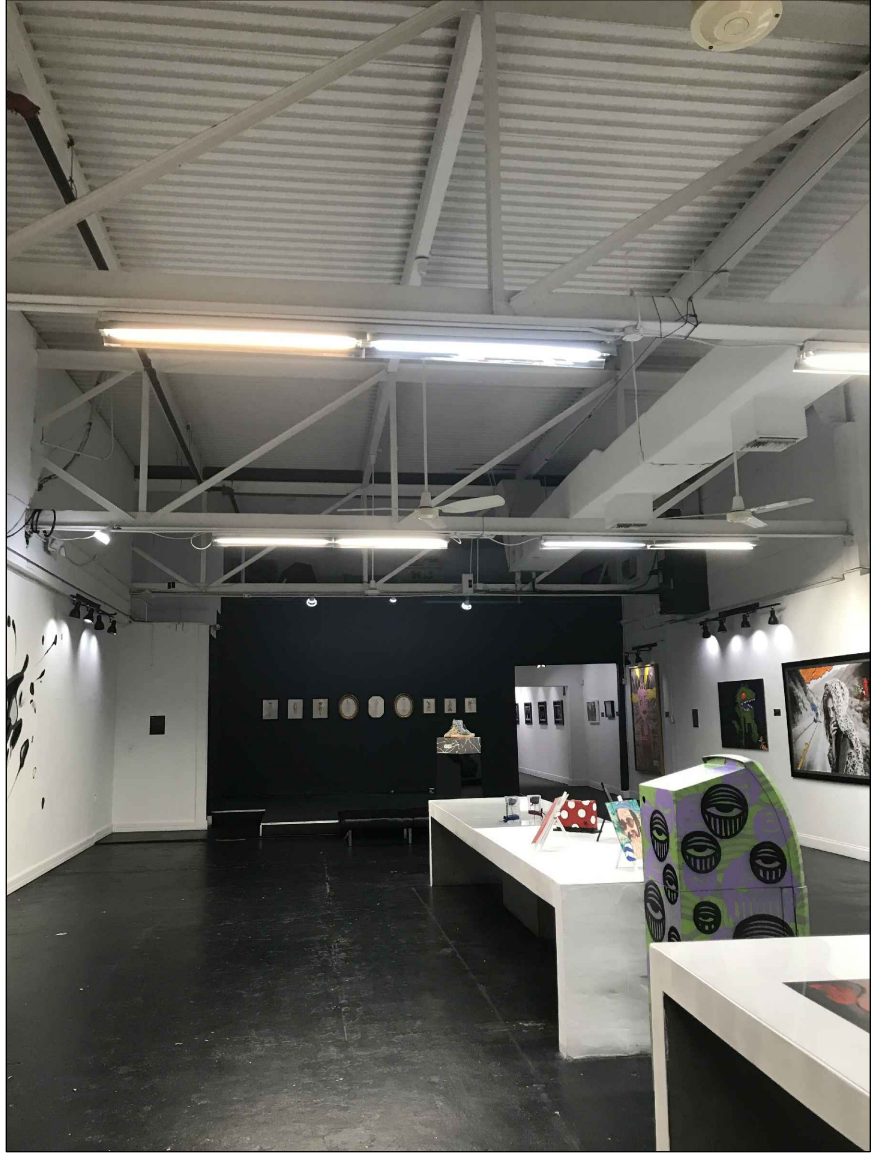
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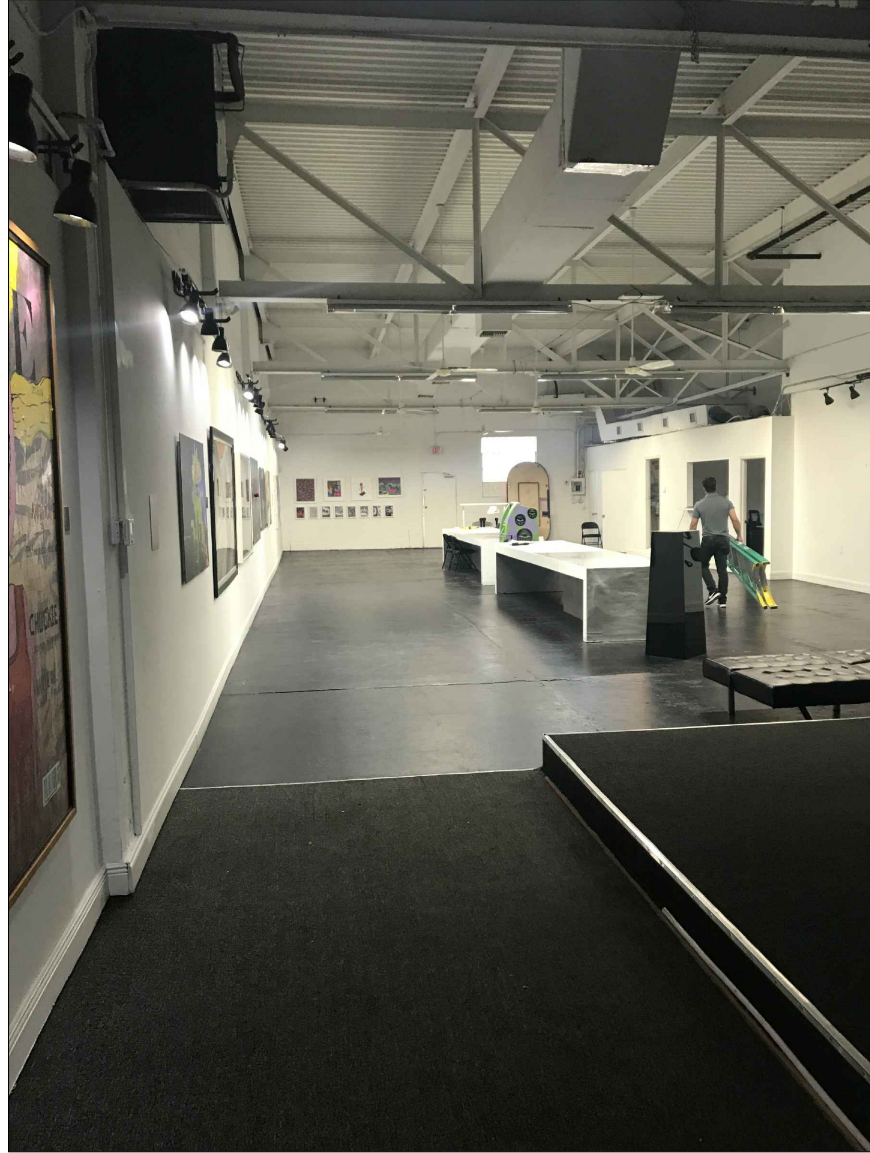
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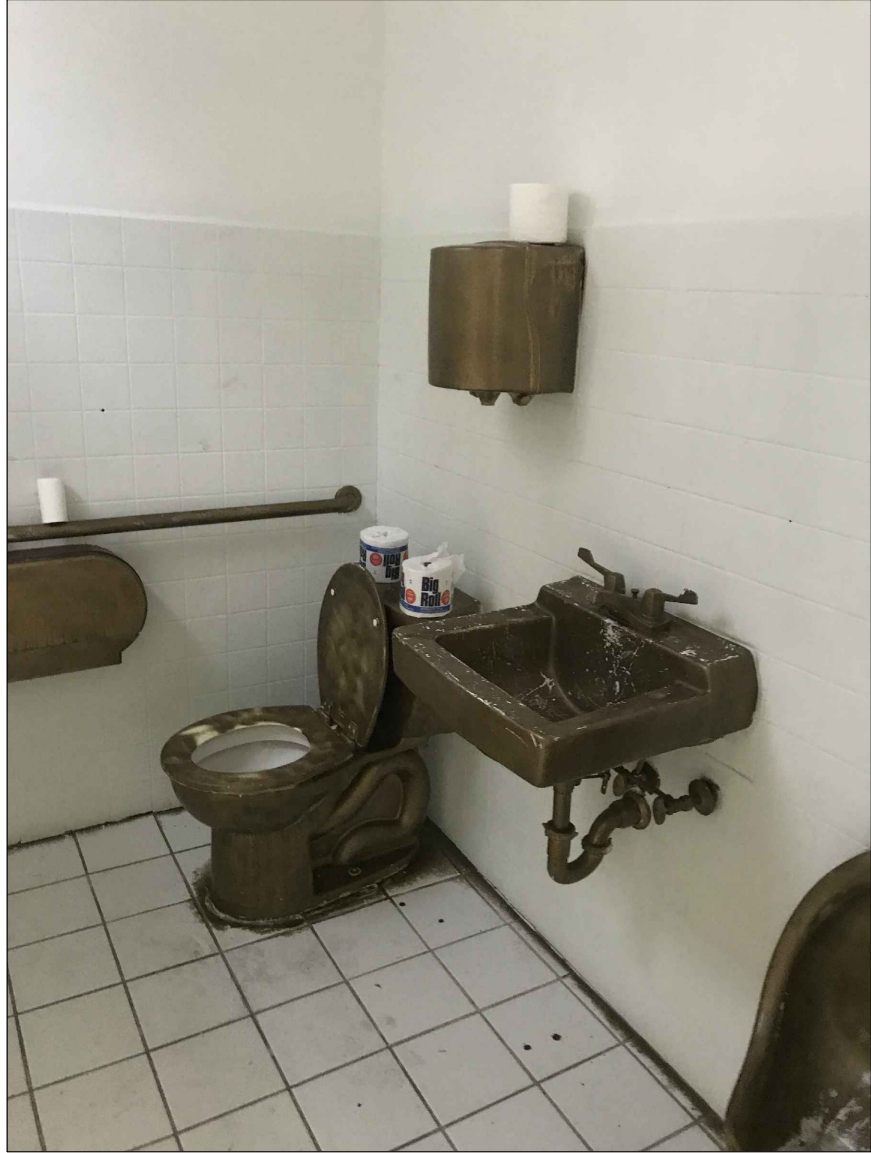
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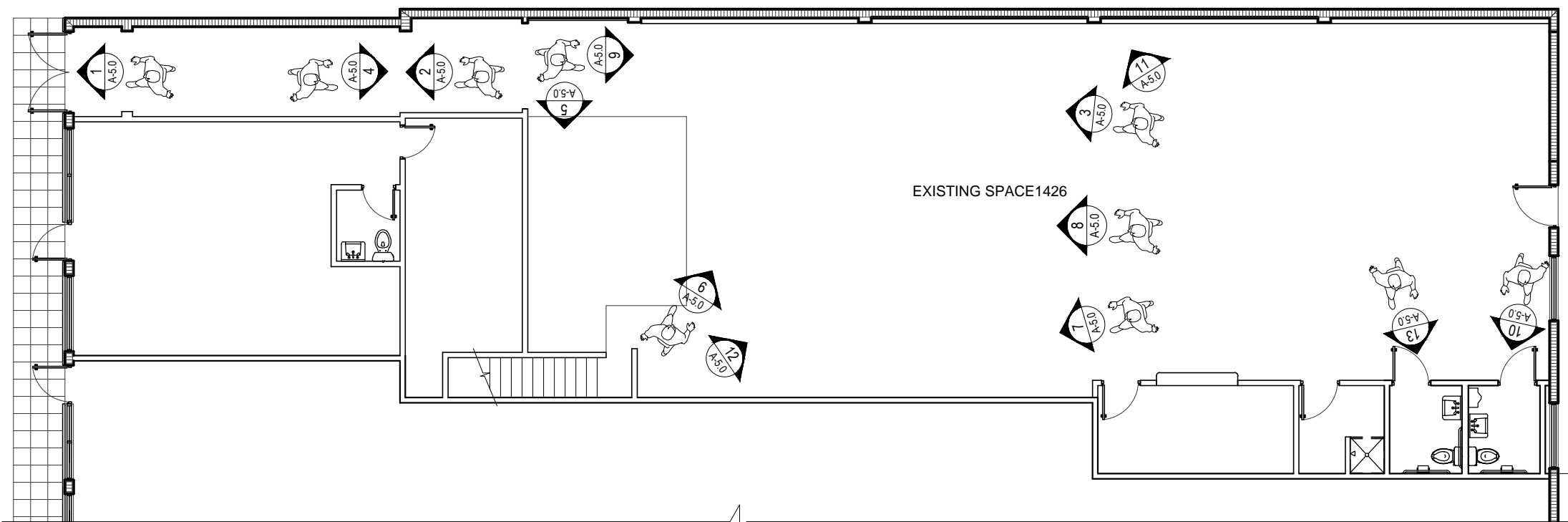
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⑨ INTERIOR VIEW



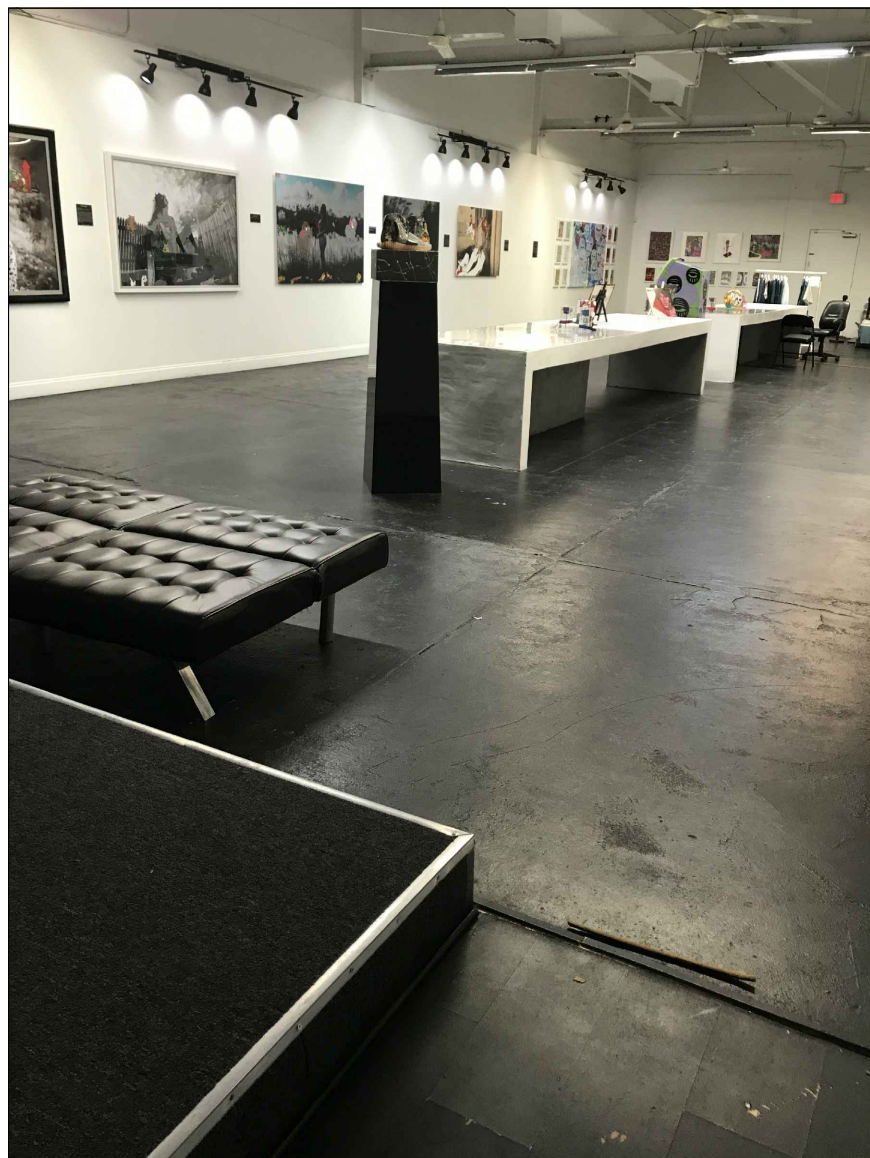
⑩ INTERIOR VIEW



KEY PLAN
SCALE: 3/16" = 1'-0"



⑪ INTERIOR VIEW



⑫ INTERIOR VIEW



⑬ INTERIOR VIEW

Revisions:

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

PROJECT:
PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01
File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

SHEET NAME
**CURRENT
INTERIOR
PHOTOGRAPHS**

SHEET NUMBER
A-5.0



① EXTERIOR VIEW



② EXTERIOR VIEW



③ EXTERIOR VIEW



④ EXTERIOR VIEW



⑤ EXTERIOR VIEW



⑥ EXTERIOR VIEW



⑦ EXTERIOR VIEW



⑧ EXTERIOR VIEW



⑨ EXTERIOR VIEW



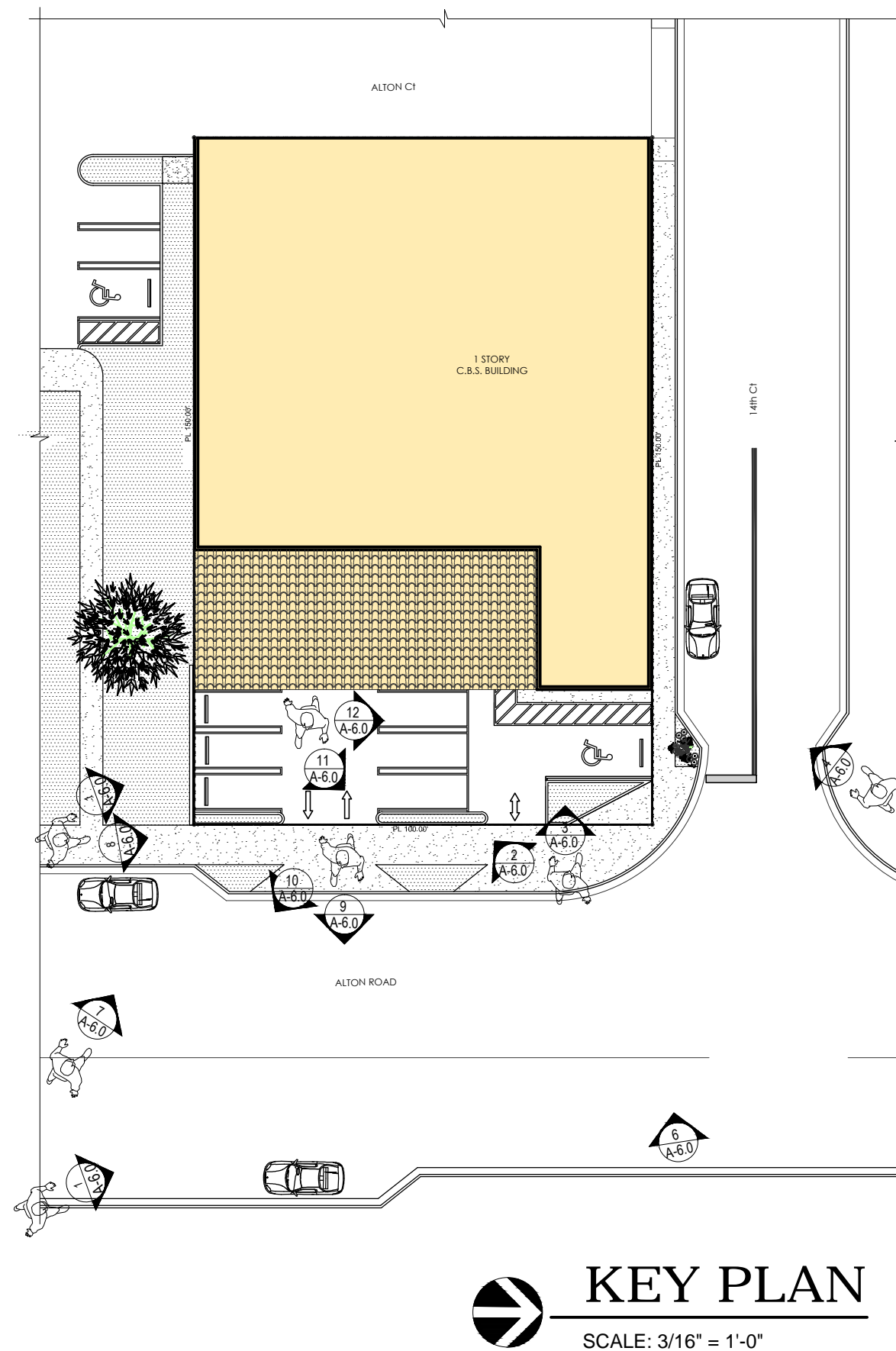
⑩ EXTERIOR VIEW



⑪ EXTERIOR VIEW



⑫ EXTERIOR VIEW



Carlos Pizarro, R.A.
AR - 0013079

Revisions:

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

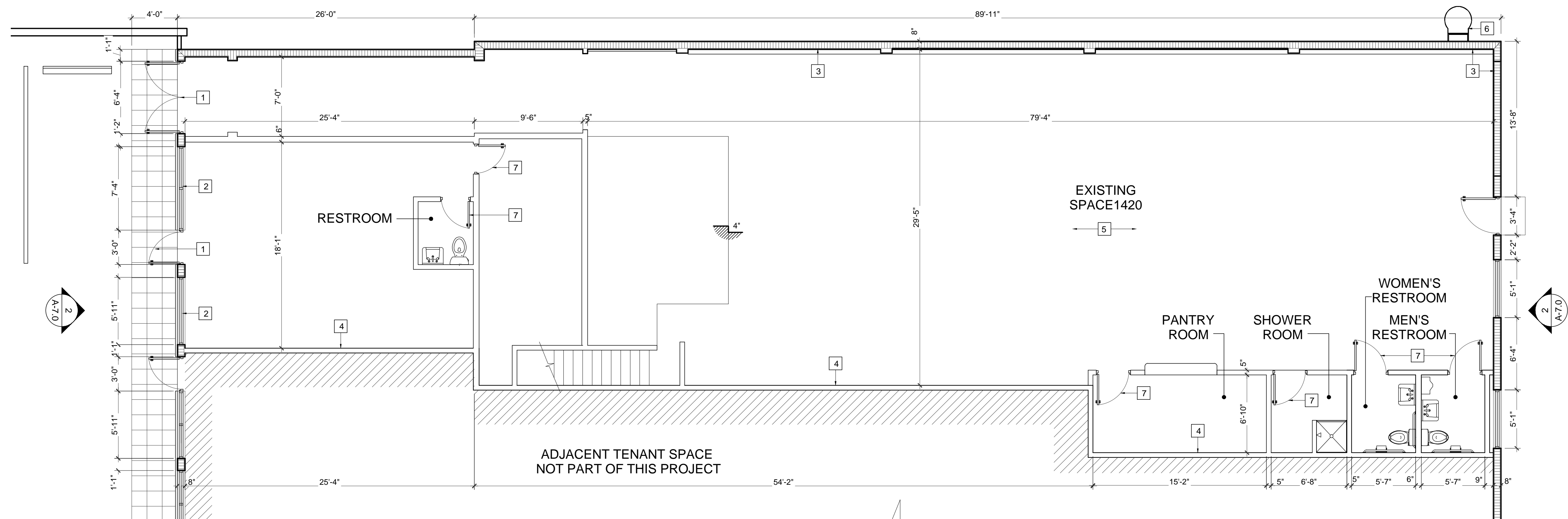
PROJECT:
PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01
File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

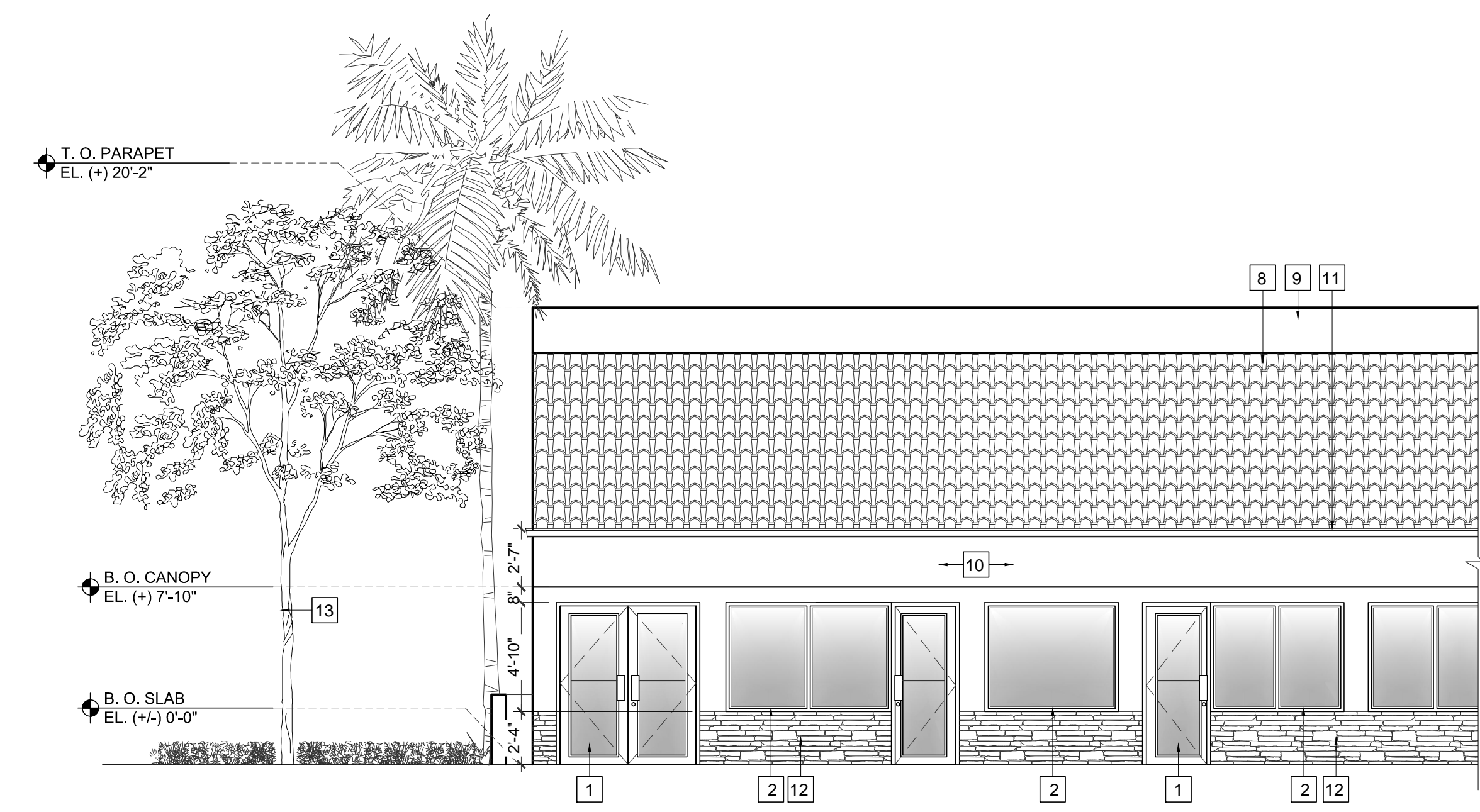
SHEET NAME
**CURRENT
AREA
PHOTOGRAPHS**

SHEET NUMBER
A-6.0

FINAL SUBMITTAL 08.14.2017



1 EXISTING FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 EXISTING FRONT ELEVATION
SCALE: 3/16" = 1'-0"



3 EXISTING REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXISTING CONDITION KEYED NOTES:	
ITEM #	DESCRIPTION
1	- EXISTING ENTRANCE DOOR
2	- EXISTING WINDOW
3	- EXISTING 8" CMU WALL
4	- EXISTING DEMISTING PARTITION .
5	- EXISTING CONCRETE FLOOR.
6	- EXISTING ROOF ACCESS LADDER.

ITEM #	DESCRIPTION
7	- EXISTING INTERIOR DOOR.
8	- EXISTING ROOF.
9	- EXISTING PARAPET.
10	- EXISTING CANOPY .
11	- EXISTING GUTTER .
12	- EXISTING DECORATIVE STONE WALL .

ITEM #	DESCRIPTION
13	- EXISTING LANDSCAPE PLAN.

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

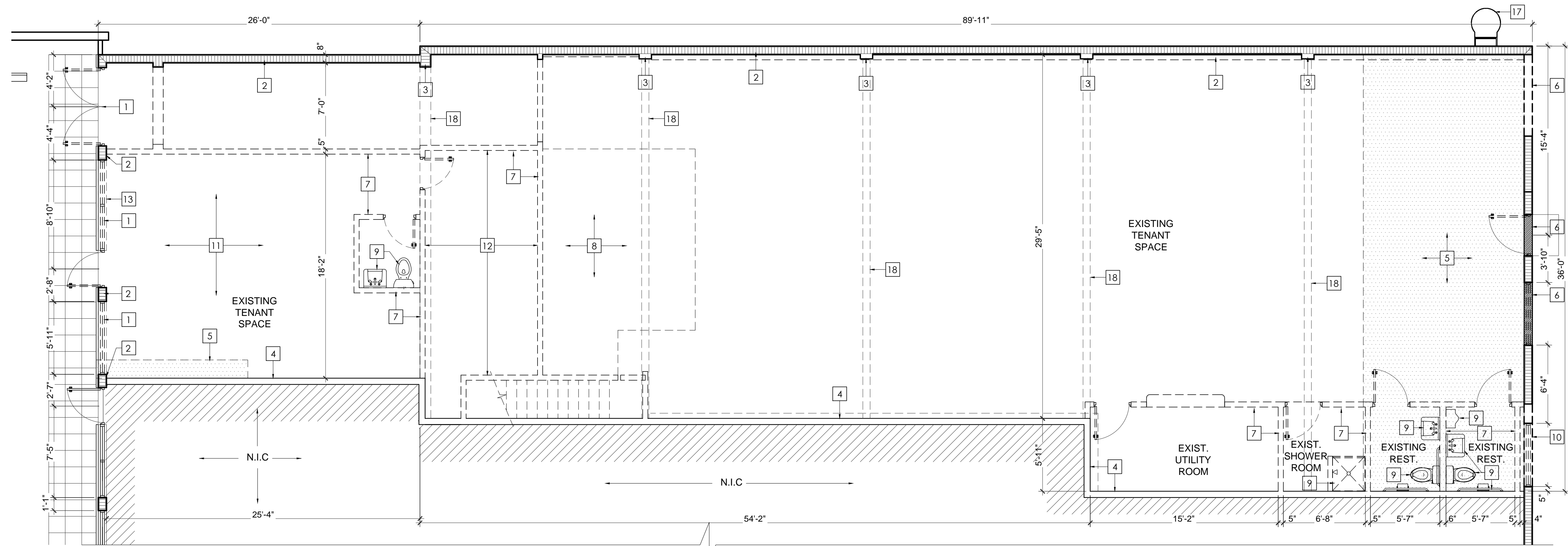
PROJECT:
PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01
File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

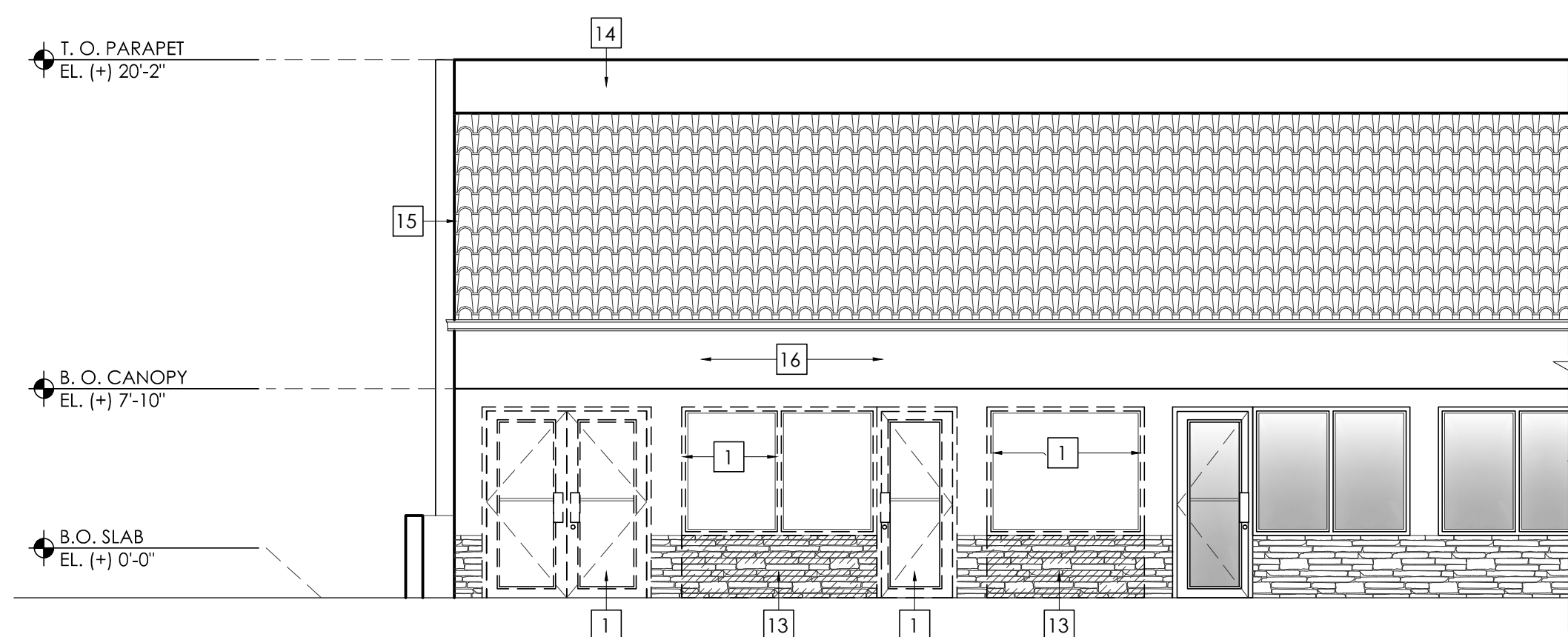
SHEET NAME
**EXISTING
CONDITIONS
PLAN**

SHEET NUMBER
A-7.0

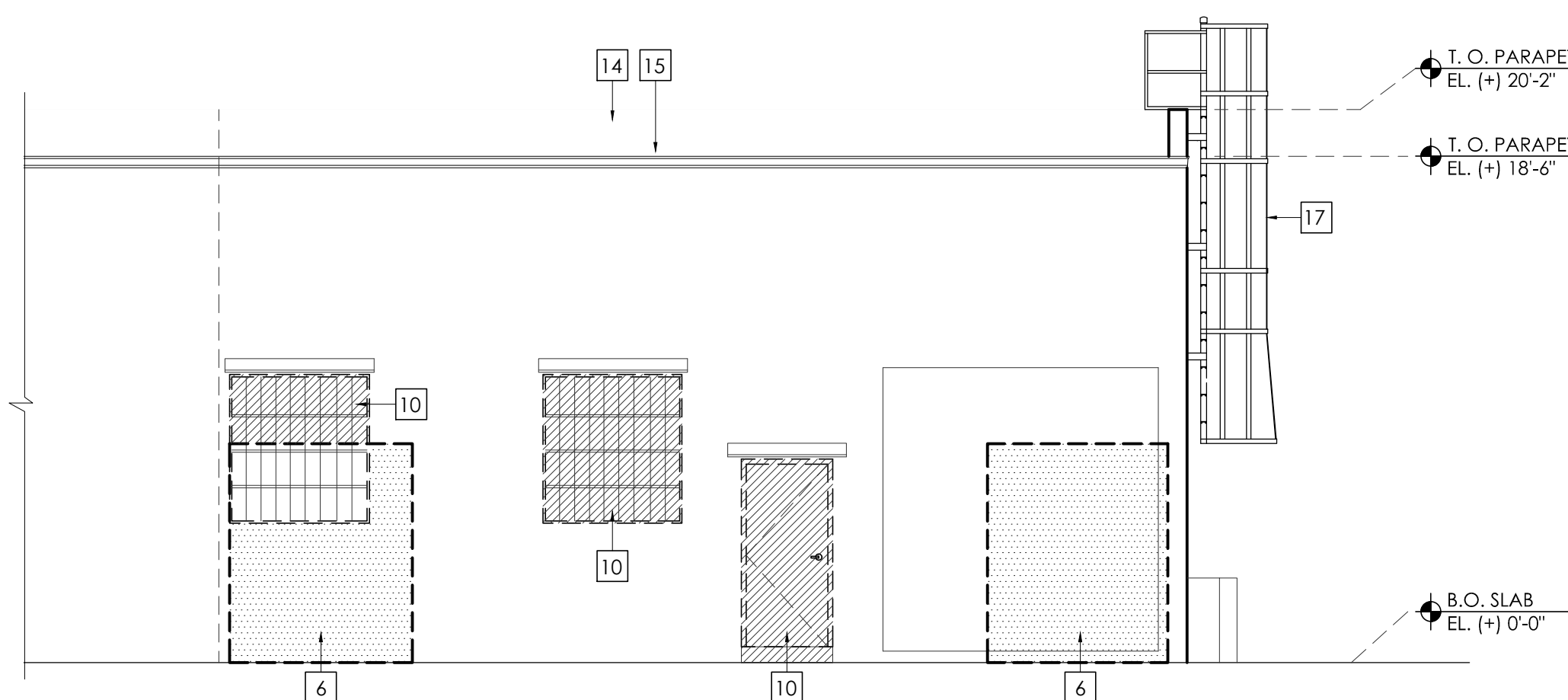
FINAL SUBMITTAL 08.14.2017



1 DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 DEMOLITION FRONT ELEVATION
SCALE: 3/16" = 1'-0"



3 DEMOLITION REAR ELEVATION
SCALE: 3/16" = 1'-0"

DEMO SITE PLAN KEYED NOTES:

ITEM #	DESCRIPTION
1	- EXISTING STOREFRONT TO BE REMOVED. G.C. SHALL REPAIR AND PREPARE TO RECEIVE A NEW FINISHES.
2	- EXISTING CMU WALL TO REMAIN. REPAIR EXISTING WALL AS NEEDED FOR NEW FINISHES. WHERE NEW DRYWALL IS NEEDED INSTALL FLUSH WITH EXISTING ELEMENTS TO REMAIN. PROVIDE SMOOTH FINISH SURFACE TO BE PAINTED.
3	- EXISTING COLUMNS TO REMAIN; PATCH AND REPAIR AS NEEDED, PREPARE TO RECEIVE NEW FINISHES
4	- EXISTING DEMISTING PARTITION TO REMAIN.
5	- REMOVE EXISTING CONCRETE SLAB AS REQUIRED. REF STRUCTURAL PLANS.
6	- REMOVE PORTION OF EXISTING WALL (SHOWN DASHED) IN PREPARATION FOR NEW LAYOUT
7	- REMOVE INTERIOR PARTITIONS, DOOR & FRAMES, INCLUDED ELECTRICAL, PLUMBING AND HVAC APPURTENANCES. REMOVE ALL ELECTRICAL CONDUIT, CONDUCTORS & PANELS.
8	- EXISTING WOOD STAGE SHOWN DASHED TO BE REMOVED.
9	- REMOVE EXISTING LAVATORIES, SERVICE SINKS, WATER CLOSETS AND OTHER PLUMBING FIXTURES. CAP SUPPLY AND WASTE PLUMBING FLUSH WITH THE SLAB.

DEMO SITE PLAN KEYED NOTES:

ITEM #	DESCRIPTION
10	- PREPARE FOR BLOCK WALL INFILL AFTER REMOVAL OF DOOR. MATCH THE EXISTING CONDITION AS CLOSE AS POSSIBLE.
11	- REMOVE ALL FLOORING TO CONCRETE SLAB. REMOVE ALL SURFACE CONTAMINANTS BY SWEEPING, SCRUBBING OR STRIPPING. REMOVE PREVIOUS CURING AND/OR SEALING AGENTS BY MECHANICAL OR CHEMICAL MEANS. CLEAN ALL FASTENING MATERIAL FROM SLAB AS REQUIRED TO INSTALL NEW FLOOR FINISHES. PROVIDE A NEW LEVEL FLOOR AREA.
12	- REMOVE EXISTING MEZZANINE, STAIRS, SOFFITS AND ASSOCIATED MATERIALS THROUGHOUT. REMOVE ALL PLUMBING FIXTURES AND MECHANICAL DUCTWORK AND ASSOCIATED CONTROLS, AND ALL LIGHTING AND ELECTRICAL APPURTENANCES AND DEVICES THROUGHOUT. REMOVE ALL CONDUITS, CONDUCTORS AND PIPES THROUGHOUT.
13	- EXISTING LOW WALL TO BE DEMOLISHED.
14	- EXISTING PARAPET TO REMAIN
15	- EXISTING ROOF TO REMAIN
16	- EXISTING CANOPY TO REMAIN
17	- EXISTING ROOF ACCESS LADDER TO REMAIN
18	- EXISTING GIRDER/BEAM ABOVE TO REMAIN

DEMOLITION NOTES:

- PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFACE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITIES COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHOULD BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND ITEMS THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND REMOVAL OF DEBRIS.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
- ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS, AND EXISTING WETLANDS. IN ADDITION, THE GROUND IN AREAS WHERE THE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE, IF, IN THE OPTION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.
- DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS. VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK.
- THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON REMAINING CONTRACT DOCUMENTS.
- ALL DEMOLISHED MATERIALS SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY OFFSITE AND IN AN EXPEDITIOUS MANNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SHORING, BRACING AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT SHOWN TO REMAIN. SHORING AND BRACING SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION.
- PROTECT FROM DAMAGE ALL CONSTRUCTION AND EXISTING FINISH WORK TO REMAIN IN PLACE AND WHICH BECOMES EXPOSED DURING DEMOLITION OPERATIONS.

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

PROJECT:
PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01

File name:

Issued Date: 07/12/2017

Drawn by: LO

Checked by: CP

SHEET NAME

DEMOLITION
PLAN

SHEET NUMBER

A-8.0

FINAL SUBMITTAL 08.14.2017

TOTAL NUMBER OF SEATS: 60

ITEM #	DESCRIPTION
1	- NEW STOREFRONT.
2	- NEW 8" CONCRETE BLOCK WALL.
3	- EXISTING 8" CMU WALL. TO REMAIN.
4	- DASHED LINES INDICATE EXISTING STRUCTURE ABOVE TO REMAIN.
5	- EXISTING SLAB, G.C. SHALL PREPARE AND LEVEL ALL FLOOR AREA READY FOR INSTALL FUTURE FLOOR FINISHES.
6	- NEW INTERIOR PARTITION WALL.
7	- EXISTING DEMISING WALL.
8	- DASHED LINES INDICATE NEW DECORATIVE SUSPENDED DRYWALL CLOUD SYSTEM.
9	- NEW 42" HEIGHT SALES COUNTER .
10	- NEW PLANTERS.
11	- COUNTER TOP.
12	- REFRIGERATED BAKERY DISPLAY CASE .

[illegible]

1. CONTRACTOR/SUBCONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS PRIOR TO SUBMITTING BIDS. VERIFY ALL DIMENSIONS AND NOTES BEFORE PROCEEDING WITH WORK.
2. CONTRACTOR/SUBCONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL SERVICE AND NOTIFY IF CHANGE IN SERVICE IS NEEDED.
3. CONTRACTOR/SUBCONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
4. IF CONTRACTOR/SUBCONTRACTOR FIND IT NECESSARY TO DEVIATE FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR/SUBCONTRACTOR RESPONSIBILITY TO PROVIDE THE ARCHITECT WITH FOUR COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL PRIOR TO PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM BUILDING AUTHORITIES FOR THE PROPOSED CHANGES, PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR/SUBCONTRACTOR ARE ALSO RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVAL FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
5. SPECIAL INSPECTOR REQUIRED FOR FOUNDATION AND REINFORCED MASONRY
6. CONTRACTOR TO PROVIDE SIGNED AND SEALED TRUSS SHOP DRAWINGS WITH COMPUTATIONS, REVIEWED BY THE ARCHITECT, PRIOR TO FABRICATION.
7. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALL ARE 8" CONCRETE BLOCK.
8. ALL APPLIANCES, FURNITURE AND FINISHES NOT SPECIFIED ARE BY OWNER. G.C. TO COORDINATE WITH OWNER FOR BID AND INSTALLATION.



CEILING NOTES

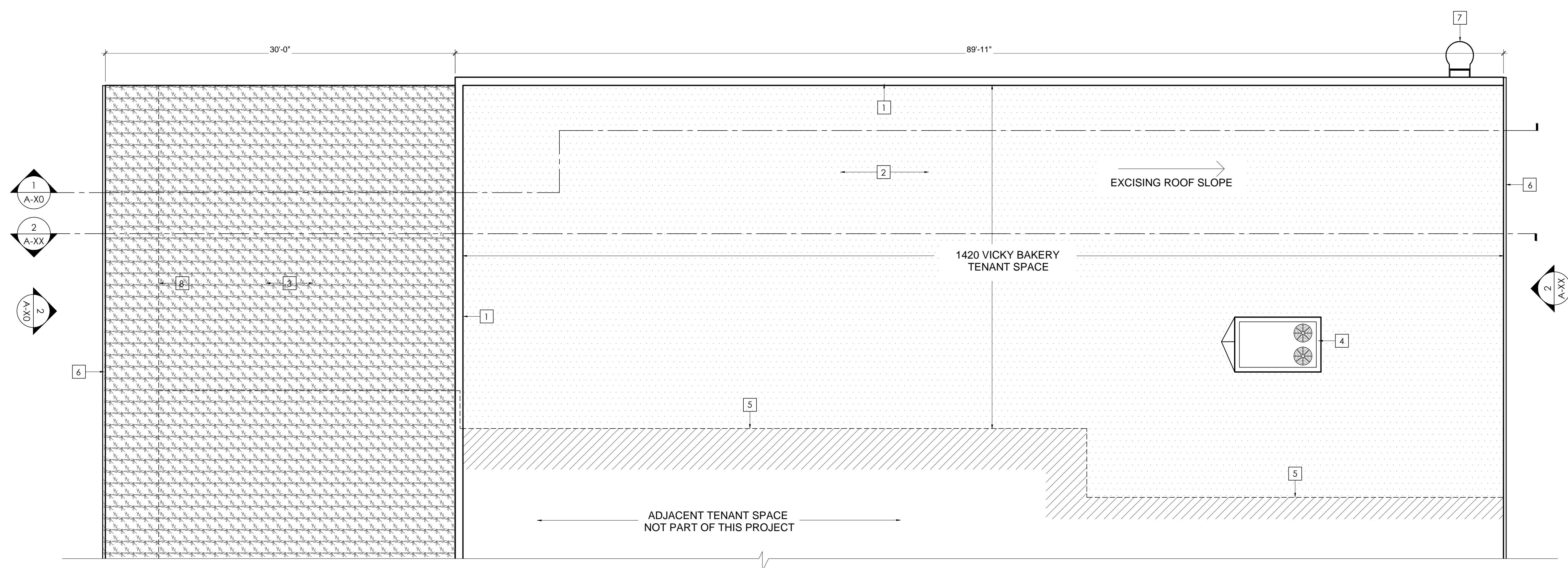
1. VERIFY WITH ELECTRICAL PLANS METHOD OF ATTACHMENT FOR ALL ITEMS ANCHORED TO, OR SUSPENDED FROM ROOF STRUCTURE.
2. THE TYPE AND LOCATIONS OF LIGHT FIXTURES SHALL BE AS INDICATED ON THE REFLECTED CEILING PLAN. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION AND SPECIFICATION.
3. CONTRACTOR TO INSTALL HVAC SYSTEM PER MECHANICAL DRAWINGS. THE LOCATION OF HVAC DIFFUSER SHALL BE AS INDICATED ON THE MECHANICAL HVAC DRAWINGS.
4. ELECTRICAL CONTRACTOR TO COORDINATE LIGHT FIXTURES WITH CEILING TYPE SUBMIT SHOP DRAWINGS ON ALL FIXTURES.
5. ALL STRUCTURAL FRAMING, HANGERS, CHANNELS, RODS AND OTHER MISCELLANEOUS SUPPORT STEEL SHALL BE FURNISHED AND INSTALLED BY THE G.C. AS NECESSARY FOR PROPER SUPPORT OF SUSPENDED/SUPPORT EQUIPMENT AND SHALL BE FASTENED TO STEEL, CONCRETE OR MASONRY. G.C. TO COORDINATE WITH A LICENSED STRUCTURAL ENGINEER AS REQUIRED FOR INSTALLATION OF ALL EQUIPMENT.
6. CEILING SHALL BE PLUMB, LEVEL AND SQUARE TO ALL WALLS AND SOFFITS.
7. ALL NOTED CEILINGS DIMENSIONS ARE INDICATED AS CLEAR ABOVE FINISHED FLOOR.
8. ALL LIGHT SWITCHES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ADJACENT DOOR FRAMES, A.D.A. HEIGHTS, COORDINATE LOCATIONS WITH ALL FIXTURES / EQUIPMENT.
9. CONDUIT AND ALL PIPING SHALL BE INSTALLED AGAINST UNDERSIDE OF ROOF DECK AND PAINTED PER FINISH SCHEDULE WHEN EXPOSED.
10. CEILINGS SHALL NOT BE USED FOR SUPPORTING ANY BUILDING INSULATION, ROOF CONSTRUCTION SHALL PROVIDE THE REQD. INSULATION VALUE. CEILING LIGHTS ARE TO BE WIRED TO BAR JOINT MEMBERS AT THE DIAGONAL CORNERS. DO NOT ATTACH CEILING COMPONENTS TO ROOF DECK.
11. ALL CEILING HEIGHTS, CEILING MATERIALS, AND LIGHT FIXTURE SPACING ARE AS SHOWN ON REFLECTED CEILING PLAN. ANY DEVIATION FROM THESE REQUIREMENTS MUST BE APPROVED BY WALGREENS IN WRITING.

KEYED NOTES:

ITEM #	DESCRIPTION
1	NEW 2'x 2' SQUARE LAY-IN SUSPENDED ACOUSTICAL CEILING TILE SYSTEM. (KITCHEN ZONE SMOOTH TEXTURE BY ARMSTRONG)
2	2'x2' LIGHT FIXTURE, RE: ELECTRICAL DWGS.
3	2'x4' LIGHT FIXTURE, RE: ELECTRICAL DWGS.
4	NEW SUSPENDED DRYWALL CLOUD SYSTEM.
5	LED CEILING LIGHTING
6	PENDANT CEILING LIGHTING
7	3 COATS STUCCO FINISH ON PAPER BACKED METAL LATH (1) LAYER 30 LB. ON 5/8" CDX F.R. PLYWOOD O/ FRAMING.
8	NEW RECESSED FLUORESCENT DOWN LIGHT.
9	NEW HEADER
10	NEW EXIT LIGHT.

NOTES:

- 1.- SUBMIT SHOP DRAWINGS FOR ALL LIGHT FIXTURES
- 2.- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECIFICATIONS.



1 **PROPOSED ROOF PLAN**
SCALE: 3/16" = 1'-0"

ROOF PLAN KEYED NOTES:

ITEM #	DESCRIPTION
1	- EXISTING PARAPET WITH GALVANIZED METAL FLASHING AT PERIMETER.
2	- EXISTING ROOFING SYSTEM AND INSULATION TO REMAIN. G.C. TO REPAIR AND PATCH EXISTING AS A NEW CONDITION MATCH EXISTING.
3	- EXISTING CANOPY TO REMAIN.
4	- EXISTING ROOF TOP UNIT TO REMAIN.
5	- DEMISING WALL BENEATH.
6	- EXISTING GUTTER DRAIN SYSTEM , CONTRACTOR TO CLEAN AND MAINTAIN IN LIKE NEW CONDITION.
7	- EXISTING CAGED ACCESS LADDER TO REMAIN.
8	- LINE OF STOREFRONT BENEATH.

ROOF PLAN NOTES:

- ALL WORK SHALL BE COORDINATED WITH ALL PERTAINING SUBCONTRACTOR AND PLANS. ANY DISCREPANCIES SHALL BE NOTIFIED TO THE ARCHITECT IN WRITING, PRIOR TO STARTING WORK.

- WALK PAD PATH TO AND AROUND UNITS AND ACCESS DOORS REQUIRED (30" MIN. WIDTH). MATERIAL TO BE COMPATIBLE WITH ROOFING SYSTEM USED AND ADHERED TO MEMBRANE. MUST EXTEND FROM HATCH TO AND AROUND ALL HVAC UNITS AND ROOF SIGNAGE VAULTS. T.P.O OR A.P.D.M. 6 MIL. MIN.

- CONDENSATION DRAINS TO BE PIPED ABOVE ROOF TO THE NEAREST DRAIN. BLOCKS REQUIRED TO ADEQUATELY SUPPORT LINES AND REQUIRED MEMBRANE PAD UNDER EACH.

- ROOF TOP UNIT SIZE(S) & LOCATIONS ARE SHOWN FOR CONCEPT ONLY.

NOTE:

G.C. TO COORDINATE ALL ROOF EQUIPMENT PENETRATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS-

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

OWNER:

VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

PROJECT:

PROPOSED TENANT IMPROVEMENT FOR VICKY BAKERY
1420 ALTON ROAD

Job Number: 17029.01
File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

SHEET NAME

PROPOSED ROOF PLAN

SHEET NUMBER

A-10.0

FINAL SUBMITTAL 08.14.2017

Carlos Pizarro, R.A.
AR - 0013079

Revisions:	
07/27/2017	D.R.B COMMENTS

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

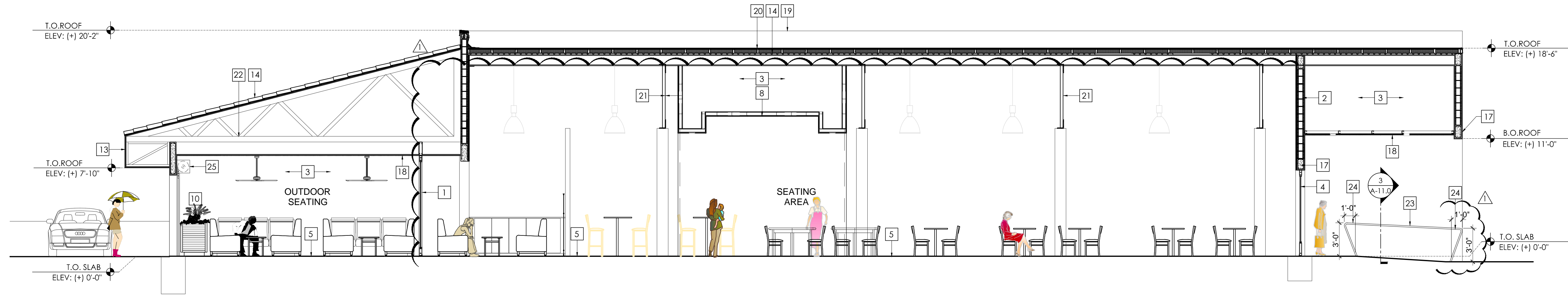
PROJECT:
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FOR
VICKY BAKERY**
1420 ALTON ROAD

Job Number: 17029.01
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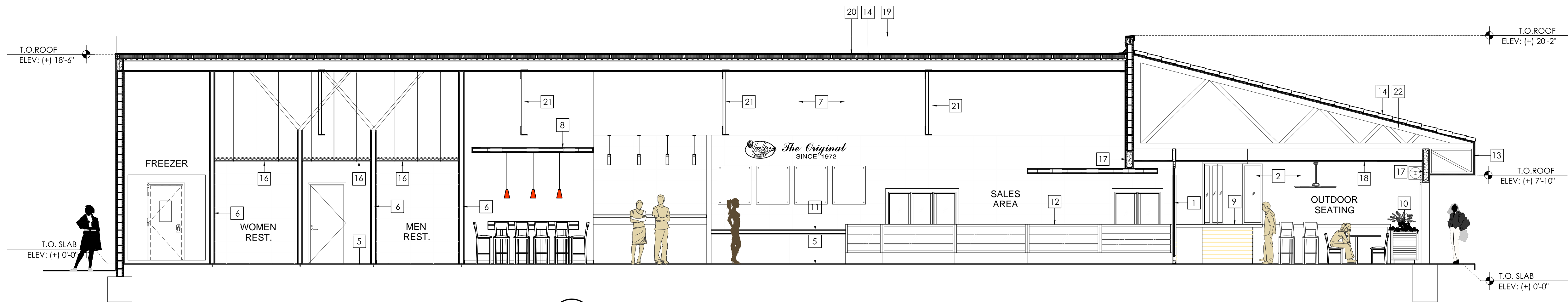
SHEET NAME

**PROPOSED
SECTIONS**

**SHEET NUMBER
A-11.0**



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"

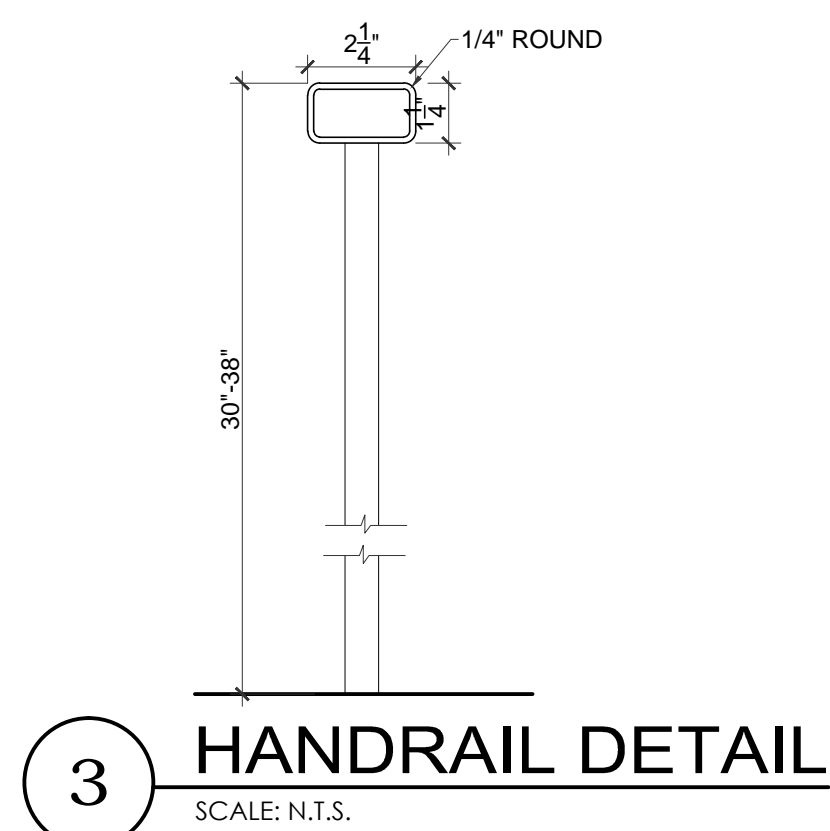
KEYED NOTES:

ITEM #	DESCRIPTION
1	- NEW STOREFRONT.
2	- NEW 8" CONCRETE BLOCK WALL.
3	- EXISTING 8" CMU WALL TO REMAIN.
4	- NEW EXTERIOR DOOR.
5	- EXISTING SLAB, G.C. SHALL PREPARE AND LEVEL ALL FLOOR AREA READY FOR INSTALL FUTURE FLOOR FINISHES.
6	- NEW INTERIOR PARTITION.
7	- EXISTING DEMISING WALL.
8	- DECORATIVE SUSPENDED DRYWALL CLOUD SYSTEM.
9	- NEW 42" HEIGHT SALES COUNTER.
10	- NEW PLANTERS.
11	- COUNTER TOP.
12	- REFRIGERATED BAKERY DISPLAY CASE.

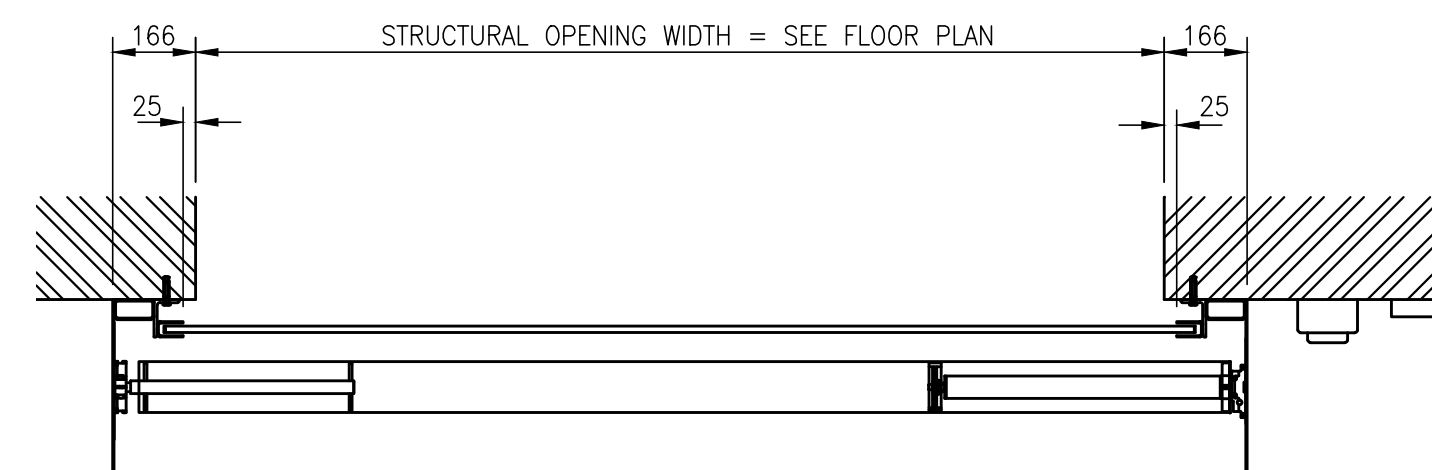
KEYED NOTES:

13	- EXISTING CANOPY.
14	- EXISTING ROOF TO REMAIN
16	- NEW 2'x 2' SUSPENDED ACOUSTICAL CEILING TILE SYSTEM.
17	- CONCRETE BEAM. REF: STRUCTURAL DWGS.
18	- 3 COATS STUCCO FINISH ON PAPER BACKED METAL LATH (1) LAYER 30 LB. ON 5/8" CDX F.R. PLYWOOD O/ FRAMING.
19	- LINE OF PARAPET BEYOND
20	- EXISTING ROOFING SYSTEM TO REMAIN.
21	- EXISTING STEEL BAR JOIST.
22	- EXISTING WOOD TRUSS TO REMAIN.
23	- 36" HEIGHT 2 1/2" SQUARE SHAPE FLAT PROFILE HANDRAIL. SEE DETAIL 3/A-11.0
24	- 12" MIN. HANDRAIL EXTENSION WITH RETURN TO GROUND.
25	- ROLL DOWN DOOR, SEE DETAIL 4/A-11.0

NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING, BRACING AND SUPPORT SYSTEMS TO KEEP THE EXISTING STRUCTURE INTACT AND IN SAFE CONDITION. REF STRUCTURAL DGWS.

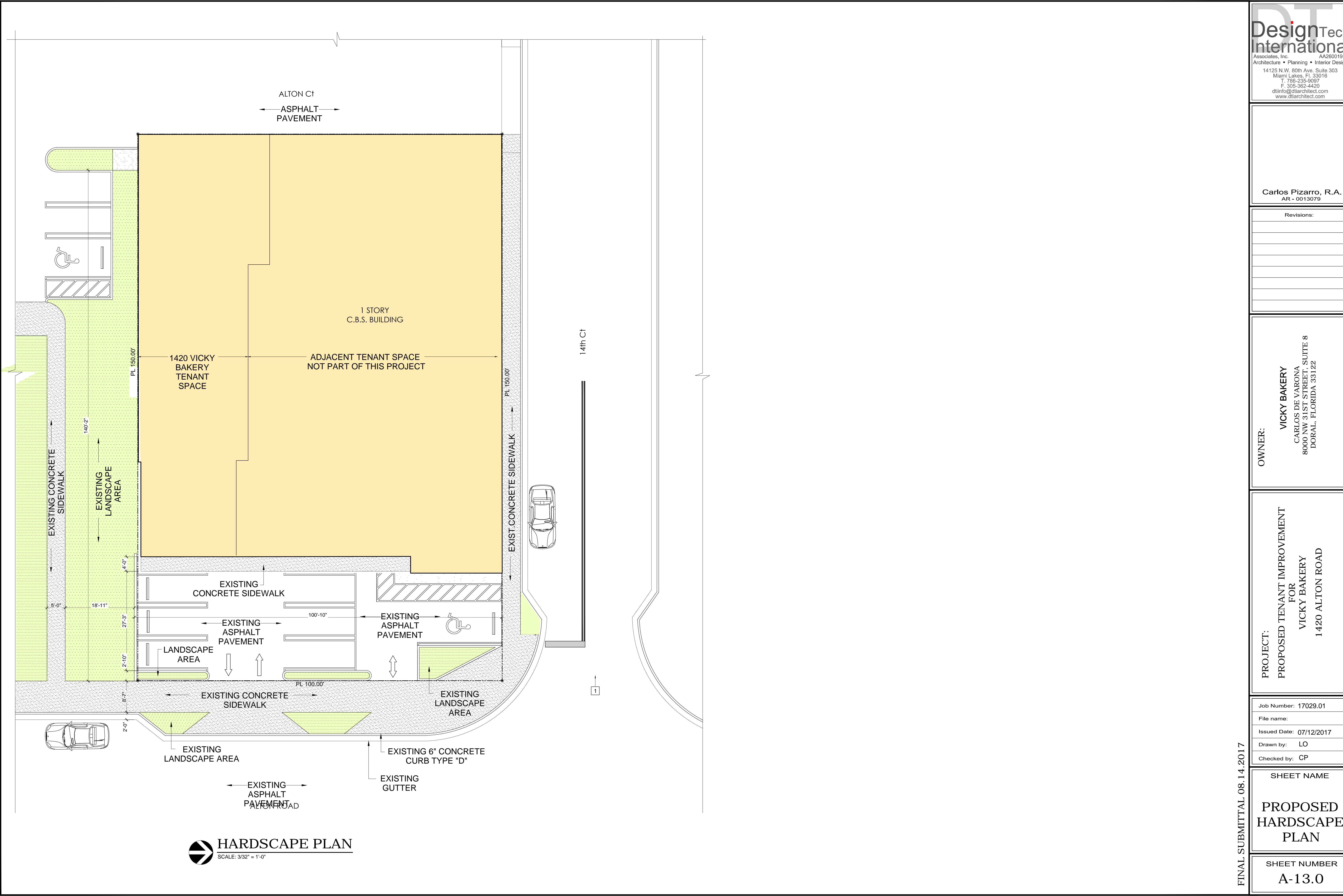


3 HANDRAIL DETAIL
SCALE: N.T.S.



4 ROLL-DOWN DOOR DETAIL
SCALE: N.T.S.

FINAL SUBMITTAL 08.14.2017



 **HARDSCAPE PLAN**
SCALE: 3/32" = 1'-0"

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Revisions:

OWNER:
VICKY BAKERY
CARLOS DE VARONA
8000 NW 31ST STREET, SUITE 8
DORAL, FLORIDA 33122

PROJECT:
**PROPOSED TENANT IMPROVEMENT
FOR
VICKY BAKERY**
1420 ALTON ROAD

Job Number: 17029.01
File name:
Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

SHEET NAME
**PROPOSED
HARDSCAPE
PLAN**

SHEET NUMBER
A-13.0

FINAL SUBMITTAL 08.14.2017

Carlos Pizarro, R.A.
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Revisions:

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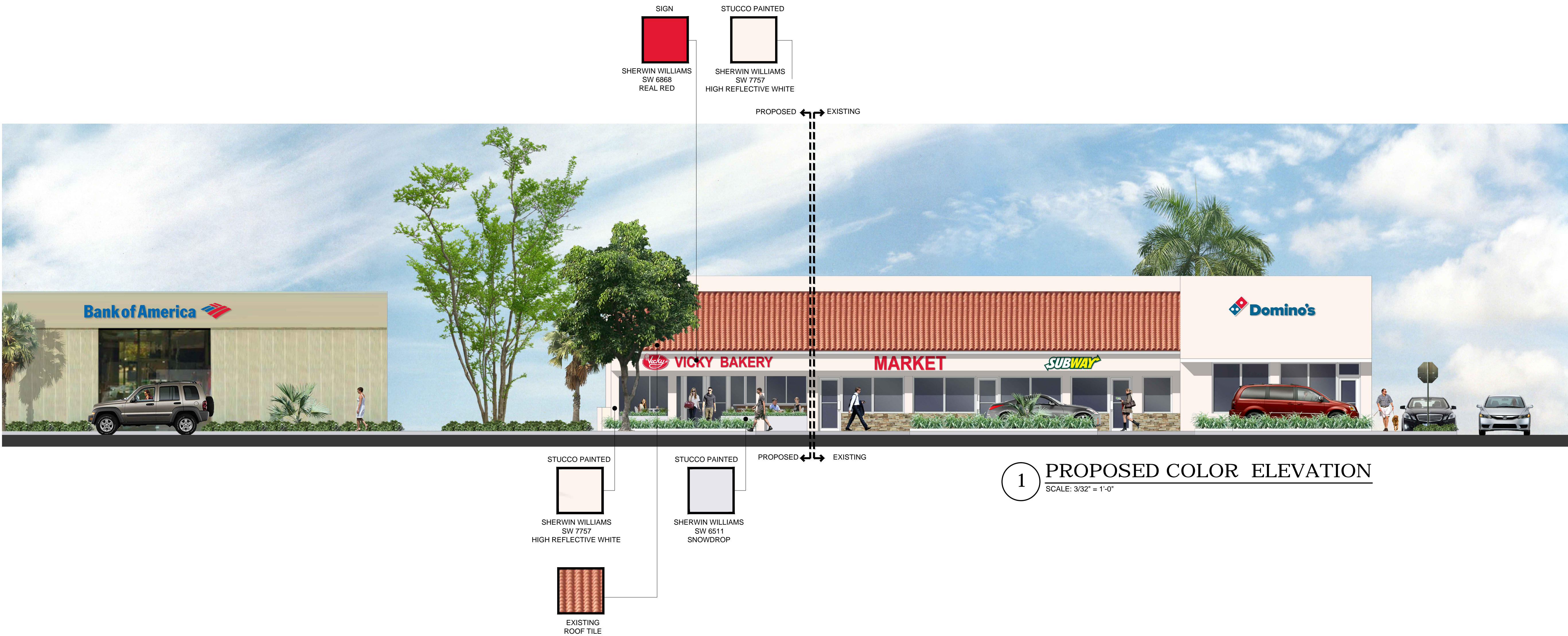
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PROPOSED TENANT IMPROVEMENT
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1420 ALTON ROAD

Job Number: 17029.01
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Issued Date: 07/12/2017
Drawn by: LO
Checked by: CP

SHEET NAME

**COLOR
RENDERING**

SHEET NUMBER
A-14.0



1 PROPOSED COLOR ELEVATION
SCALE: 3/32" = 1'-0"

FINAL SUBMITTAL 08.14.2017